



CITY OF HAVERHILL CITY COUNCIL AGENDA

Tuesday, May 1, 2012 at 7:00 PM
City Council Chambers, Room 202

1. APPROVAL OF RECORDS OF THE PREVIOUS MEETING

2. ASSIGNMENT OF THE MINUTES REVIEW FOR THE NEXT MEETING

3. COMMUNICATIONS FROM THE MAYOR

3.1. Communication from Mayor Fiorentini requesting that he and Michael Stankovich, DPW Director, address the City Council to give an update on the “pay for parking” plan downtown Attachment

3.1.1. Document 44-B, communication from the Mayor regarding the Parking Ordinance: tentative agreement between Parking Commission and a company to manage parking downtown

Tabled from Apr 24 2012

Attachment

3.1.2. Document 55, Ordinance re: Vehicles and Traffic Amend Chapter 240-108, Article VXi, Parking Fees, Rates and Terms chart

Filed Apr 17 2012

Attachment

3.2. Communication from Mayor Fiorentini requesting that he and Pat Haraden of Longfellow Benefits address the City Council regarding the new health care plan just negotiated with the Public Employee Committee (PEC) Attachment

3.3. Communication from Mayor submitting supporting documentation for his Capital Plan request

Attachment

4. UTILITY HEARING(S) AND RELATED ORDER(S)

4.1. Document 50, petition from National Grid for pole and wire locations on Laurel av Plan #12402878

Attachment

4.1.1. Document 50-B, Order grant National Grid, Pole and Wire Locations on Laurel av Plan #12402878

Attachment

5. APPOINTMENTS

5.1. Confirming Appointments:

NO SCHEDULE

5.2. Non-Confirming Appointments:

NO SCHEDULE



CITY OF HAVERHILL CITY COUNCIL AGENDA

Tuesday, May 1, 2012 at 7:00 PM
City Council Chambers, Room 202

6. PETITIONS

6.1. Applications:

NO SCHEDULE

6.2. Communication from William Pillsbury, Jr, Community Development Director, requesting approval of resolution authorizing Mayor to submit 2012-2013 Community Development Block Grant (CDBG) program for City Attachment

6.2.1. Resolution- authorizing Mayor to submit Amended Consolidated Plan for Community Development Block Grant (CDBG) program for City Attachment

6.3. Petition from Vin Ouellette requesting use of westerly portion of upper level of downtown parking deck including Bailey Boulevard parking lot from Monday May 7th through Sunday May 9th for the 8th Annual Spring Carnival Attachment

7. HEARINGS AND RELATED ORDERS

7.1. Document 46, Communication from William Pillsbury requesting Hearing for Flood Plain Zoning Amendment to correct technical language related to flood plain regulations Favorable recommendation from Planning Board and Planning Director Attachment

7.1.1. Related communication from Robert Moore, Environmental Health Technician Attachment

7.1.2. Document 46-B, Ordinance re: Zoning – Floodplain District **Filed Apr 3 2012** Attachment

8. MOTIONS AND ORDERS

8.1. Order authorize Mayor to accept a bequest from the Elmo D’Alessandro 1996 Trust for \$357,382.60 to be used exclusively for law enforcement purposes; held in a separate account and subject to appropriation by the Mayor and City Council Attachment

9. UNFINISHED BUSINESS OF PRECEDING MEETINGS

9.1. Document 48, Ordinance re: Fire Department Fees; amend General Code, Article II, Fire Department Fees Chapter 128-3.1 Master Box connection and monitoring **Filed Apr 4 2012** Attachment

10. COMMUNICATIONS AND REPORTS FROM CITY OFFICERS AND EMPLOYEES

10.1. Monthly Reports:

NO SCHEDULE

10.2. Communications from Councillors:

NO SCHEDULE



CITY OF HAVERHILL CITY COUNCIL AGENDA

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City Council Chambers, Room 202

11. RESOLUTIONS AND PROCLAMATIONS

11.1. Proclamation – *Arbor Day*, April 27, 2012 [Attachment](#)

11.2. Proclamation – *Polish Constitution Day*, May 3, 2012 [Attachment](#)

12. COUNCIL COMMITTEE REPORTS AND ANNOUNCEMENTS

12.1. **Council Committee Reports:**

NO SCHEDULE

12.2. Documents referred to Committee Study [Attachment](#)

13. ADJOURN



JAMES J. FIORENTINI
MAYOR

**CITY OF HAVERHILL
MASSACHUSETTS**

CITY HALL, ROOM 100
FOUR SUMMER STREET
HAVERHILL, MA 01830
PHONE 978-374-2300
FAX 978-373-7544
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April 26, 2012

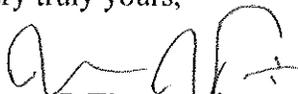
City Council President John Michitson
& Members of the City Council

RE: Permission to address Council

Dear Mr. President and City Council Members:

Michael Stankovich and I wish to address the City Council on Tuesday and give an update on the "pay for parking" plan downtown.

Very truly yours,


James J. Fiorentini
Mayor

JJF/lk



JAMES J. FIORENTINI
MAYOR

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April 6, 2012

City Council President John Michitson
And Members of the Haverhill City Council

RE: Parking Ordinance

Mr. President and members of the City Council:

I'm pleased to state that the Parking Commission and I have reached a tentative agreement with a company to manage parking in downtown Haverhill. The company is known as SP Plus Municipal Services and they are located out of Boston. They handle parking throughout the country for a number of different cities. They have been interviewed, along with a number of other companies, by our parking commission which has unanimously recommended them. I will have more details on this later.

SP Plus is willing to give us a \$200,000 upfront advance in order to manage the parking. That \$200,000 can be used to beautify downtown, to keep it cleaner and safer.

In the course of our meetings with SP plus and with our parking consultant, we discovered some areas that need to be corrected in the parking plan. Unfortunately, I have not been able to put together an amended ordinance prior to this morning's Council deadline.

As you know, ordinances stay on file for a two-week period. If the Council will indulge me and allow me to submit an amended ordinance under a suspension of the rules on Tuesday, it will then sit on file for two weeks. During that period of time I hope to have a contract signed with SP Plus and bring them before you to introduce them to you and to the public.

Thank you for your patience and your indulgence.

Very truly yours,

James J. Fiorentini, Mayor

JJF/ik

IN CITY COUNCIL: April 10 2012

POSTPONED TO APRIL 24 2012

Attest:

City Clerk

IN CITY COUNCIL: April 24 2012

TABLED

Attest:

City Clerk



MEMORANDUM

To: Mayor Fiorentini, City of Haverhill
From: Jason Schrieber
Date: April 6, 2012
Subject: Recommended Rate Table Changes

Mr. Mayor,

I wanted to advise you about potential recommended changes to the approved map of parking rates, included as the Central Business District Parking Map, Plan 2B/3418, in the Code of the City of Haverhill, Chapter 240. The inclusion of a 30-minute free period for off-street lots was intended to be an incentive to users to park off-street. However, two changes to Nelson\Nygaard's original recommended program in the spring of 2011 have negated this effect.

The first change -- not starting on-street pricing until 3pm -- means that the 30-minute free period is no longer an incentive to park in the lots (other than long-term parkers) before 3pm because the streets are free for 2-hours. Given the difficulty of administering, advertising, and enforcing the free period, it may be appropriate to remove it if it has no impact on parking availability.

The second change -- including a 30-minute free period on-street after pricing begins at 3pm -- will not incentivize people to use the lots, because the same discount applies to streets that applies to lots. We believe this was actually in error and had been intended to be only 15 minutes (as evidenced by the escalation period beginning after 3 hours and 15 minutes). To encourage on-street availability, the on-street free period should be reduced or eliminated.

Finally, in negotiations with the potential parking vendors, their preferred technology for the Goeke Deck is "pay-by-space," rather than using an automated gate arm with "pay on foot" technology. With pay-by-space in place, it will be very simple for parkers on the lower deck to renew the 2-hour free period every 2-hours, resulting in little incentive to park on the upper deck, which has greater available capacity. While the 2-hour free period should remain for the spaces closest to the Pentucket Bank and the Medical Center, the lower deck's free period should be limited to only 30-minutes if not removed entirely.

Given these considerations of the implementation impacts of the Chapter 240 language, we believe a change to the Central Business District Parking Map is in order, which may include one or more of the above options. We will work with the vendors and identify the most appropriate changes as soon as possible, with the goal of maximizing parking availability in areas that are currently over-utilized. We request that you seek the Council's permission to update this Map with our recommendations within 2 weeks.



SP Plus[®]
Municipal Services
Superior People. Superior Performance.

115 Broad Street
3rd Floor
Boston, MA 02110
617-542-7276
www.spplus.com

April 6, 2012

Via Electronic Delivery

Mr. David Van Dam
City of Haverhill
City Hall
Four Summer Street
Haverhill, MA 01830-5875

Re: Parking Management Services

Dear David:

As you know, SP Plus[®] Municipal Services has been providing municipal parking management experience for municipal clients throughout the United States for over 30 years. We have extensive knowledge with parking enforcement, parking meter collections & maintenance, parking ticket processing and collections, single space meters, multi-space technologies, pay by phone systems, demand & turnover studies and every other facet associated with municipal parking.

We currently manage several municipal contracts similar to that of City of Haverhill. We have proven experience in marketing and branding parking programs, as well as issuing and managing parking enforcement. We also have extensive experience in implementing various types of parking access and revenue control system equipment for multiple of clients. The following is an example of our overall experience over the last five (5) years:

- City of Lawrence(MA)
- City of Chelsea (MA)
- City of Richmond (VA)
- City of Fort Myers (FL)
- City of Great Falls (MT)
- City of Miami Beach (FL)
- City of New Orleans (LA)
- City of Chicago Parks District
- City of San Mateo (CA)
- City of Tampa (FL)

We understand the current parking ordinance allows free parking for the first 30-minutes. Based on our experience, this type of grace period allowing free parking within a paid parking system is not recommended and virtually impossible to enforce. Under this scenario, a parking enforcement officer would be required to record or chalk vehicles on a continual basis. Alternatively if the individual were required to record his or her parking at a meter with a pre-programmed grace period, the system could easily be abused and parkers will have the ability to park all day in a single space by simply re-entering information each half-hour.

From an end user perspective, individuals would be confused as to when they will be required to pay, and would likely be issued violations as a result. For example, a parker who plans a 30-minute stop would receive a violation if his/her trip extended a few minutes longer than expected. The result will be a large volume of dissatisfied parkers who will appeal these violations. Additionally, the City will take on the burden of addressing these violation appeals. Simply stated, it is not a good practice to mix a free parking component within a paid parking program.

Please let me know if we can provide further insight into this situation.

Sincerely,


Paul Pirhofer
Regional Manager



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Superior People. Superior Performance.

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3rd Floor
Boston, MA 02110
617-542-7275
www.spplus.com

April 5, 2012

Via Electronic Delivery

Mr. David Van Dam
City of Haverhill
City Hall
Four Summer Street
Haverhill, MA 01830-5875

Re: Parking Management Services

Dear David:

Pursuant to the City's interest to move toward a revenue sharing arrangement with up-front payment rather than a management arrangement, SP Plus[®] Municipal Services proposes entering a 3-year agreement with the City of Haverhill, to include an annual base payment of \$200,000, payable as a lump upfront payment in the first year and in monthly installment in subsequent years. In addition, SP Plus[®] Municipal Services shall pay a percentage fee to the City of for any revenues collected in excess of the threshold of \$625,000 (in year 1) the City shall receive 90% of such excess revenues.

Our proposal is contingent upon the City's withdrawal of the 30-minute grace period from City parking ordinances. Hours of City-provided enforcement are assumed to be 8:00 am through 8:00 pm, Monday through Friday for off-street parking; and 3:00 pm through 8:00 pm, Monday through Friday for on-street parking. Additionally, our proposal is based on the following understanding of the parking program:

- Cram Street Parking Lot – Permit use only / Permit at \$15/mo
- Elliot Place Parking Lot – Metered and permit use / Metered at \$0.50/hr; Permit at \$15/mo
- Essex and Locust Streets Parking Lot – Metered use only / Metered at \$0.50/hr
- Goecke Parking Deck (Lower) – Metered use only / Metered at \$0.50/hr after first 2 hours
- Goecke Parking Deck (Upper) – Metered and permit use / Metered at \$0.50/hr after first 2 hours; Permit at \$5/mo
- Haverhill Place Parking Lot – Permit use only / Permit at \$15/mo
- Phoenix Row Parking Lot – Metered and permit use / Metered at \$0.50/hr; Permit at \$15/mo
- Riverfront Promenade Parking Lot – Metered use only / Metered at \$0.50/hr
- Washington-Wingate Parking Lot – Metered and permit use / Metered at \$0.50/hr; Permit at \$15/mo
- Washington Square Parking Lot – Metered and permit use / Metered at \$0.50/hr; Permit at \$15/mo
- Locke Street Parking Lot – Unrestricted / Outside of proposal scope
- Merrimack Street Parking Lot – 2 hour limit / Outside of proposal scope

Under the agreement, SP Plus[®] Municipal Services will lease and install approximately 45 multi-space meters (subject to final block-face study) as previously presented. SP Plus[®] Municipal Services will implement its operational plan to maintain meters and collect revenues as previously presented. Handheld enforcement units are not within the scope of services.

April 5, 2012
Page 2

2
Additional terms as required by both the City and SP Plus[®] Municipal Services will be addressed during finalization of the contract.

We look forward to working with the great City of Haverhill and strive to make this a successful venture for the community!

Sincerely,


Paul Pirhofer
Regional Manager

RECEIVED
2012 APR 26 P 1:46
CITY CLERK'S OFFICE
H.A. EMMETT, MASS.

DOCUMENT 55

CITY OF HAVERHILL

In Municipal Council April 17 2012



~~ORDER~~

MUNICIPAL ORDINANCE

CHAPTER 240

AN ORDINANCE RELATING TO VEHICLES AND TRAFFIC

BE IT ORDAINED by the City Council of the City of Haverhill that the Code of the City of Haverhill, Chapter 240-108, ARTICLE XVI. Parking Fees, Rates and Terms is hereby amended as follows:

By deleting the number and word "30 Min." under the heading "Free Period" on the attached CENTRAL BUSINESS DISTRICT PARKING FEES, RATES AND TERMS chart.

Also, by adding the following line after the line beginning with "Parking Permit":

"Visitor Permits*** N/A. N/A N/A N/A N/A N/A 24hrs./day"

and the following at the end of the chart:

"***Visitor Permits for adjacent or specified nearby parking lots may be issued to the building owners of Phoenix Row/Phoenix Way and 25 Washington Square to be used solely by persons visiting or providing services to residents of these properties. Such Visitor permits shall not exceed twenty (20) to each property at any given time. The City reserves the right to revoke these Permits at any time."

APPROVED AS TO LEGALITY

City Solicitor

PLACED ON FILE for at least 10 days

Attest:

City Clerk



JAMES J. FIORENTINI
MAYOR

**CITY OF HAVERHILL
MASSACHUSETTS**

CITY HALL, ROOM 100
FOUR SUMMER STREET
HAVERHILL, MA 01830
PHONE 978-374-2300
FAX 978-373-7544
WWW.CI.HAVERHILL.MA.US

April 12, 2012

City Council President John Michitson and
Members of the Haverhill City Council

RE: Parking Ordinance

Mr. President and members of the City Council:

As I informed you last week, we hope to reach agreement with a company known as *SP Plus* to manage the parking downtown.

They have pointed out some changes that need to be made in the parking ordinance in order to make this effective. I am enclosing an ordinance which does the following:

- a. Eliminates the thirty (30) minutes of free parking in the lots. The parking company and our parking consultant all tell us that the free thirty minute provision would make enforcement extremely difficult.
- b. Allows for visitor's passes for the two elderly complexes downtown.

This order must be placed on file for two weeks at which time I recommend approval.

Very truly yours,

James J. Fiorentini, Mayor

JJF/lk

Encl.

BACKUP

23-H



DOCUMENT 23-H

CITY OF HAVERHILL

In Municipal Council August 23 2011

~~ORDERED~~

MUNICIPAL ORDINANCE

CHAPTER 240

AN ORDINANCE RELATING TO VEHICLES AND TRAFFIC

PREAMBLE

Whereas, increased new residential and business development in the Central Business District has increased traffic and parking demand; and

Whereas, the Merrimack Valley Regional Transit Authority (MVRTA) is constructing an intermodal parking facility on the City's Granite Street lot known as the "Ted for Tires" lot to alleviate the increased demand for parking;

Whereas, the City has conducted a substantive review of the literature and the practices of other cities to determine the most effective ways of managing the traffic and parking demand; and

Whereas, based on that review the City has determined that the most effective tool for managing on-street parking and parking in municipal parking lots is a program of pricing the on-street public parking at a rate so as to achieve a fifteen percent (15%) vacancy rate in the available parking spaces; and

Whereas, underpriced on-street parking and parking in municipal parking lots causes an effect known as "cruising," which adds to traffic congestion; and

Whereas, a vacancy rate of about 15% is necessary to avoid cruising-induced traffic, to facilitate easy ingress and egress, to further stimulate residential and business opportunities within the Central Business District and to offer parking opportunities to as many different people as possible; and

Whereas, the City of Haverhill is authorized by M.G.L. c. 40, §22A - 22C to fix the rate of fees and terms for parking on public streets and in public parking lots; and

23-4

2.

Backup

Whereas, such parking fees are for the purpose of regulating traffic and the parking of vehicles in the public streets, and not a tax for revenue purposes; and

Whereas, receipts from such parking fees may be used not only in defraying expenses of administration of the parking program, development, management, operation, maintenance and improvement in all municipal parking lots, streets, ways, highways and roads with the Central Business District; and

Whereas, certain formerly unmetered on-street and off-street parking must be metered or permitted, in a manner to be determined, in order to meet the demands of changing patterns of use of Central Business District parking.

NOW THEREFORE:

BE IT ORDAINED by the City Council of the City of Haverhill that the Code of the City of Haverhill, Chapter 240, as amended, is hereby further amended by adding the following:

"ARTICLE XVI. Parking Fees, Rates and Terms.

§240-108. Establishment of Parking Fees, Rates and Terms.

The City Council and Mayor hereby establish, as attached hereto, initial fees, rates and terms for parking on all streets, ways, highways and roads, along with all municipal parking lots, all as shown on the Central Business District Parking Map dated 08/17/11, filed in the Office of the City Engineer, Plan 2B/3418, as may be amended from time to time.

§240-109. Periodic Adjustment of Parking Fees and Rates.

The following process shall be utilized to manage the use and occupancy of all parking areas within the Central Business District by adjusting parking fees, rates and terms from time to time to manage the use and occupancy of the parking spaces for the public benefit.

A. To accomplish the goal of managing the supply of parking and to make it reasonably available when and where needed, a target occupancy rate of eighty-five percent (85%) is hereby established.

B. At least annually and not more frequently than quarterly, the Parking Administrator or Parking Consultant shall survey the average occupancy for all streets, ways, highways and roads, along with all municipal parking lots, within the Central Business District that have paid parking. Based on the survey results, the Parking Administrator or Parking Consultant shall propose to the Central Business District Parking Commission an adjustment of the rates up or down in twenty-five

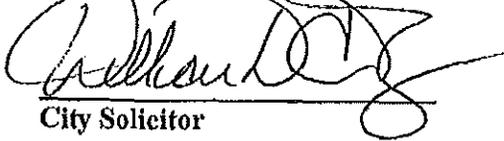
234

Backup

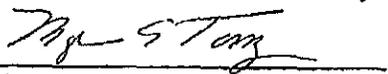
cent (\$0.25) intervals to seek to achieve the target occupancy rate. The Central Business District Parking Commission shall consider the Parking Administrator's proposal to adjust parking rates and make a recommendation to the Mayor and City Council."

Effective December 1, 2011

APPROVED AS TO LEGALITY


City Solicitor

PLACED ON FILE for at least 10 days

Attest: 
City Clerk

IN CITY COUNCIL: September 6 2011

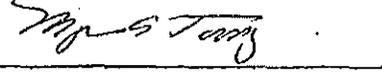
On motion of Councillor Daly O'Brien to delete the word "not" on the second page, 1nd paragraph first line and change the word in the last line of that paragraph from "with" to within

MOTION PASSED and

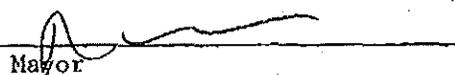
On motion of City Solicitor William Cox to amend Section 240-108. as follows:
By adding the sentence "When the provisions of this section conflict with the schedules of Chapter 240, the provisions of the schedule shall prevail", at the end of the paragraph after the words "time to time"

MOTION PASSED AND

PASSED AS AMENDED

Attest: 
City Clerk

APPROVED:


Mayor

23-11

CENTRAL BUSINESS DISTRICT PARKING FEES, RATES AND TERMS

Parking Key - Restriction*	Free Period	Hourly Rate	Monthly Rate	Escalation After	Escalated Hourly Rate	Daily Max	Hours of Operation
Unrestricted	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Police Business	N/A	N/A	N/A	N/A	N/A	N/A	N/A
15 Minute Limit	15 Minutes	N/A	N/A	N/A	N/A	N/A	8am - 6pm
2 Hour Limit	2 Hours	N/A	N/A	N/A	N/A	N/A	8am - 6pm
Pay Parking, Group A	30 Min.	\$ 0.50	N/A	3 Hrs,15 Min	\$1.00	\$8.00	8am-8pm for all Parking Lots; 3pm- 8pm for all Streets
Pay Parking, Group B	30 Min.	\$ 0.50	N/A	N/A	N/A	\$6.00	8am-8pm
Pay Parking, Group C	120 Min.	\$ 0.50	N/A	None	N/A	\$2.00	8am-8pm No Overnight
Pay Parking, Group D	N/A	N/A	\$5.00	N/A	N/A	N/A	8am-8pm No Overnight
Permit Parking**	N/A	N/A	\$15.00	N/A	N/A	N/A	24hrs./day

*"Parking Key - Restriction" refers to those as shown on the Central Business District Parking Map dated 08/17/11, filed in the Office of the City Engineer, Plan 2B/3418, a copy of which is also on file with the City Clerk, and the corresponding parking indicated therein, as amended from time to time.

** Permit parking available to residents and employees in the Central Business District. Those residents who are handicapped, disabled or have attained age 60 shall pay fifty (50%) percent of the monthly rate for a parking permit.

Back up



JAMES J. FIORENTINI
MAYOR

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April 26, 2012

City Council President John Michitson
& Members of the City Council

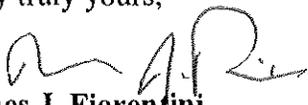
RE: Permission to address Council

Dear Mr. President and City Council Members:

Pat Haraden of Longfellow Benefits and I wish to address the City Council on Tuesday regarding the new health care plan just negotiated with the Public Employee Committee (PEC).

Attached is a copy of the agreement and a copy of the health plan.

Very truly yours,


James J. Fiorentini
Mayor

JJF/lk

Encl.



JAMES J. FIORENTINI
April 28, 2012

**CITY OF HAVERHILL
MASSACHUSETTS**

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City Council President John Michitson and
Members of the Haverhill City Council

RE: New Health Care Plan

Dear President Michitson and City Council Members:

I'm pleased to announce that on Wednesday evening we reached an agreement with the Public Employee Committee (PEC). This new plan will affect all non-union employees and all employees who are currently out of contract.

This new plan will save the City of Haverhill \$1.1 million per year. Some school groups who were contractually placed in the Value Option Plan will be placed in this new plan effective July 1, 2014.

I am attaching a copy of the agreement signed between the City and the PEC. You will note that all of the unions signed the agreement.

I am also attaching a copy of the actual plan. As you will note, it provides for deductibles for the first time. For those currently in the value plan, it has slightly increased co-pays.

As I promised when I proposed this, this plan has lower co-pays and lower deductibles than the comparable GIC plan which is currently available to state employees. As I promised, we have going out of our way to protect retirees both in the plan and in the mitigation agreement.

By state law, we are required to provide up to 25% of the savings to benefit our employees and retirees. We have done that. Our mitigation plan protects retirees, low-income users, and those who are very ill.

Copies of the agreements signed by the PEC and copies of the actual plan are attached.

I will be before the City Council Tuesday night along with our health care consultant to discuss this further.

Very truly yours,

James J. Fiorentini, Mayor

JJF/lk
Encl.

MEMORANDUM OF AGREEMENT

BETWEEN

THE CITY OF HAVERHILL
AND

THE M.G.L. c. 32B, §§21-23 HAVERHILL PUBLIC EMPLOYEE COMMITTEE

TO PROVIDE HEALTH INSURANCE THROUGH
A GROUP INSURANCE COMMISSION LIKE PLAN
PURSUANT TO M.G.L. c. 32B, §§21-23

WHEREAS, the City of Haverhill, including Haverhill Public Schools ("City"), currently provides health insurance benefits to its subscribers pursuant to M.G.L. c. 32B, but not including M.G.L. c. 32B, §§21 through 23; and

WHEREAS, the City, by a vote of its City Council on November 29, 2011, elected to change health insurance benefits under M.G.L. c. 32B, §§21 through 23, as amended by Chapter 69 of the Acts of 2011, for the purpose of implementing changes in health insurance benefits it provides to its subscribers, including achieving savings by way of the implementation of a new plan more comparable to the most-subscribed plan design features for the same or most similar benefits offered by the Commonwealth's Group Insurance Commission ("GIC");

WHEREAS, the City and the Public Employee Committee ("PEC") are entering into this written agreement to implement changes to health insurance benefits to its subscribers pursuant to M.G.L. c. 32B, §22 effective July 1, 2012;

NOW THEREFORE, the City and the PEC agree as follows:

1. **Effective Date and Duration of Agreement**

The Agreement shall take effect on the date the City and the PEC execute the Agreement with the changes in health insurance benefits to be effective July 1, 2012 for all employees and retirees, unless otherwise provided for by current collective bargaining agreements and applicable law. Any school department employee groups for whom said health insurance benefits shall not be effective on July 1, 2012, shall commence said health insurance benefits effective on July 1, 2014. The health insurance benefits provided shall remain in effect until changed pursuant to M.G.L. c. 32B, §§21 through 23 or any other manner provided for by law.

2. **Health Insurance Benefits Plan to be Effective July 1, 2012**

The "Benefit Comparison", attached hereto and incorporated herein as Exhibit A, is a



detailed breakdown of the deductible and co-payments/covered services to be incorporated in the health insurance benefits for the HMO, PPO and Medex plans to be effective July 1, 2012.

The Health Reimbursement Arrangements (HRA) available to those subscribers in the current Value plan shall only remain available to those subscribers who continue to be enrolled in the current Value plan after July 1, 2012, and, only through June 30, 2014 at which time the Value plan HRA shall not be provided to any subscriber. The current Value plan will no longer be offered to any subscriber after June 30, 2014.

3. Mitigation

The City will commit the sum of \$843,000.00, which represents 25% of the first year (12 months) estimated savings from changing plan designs, to the mitigation plan. \$174,000.00 of said mitigation funds shall be segregated for utilization by those subscribers who will remain in the Value plan after July 1, 2012 and are to be transferred to this new plan on July 1, 2014. The total amount of all mitigation proposals will be limited to 25% of the first year (12 months) estimated savings as detailed above.

4. Mitigation for Medicare Eligible Retirees

The City shall provide a Medicare Part B premium subsidy payment in the amount of \$100 for each Medicare eligible retiree. This subsidy payment will be paid twice in FY 2013. Based on the current enrollment of 1,165 Medicare retirees, this mitigation projected total is \$233,000. The subsidy would be payable in September of 2012 and June of 2013 to those retirees enrolled in the plans as of July 1, 2012 (for September payment) and April 1, 2013 (for June payment).

5. Mitigation for Non-Medicare Eligible Retirees who are Age 65 and Over

The City shall establish a Health Reimbursement Arrangement (HRA) for non-Medicare eligible Retirees who are age 65 and over that would reimburse subscribers for the annual deductible required under the plan in which they are enrolled. Based on the current enrollment of 63 retirees, the projected total cost for this mitigation is \$20,000.

6. Mitigation for Low Income Subscribers

The City shall establish a Health Reimbursement Arrangement (HRA) for low income active employees and non-Medicare retirees that will reimburse subscribers for the annual deductible required under the health plan in which they are enrolled, as well as any individual co-payment that exceeds \$100. An explanation of benefits (EOB) from the health plan indicating that a deductible has been applied or a co-payment was required will be required for reimbursement from the HRA vendor. Eligibility for reimbursement shall be limited to those subscribers with an annual household income, calculated based on the prior calendar year, at or below 150% of the Federal Poverty Level (FPL), based on the most recent published FPL table.



7. **Mitigation for Subscribers with High Out of Pocket Health Care Costs**

The City shall establish a Health Reimbursement Arrangement (HRA) for active employees and non-Medicare retirees that will reimburse subscribers for Outpatient Surgery Co-payments, High Tech Imaging Co-payments, and Inpatient Co-payments as required under the health plan in which they are enrolled, once their combined total out of pocket costs for their deductible and individual co-payments over \$100, plus prescription drug co-payments, reach \$1,250 per individual and \$2,500 per family in a plan year, that have not been previously reimbursed by another HRA. An explanation of benefits (EOB) from the health plan indicating that a co-payment has been applied to a claim will be required for reimbursement.

8. **Wellness Mitigation**

The City shall allocate \$5,000 of the proposed mitigation monies to a wellness program for the benefit of all City employees and retirees. The final design shall be determined by the PEC and Blue Cross Blue Shield or the selected wellness vendor, in consultation with the Insurance Advisory Committee (IAC).

9. **Other Mitigation Provisions**

The maximum amount of the HRAs for both low income and high out of pocket cost subscribers is limited to 25% of the first year (12 month) estimated savings, less the actual Medicare and Non-Medicare eligible retiree mitigation, less the wellness mitigation, less any amounts allocated to the employees who will be transferred to the new plans on July 1, 2014. The HRAs will be effective until the maximum amount is reimbursed (or claims have been submitted up to the maximum amount), and claims will be paid on an as submitted basis as determined by the Third Party Administrator. A statement of the mitigation fund balance will be provided to the PEC and/or IAC monthly. The cost of administering the Mitigation Plan, including HRA administration, will be paid by the City, and not deducted from the mitigation fund or the Health and Life Insurance Trust Fund.

The final design of the HRA(s) is subject to approval by the HRA administrator, solely to determine if its claims processing system can administer the HRA(s) as intended.

Any mitigation funds not expended within the first year of availability, whether for those whose coverage commences July 1, 2012 or July 1, 2014 as the case may be, shall continue to be paid until the maximum amount of mitigation money agreed to herein is expended. The City at no time shall be liable to expend monies for mitigation in excess of 25% of the first year (12 month) estimated savings.

10. **Additional Benefits**

Flexible Spending Account - The City will provide to active employees a flexible spending account program pursuant to IRS Section 125. The maximum annual allowable amount to be deducted on a pre-tax basis will be \$2,500.00. The City shall pay any administrative fees for subscribers who participate in this program.

A handwritten signature in black ink, appearing to be 'L. J. H.' or similar, located in the bottom right corner of the page.

Opt Out Plan - The City will provide a health insurance opt out option to employees and retirees. Eligible employees and retirees who enroll in the program will receive a lump sum financial incentive payment. The amount will be \$1,500 for an individual and \$3,000 for a family. In order to be eligible for the program an employee must meet the following criteria: 1) the employee or retiree must have 24 consecutive months of enrollment in a City of Haverhill health plan, and 2) the employee must provide written proof of other (non-City of Haverhill) health coverage.

11. **Severability Clause**

If any provision or portion of this Agreement is found to be unenforceable or unlawful, the remaining provisions or portions shall remain binding.

12. **Scope**

This Agreement shall constitute the whole of the Agreement between the City and the PEC. The Agreement may be modified only by a writing signed by the City and the PEC.

13. **Authorization to Sign Agreement**

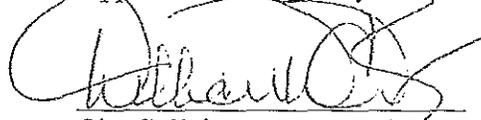
Each signatory to this Agreement is authorized to bind the entity he/she represents. The PEC represents that it has the authorization and approval of a majority of the weighted votes of the PEC and that this Agreement is binding on all subscribers and their representatives.

DATE: April 25, 2012

The City of Haverhill
by its Mayor


James J. Fiorentini

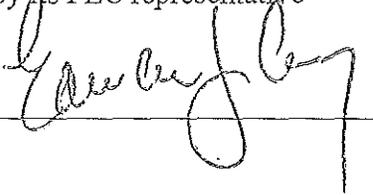
Approved as to legality:


City Solicitor



Public Employees Committee:

Teamsters' Engineering Group
by its PEC representative



Teamsters' Dog Officer, Conservation
Officer, Building Custodian Group
by its PEC representative

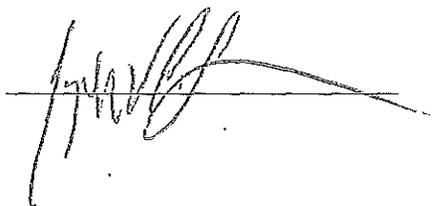
Teamsters' Water Group
by its PEC representative

SEIU HPS Cafeteria Group
by its PEC representative

Teamsters' Water Purification Group
by its PEC representative

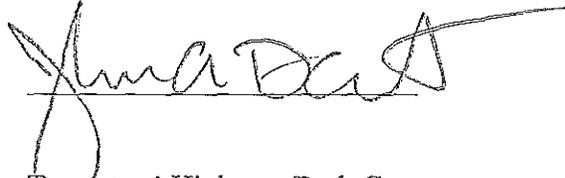


HEA Teachers Group
by its PEC representative



AFSCME Wastewater Group
by its PEC representative

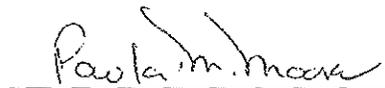
Teamsters' Water/Wastewater Technical
Group
by its PEC representative



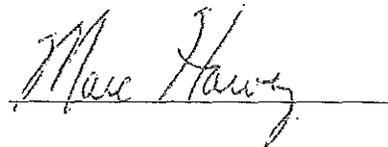
Teamsters' Highway/Park Group
by its PEC representative

SEIU HPS Custodians Group
by its PEC representative

Teamsters' Clerical Group
by its PEC representative

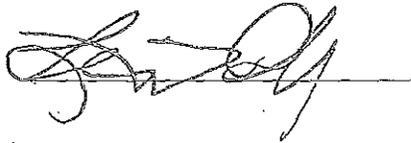


HEA Clerical Group
by its PEC representative

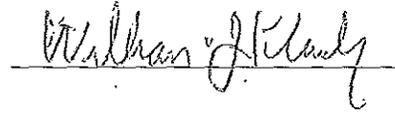




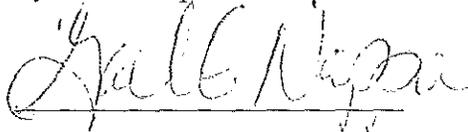
IAFF Local 1011 Firefighters
by its PEC representative



COH and HPS Retirees
by its PEC representative



Teamsters' Library Group
by its PEC representative



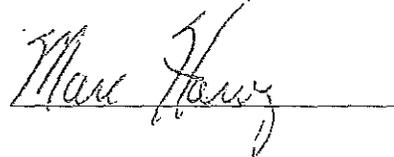
Teamsters Health & Inspectional
Services Group
by its PEC representative



Teamsters' Citizens Center Group
by its PEC representative



HEA ESP Group
by its PEC representative



HPS Administrators Group
by its PEC representative



Haverhill Nurses Association
by its PEC representative



Haverhill Police Patrolmen's Group
by its PEC representative



Haverhill Police Superiors Group
by its PEC representative



SEIU Transportation Group
by its PEC representative



MED-EX

City of Haverhill

4/23/2012

	Proposed Plan 7/1/2012
<u>Office Visits</u>	\$0
<u>Emergency Room</u>	\$0
<u>Inpatient Hospitalization</u>	\$0
<u>Outpatient Surgery</u>	\$0
<u>Retail Prescription Drugs (30-Day Supply)</u>	No Deductible
Generics	\$10
Brand-Name	\$25
Non-Preferred	\$40
<u>Mail Order Prescription Drugs (90-Day Supply)</u>	
Generics	\$20
Brand-Name	\$50
Non-Preferred	\$80

Note: Benefits subject to Medicare rules and restrictions and benefit limitations and exclusions

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BENEFIT	HMO Plan	PPO Plan	
	IN-NETWORK	IN-NETWORK	OUT-OF-NETWORK
Deductible - Plan Year (see details for applicability - copays do not count toward deductible)	\$200 per member \$600 per family	\$200 per member \$600 per family	
Out of Pocket Maximum (Includes Deductible, coinsurance, copays over \$100, not including Rx)	\$2,000 per member \$4,000 per family	\$2,000 per member \$4,000 per family	
Other Plan Limitations	Inpatient Copayments Up to \$1,000 per member per plan year Outpatient Surgery Copayments up to \$600 per member per plan year	Inpatient Copayments Up to \$1,000 per member per plan year Outpatient Surgery Copayments up to \$600 per member per plan year	
Lifetime Benefit Maximum	None	None	None
INPATIENT	YOU PAY	YOU PAY	YOU PAY
General Hospital (semi-private room and board and special services)	\$250/\$500 per admission after deductible	\$250/\$500 per admission after deductible	20% coinsurance*
Skilled Nursing Facility	Nothing after deductible (up to 100 days per calendar yr)	Nothing after deductible (up to 100 days per calendar yr)	20% coinsurance* to 100 days per calendar year benefit maximum combined with in-network days
Rehabilitation Hospital	Nothing after deductible (up to 60 days per calendar yr)	Nothing after deductible (up to 60 days per calendar yr)	20% coinsurance* to 60 days per calendar year benefit maximum combined with in-network days
OUTPATIENT HOSPITAL	YOU PAY	YOU PAY	YOU PAY
Emergency Room Visits for Emergency or Accident Care	\$100 per visit after deductible (waived if admitted)	\$100 per visit after deductible (waived if admitted)	\$100 per visit after deductible (waived if admitted)
Surgery	\$150 per visit after deductible	\$150 per visit after deductible	20% coinsurance*

BENEFIT	HMO Plan	PPO Plan	
	IN-NETWORK	IN-NETWORK	OUT-OF-NETWORK
Radiation and Chemotherapy	Nothing after deductible	Nothing after deductible	20% coinsurance*
Diagnostic X-ray and Lab	Nothing after deductible	Nothing after deductible	20% coinsurance*
CT Scans, MRIs, PET scans, and nuclear cardiac imaging tests	\$75 per date of service after deductible	\$75 per date of service after deductible	20% coinsurance*
Physical Therapy	\$20 per visit (up to 60 visits per calendar yr)	\$20 per visit (up to 60 visits per calendar yr)	20% coinsurance* (up to 60 visits per calendar yr) benefit maximum combined with in-network visits
PHYSICIAN'S OFFICE	YOU PAY	YOU PAY	YOU PAY
Surgery	\$20 per visit	\$20 per visit	20% coinsurance*
Medical Care	\$20 per visit	\$20 per visit	20% coinsurance*
Routine OB/GYN Exam	Nothing	Nothing	20% coinsurance*
Well Child Care	Nothing	Nothing	20% coinsurance*
Chiropractor Visits	All charges	\$20 per visit	20% coinsurance*
Routine Vision Exam	Nothing (1 visit per calendar year)	Nothing (1 visit every 24 months)	20% coinsurance*
Preventive Care (see list for Preventive Services)	Nothing	Nothing	20% coinsurance*
MENTAL HEALTH	YOU PAY	YOU PAY	YOU PAY
BIOLOGICALLY-BASED CONDITIONS+			
- Inpatient admissions in a general or mental hospital	\$250/\$500 per admission after deductible	\$250/\$500 per admission after deductible	20% coinsurance*
- Outpatient visits	\$20 per visit	\$20 per visit	20% coinsurance*
NON-BIOLOGICALLY-BASED MENTAL CONDITIONS (Includes drug addiction and alcoholism)			
- Inpatient admissions in a general hospital	\$250/\$500 per admission after deductible	\$250/\$500 per admission after deductible	20% coinsurance*

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BENEFIT	HMO Plan	PPO Plan	
	IN-NETWORK	IN-NETWORK	OUT-OF-NETWORK
- Inpatient admissions in a mental hospital or substance abuse treatment facility	\$250/\$500 per admission after deductible	\$250/\$500 per admission after deductible	20% coinsurance*
- Outpatient visits	\$20 per visit	\$20 per visit	20% coinsurance*
ALCOHOLISM TREATMENT (IN ADDITION TO NON-BIOLOGICALLY BASED MENTAL CONDITIONS)			
- Inpatient admissions in a general hospital	\$250/\$500 per admission after deductible	\$250/\$500 per admission after deductible	20% coinsurance*
- Inpatient admissions in a substance abuse treatment facility	\$250/\$500 per admission after deductible	\$250/\$500 per admission after deductible	20% coinsurance*
- Outpatient visits	\$20 per visit	\$20 per visit	20% coinsurance*
OTHER OUTPATIENT	YOU PAY	YOU PAY	YOU PAY
Visiting Nurse Home Health Care	Nothing after deductible	Nothing after deductible	20% coinsurance*
Prosthetic Devices	20% coinsurance after deductible	20% coinsurance after deductible	40% coinsurance*
Durable Medical Equipment	20% coinsurance after deductible	20% coinsurance after deductible	40% coinsurance*
Ambulance	Nothing after deductible	Nothing after deductible	Nothing for accident or emergency after deductible 20% coinsurance* other medically necessary transport
Routine Pediatric Dental (through age 11)	Nothing (one routine exam & cleaning every 6 months)	All charges	All charges
Prescription Drugs	\$10 for each generic (Tier 1) \$25 for preferred brand name (Tier 2) \$50 for each non-preferred (Tier 3)	\$10 for each generic (Tier 1) \$25 for preferred brand name (Tier 2) \$50 for each non-preferred (Tier 3)	Same as In-Network at retail pharmacies outside of Massachusetts

BENEFIT	HMO Plan	PPO Plan	
	IN-NETWORK	IN-NETWORK	OUT-OF-NETWORK
	(up to a 30-day formulary supply for each prescription or refill)	(up to a 30-day formulary supply for each prescription or refill)	
	\$20 for each generic (Tier 1)	\$20 for each generic (Tier 1)	
	\$50 for preferred brand name (Tier 2)	\$50 for preferred brand name (Tier 2)	
	\$110 for each non-preferred (Tier 3)	\$110 for each non-preferred (Tier 3)	
	(up to a 90-day formulary supply for each prescription or refill)	(up to a 90-day formulary supply for each prescription or refill)	

Other Benefits

www.livinghealthybabies.com

Fitness Benefit

No Charge
\$150 per year, per individual/family

Weight Loss Program Reimbursement

\$150 per year, per individual/family

Blue Care Line

No Charge

Living Healthy Vision Discount

Discount Varies

Safe Beginnings Discounts

Discount Varies

Living Healthy Naturally Discounts

Discount Varies

www.AHealthyMe.com

No Charge

*After deductible

Co Insurance - the percentage of the charges that are the member's responsibility

These pages summarize benefits of the plan(s). The Subscriber Certificate(s) and applicable riders define the terms and conditions of these benefits in greater detail. Should any questions arise, the certificate(s) and riders will govern.



Handwritten signature and initials



JAMES J. FIORENTINI
MAYOR
April 27, 2012

CITY OF HAVERHILL
MASSACHUSETTS

CITY HALL, ROOM 100
FOUR SUMMER STREET
HAVERHILL, MA 01830
PHONE 978-374-2300
FAX 978-373-7544
WWW.CI.HAVERHILL.MA.US

City Council President John Michitson and
Haverhill City Council Members

RE: Capital Plan Request

Dear Mr. President and City Council Members:

Attached are supporting documents related to our capital plan request.

Citizens Center- \$638,000- This project is my top priority. We received a federal matching earmark for \$237,500 with a match from the city for \$237,500 for a total of \$475,000. However, this expiring earmark is likely not enough to make the actual repairs needed. In order to make sure we undertake the necessary repairs needed to save the structure, the city is budgeting an additional \$400,000 for the project on top of the federal earmark (including the match). We are replacing the outside envelope of the building, which will likely include doors and windows. Thanks to prior grants and energy rebates, we have had two different firms analyze the structure over the past three years (Woodman and Associates and Ameresco). I am including both of their analyses relative to the outer shell of the structure. The total project cost will not be known conclusively until after the construction bids are received. We are attempting to draw down this expiring United States Department of Energy earmark by September 30, 2012-- the end of the Federal Fiscal Year.

Fire Truck- \$260,000- We need to replace our 22 year old ladder truck. Repairs to the vehicle to bring it up to safety code would cost \$200,000 and added body work would bring the cost closer to \$400,000. We are requesting to purchase a used 2006 ladder truck.

Flood Wall Engineering- \$280,000- We need to access and repair our floodwall system to maintain our Federal Emergency Management Agency (FEMA) mandated coverage on this U.S. Army Corps built and permitted floodwall system, which includes the Little River Conduit under downtown Haverhill and the Washington Square Pump Station. To maintain our certification, we need to do repairs to these three structures and increase the height of the floodwall (levee) as well. We are applying to the U.S. Department of Commerce's Economic Development Administration for a grant to cover half the costs of the design and hopefully half of the construction costs, estimated at over \$2.2 million total. Our design engineers at AECOM have estimated these figures for design and construction. This bonding request only consists of the design costs at this point (\$280,000).

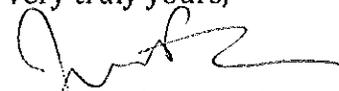
East Broadway Bridge Repairs- \$400,000- To maintain the safety of the bridge, we need to install precast concrete Jersey barriers that bolt to the deck with a steel guardrail that bolts to the barrier and terminate safely. We need to reconstruct the northwest, northeast and southeast wingwalls. The sinkhole needs to be repaired along with removal of the vegetation growing from the substructure. We need to remove the boulders forming the foot bridge/dam across the channel at both openings at the bridge. The final item needed at this time is to repoint/recheck abutment as necessary.

Dock Improvements- \$100,000- This project will provide for additional capacity for private boats and commercial boat tour traffic to dock in downtown Haverhill in a fully permitted and ADA-accessible facility to safely access the river from downtown. There is approximately \$130,000 in expiring state PARC (Self-Help) Grant funds that are helping to fund this project. Even with these funds, there is a funding gap of \$100,000 largely due to higher than anticipated federal permitting costs for the project.

Traffic Signal Fire Improvements- \$20,000- We need to replace a traffic signal at a crosswalk on South Main Street in front of Temple Emanu-El that was damaged by an unknown vehicle and has been non-functional. There was a man hit at his intersection while the light was not functioning. We have secured used equipment for free from MASS DOT from the Route 125 project. Additionally, we need to install a video camera and processor for Webster Street.

SCBA-Fire Department- \$79,000- The Federal Emergency Management Agency (FEMA) awarded an Assistance to Firefighters Grant to us for the purchase of 60 new Self Contained Breathing Apparatus (SCBA), a new compressor and fill station to fill the SCBAs and 3 Rapid Intervention Team (RIT) packs. The Self Contained Breathing Apparatus contains compressed air. The SCBA protects the firefighter's respiratory tract and lungs and allows the firefighters to operate in an atmosphere that is immediately dangerous to life and health (IDLH atmosphere). These new state of the art units will provide the best protection available for the firefighter's respiratory tract protection. These units will be placed on all of the City of Haverhill Fire Department trucks. The grant is for \$319,584 with an additional share of \$79,896 from the City of Haverhill, totaling \$399,480.

Very truly yours,



James J. Fiorentini
Mayor

Haverhill Citizen Center Study

10 Welcome Street

Haverhill, MA

December 14, 2009

Prepared by

Woodman Associates Architects

Simpson Gumpertz & Heger

BLW Engineers

for

The City of Haverhill, MA



Table of Contents

Executive Summary
Building Envelope Report
Accessibility
Fire Protection
Plumbing
HVAC
Electrical
Cost Estimates
Building Code Review

**HAVERHILL CITIZEN CENTER
HAVERHILL, MASSACHUSETTS**

Executive Summary

- Built in 1975, the Haverhill Citizen's Center is a 3 story, steel frame building clad with glass-fiber-reinforced concrete (GFRC) panels and aluminum framed windows. The entire building envelop has deteriorated and jeopardizes the habitability of the building. The entire wall system needs to be removed totally and replaced. The reuse of the window system is still questionable. The mechanical and electrical systems (MEP+FP), in most cases have exceeded their life expectancy and are inefficient to operate.

The report describes the following items in detail along with general remedial solutions and their associated costs.

Building Enclosure

1. GFRC Panels

The exterior GFRC panels that enclose the building and protect it from the elements are so severely compromised that the replacement of the entire exterior skin is imperative.

- The panels are distorted and the joints have opened up to allow water and air to infiltrate the building.
- Temporary plywood sheets have replaced numerous GFRC panels.
- Water infiltration has caused the steel-stud tracks that support the panels to corrode.
 - The steel stud framing system requires reinforcing.
- The GFRC panels lack the proper flashing to protect the building from water infiltration.
- Joints between the panels have opened up and allow water to infiltrate the building. The joints are so deformed that recaulking them is not an option.

2. Insulation

- The existing fiberglass insulation has been compromised and does not meet the current energy code.

3. Windows

- The windows are not flashed properly and do not appear to have sufficient attachment to the building.
- Several windows require window sealant strips to be reset.
- The windows can be reinforced as required during the reworking of the new exterior wall system.
- The current window system appears to be marginally adequate. A new, energy efficient window wall would cost in the order of \$350,000 to install. While it would reduce operating costs the installation of new windows would exceed the funds available at this time.

◦

4. Roofing

- The roofing on the building is in serviceable condition and needs only minor repairs.

5. Skylight

- The skylight on the building is energy inefficient and structurally sagging.

Handicap Accessibility

Much of the building is already accessible but there are some areas that do not meet the current code.

The areas of deficiency required by code to be corrected are:

- The entry court and the vestibule slope do not meet code and inhibit wheelchair access.
- Some of the doors lack accessible hardware.
- There is lack of maneuvering space at some doors.
- The building lacks accessible bathrooms.
- The asphalt paving at the base of the ramp leading from the parking lot has deteriorated and settled and inhibits wheelchair access.

- o The height of the drinking fountains does not meet the current code.

Fire Protection

The building is equipped with a limited fire protection system. A sprinkler system will be required when the envelope of the building undergoes renovation.

Plumbing

The plumbing system is in generally acceptable condition. The lavatories do not meet the current water conservation requirements and there are no anti-scald devices at the hot water fixtures.

Heating, Ventilating, and Air Conditioning

The building uses natural gas for heating and electricity for air conditioning. In general, the mechanical equipment is original construction, installed in 1975, and has exceeded its anticipated life expectancy.

- o At the time of the survey, there was a leak in a boiler valve causing excess energy usage.
- o The room temperature controls are antiquated and do not provide adequate temperature control.

Electrical

- o The electrical panelboards appear to be original equipment. They have exceeded their life expectancy.
- o The emergency generator is not operational.
- o The exit lights and emergency lighting are in marginal condition and will have to be brought up to code.
- o Many of the lighting fixtures have exceeded their life expectancy and do not have sensor controls which would increase their efficiency.
- o The receptacles in the window walls are at the floor and are susceptible to becoming wet from the leaking window and wall system.
- o The fire alarm system is functional but antiquated and outlived its life expectancy. If the sprinkler system is brought up to code the fire alarm system will also need to be modified.

Code Analysis

The Chapter 34 Building Code Review affects Accessibility modifications, the envelope reconstruction, and the sprinkler system mentioned throughout the report and in this summary.

Cost Summary

Haverhill Citizen Center Woodman Associates Architects Simpson Gumpertz & Heger BLW Engineers Component		Repair/Replacement costs		
		Priority	Cost	Cost of Imperative Work
Totals-All Work 2010				
Enclosure		Imperative ¹	\$363,975	\$363,975
Accessibility		Imperative ²	\$46,150	\$46,150
HVAC, Conventional		Immediate	\$657,792	
HVAC, Geothermal		Immediate		
Electrical		Immediate	\$440,634	(Incl. in enclosure estimate)
	Exit Signs	Imperative ²	\$7,500	\$7,500
	Fire Alarm Upgrades	Imperative ²	\$15,000	\$15,000
Plumbing		Immediate	\$107,500	
Fire Protection		Imperative ²	\$137,040	\$137,040
SUBTOTALS			\$1,775,591	\$569,665
Soft Cost Allowance @ 15%		0.15	\$266,339	\$85,450
PROJECT TOTAL			\$2,041,930	\$655,114

¹ Imperative- work that needs to be done as soon as possible to prevent further deterioration

² Work required by the Massachusetts Building Code

Action Required

It cannot be stressed enough that the building is compromised because of the condition of the building skin which includes the GFRC panels, the window system and the skylight. They are structurally unsound and leak water and air. Panels have already failed. The skylight is sagging and is energy inefficient.

There are various options that could be explored further in replacing the building skin.

1. Consider replacing the existing windows with new windows. This would increase the energy efficiency of the building.
2. Consider replacing some of the existing windows with steel studs and EIFS. This would increase the energy efficiency of the building.

The condition of the rusted steel studs and the soundness of the window attachments are variables. Until they are exposed by demolition it is difficult to determine with certainty the amount of work required to repair and reinstall. A prudent method of investigation would be to test these recommendations on a sample of the exterior skin that incorporates all of the different elements.

Given the limitation of funds, it is imperative that the building envelope be replaced with whatever funds are available. This component of the work can be done independently of the other systems that also need to be upgraded. If that work is not accomplished as soon as possible, the City of Haverhill stands the impending risk of not being able to occupy the building and ultimately of losing the building to even more rapid deterioration.

In addition to securing a major city asset, the replacement the entire envelope of the building alone will significantly reduce the costs of both operating and maintaining the building.

28 October 2009

SIMPSON GUMPERTZ & HEGER



Engineering of Structures
and Building Enclosures

Mr. Jonathan Woodman
Woodman Associates Architects
20 Inn Street
Newburyport, MA 01950

Project 090726 – Building Envelope Consulting, Haverhill Citizen Center, Haverhill, MA

Dear Mr. Woodman:

As you requested, we visited the Haverhill Citizen Center to review the condition of the building envelope. During our site visit, we made visual observations from the ground, the roofs, and accessible areas inside the building. The following discusses our observations, summarizes our findings, and provides general recommendations for remedial repairs to the building envelope.

1. INTRODUCTION

1.1 Background Information

Built in 1975, the Haverhill Citizen Center is a three-story steel-framed building clad with glass-fiber-reinforced concrete (GFRC) panels and aluminum-framed windows (Photos 1 and 2). The building has a low-sloped roof that is covered with a single-ply adhered EPDM membrane system. In the center of the roof, a sloped skylight is located above a two-story interior space (Photo 3).

1.2 Review of Existing Drawings

We received existing architectural, structural, mechanical, electrical, and plumbing drawings dated 1 August 1975 by Edward J. Tedesco Associates, Inc. We focused our review on the architectural drawings, which show the following pertinent information:

- The exterior wall system is designed using the following materials from exterior to interior:
 - 1 in. thick plaster (stucco) with applied aggregate finish on self-furring galv. metal lath
 - 1/2 in. plywood sheathing
 - 4 in. 20 ga steel studs at 16 in. o.c.
 - 4 in. fiberglass batt insulation with interior vapor barrier
 - 1/2 in. gypsum wall board with veneer plaster

- The roof system is designed using the following materials from top to bottom:
 - Gravel
 - Built-up roofing
 - 2 in. rigid insulation
 - 1-1/2 in. deep metal deck

- One-half-inch-wide zinc control joints are shown vertically between stucco panels with felt backing strips behind the panel joint. Zinc control joints are also shown horizontally between stucco panels.
- At the second- and third-floor levels, aluminum windows are supported by wood blocking bearing on the concrete floor slabs. Zinc flashing extends up from the steel studs beneath the slab, across the face of the slab then horizontally beneath the blocking toward the interior, where it turns up approximately 1 in.
- At the exterior window perimeters, a bead of surface-applied sealant is shown between the window frame and the stucco panel.

2. FIELD OBSERVATIONS

On 13 October 2009, Jeffry J. Ceruti and Joshua Kelly visited the Haverhill Citizen Center to observe and note any obvious defects or deterioration in the building envelope. At our direction, a City worker removed interior finishes to expose concealed wall construction. The following summarizes our observations.

2.1 Interior Observations

We made the following observations from the interior.

- On all floor levels, we observed damage to interior finishes as evidenced by water staining on ceiling tiles, deteriorated gypsum wallboard and peeling paint (Photos 4 and 5).
- On the floor slab of Levels Two and Three at the east elevation, we observed evidence of water intrusion as evidenced by stains and damage to the rugs.
- On the floor slab of Level Three at the west elevation, we observed evidence of water intrusion as evidenced by missing and damaged composite floor tile.
- At the east elevation windows on Level Three, we observed evidence of water infiltration and deterioration of window gaskets and sealants (Photo 6).
- At the windows on Level Three of the east elevation, we observed screws installed through the interior glazing stops (Photo 7).

2.2 Exterior Observations

We made the following observations from the exterior:

- On all building elevations, we observed 3/4 in. thick glass-fiber-reinforced cement (GFRC) panels installed as the exterior cladding. The GFRC panels are a variance from the original design documents, which show stucco applied over plywood sheathing.

- On all building elevations, we observed displaced GRFC panels with failed sealant joints. In several locations, the panels have moved in excess of 1 in. (Photo 8).
- On all building elevations, we observed curved and distorted GRFC panels with open joints (Photo 9).
- Where sealant between GRFC panels exists, it is cracked, crazed, and hardened (Photo 10).
- At several locations, we observed plywood sheathing installed in place of GFRC panels (Photos 11 and 12).
- At several locations, we observed exposed fasteners installed through GFRC panels as supplemental attachment of the panels (Photo 13).
- At ground-floor level on the south elevation, we observed broken spandrel glass on the west end of the projecting bay (Photo 14).
- At the base of the west elevation, we observed a broken corner of a GFRC panel exposing corroded steel framing behind the panel (Photo 15).
- At the roof level, we observed numerous areas of ponded water (Photo 16). At the south side of the skylight, significant ponded water exists (Photo 17). We did not identify a drainage cricket on this upslope side of the skylight.
- We observed a puncture in the roof membrane near the southwest corner (Photo 18).
- The EPDM roof membrane has supplemental strip flashing over most field seams. The mastic at the strip flashing has failed at several locations, but we did not find any debonding flashing or seams (Photo 19).
- We observed significant deflection of the skylight ridge member (Photo 20).
- At the roof skylight mullions, we observed failed, deteriorated, and missing sealants (Photo 21).

2.3 Sample Wall Openings

With the assistance of a City worker, we removed interior finishes at several locations as follows:

Interior Wall Opening 1 (IWO-1), North Elevation of Northwest Stair at Level Two

At the base of the interior wall, we removed plaster coated gypsum wall board above the foundation wall. We observed the following at this opening:

- The exterior wall system consists of the GFRC panel, 4 in. steel studs with shop primer, and fiberglass batt insulation with Kraft paper facer applied between studs. An

interior galvanized stud wall supports the exterior finishes at the stairwell. We did not observe sheathing behind the GFRC, or any waterproofing backup or flashings.

- The exterior steel-stud track and bottom of the steel studs are corroded (Photo 22). The exterior studs are 4 in. wide with inconsistent spacing measuring 12 in. to 14 in. o.c. Using a micrometer, we measured the stud thickness of approximately 0.060 in.
- No flashing with an upturned leg is present beneath the steel studs, as shown on the design drawings.
- The 3-1/2 in. thick, R-11 paper-faced batt insulation is installed vertically between steel studs and has black discoloration.
- Corroded steel clip angles are fastened to the GFRC panels with bolts, nut, and washers (Photo 23). Further up the cavity, the clip angles are not corroded or painted (Photo 24).
- In this wall opening, the steel clip angles are either not attached to studs or are attached in a varying manner, as follows:
 - At two locations, the steel clip angles are not fastened to the studs (Photos 23, 24).
 - At one location, the steel clip angle is fastened using a bolt with nut and washers (Photo 25)
 - At one location, the steel clip angle is fastened with two self-drilling sheet metal screws (Photo 26).
- Plastic shims are placed between the outside face of the studs and the back of the GRFC panels. The shims are displaced and loose in several locations.

Interior Wall Opening 2 (IWO-2), North Elevation of Northwest Stair at Level Three

At the base of the interior wall, we removed plaster-coated gypsum wallboard above the stair landing. The wall construction is the same as in IWO-1. We observed the following at this opening:

- Corrosion of the steel-stud track, the bottom of the steel studs, and steel clip angles (Photos 27 and 28). Using a micrometer, we measured the metal thickness as approximately 0.060 in.
- No flashing with upturned leg is installed beneath the steel studs, as shown on the design drawings.
- Within this opening, the orientation of the clip angles varies from horizontally placed to vertically placed (Photo 27).
- Similar to IWO-1, attachment of the steel clip angles varies within this opening. It is either not attached to the stud or attached using a self-drilling sheet metal screw (Photo 29). Clips at the base of the wall are turned vertically to bear on the stud track,

but the slotted hole in the clip can allow vertical movement; we could move some of these clips by hand.

- The 3-1/2 in. thick, R-11 paper-faced batt insulation is installed vertically between steel studs, and has black discoloration (Photo 30).
- Plastic shims are placed between the outside face of the studs and the back of the GRFC panels. The shims are displaced and loose in several locations.

Interior Wall Opening 3 (IWO-3), North Elevation of the Southeast Stair at Level Three

At the base of the interior wall, we removed plaster-coated gypsum wallboard above the stair landing. On the exterior, plywood is installed over the GRFC panel. We observed the following at this opening:

- Multiple layers of damaged gypsum board were located within the wall cavity, with water stains and evidence of microbial growth.
- Leaves, dirt, debris, and construction materials were present within the wall cavity.
- Corroded steel-stud track, steel studs, and steel clip angles at the exterior wall assembly and corroded steel studs at the interior (furred) wall assembly (Photos 31 and 32).
- The 3-1/2 in. thick, R-11 paper-faced batt insulation is installed vertically between steel studs, and has black discoloration.
- Plastic shims are placed between the outside face of the studs and the back of the GRFC panels. The shims are displaced and loose in several locations.
- We did not see damage of the GRFC panel within our sample opening.

Interior Wall Opening 4 (IWO-4), North Elevation of Level One

We removed plaster-coated gypsum wallboard between the window sill and the slab-on-grade. We observed the following at this opening:

- Four-inch steel studs installed at 12 in. o.c. with R-11 batt insulation. Using a micrometer, we measured the metal thickness as approximately 0.060 in.
- Steel clip angles anchored to the GRFC panels with bolts, nuts, and washers. In general, the steel studs, clip angles, and fasteners have very little corrosion at this area.
- All clip angles at this opening are secured to a steel stud using self-drilling sheet metal screws (Photo 33). Plastic shims are installed between the GRFC panel and the steel studs.

We removed a GFRC anchor bolt at this location to identify the method of attachment to the panel. A threaded insert is cast within the GFRC panel (Photo 34). Before inserting the bolt into the insert, two washers and a nut are applied to the bolt, possibly for out-of-plane alignment.

Interior Wall Opening 5 (IWO-5), South Elevation of Level Three at Window Head

We removed ceiling tiles above the window head at Level Three on the south elevation. We observed the following at this location:

- Above the window head, wood blocking extends horizontally beneath the steel-stud track of the spandrel panel. The wood blocking is secured to the bottom track of the stud wall with screws installed at 12 in. o.c. On the interior, screws are installed horizontally through the window head into a metal trim piece that covers the blocking; however, these screws are too short to adequately engage the blocking, resulting in little anchorage of the window head at this location. We could easily move the top of the window inward and outward approximately 1/2 in.
- Above the window head, the stud wall is laterally braced to a structural steel wide-flange beam using 4 in. steel studs installed horizontally at 36 in. o.c. At the spandrel panel studs, the horizontal brace is fastened with two or three sheet metal screws (Photo 35). At the steel wide-flange beam, the horizontal brace is notched and folded to form a right angle then fastened to the beam's web with two powder-actuated fasteners (Photo 36).
- We also reviewed the window sill condition, and found that two screws anchor each window unit to a heavy Z-shape and wood blocking below. The screws are approximately 6 in. from the vertical window mullions. We did not find any direct attachment of the window mullions to the structure.

3. CONCLUSIONS

- The GFRC exterior walls panels used on this building provide a single-layer "barrier" wall system that lacks a backup waterproofing system for weather protection. To the extent that the panels crack or joints between panels open, water can infiltrate the system and cause damage to interior finishes and support members.
- GFRC is prone to significant cyclical thermal and moisture movements, which, on panels of this size, often results in bowing and/or cracking of the panels. Some panels on this building are bowed significantly, providing large openings for water entry and air infiltration/exfiltration. In addition, sealant between panels has hardened and split in most locations, leaving the panel joints open. We found damaged interior finishes and moderate corrosion of steel-stud framing that likely resulted from water leakage through the panels.
- The attachment of the GFRC panels to the backup stud wall is highly variable. Steel clips are mounted to the panels, but the attachment of these clips to the stud walls is missing in many areas we reviewed. We did not find any pattern to the location or omission of attachment screws within our sample openings; therefore, we can not

determine whether the attachments are adequate to resist lateral wind load without significant demolition. Further, many attachments lack positive support for the panel weight due to slotted connections; some panels appear to have slipped downward as a result.

- The steel-stud backup wall consists of shop-primed 16 ga members with a typical spacing of 12 in. o.c., though we saw some variability in the spacing. In some areas, the bottom track and the bottom of studs are corroded with moderate section loss.
- The connection of the stud wall to the structure appears marginal. Although we found small anchors attaching tracks to the concrete slabs, the connection of the wall to the spandrel beams consists of two screws every 3 ft o.c. Further investigation and analysis of the stud-wall framing is needed to determine if supplemental attachment is required.
- The typical windows are set on the slab and extend 9 ft high. In the one area we reviewed, the window head is not adequately connected to the steel-stud framing and can be moved inward and outward with little effort. Further review of the window anchorage, the capacity of the window mullions to span 9 ft, and the capacity of the stud wall to deliver wind loads acting on the windows to the structure is needed.
- The windows lack integral sill and head flashing, and rely on surface-applied sealants for protection against leakage. Failure of the exposed sealant can result in a direct leakage path, and leakage through the GFRC panel system can leak into the window heads. Further, openings in the window glazing seals and gaskets can allow leakage through the window sill that bypasses the perimeter sealant joint.
- In addition to lacking a suitable barrier to protect against water infiltration, the exterior wall system lacks a suitable vapor retarder and air barrier. The Kraft paper facer on the interior side of the fiberglass insulation may not be a suitable vapor retarder in this climate. More importantly, the numerous gaps in the insulation and the large gaps and open joints between GFRC panels provide a direct path for air infiltration/exfiltration, which can negate the effectiveness of the thermal insulation. The black staining on the fiberglass insulation is likely due to dirt accumulation from air flow through the insulation.
- The seams in the single-ply 60 mil EPDM synthetic rubber roofing membrane have all been stripped over with additional flashing, indicating previous roof leakage problems. Currently, the roofing system itself appears to be in reasonable condition except for a puncture and some ponding at the skylight; however, we have not made test cuts to review for signs of concealed damage. We understand that the roofing system is approximately 12 yrs old and that no current roof leaks are occurring in the building.

4. RECOMMENDATIONS

Our recommendations for repair work are summarized below. Any repair and replacement program should be performed using complete design documents. We recommend the following repairs to correct the building facade issues that we observed:

- Remove GFRC panels and sealants, batt insulation, and miscellaneous plywood or blocking.
- Remove and replace any corroded steel framing with significant section loss. Tracks can be replaced by shoring the stud wall, replacing the track, and “sistering” in new studs. Areas with light corrosion can be scraped and painted in place.
- Verify that the existing steel framing, connections, and fasteners are suitable for the new exterior wall assembly. Repair existing components and install additional or new components or connections as required to satisfy the engineer's requirements under the new design.
- Provide a new drainable exterior insulation and finish system (EIFS) over sheathing with backup waterproofing, drainage board, and flashing integrated into the surrounding wall construction.
- Remove existing windows, install new metal sill flashings with end dams and perimeter sealants with backer rod and weep holes, and reinstall existing windows. At window perimeters, add panning as required to accommodate the new EIFS wall system.
- At the roof level, remove and replace roof edge flashings as required to accommodate the new EIFS wall system.

Further review is needed to determine if the existing window framing and connections are suitable for lateral and dead load requirements. New connections may be required to satisfy the engineer's requirements under the new design. Additional review of the window systems is also needed to determine their condition, including removal of glass stops, glazing, and sealants. Based on our limited observations, we recommend the following:

- Where window gaskets and sealants have failed, remove and replace with new materials.
- Where screws are installed through interior glazing stops, remove the screws and the stops to evaluate the condition of the frame, gaskets, and glazing, and repair as necessary.
- At all locations, review the condition of the existing wood blocking installed beneath the windows. Remove and replace damage and degraded blocking where required.

Although we have no indication that the roofing system has current problems, further review, including test cuts, is required to evaluate the condition of the roof assembly and estimate the remaining service life. If repairs are deemed necessary after this further review, we recommend the following repairs:

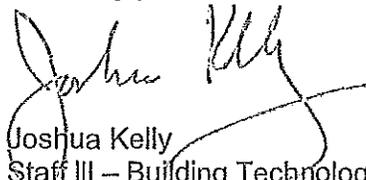
- Provide a cricket on the south side of the skylight to promote proper pitch to drains.
- Open roof areas where ponding exists and correct the insulation pitch to promote positive roof slope toward roof drains.



- At laps and seams, reapply mastic where existing lap sealant has degraded.

We shall be glad to assist you further by providing design documents suitable for bidding, if you so desire. We await your direction.

Sincerely yours,



Joshua Kelly
Staff III – Building Technology

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Jeffrey J. Ceruti
Principal

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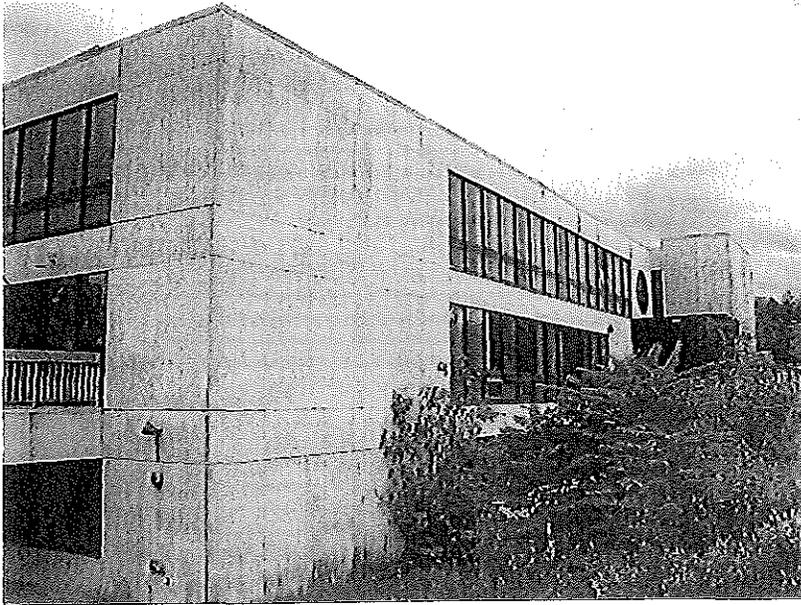


Photo 1

North building elevation facing west.



Photo 2

West building elevation.

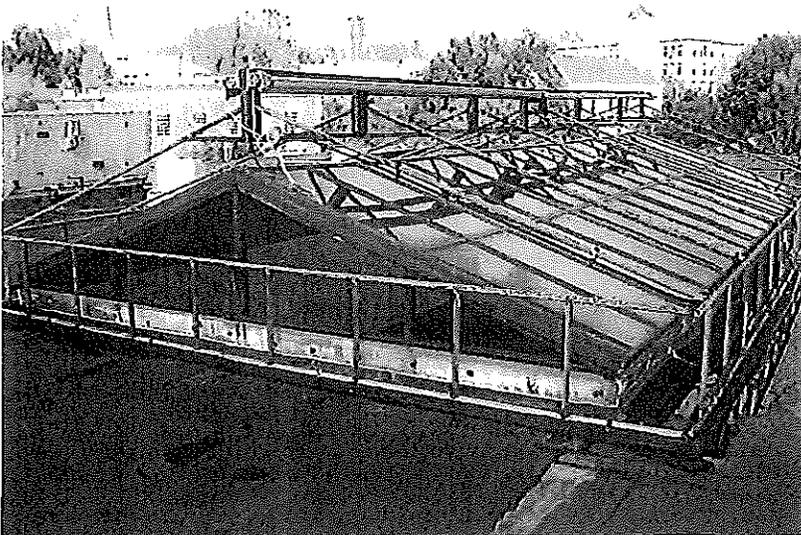


Photo 3

Sloped skylight on the roof facing east.



Photo 4

Water stains and damage to interior finishes.



Photo 5

Water stains and damage to interior finishes.

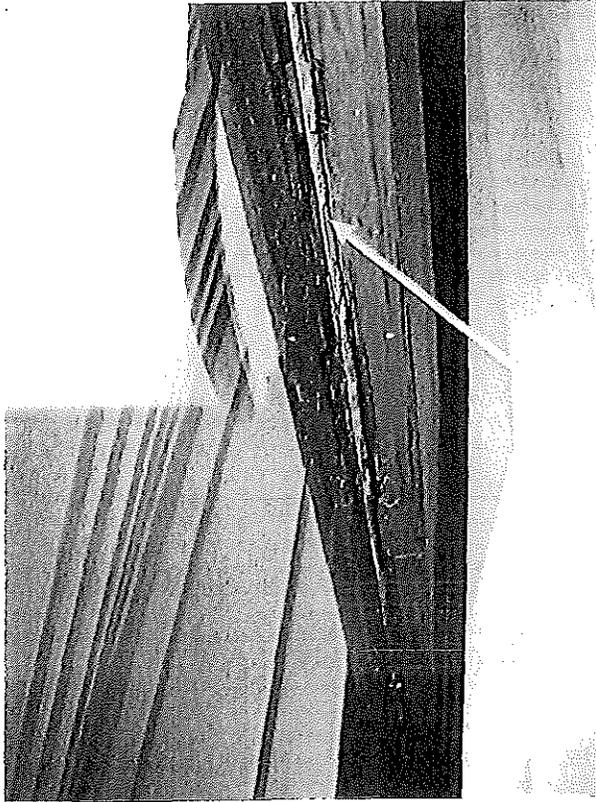


Photo 6

Deterioration of window gaskets and sealants.

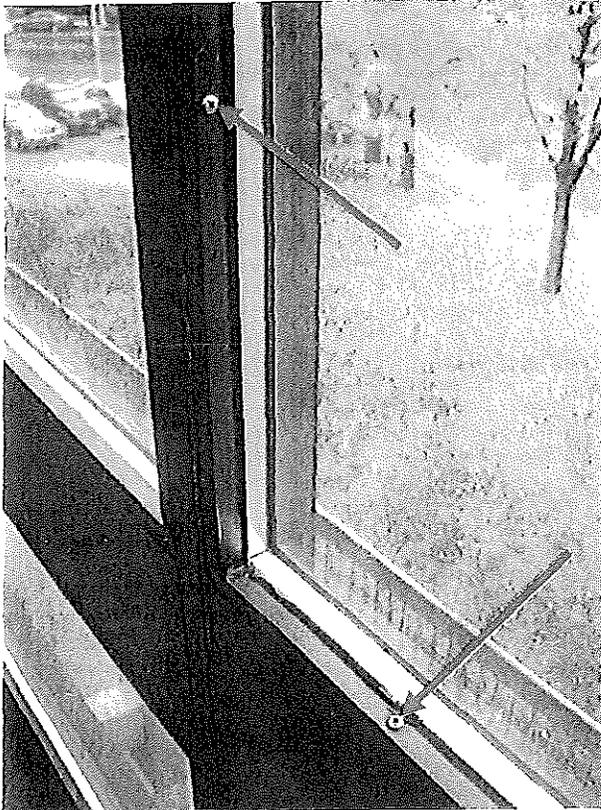


Photo 7

Screws installed through interior glazing stops.

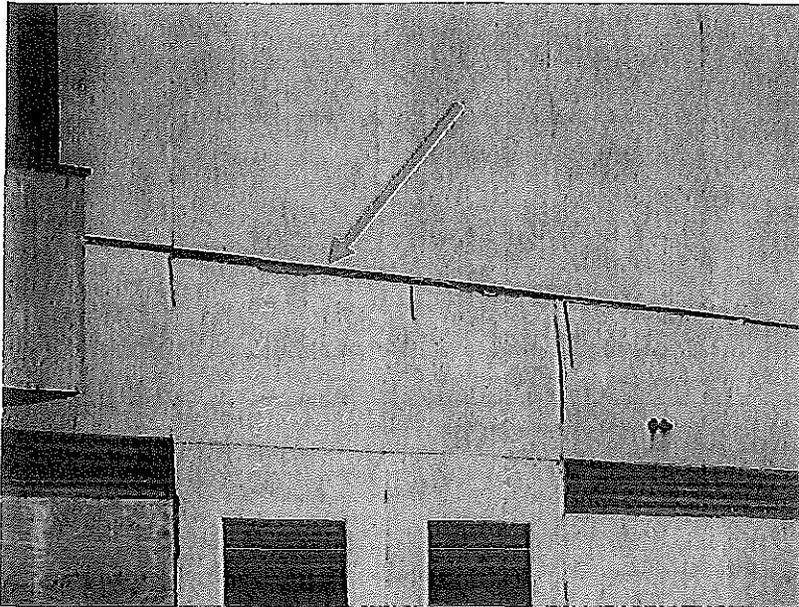


Photo 8

Displaced GFRC panels with failed sealant joints.

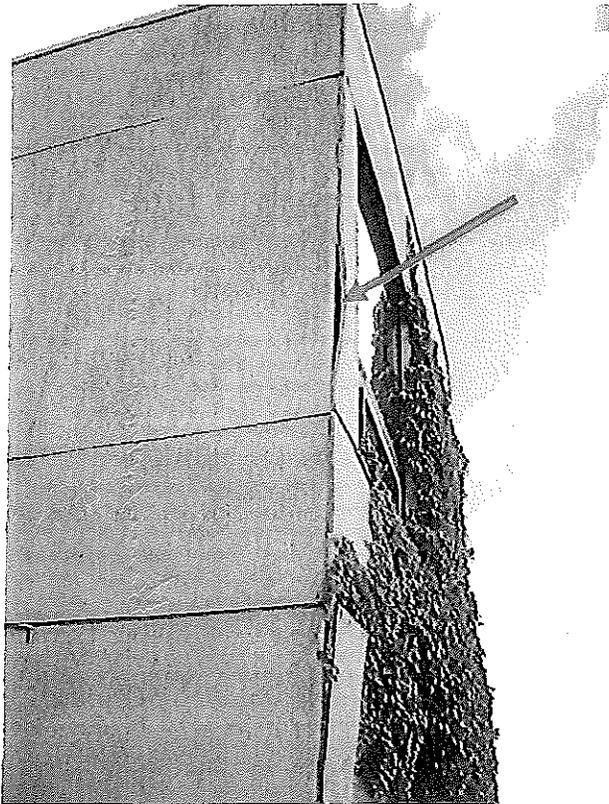


Photo 9

Curved and distorted GFRC panels with open joints.

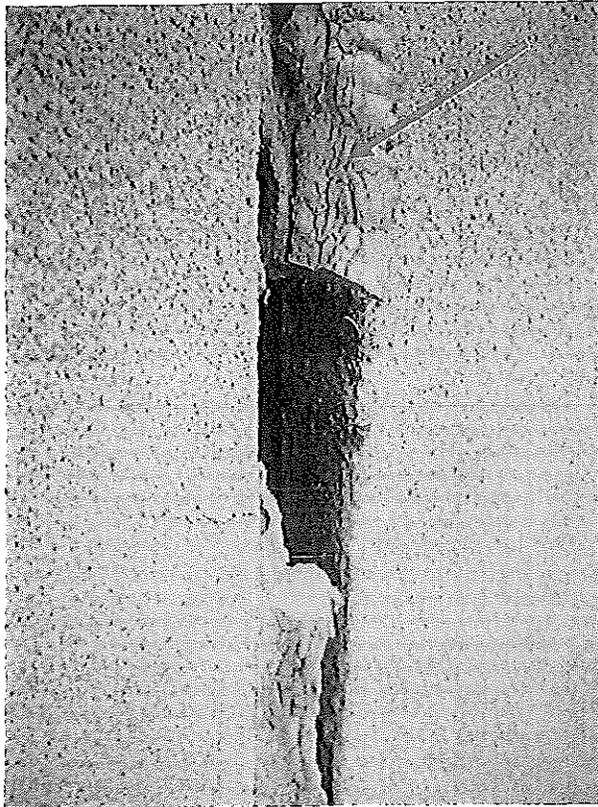


Photo 10

Cracked, crazed, and hardened sealant at GFRG panel joints.

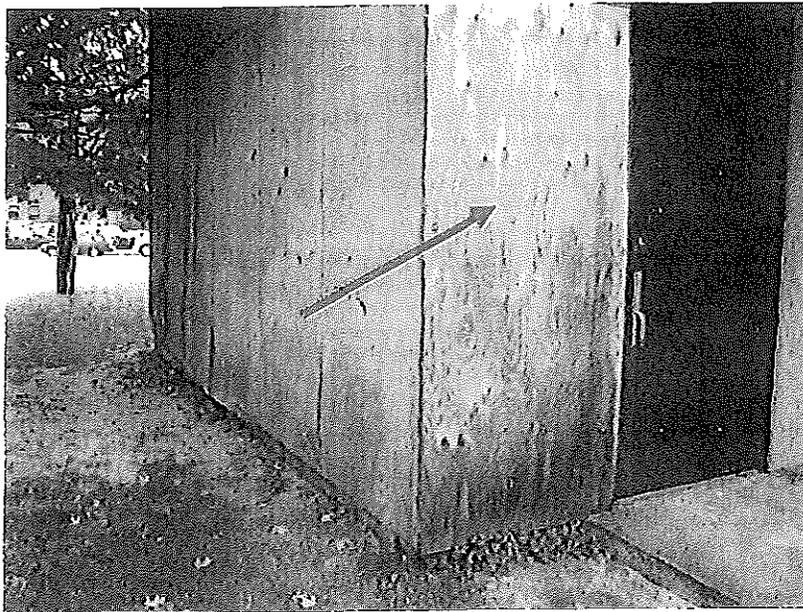


Photo 11

Plywood sheathing installed in lieu of GFRG panels.

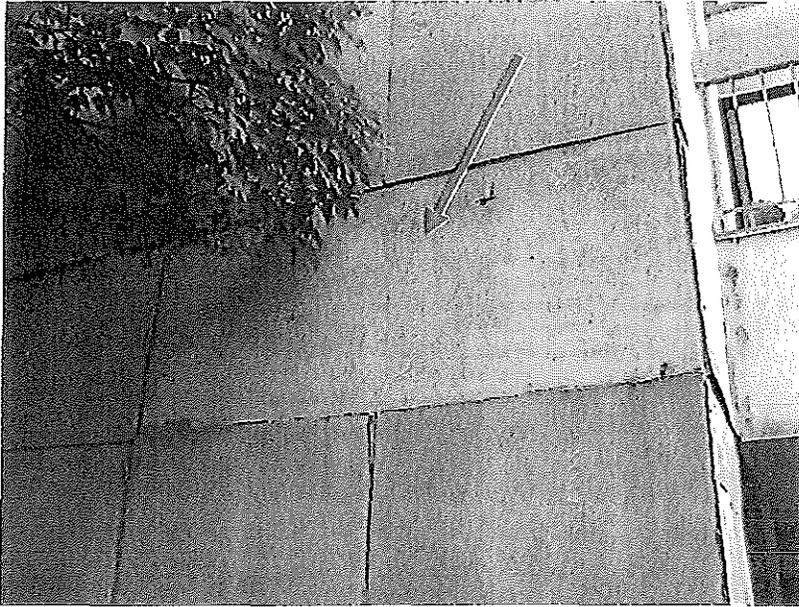


Photo 12

Plywood sheathing installed
in lieu of GFRC panels.



Photo 13

Exposed fasteners installed
through GFRC panels as
supplemental attachment of
the panels.



Photo 14

Broken spandrel glass in the projecting window bay on the south elevation.

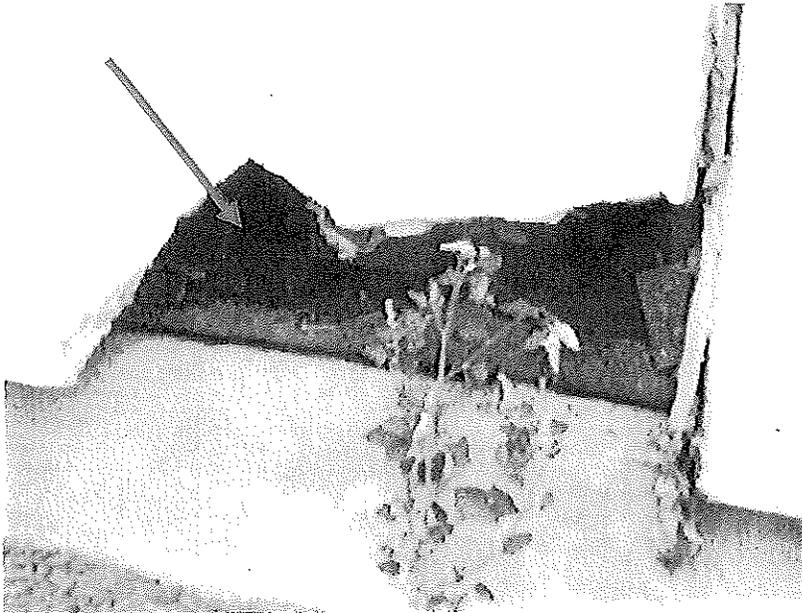


Photo 15

Broken corner of a GFRC panel exposing corroded steel framing behind the panel.

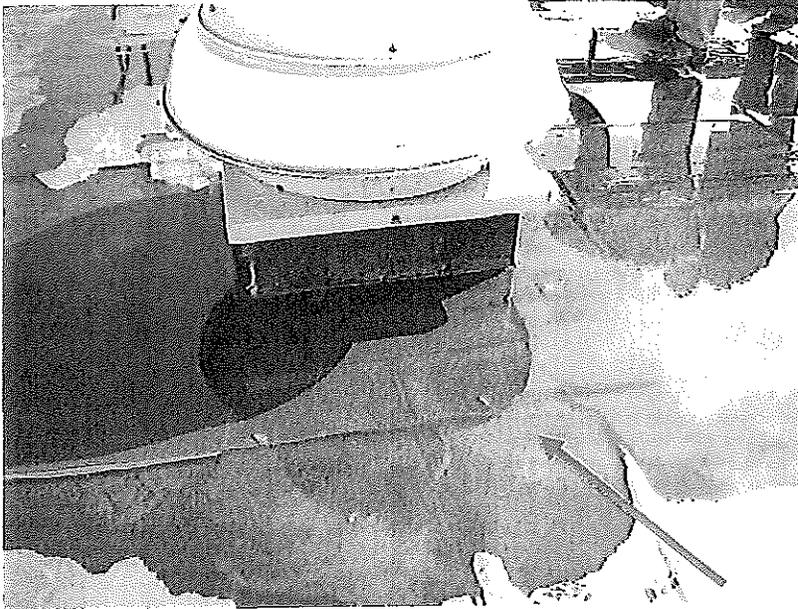


Photo 16

Areas of ponded water on the roof membrane.

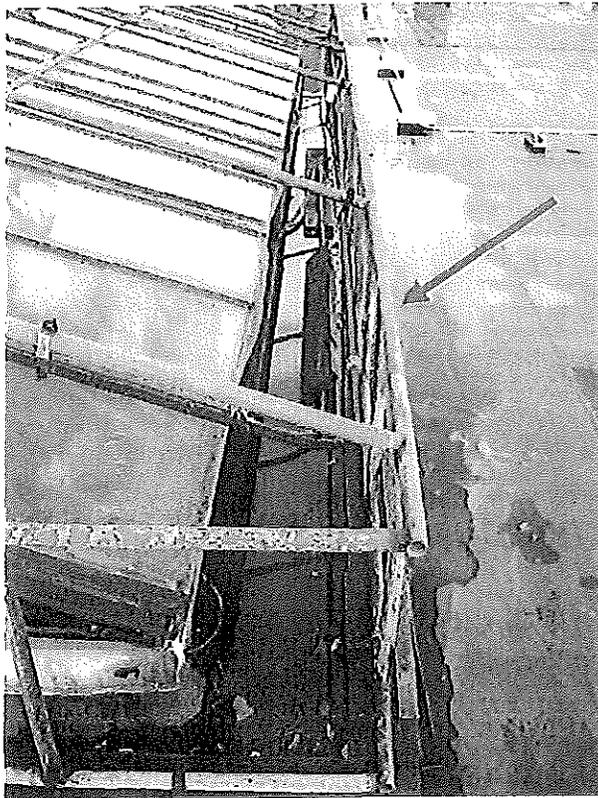


Photo 17

Significant ponded water at the south elevation of the skylight.

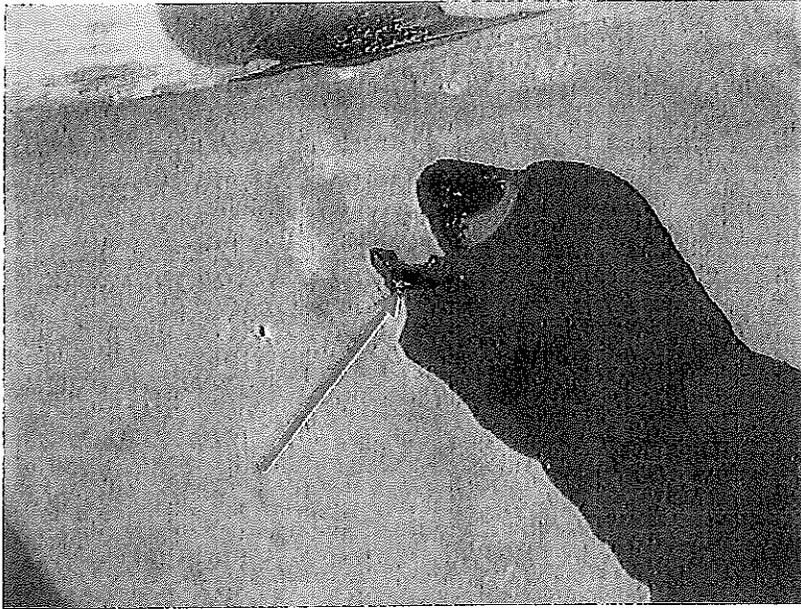


Photo 18

A puncture in the roof membrane.

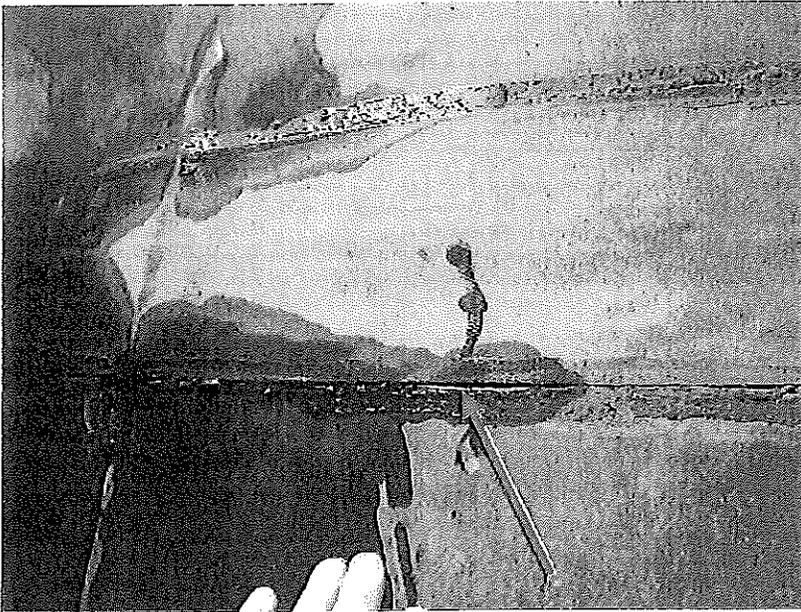


Photo 19

Failed mastic at roof membrane strip-flashings .

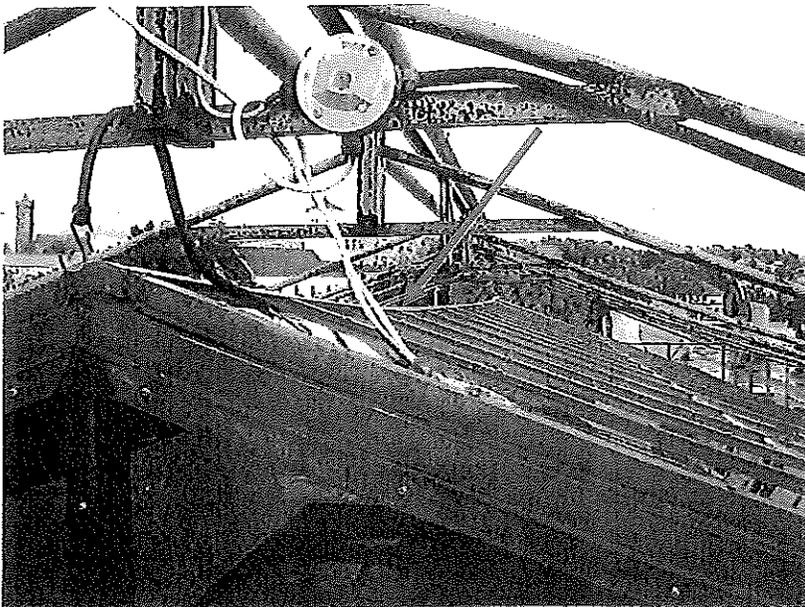


Photo 20

Significant deflection of the skylight ridge member.

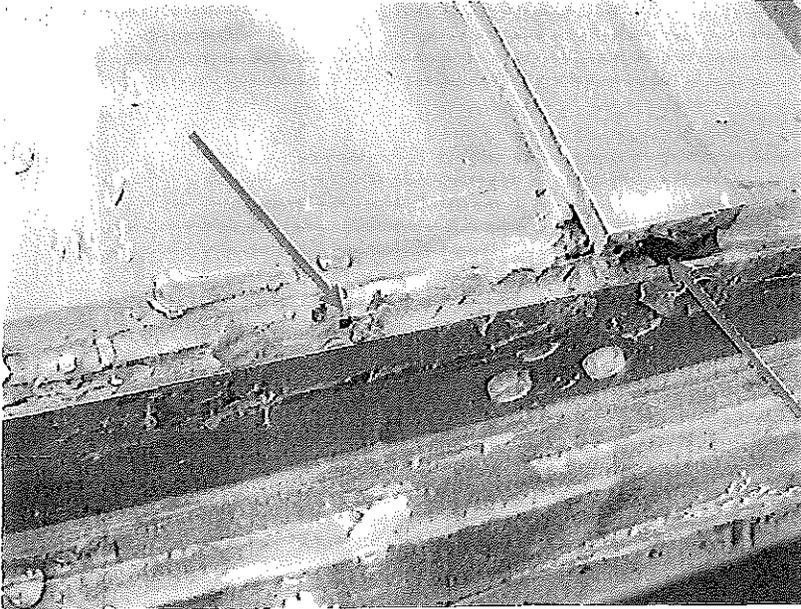


Photo 21

Failed, deteriorated, and missing sealants on the skylight.

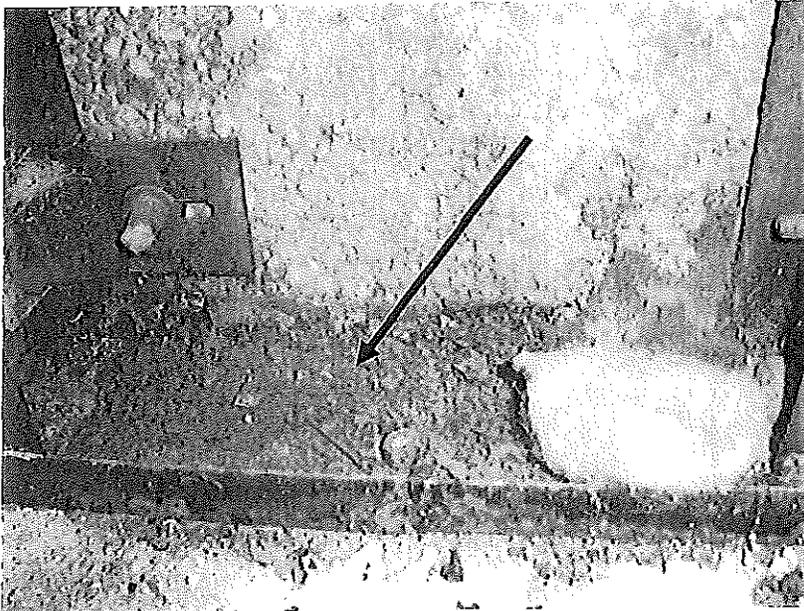


Photo 22

Corroded steel clip angle, stud track, and bottom of steel studs.



Photo 23

Corroded steel clip angle, fasteners, stud track, and bottom of steel studs. The clip angle is oriented horizontal.

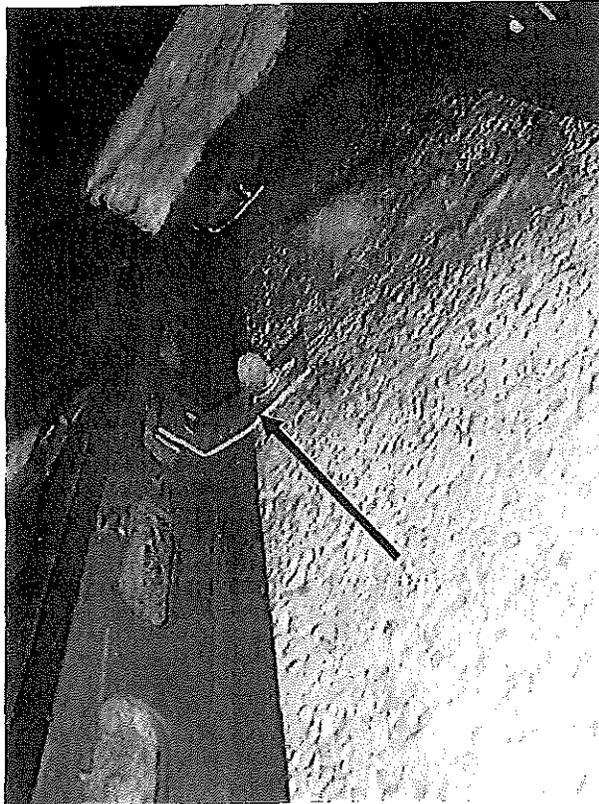


Photo 24

Steel clip angle and bolts within the cavity without corrosion.

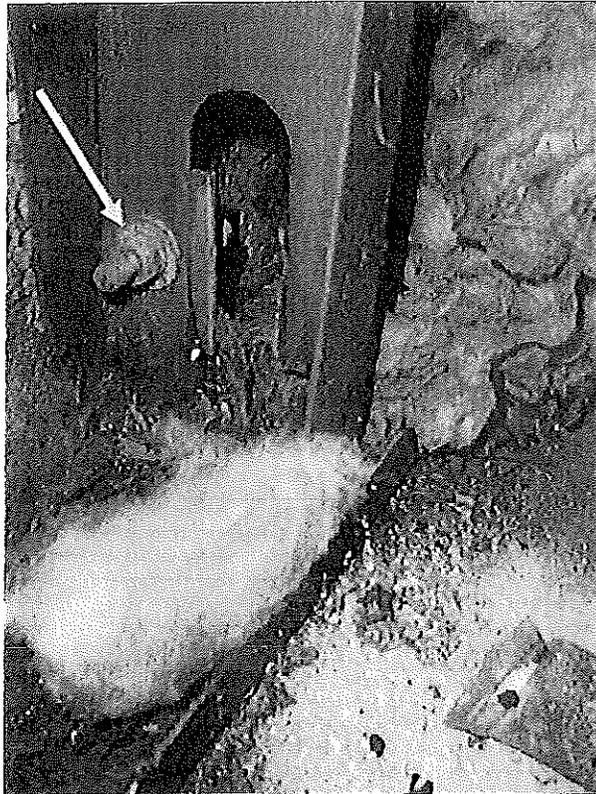


Photo 25

Attachment of clip angle to steel stud using a bolt, nut, and washer.

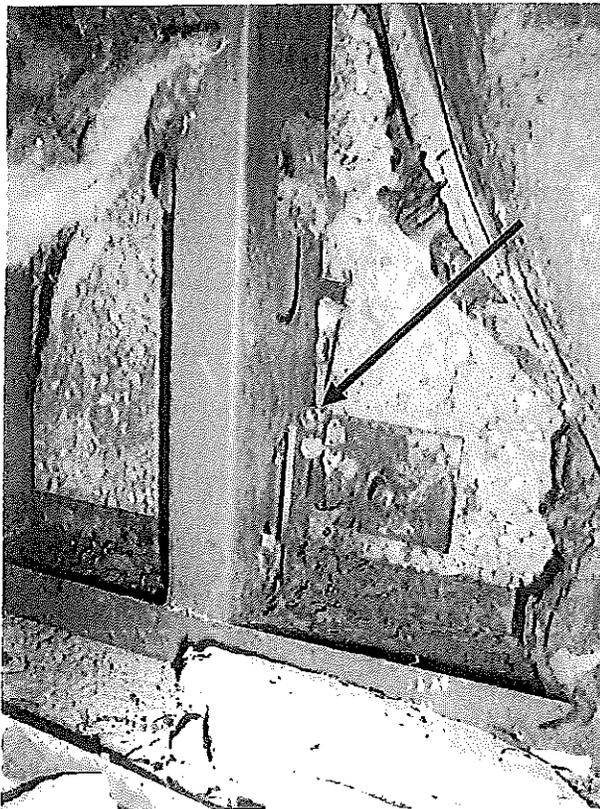


Photo 26

Attachment of clip angle to steel stud using three self-drilling sheet metal screws. The clip angle is oriented horizontal, and plastic shims are installed between the steel studs and the inside face of GFRP panels.

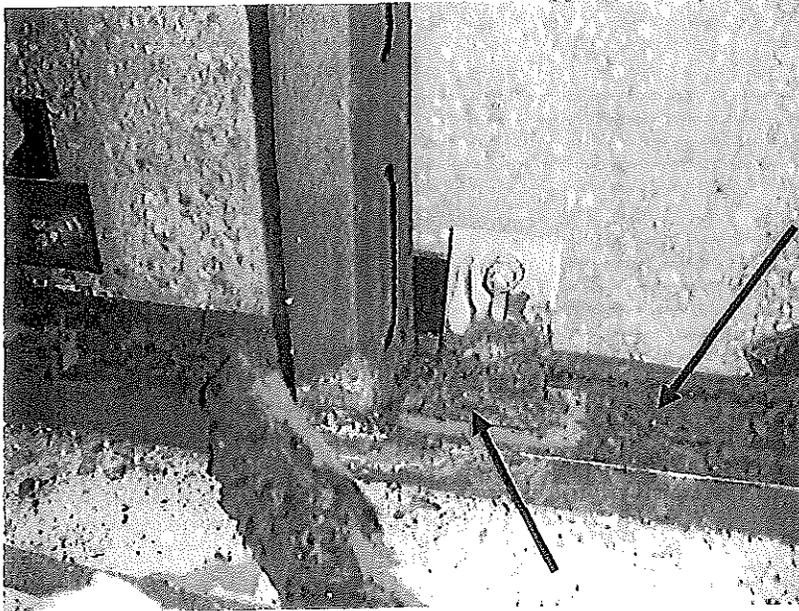


Photo 27

Corroded steel clip angle, stud track, and bottom of steel studs. The clip angle is oriented vertical, and plastic shims are installed between the steel studs and the inside face of GFRP panels.



Photo 28

Corroded steel clip angle, stud track, and bottom of steel studs. The clip angle is oriented vertical.

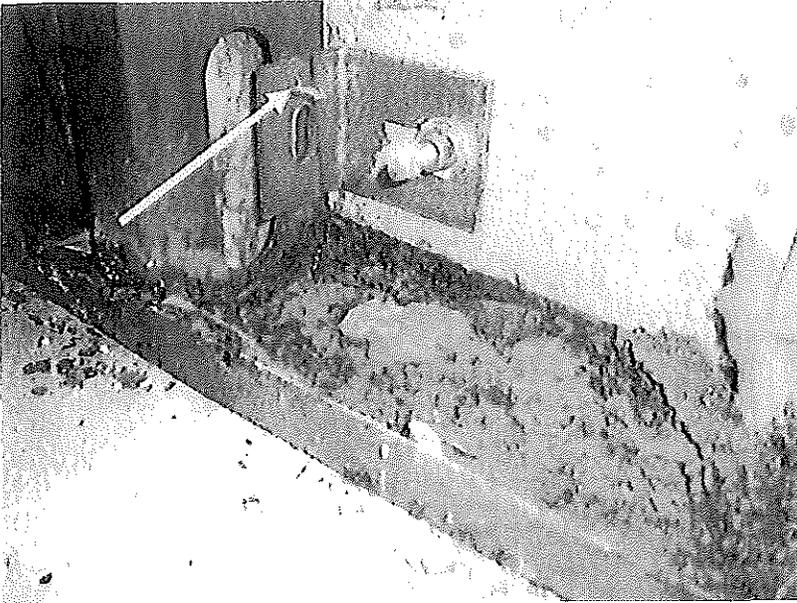


Photo 29

Corroded steel stud track and bottom of steel studs. Clip angle is oriented horizontal and fastened to the stud using a self-drilling sheet metal screw.

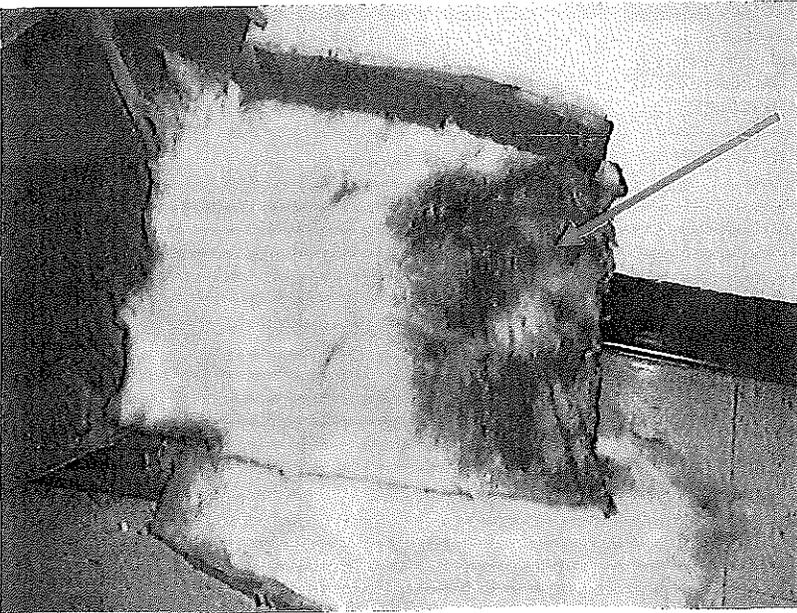


Photo 30

Black discoloration on the 3-1/2 in. thick R-11 paper-faced batt insulation.



Photo 31

Corroded steel stud track, clip angle, and bottom of steel studs at the exterior wall, and corroded steel studs at the interior wall.

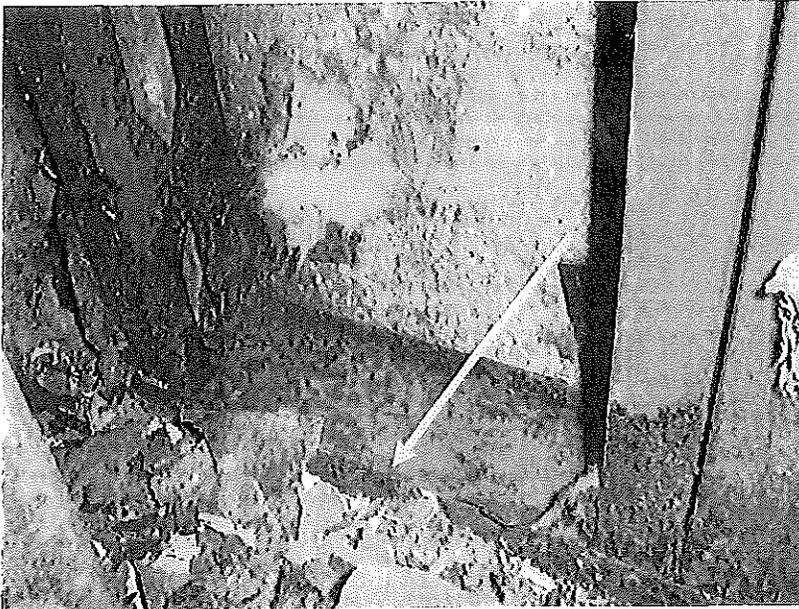


Photo 32

Corroded steel stud track, clip angle, and steel studs. The clip angle is oriented horizontal.

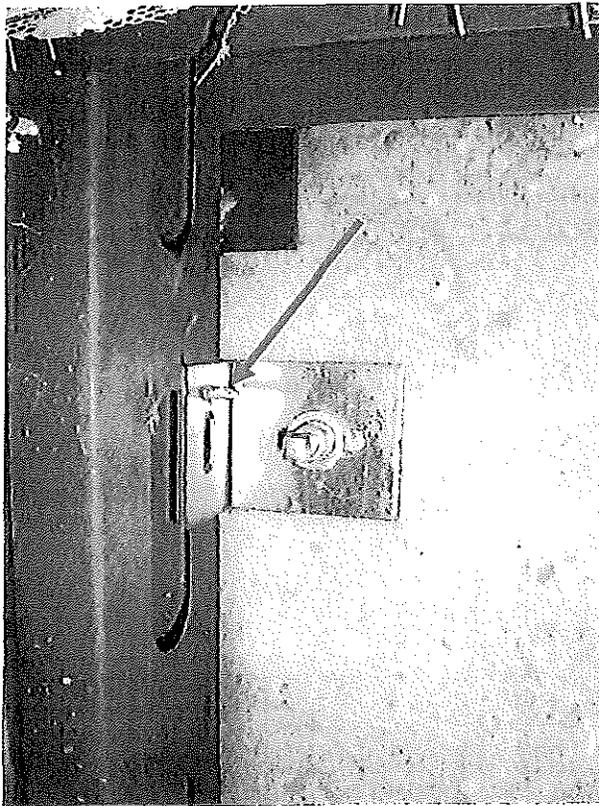


Photo 33

Steel clip angle secured to a steel stud using a self-drilling sheet metal screw. Plastic shims are placed between steel stud and inside face of the GFRP panel.

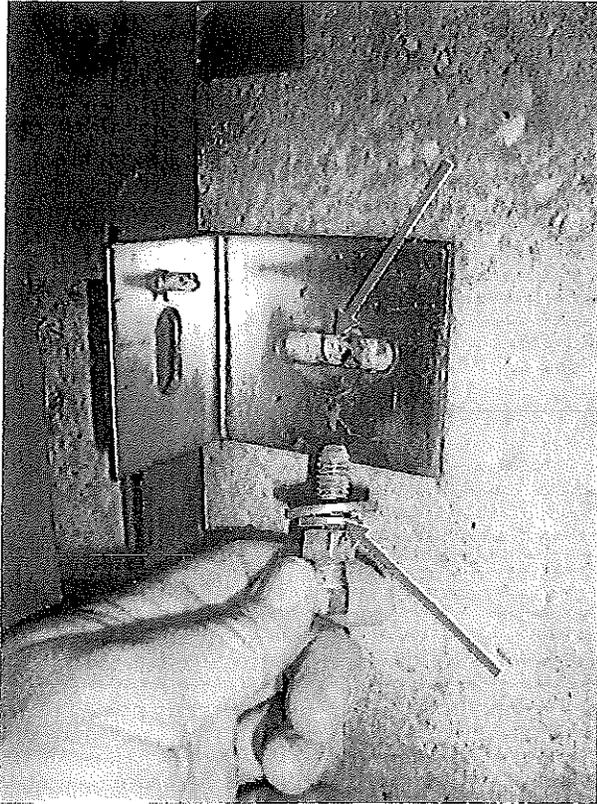


Photo 34

Anchor bolt with nut and washer used to secure the GFRP panel to the clip angle. The anchor bolt is inserted through the clip angle into an insert that is cast within the GFRP panel.

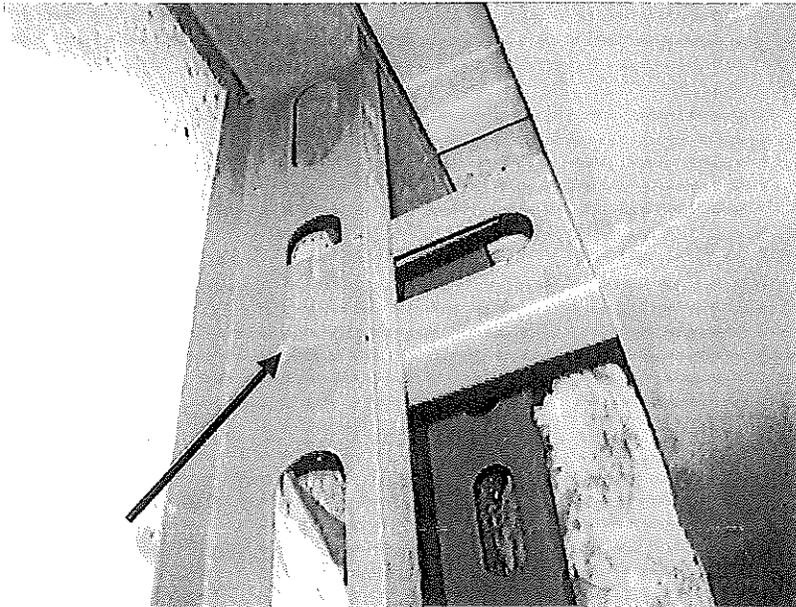


Photo 35

At the south elevation above the window head, the steel-stud backup wall is braced using a steel stud installed horizontally. The bracing is fastened to the stud wall using three sheet metal screws.

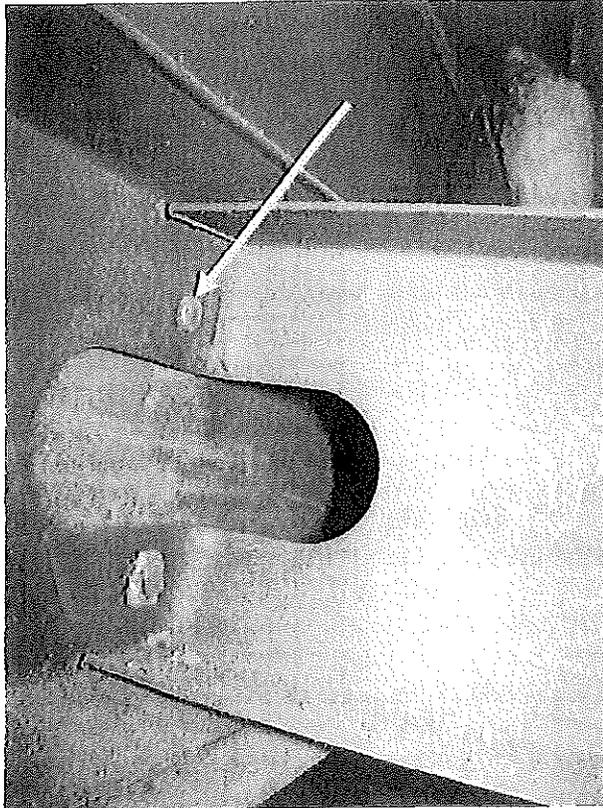


Photo 36

At the south elevation above the window head, the steel-stud backup wall is braced using a steel stud installed horizontally. The stud bracing is notched and folded then fastened to the side flange beam using two powder-actuated fasteners.

**HAVERHILL CITIZEN CENTER
HAVERHILL, MASSACHUSETTS**

EXISTING CONDITIONS

Accessibility

If the cost of the work done on the building exceeds 30% of the assessed value of the building it will have to be fully accessible according the Massachusetts Accessibility Code 521 CMR. Much of the building is already accessible but there are some areas that will have to be addressed.

The asphalt paving at the base of the ramp leading from the parking has deteriorated and settled and needs to be filled in. The concrete at the exterior of the entry doors slope up to the doors. This area will have to be made level in order to meet the maneuvering clearances specified in the code. This will require a short ramp to get up to the new level area. The vestibule is also not level and will have to be raised to be at the same level as the floor in the inside of the building. This should be done at the same time as the exterior concrete work. There will have to be some modifications made to the exterior vestibule doors in order to work at the new level.

There are some doors in the building that do not have accessible hardware, notably the ones from the lobby to the multipurpose room and from the lobby to the exit stair. This hardware will have to be replaced.

None of the toilet rooms meet the current code for accessibility. They can be modified to make them accessible but because of the amount of work involved it is probably more cost effective to build three unisex toilet rooms in the area of each of the existing toilet rooms. This would negate the need to alter all six of the existing toilet rooms.

Other than the doors to the existing toilet rooms there are 9 doors that do not have the required maneuvering clearances. Four of them can be made accessible by relocating the door, three by reversing the swing, one by modifying the adjacent wall and one by adding a power opener.

The three drinking fountains do not meet the current code because the spouts are higher than 36". They can possibly be reused if they can be lowered.

**HAVERHILL CITIZENS CENTER
COST ESTIMATE**

Component	Priority	Quantity	Unit	Unit Cost	Repair/Replacement costs			
					Immediate (2010)	Essential (2012)	Mid Range (2015)	Long Range (2020)
Enclosure								
Staging	Immediate	1	EA	\$ 35,000.00	\$ 35,000	\$ 36,750	\$ 38,588	\$ 44,669
Demo	Immediate	1	EA	\$ 45,000.00	\$ 45,000	\$ 47,250	\$ 49,613	\$ 57,431
Stud Repair	Immediate	1,380	SF	\$ 15.00	\$ 20,700	\$ 21,735	\$ 22,822	\$ 26,418
Glazing and Gasket Repair	Immediate	5,325	SF	\$ 5.00	\$ 26,625	\$ 27,956	\$ 29,354	\$ 33,980
Flashing/Panning at Window Sills	Immediate	643	LF	\$ 25.00	\$ 16,075	\$ 16,879	\$ 17,723	\$ 20,516
Skylight	Immediate	520	SF	\$ 30.00	\$ 15,600	\$ 16,380	\$ 17,199	\$ 19,910
Flashing at Skylight	Immediate	94	LF	\$ 25.00	\$ 2,350	\$ 2,468	\$ 2,591	\$ 2,999
Flashing at Roof	Immediate	513	LF	\$ 25.00	\$ 12,825	\$ 13,466	\$ 14,140	\$ 16,368
Densglas Sheathing	Immediate	9200	SF	\$ 2.00	\$ 18,400	\$ 19,320	\$ 20,286	\$ 23,483
EIFS w/2" rigid ins., Grooved bd. Troweled on air and vapor barrier	Immediate	9,200	SF	\$ 17.00	\$ 156,400	\$ 164,220	\$ 172,431	\$ 199,606
Electrical Misc.		1	EA	\$ 15,000	\$ 15,000			
SUBTOTALS					\$ 363,975.00	\$ 366,423.75	\$ 384,744.94	\$ 445,380.74
ANNUAL PROJECT SUBTOTAL					\$ 363,975.00	\$ -	\$ -	\$ -



Preliminary Energy Audit Report: Haverhill Citizens Center

Prepared for:
Merrimack Valley Planning Commission

October 21, 2010

Presented by
Ameresco, Inc.
111 Speen Street, Suite 410
Framingham, MA 01701

T: (508) 661.2200
F: (508) 661.2201

This Preliminary Audit contains data and information that has been submitted in response to a request for proposal or similar solicitation and is provided in confidence. The contents include proprietary information and trade secrets that belong to Ameresco, Inc., ("Confidential Information") and is disclosed to the recipient only for purposes of evaluation. In the event Ameresco is awarded a contract or purchase order as a result of or in connection with the submission of this proposal, Customer shall have a limited right as set forth in the governing contract or purchase order to disclose the data herein, but only to the extent expressly allowed. This restriction does not limit the Customer's right to use or disclose data obtained without restriction from any source, including the proposer.



Preliminary Energy Audit Report: Haverhill Citizens Center

Prepared for:
Merrimack Valley Planning Commission

October 21, 2010

ECM 21: Replace Exterior Siding

The exterior wall of the Citizens Center building consists of masonry panel board with a stucco finish, vapor barrier, metal studs, and batt insulations, and interior gypsum board. The exterior panel system is failing at the joints thereby allowing rain water to penetrate the interior. As a result of the rain penetration, the metal framing is deteriorating and the panels are breaking away from the structure.

Ameresco recommends the replacement of the entire exterior wall with a new architectural metal system. The new system would include new exterior board with vapor barrier which will receive the 2" insulated metal panels. The metal panels are received into new channels that are designed to shed water and integrate into the existing window system. The new system is maintenance free and doesn't require caulking and painting. Also as part of the scope, a large majority of the framing will be replaced, which will include interior drywall due to anticipated structural issues with the existing infrastructure.

The following table contains the total wall area to be replaced at each building.

Building	Wall Area (SF)
Citizens Center	10,875

ECM 21: Replace Exterior Siding

The exterior wall of the Citizens Center building consists of masonry panel board with a stucco finish, vapor barrier, metal studs, and batt insulations, and interior gypsum board. The exterior panel system is failing at the joints thereby allowing rain water to penetrate the interior. As a result of the rain penetration, the metal framing is deteriorating and the panels are breaking away from the structure.

Ameresco recommends the replacement of the entire exterior wall with a new architectural metal system. The new system would include new exterior board with vapor barrier which will receive the 2" insulated metal panels. The metal panels are received into new channels that are designed to shed water and integrate into the existing window system. The new system is maintenance free and doesn't require caulking and painting. Also as part of the scope, a large majority of the framing will be replaced, which will include interior drywall due to anticipated structural issues with the existing infrastructure.

The following table contains the total wall area to be replaced at each building.

Building	Wall Area (SF)
Citizens Center	10,875

Project Financials

Based upon the information provided for purposes of this report and Ameresco's initial site visit on October 18, 2010, Ameresco has estimated implementation cost and savings for each identified improvement as follows.:

Measure Number	Building	ECM Description	Measure Costs	Savings	Estimated Incentives	Simple Payback (years)
1	CitizensCntr	Lighting System Improvements - Base	\$ 17,059	\$ 2,268	\$ 3,885	5.81
1	CitizensCntr	Lighting System Improvements - Added Scope	\$ 13,197	\$ 909	\$ 2,535	11.72
2	CitizensCntr	Lighting Controls - Occupancy Sensors	\$ 2,376	\$ 202	\$ 400	9.76
2	CitizensCntr	Lighting Controls - Day Light Harvesting	\$ 3,175	\$ 140	\$ 150	21.62
3A	CitizensCntr	New Energy Management Systems - Base	\$ 57,577	\$ 10,490	\$ 4,500	5.08
3B	CitizensCntr	New Energy Management Systems - Extended	\$ 147,541	\$ 12,894	\$ 4,500	11.09
4	CitizensCntr	Economizer Control on Rooftop Units	\$ 8,097	\$ 712		11.37
5	CitizensCntr	Demand Control Ventilation on Rooftop Units	\$ 17,393	\$ 1,765		9.85
6	CitizensCntr	Energy Efficient Motors	\$ 6,206	\$ 797		7.78
7	CitizensCntr	Vending Machine Controllers	\$ 373	\$ 196	\$ 75	1.52
8	CitizensCntr	Variable Frequency Drives on Rooftop Units	\$ 13,495	\$ 2,255	\$ 3,800	4.30
9	CitizensCntr	PC Load Management Software	\$ 1,201	\$ 294		4.09
10	CitizensCntr	Window Film on Atrium Roof Windows	\$ 2,249	\$ 214		10.53
11	CitizensCntr	Thermostat Radiator Valves (TRV)	\$ 9,715	\$ 1,148	\$ 750	7.81
12	CitizensCntr	Rooftop Unit Replacement	\$ 153,560	\$ 7,556		20.32
13	CitizensCntr	Boiler Replacement - Condensing	\$ 81,806	\$ 5,128	\$ 10,000	14.00
14	CitizensCntr	Water Conservation	\$ 9,789	\$ 254		38.51
15	CitizensCntr	Exterior Siding Replacement	\$ 847,872	\$ 3,463		244.80
16	CitizensCntr	Door Weather Stripping	\$ 3,793	\$ 974		3.89
17	CitizensCntr	Exterior Door Replacement	\$ 59,690	\$ 1,599		37.34
18	CitizensCntr	Recommission VAV Boxes	\$ 18,850	\$ 1,490		12.65
19	CitizensCntr	Install Generator for Demand Response	\$ 29,988	\$ 2,366		12.68

To arrive at the above figures, Ameresco developed an facility wide analysis model which predicted performance before and after implementation of each improvement. Project costs are currently based upon a combination of in-house estimates from previous projects and discussions with local controls on the specific installations recommended herein. Final implementation project costs would be developed with our open book pricing approach, whereby competitive pricing is received from local subcontractors on each defined scope and any reduction in implementation costs are passed through to the City.

The Citizens Center has significant needs, the most expensive of which is replacement of the exterior siding across the entire building. While many improvements could be recognized from

ECM 14: Water Conservation

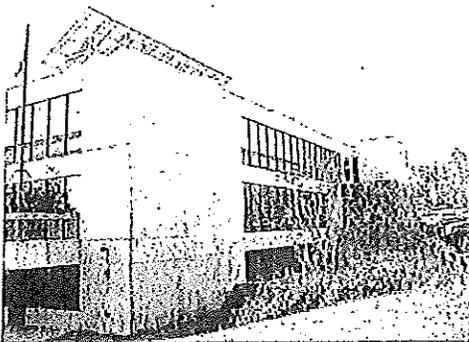
The majority of the existing water fixture at the Citizens Center are standard efficient. Water closets consist of wall mounted toilets with Sloan Royal flush valves with a flow rating of 3.5 gallons per flush (gpf). Urinals are equipped with similar flush valves with a flow rating of 1.5 gpf. Kitchen and bathroom sinks have aerators with flow rate of 2.0 gallon per minute (gpm).

Ameresco evaluated the replacement of these fixtures with low-consumption equivalents. The existing toilets will be replaced with HET toilets that will have a rating of 1.28 gpf. The flush valves on the urinals will be replaced with new valve that have a rating of 1.0 gpf. Kitchen and bathroom sinks with have new aerators with a flow rating of 1.0 gpm.

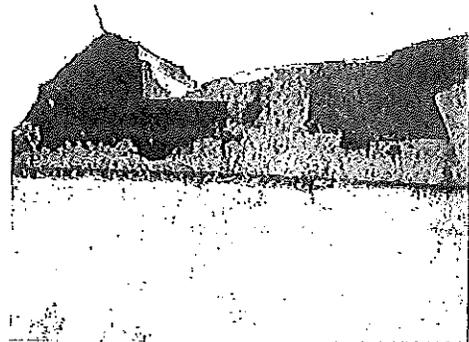
Water consumption data was not available, but based on observed occupancy and discussions with facility personnel an assumed, conservative usage pattern was developed. These low usage estimate limits the payback, but additional information on usage patterns of the site will allow for refinement and likely improvement in presented economics.

ECM 15: Exterior Siding Replacement

The exterior wall of the Citizens Center building consists of masonry panel board with a stucco finish, vapor barrier, metal studs, and batt insulations, and interior gypsum board. The exterior panel system is failing at the joints thereby allowing rain water to penetrate the interior. As a result of the rain penetration, the metal framing is deteriorating and the panels are breaking away from the structure.



Ameresco recommends the replacement of the entire exterior wall with a new architectural metal system. The new system would include new exterior board with vapor barrier which will receive the 2" insulated metal panels. The metal panels are received into new channels that are designed to shed water and integrate into the existing window system. The new system is maintenance free and doesn't require caulking and painting. Also as part of the scope, a large majority of the framing will be replaced, which will include interior drywall due to anticipated structural issues with the existing infrastructure.



City of Haverhill, MA

Self-Funding - Citizens Center Only

Project Selection Sheet

Measure Number	Building	ECM Description	Measure Costs	KW	kWh	Therms	kGals (water)	kGals (Sewer)	O&M Savings	Savings	Estimated Incentives	Simple Payback (years)	Include? (1=yes)
1	CitizensCntr	Lighting System Improvements - Base	\$ 17,059	70	14,700	(214)	-	-	\$ 349	\$ 2,268	\$ 3,865	5.81	1
1	CitizensCntr	Lighting System Improvements - Added Scope	\$ 13,197	53	3,034	(44)	-	-	\$ 284	\$ 509	\$ 2,535	11.72	1
2	CitizensCntr	Lighting Controls - Occupancy Sensors	\$ 2,376	-	2,228	(49)	-	-	\$ -	\$ 202	\$ 400	9.76	1
2	CitizensCntr	Lighting Controls - Day Light Harvesting	\$ 3,175	-	1,540	(32)	-	-	\$ -	\$ 140	\$ 150	21.62	1
3A	CitizensCntr	New Energy Management Systems - Base	\$ 57,577	-	29,580	4,930	-	-	\$ -	\$ 10,490	\$ 4,500	5.06	0
3B	CitizensCntr	New Energy Management Systems - Extended	\$ 147,541	-	34,144	6,249	-	-	\$ -	\$ 12,894	\$ 4,500	11.69	1
4	CitizensCntr	Economizer Control on Rooftop Units	\$ 8,097	-	5,933	-	-	-	\$ -	\$ 712		11.37	1
5	CitizensCntr	Demand Control Ventilation on Rooftop Units	\$ 17,393	2	1,529	1,108	-	-	\$ -	\$ 1,765		9.85	1
6	CitizensCntr	Energy Efficient Motors	\$ 6,208	14	5,908	-	-	-	\$ -	\$ 797		7.78	1
7	CitizensCntr	Vending Machine Controllers	\$ 373	-	1,533	-	-	-	\$ -	\$ 196	\$ 75	1.52	1
8	CitizensCntr	Variable Frequency Drives on Rooftop Units	\$ 13,495	-	18,791	-	-	-	\$ -	\$ 2,255	\$ 3,900	4.30	1
9	CitizensCntr	PC Load Management Software	\$ 1,201	-	3,498	(89)	-	-	\$ -	\$ 294		4.09	1
10	CitizensCntr	Window Film on Atrium Roof Windows	\$ 2,249	4	1,560	-	-	-	\$ -	\$ 214		10.53	1
11	CitizensCntr	Thermostat Radiator Valves (TRV)	\$ 9,715	-	-	815	-	-	\$ -	\$ 1,148	\$ 750	7.81	1
12	CitizensCntr	Rooftop Unit Replacement	\$ 153,580	9	16,969	326	-	-	\$ 5,000	\$ 7,556		20.32	1
13	CitizensCntr	Boiler Replacement - Condensing	\$ 81,806	-	-	1,867	-	-	\$ 2,500	\$ 5,128	\$ 10,000	14.00	1
14	CitizensCntr	Water Conservation	\$ 9,789	-	-	22	22	22	\$ -	\$ 254		38.51	1
15	CitizensCntr	Exterior Siding Replacement	\$ 847,872	-	488	2,419	-	-	\$ -	\$ 3,463		244.80	
16	CitizensCntr	Door Weather Stripping	\$ 3,793	-	-	592	-	-	\$ -	\$ 974		3.89	
17	CitizensCntr	Exterior Door Replacement	\$ 59,690	-	-	1,136	-	-	\$ -	\$ 1,599		37.34	1
18	CitizensCntr	Recommission VAV Boxes	\$ 18,650	-	237	1,038	-	-	\$ -	\$ 1,490		12.65	1
19	CitizensCntr	Install Generator for Demand Response	\$ 29,588	-	-	-	-	-	\$ -	\$ 2,366		12.68	1
X	City Wide Work	Lighting System Improvements	\$ 750,000							\$ 85,000		8.82	
X	City Wide Work	New Energy Management Systems	\$ 500,000							\$ 65,000		7.59	
X	City Wide Work	Weatherization, Motors, Plug Load Controls	\$ 250,000							\$ 37,500		6.67	

Total Selected	\$ 595,759	151	111,800	12,136	22	22	\$ 8,113	\$ 42,185	\$ 25,095	13.50	19 measures
Base Usage		945	255,960	22,554				\$ 74,849			
% Saved		17.88%	43.78%	53.81%				59.4%			

Project Term (years)	20	(enter an integer between 10 and 20)
Estimated rebates	\$ 26,095	
Upfront Capital Contribution on	\$ 26,095	

Annual Contribution	\$ -
---------------------	------

Run Scenario (push button after selecting deal in column C)

Output	
Synchronized?	OK
Selected deal work?	Yes
Year 1 Net Cash Flow	\$7,369
Total Financed Amount (including incentives)	\$622,584
Total Project Size	\$ 595,759
Assumed Finance Rate	4.25%
Assumed Construction Period	4.25%
Other Escalation	3.00%

Page content is subject to confidentiality restrictions

City of Haverhill, MA

Self-Funding - Citizens Center Only

Project Selection Sheet

Measure Number	Building	ECM Description	Measure Costs	kW	kWh	Therms	kGals (water)	kGals (sewer)	O&M Savings	Savings	Estimated Incentives	Simple Payback (years)	Include? (1=yes)
1	CitizensCntr	Lighting System Improvements - Base	\$ 17,659	70	14,700	(214)	-	-	\$ 349	\$ - 2,268	\$ 3,885	5.81	1
1	CitizensCntr	Lighting System Improvements - Added Scope	\$ 13,197	53	3,034	(44)	-	-	\$ 254	\$ 909	\$ 2,685	11.72	1
2	CitizensCntr	Lighting Controls - Occupancy Sensors	\$ 2,378	-	2,228	(46)	-	-	\$ -	\$ 202	\$ 400	9.76	1
2	CitizensCntr	Lighting Controls - Day Light Harvesting	\$ 3,175	-	1,540	(32)	-	-	\$ -	\$ 140	\$ 150	21.62	1
3A	CitizensCntr	New Energy Management Systems - Base	\$ 57,577	-	29,580	4,930	-	-	\$ -	\$ 10,490	\$ 4,500	5.08	0
3B	CitizensCntr	New Energy Management Systems - Extended	\$ 147,541	-	34,744	6,249	-	-	\$ -	\$ 12,894	\$ 4,500	11.09	1
4	CitizensCntr	Economizer Control on Rooftop Units	\$ 6,097	-	5,933	-	-	-	\$ -	\$ 712	-	11.37	1
5	CitizensCntr	Demand Control Ventilation on Rooftop Units	\$ 17,393	2	1,629	1,108	-	-	\$ -	\$ 1,765	-	9.65	1
6	CitizensCntr	Energy Efficient Motors	\$ 6,206	14	5,908	-	-	-	\$ -	\$ 797	-	7.78	1
7	CitizensCntr	Vending Machine Controllers	\$ 373	-	1,633	-	-	-	\$ -	\$ 196	\$ 75	1.52	1
8	CitizensCntr	Variable Frequency Drives on Rooftop Units	\$ 13,495	-	18,791	-	-	-	\$ -	\$ 2,255	\$ 3,900	4.30	1
9	CitizensCntr	PC Load Management Software	\$ 1,201	-	3,458	(89)	-	-	\$ -	\$ 294	-	4.00	1
10	CitizensCntr	Window Film on Atrium Roof Windows	\$ 2,249	4	1,560	-	-	-	\$ -	\$ 214	-	10.53	1
11	CitizensCntr	Thermostat Radiator Valves (TRV)	\$ 9,715	-	-	815	-	-	\$ -	\$ 1,148	\$ 750	7.91	1
12	CitizensCntr	Rooftop Unit Replacement	\$ 153,550	9	18,988	325	-	-	\$ 5,000	\$ 7,556	-	20.32	1
13	CitizensCntr	Boiler Replacement - Condensing	\$ 81,806	-	-	1,857	-	-	\$ 2,500	\$ 5,128	\$ 10,000	14.00	1
14	CitizensCntr	Water Conservation	\$ 9,789	-	-	22	22	22	\$ -	\$ 254	-	38.51	1
15	CitizensCntr	Exterior Sliding Replacement	\$ 847,872	-	488	2,419	-	-	\$ -	\$ 3,463	-	244.80	1
16	CitizensCntr	Door Weather Stripping	\$ 3,793	-	-	582	-	-	\$ -	\$ 974	-	3.89	1
17	CitizensCntr	Exterior Door Replacement	\$ 59,690	-	-	1,135	-	-	\$ -	\$ 1,699	-	37.34	1
18	CitizensCntr	Recommission VAV Boxes	\$ 18,850	-	237	1,038	-	-	\$ -	\$ 1,480	-	12.65	1
19	CitizensCntr	Install Generator for Demand Response	\$ 29,998	-	-	-	-	-	\$ -	\$ 2,365	-	12.68	1
X	City Wide Work	Lighting System Improvements	\$ 750,000	-	-	-	-	-	\$ -	\$ 85,000	-	8.82	
X	City Wide Work	New Energy Management Systems	\$ 500,000	-	-	-	-	-	\$ -	\$ 65,000	-	7.69	
X	City Wide Work	Weatherization, Motors, Plug Load Controls	\$ 250,000	-	-	-	-	-	\$ -	\$ 37,500	-	6.67	
Total Selected			\$ 695,759	151	111,800	12,136	22	22	\$ 8,413	\$ 42,166	\$ 28,095	13.50	19-measures
Base Usage				845	255,360	22,564				\$ 74,849			
% Saved				17.88%	43.76%	53.81%				56.4%			

Project Term (years) (enter an integer between 10 and 20)
 Estimated rebates \$ 26,095
 Upfront Capital Contribution \$ 26,095

Annual Contribution \$ -

Run Scenario (push button after selecting deal in column E)

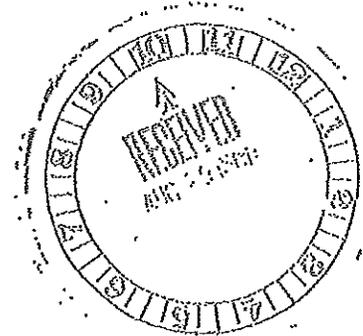
Output

Synchronized? OK
 Selected deal work? Yes
 Year 1 Net Cash Flow \$7,369
 Total Financed Amount (including) \$522,584
 Total Project Size \$ 595,759
 Assumed Finance Rate 4.25%
 Assumed Construction Period 4.25%
 Other Escalation 3.00%

*Please contact the appropriate Central Utility Restraints



August 25, 2011



City of Haverhill
Attn: Andrew Herlihy, Mayor's Chief of Staff
City Hall, Room 305
4 Summer Street
Haverhill, MA 01830

Subject: Financial Assistance Award No. DE-EE0002377 titled "Energy Efficiency of the Haverhill Citizens Center"

Dear Mr. Herlihy:

On September 22, 2009, the National Energy Technology Laboratory (NETL) provided your organization with a provisional award, which limited the release of DOE funds until all award conditions have been satisfied. This Provisional Award language indicates that if the parties are not able to resolve the definitization prior to January 31, 2010, the DOE may terminate this provisional award. Your organization's failure to provide NETL with the detailed level of documentation necessary to definitize the award has resulted in substantial delays to this project.

It is imperative that your organization submit a corrective action plan detailing measures that will be taken to satisfactorily remove the conditions on the award. The corrective action plan must be submitted no later than thirty (30) calendar days from the date of this letter. NETL will review your corrective action plan and determine if the steps taken by your organization have successfully implemented the necessary processes to continue with this award.

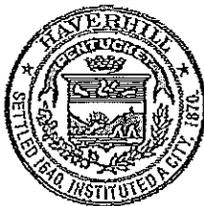
Failure to provide an application with supporting documentation acceptable to the Contracting Officer, or failure to finalize negotiations, will be deemed noncompliance pursuant to 10 CFR 600.24. Based on such noncompliance, the Contracting Officer may unilaterally terminate or suspend this award and deobligate the amounts obligated.

I hope the City of Haverhill will provide NETL with an acceptable corrective action plan within the timeframe stated in this letter. If, however, it is not your intention to continue with this award, please provide a letter stating so within thirty (30) calendar days from the date of this letter. If you have any comments or concerns pertaining to this letter, please feel free to contact the DOE Project Officer, Paul Giles, at 412-386-4811, or the DOE Contract Specialist, Bonnie Dowdell, at 412-386-5879. Thank you in advance for your time and effort to resolve this important matter.

Sincerely,

Juliana L. Heynes
Contracting Officer
Acquisition and Assistance Division

CC: Paul Giles, NETL



CITY OF HAVERHILL
COMMUNITY DEVELOPMENT

WILLIAM PILLSBURY, JR., DIRECTOR
TELEPHONE: 978-374-2344 V/TDD
FAX: 978-374-2332

CITY HALL, ROOM 309
FOUR SUMMER STREET
HAVERHILL, MA 01830-5843

September 25, 2011

Ms. Juliana L. Heynes
Contracting Officer
Acquisition and Assistance Division
National Energy Technology Laboratory
626 Cochrans Mill Road
P.O. Box 10940
Pittsburgh, PA 15236-0940

**RE: Corrective Action Plan for Financial Assistance Award No. DE-EE0002377 titled
"Energy Efficiency of the Haverhill Citizens Center"**

This letter is in response to your correspondence of August 25, received August 29, concerning a congressionally-approved earmark for energy efficiency measures for the Haverhill Citizens Center, located at 10 Welcome Street in Haverhill, MA.

BACKGROUND

As you may be aware, this earmark was originally established for the purposes of funding the installation of solar panels atop the Haverhill Citizens Center. However, there was a need to re-program and re-purpose the earmark to address other energy needs at this early 1970s-era facility. This was due to the fact that a separate and distinct State grant (from the Massachusetts Renewable Energy Trust) provided the means to install solar panels atop the facility, prior to the passage of the Omnibus Budget Act in 2008-9 that funded this federal earmark. This state-funded solar panel installation was completed in 2009. In 2011, replacement of rooftop HVAC units (estimated at \$153,560) is being undertaken through use of the City's Energy Efficiency and Conservation Block Grant (EECBG) funding.

ENERGY AUDIT

As a part of other energy-savings and conservation initiatives, the City of Haverhill joined several neighboring municipalities in procuring an "ESCO," an Energy Services Company, through our regional Merrimack Valley Planning Commission. The firm selected, Ameresco, has been conducting energy audits of various municipal buildings in each of the cities and towns participating in the regional ESCO. In Haverhill, Ameresco has conducted an investment-grade energy audit of the Haverhill Citizens Center, as part of a strategy to determine the best use of these congressionally-earmarked funds. This audit is attached.

CORRECTIVE ACTION PLAN:

From this audit is derived a list of recommended energy measures. Our corrective action plan features undertaking several worthwhile energy efficiency measures as recommended by this investment grade audit. These activities are also supported by previous energy analyses undertaken by National Grid and Woodman and Associates on behalf of the City.

Our corrective action plan consists of either of these two sets of activities:

- A) The federal award supports \$237,500 worth of 'Exterior Siding Replacement' (Activity Measure #15), towards a total Activity Measure cost of **\$847,872**. The remainder of this cost (**\$610,372**) is a match assumed by the City.
- B) The federal award supports \$237,500 worth of Activity Measures (as found on the attached Project Selection Sheet):

1.	Lighting System Improvements- Base	\$17,059
1b.	Lighting System Improvements- Added Scope	\$13,197
2.	Lighting Controls- Occupancy Sensors	\$ 2,376
2b.	Lighting Controls- Day Light Harvesting	\$ 3,175
3b.	New Energy Management Systems- Extended	\$147,541
4.	Economizer Control on new Rooftop Units	\$ 8,097
5.	Demand Control Ventilation on Rooftop Units	\$17,393
6.	Energy Efficient Motors	\$6,206
7.	Vending Machine Controllers	\$ 373
8.	Variable Frequency Drives on Rooftop Units	\$13,495
9.	PC Load Management Software	\$ 1,201
10.	Window Film on Atrium Roof Windows	\$ 2,249
11.	Thermostat Radiator Valves	\$ 9,715
13.	Boiler Replacement- Condensing	\$81,806
14.	Water Conservation	\$ 9,789
16.	Door Weather Stripping	\$ 3,793
17.	Exterior Door Replacement	\$59,960
18.	Re-commission VAV Boxes	\$18,850
19.	Install Generator for Demand Response	\$29,988
	Program Administration—Owner's Agent	<u>\$29,008</u>
	TOTAL:	\$475,000*

* = 1:1 match of \$237,500 between City and Federal Award

FUNDING PROPOSAL:

Our corrective action plan consists of either of these two possible funding scenarios:

- A) *Our preferred scenario would be to fund the city's share of the Federal Award (matching or exceeding \$237,500) through a value of that amount through the energy services performance contract.*

NOTE: The City is currently developing and will be signing a legally-binding performance contract with Ameresco for various energy measures to be undertaken at the Haverhill Citizens Center and other municipal facilities. The energy savings figures in this contract, which will be negotiated and agreed to by both the City, acting through its owner's agent, and Ameresco, represent a real value. These energy savings figures proposed by the ESCO are guaranteed under Massachusetts Law. The City will pay no upfront cash for the various energy efficiency measures and upgrades to be undertaken by the contractor (Ameresco). The City will ultimately pay for its share of the

costs for these energy measures and upgrades by directing a portion of these energy savings back to the ESCO over a number of years predetermined by the payback periods specified in the ESCO agreement (performance contract).

The City of Haverhill, which is coping with the lingering fiscal impacts of the largest municipal debt load in the history of the Commonwealth of Massachusetts (through the sale and transfer of the former city-owned Hale Hospital), is requesting permission to utilize this innovative and legal funding option in order to meet its required match share.

- B.) Another funding option would be for the City to offer a cash match of \$237,500 to the Federal Award. These funds would need to be borrowed by the City, which would require approval from the Massachusetts Department of Revenue under the terms of the aforementioned Hale Hospital legislation (Massachusetts General Law Chapter 397 of the Acts of 2004).

NOTE: The City has not had a capital budget of more than \$100,000 over the last few fiscal years.

The other variation on this option would be for Ameresco to pay the upfront cash necessary to match this Federal Award, and for the City to reimburse Ameresco separately through the performance contract (ESCO agreement) cited above.

The City of Haverhill looks forward to working with the United States Department of Energy to reprogram and utilize this Federal Award in an innovative manner that will produce significant energy savings, as well as corresponding financial savings, in keeping with the spirit and intent of the Federal Award and national priorities.

If you have any further questions, please do not hesitate to contact me or Mayor James J. Fiorentini at 978-374-2300.

Sincerely,



Andrew K. Herlihy
Community Development Division Director
City of Haverhill, MA

CC: Paul Giles, NETL
Bonnie Dowdell, NETL



the standard in safety

Underwriters
Laboratories

October 31, 2011

Haverhill Fire Department
Master Mechanic Ted Mazzotta /
Chief Alan DeNaro
4 Summer Street, Room 113
Haverhill, MA 01830

Our Reference: File: FS988821; Project: 11FES13892

Subject: Aerial Examination; 2005 Grumman Emergency Products 102 ft.
Steel Elevating Platform, Client Vehicle No. - Tower 4

Dear Master Mechanic Ted Mazzotta /
Chief Alan DeNaro:

The examinations and tests of the subject aerial device covered under our Reference No. 11FES13892 were conducted on 08/31/11. The test program conducted follows the intent of Chapter 19 of the National Fire Protection Association (NFPA) Standard No. 1911, "Standard for the Inspection, Maintenance, Testing, and Retirement of In-Service Automotive Fire Apparatus" 2007.

The enclosed Report outlines the tests conducted, the methods used, and the results of such tests. The Conclusion Page of the Report summarizes the areas of noncompliance found during the inspection of your aerial device.

Although a certificate of compliance is not required by NFPA 1911, this service is provided by UL. If you wish to receive a certificate of compliance please contact UL customer service at 877-854-3577, prompt 2, to schedule a reinspection after the items of noncompliance have been repaired. During the reinspection we will verify that all noncompliant items found during our original investigation have been repaired. Upon successful completion of the reinspection, we will issue a Certificate stating the units compliance with Chapter 19 of NFPA 1911, 2007 Edition.

If you should have any questions or comments concerning this investigation, please do not hesitate to contact UL.

Very Truly Yours,

Telvis Dixon

Telvis Dixon
Fire Equipment Services
Phone No. (877)UL-HELPS (Option 2)

PRODUCT COVERED:

Client - Haverhill Fire Department

Telephone - 978-373-8459

Address - 4 Summer Street, Room 113

City - Haverhill

State - MA

Zip - 01830

Client Vehicle No. - Tower 4

Test Date - 08/31/11

Inspection Type - Annual with NDT

Unit Mfr. - Grumman Emergency Products

Model - AC 102

Serial No. - 18484

Year - 2005

Chassis Manufacturer - Grumman Emergency Products

Vehicle Identification No. (VIN) - 1G9ACHDT5LR088144

Aerial Manufacturer - Grumman Emergency Products

Refurbished - No

Ladder Type and Material - Steel Elevating Platform

Maximum Recommended Extended Length - 102 ft.

No. of Sections - 3

Mileage - 69,045

Engine Hours - 9320.0

Examination and Tests by - Telvis Dixon

T E S T R E C O R D N O. 1

Turntable

UPPER ROTATION BEARING MOUNTING BOLTS:

Upper bearing bolts were identified by the UL Field representative as 7/8 in., Grade 8, with a torque specification of 590 ft-lb.

Number of bolt(s) less than the specified torque: Four
These results are noncompliant. All bolts must be properly torqued.

Number of bolt(s) inaccessible to torque verification: None

Ultrasonic inspection of the upper rotation bearing bolts revealed no detectable internal flaws.

All bolts were present.

LOWER ROTATION BEARING MOUNTING BOLTS:

Lower rotation bearing bolts were identified by the UL Field Representative as 7/8 in., Grade 8, with a torque specification of 590 ft-lb.

Number of bolt(s) less than the specified torque: None

Number of bolt(s) inaccessible to torque verification: None

Ultrasonic inspection of the lower rotation bearing bolts revealed no detectable internal flaws.

All bolts were present.

TORQUE BOX MOUNTING TO FRAME:

Torque box to frame mounting bolts were identified by the UL Field Representative as 3/4 in., Grade 8, with a torque specification of 370 ft-lb.

Number of bolt(s) less than the specified torque: None

Number of bolt(s) inaccessible to torque verification: None

Ultrasonic inspection of the torque box to frame mounting bolts revealed no detectable internal flaws.

All bolts were present.

Inspection of the torque box to frame mounting plate weldments was conducted. No defects were found.

ROTATION GEAR REDUCTION BOX MOUNTING:

Rotation gear reduction box mounting bolts were identified by the UL Field Representative as 7/8 in., Grade 8, with a torque specification of 300 ft-lb.

Number of bolt(s) less than the specified torque: None

Number of bolt(s) inaccessible to torque verification: None

Ultrasonic inspection of the rotation gear reduction box mounting bolts revealed no detectable internal flaws.

All bolts were present.

Inspection of the rotation gear reduction box mounting weldments was conducted. No defects were found.

TURNTABLE STRUCTURAL COMPONENTS:

Inspection of the turntable structural weldments was conducted. The following defects were found. These results are noncompliant.

One weld was found with a Delamination and corrosion

ROTATION HYDRAULIC SWIVEL:

No hydraulic fluid leakage was detected.

The rotation hydraulic swivel was securely mounted.

HYDRAULIC LINES AND HOSES IN CHASSIS AND TORQUE BOX:

All hydraulic lines, valves, fittings and other components were undamaged.

All hydraulic lines exhibited no signs of hydraulic fluid leakage.

HYDRAULIC LINES AND HOSES IN TURNTABLE:

All hydraulic lines, valves, fittings and other components were undamaged.

All hydraulic lines exhibited no signs of hydraulic fluid leakage.

HYDRAULIC PUMP:

The hydraulic pump showed no signs of external hydraulic fluid leakage.

HOLDING VALVES ON ELEVATION CYLINDER(S) :

The holding valve(s) on both cylinders showed signs of external hydraulic fluid leakage. These results are noncompliant.

EXTENSION CYLINDER ANCHOR EARS AND PLATES

Extension cylinder anchor ears and plates mounting bolts were identified by the UL Field Representative as 1/2 in., Grade 8, with a torque specification of 60 ft-lb.

Number of bolt(s) less than the specified torque: None

Number of bolt(s) inaccessible to torque verification: None

Ultrasonic inspection of the extension cylinder anchor ears and plates mounting bolts revealed no detectable internal flaws.

All bolts were present.

Inspection of the extension cylinder anchor ear mounting plate weldments was conducted. No defects were found.

EXTENSION CYLINDER PINS:

The extension cylinder pins were properly installed.

The extension cylinder pins were properly retained.

Ultrasonic inspection of all accessible extension cylinder pins revealed no detectable internal flaws.

EXTENSION CYLINDER(S) :

The cylinder rod(s) were undamaged.

Both cylinder rod to barrel seal(s) leaked hydraulic fluid. These results are noncompliant.

The extension cylinders were then subjected to a drift test. The aerial device was properly leveled, fully elevated and extended 10 ft. The second section was marked and the device was allowed to stand for 1 hr. Cylinder drift was then determined by observing second section movement in relation to the base section.

The left extension cylinder drift was recorded at 0.000 in. in 1 hour.

The right extension cylinder drift was recorded at 0.000 in. in 1 hour.

COMMUNICATION SYSTEM:

The communication system components were properly installed.

The communication system operated properly.

RELIEF HYDRAULIC PRESSURE:

Main pump relief pressure was recorded at 2800 psig.

This does not exceed the manufacturer's maximum recommended relief pressure.

UNIT MAIN FRAME:

Inspection of the unit main frame weldments was conducted. The following defects were found. These results are noncompliant.

Delaminating corrosion located on the right side.

UNIT MAIN FRAME SUSPENSION:

Unit main frame suspension mounting bolts were identified by the UL Field Representative as 5/8 & 3/4 in., Grade 8, wrench-tight.

Number of bolt(s) less than the specified torque: None

Number of bolt(s) inaccessible to torque verification: None

Ultrasonic inspection of the unit main frame suspension mounting bolts revealed no detectable internal flaws.

All bolts were present.

Inspection of the unit main frame suspension weldments was conducted. No defects were found.

TRANSMISSION/AERIAL INTERLOCKS:

The vehicle was provided with a transmission/aerial interlock.

The stabilizers did not deploy.

The aerial device did not elevate from the bedded position.

ENGINE SPEED INTERLOCK:

The vehicle was provided with an engine speed interlock.

With the vehicle in travel mode, the engine high idle did not engage.

Stabilizer Examination and Test

STABILIZER STRUCTURAL COMPONENTS:

Inspection of the stabilizer structural component weldments was conducted. No defects were found.

STABILIZER PLATES:

Stabilizer plates were present and of proper construction.

STABILIZER MOUNTING TO TORQUE BOX:

Inspection of the stabilizer mounting to torque box weldments was conducted. No defects were found.

STABILIZER JACK BOX MOUNTING:

Stabilizer jack box mounting bolts were identified by the UL Field Representative as 5/8 in., Grade 8, with torque specifications of 120 ft-lb.

Number of bolt(s) less than the specified torque: None

Number of bolt(s) inaccessible to torque verification: None

Ultrasonic inspection of the stabilizer jack box mounting bolts revealed no detectable internal flaws.

All bolts were present.

HYDRAULIC LINES AND HOSES IN STABILIZER SYSTEM:

All hydraulic lines were undamaged.

All hydraulic lines exhibited no signs of external hydraulic fluid leakage.

STABILIZER INTERLOCK AND/OR WARNING DEVICE:

The stabilizer interlock performed properly.

STABILIZER EXTENSION CYLINDER PINS:

All accessible stabilizer cylinder pins were properly aligned.

The stabilizer extension cylinder pins were properly installed.

The stabilizer extension cylinder pins were properly lubricated.

The stabilizer extension cylinder pins were properly retained.

Ultrasonic inspection of the accessible stabilizer cylinder pins revealed no detectable internal flaws.

Aerial Ladder/Telescoping Boom Examination and Test

AERIAL LADDER WELDMENTS:

Inspection of the aerial ladder weldments was conducted. No defects were found.

MODIFICATIONS OR UNAUTHORIZED REPAIRS:

No factory unauthorized modifications or repairs were detected.

HANDRAILS:

Inspection of the handrails revealed no defects.

VERTICAL AND/OR DIAGONAL BRACES:

The vertical and diagonal braces were straight and contained no defects.

BASERAILS:

The baserails were straight and contained no defects.

The underside of the cradle pad(s) showed no signs of delaminating corrosion.

RUNGS:

The rung covers were found to contain no damage and all rung covers were present and properly secured.

Inspection of the rungs revealed no defects.

SLIDE BLOCKS:

All accessible slide blocks exhibited no signs of wear and were properly secured.

EXTENSION SHEAVES:

All accessible extension sheaves exhibited no signs of wear.

EXTENSION CABLES:

All accessible cables were found to be undamaged.

The extension cables did not have excessive slack.

EXTENSION INDICATOR:

The extension indicator was found to be accurate.

The water system has one pressure gauge.

The water system pressure gauges were tested for accuracy at three settings.

For the first reading the test gauge at the top of the waterway read 150 psig. The water system pressure gauges read as follows:

		Location
Pressure Gauge No. 1:	150.000 psig	Tailboard
Pressure Gauge No. 2:	150.000 psig	Tailboard

For the second reading the Test Gauge read 200 psig. The water system pressure gauges read:

		Location
Pressure Gauge No. 1:	200.000 psig	Tailboard
Pressure Gauge No. 2:	200.000 psig	Tailboard

For the third reading the Test Gauge read 250 psig. The water system pressure gauges read:

		Location
Pressure Gauge No. 1:	250.000 psig	Tailboard
Pressure Gauge No. 2:	250.000 psig	Tailboard

The water system was fully extended at 0° elevation and hydrostatically pressurized to 200 psig. It was also fully elevated while fully retracted and rotated 360° while hydrostatically pressurized to 200 psig. Leakage was observed at the turntable swivel. These results are noncompliant.

The flow meter(s) was/were not installed/provided.

The waterway flow meter(s) read as follows:

		Location
Flow Meter No. 1	1,040 gpm	Platform
Flow Meter No. 2	1,040 gpm	Operators Station

The flow meter(s) met the test requirements.

WATERWAY MOUNTING BRACKETS:

Inspection of the accessible waterway mounting brackets revealed no defects.

Telescoping Boom Platform and Platform Operating Controls

PLATFORM MOUNTING BRACKETS:

Inspection of the platform mounting bracket weldments was conducted. No defects were found.

PLATFORM:

Inspection of the platform revealed no defects.

The platform was properly aligned with the boom.

HYDRAULIC, PNEUMATIC, AND ELECTRICAL LINES IN PLATFORM:

All hydraulic, pneumatic, and electrical lines were undamaged.

All hydraulic lines exhibited no signs of hydraulic fluid leakage.

PLATFORM LOAD CAPACITY IDENTIFICATION:

The platform exhibited the proper load capacity identification of 800 lb.

PLATFORM GATE LATCHES AND HINGE POINTS:

The platform gate latches operated smoothly, were undamaged, and exhibited proper alignment with the platform.

PLATFORM HINGE PINS:

All hinge pins were properly aligned.

Ultrasonic inspection of the platform hinge pins revealed no detectable internal flaws.

The platform hinge pins were properly installed.

The platform hinge pins were properly lubricated.

The platform hinge pins were operating properly.

The platform hinge pins were properly retained.

Operational TestsLOAD TEST:

Load Capacity: 800 lb.

The stabilizers showed no signs of instability. All boom movements exhibited no abnormal noise, vibration, or deflection. The platform leveled properly.

Stabilizers were lifted off of the ground as ladder was rotating. Both stabilizers on left side of truck was lifted as ladder was rotating to the right side of the truck.

LADDER SECTION ALIGNMENT:

With the ladder fully cradled, the unit was properly leveled. The ladder was then aligned with the longitudinal axis of the truck by rotating the ladder off the rear of the truck. The ladder sections were then properly leveled by leveling the ladder hinge pin at the turntable and then bringing the ladder to level along the length of the handrails. The ladder sections were then visually inspected for signs of excessive twist or bow. No signs of excessive twist or bow were noted.

The ladder sections were tested for proper alignment by leveling the aerial turntable, fully extending the aerial at 0° elevation, and placing a level on the handrails of the aerial at the butt and tip of each section. Any twist in the ladder sections was then determined by measuring the distance between the bottom of the level and the low handrail, in inches.

With the ladder fully cradled, the unit was properly leveled. The ladder was then aligned with the longitudinal axis of the truck by rotating the ladder off the rear of the truck. The ladder sections were then properly leveled by leveling the ladder hinge pin at the turntable and then bringing the ladder to level along the length of the handrails. The ladder sections were then visually inspected for signs of excessive twist or bow. No signs of excessive twist or bow were noted.

The ladder sections were tested for proper alignment by leveling the aerial turntable, fully extending the aerial at 0° elevation, and placing a level on the baserails of the aerial at the tip of each section. Any twist in the ladder sections was then determined by measuring the distance between the top of the level and the high baserail.

Ladder Section Alignment (After Load Tests - measured in inches):

Base Section Twist - 0.000, Level

Second Section Twist - 0.000, Level

C O N C L U S I O N

The aerial device covered by this Report has been evaluated for compliance with the Standard NFPA 1911, 2007 Edition. Issuance of an Underwriters Laboratories Inc. Certificate Of Aerial Lift Device Examination And Test is contingent upon correction in accordance with the manufacturer's recommendations of those items found not to be in accordance with the Standard and meeting the requirements of all test work not yet completed, if any.

Specifically, Certification of the subject aerial device is contingent upon:

Repair of the unit main frame defects.

Delaminating corrosion was/were found on the right side.

Repair of torque box weldment defects.

Repair or replacement of all torque box members with delaminating corrosion.

Repair of all turntable structural component weldment defects.

One weld was found with a Delamination and corrosion

Repair of elevation cylinder rod to barrel seal hydraulic oil leakage.

Repair of elevation cylinder holding valve hydraulic oil leakage.

Repair of extension cylinder rod to barrel seal hydraulic oil leakage.

Repair of the throttle control.

Repair of diverter valve hydraulic oil leakage.

Repair of the platform controls.

Repair of all leakage in the water system.

Meeting the requirements of the stabilizer operations timing test.



Bulldog Fire Apparatus
 17 Winter Street
 Woodville, Ma. 01784
 508-435-4200

Customer		Haverhill Fire Department		Estimate			
City		Haverhill, Ma.					
Address		4 Summer Street Room 113		Estimate Number		EN11-10-26	
Contact		Chief Rick Borden		Date		10/26/2011	
Phone / Fax		978-373-8460					
Year	Color	GSO Number		Make / Model / Body			
1990	Red			Grumman / 102' Aerial Platform			
Start Date		Discription				Prepared By	Authorized
		Misc Repairs - Hi-idle, Bucket leveling, Generator					
Line	Repair	Replace	Discription	Paint Labor	Labor Hrs.	Material	Sublet
1	X		Hi-Idle doesn't work. Remove and replace power supply board and the connections at the power supply control board.		14	\$5,238.00	
2	X		Bucket load leveling system doesn't work. Repair connections and replace load leveling control switches.		24	\$6,894.00	
3	X		Remove existing Onan generator and replace electrical connection to main power supply unit. Install new Onan generator and replace power outlets.		22	\$15,866.00	
Totals				0.0	60.0	\$27,998.00	\$0.00
N.E.T. 10				\$95.00 Per Hour		Labor	\$5,700.00
The above Estimate does not include any unforeseen damaged or worn areas or items found during the repairs. Quotations on material is subject to change.						Material	\$27,998.00
Auth _____						Sublet	\$0.00
						TOTAL	\$33,698.00



Bulldog Fire Apparatus
 17 Winter Street
 Woodville, Ma. 01784
 508-435-4200

Customer		Haverhill Fire Department		Estimate			
City		Haverhill, Ma.		Estimate Number		EN11-10-26	
Address		4 Summer Street Room 113		Date		10/26/2011	
Contact		Chief Rick Borden					
Phone // Fax		978-373-8460					
Year	Color	GSO Number		Make / Model / Body			
1990	Red			Grumman / 102' Aerial Platform			
Start Date		Description				Prepared By	Authorized
		Corrosion					
Line	Repair	Replace	Description	Paint Labor	Labor Hrs.	Material	Sublet
1	X		Repair of the unit main frame defects. Steam clean undercarriage and disassemble brackets needin to be replace/fabricated. Sandblast corrosion areas on frame & braces. Repair delaminating corrosion found on both left and right sides along the rear tandem axle and frame rails. The cleaned and repaired areas will need to be prepped and have a durable epoxy coating applied.	12	88	\$5,218.00	
	X		Repair all torque box members showing delaminating corrosion. Disassemble to gain access to the torque box area and steam clean area unable to access from chassis cleaning. Sandblast areas of corrosion and delamination. Replace/fabricate brackets with excessive corrosion. Some areas will need to be cleaned with a needle gun to properly remove the flaking and delaminated sections. Excessive corrosion could be found and areas of the torque box frame may need to be patched or replaced. The cleaned and repaired areas will need to be prepped and have a durable epoxy coating applied. Due to limited access the torque box may need to be sprayed twice.	16	104	\$6,731.00	
	X		Repair all turntable structural component defects. The upper section will need to be disassembled to gain access. The upper section will need to be pressure washed to remove grease and flaking. Sandblast the areas showing corrosion. Repair structural component defects around turntable.	10	56	\$1,628.00	



Bulldog Fire Apparatus
 17 Winter Street
 Woodville, Ma. 01784
 508-435-4200

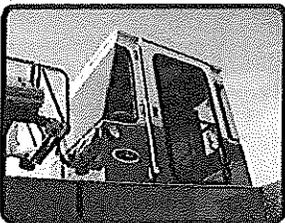
Customer		Haverhill Fire Department		Estimate			
City		Haverhill, Ma.					
Address		4 Summer Street Room 113		Estimate Number		EN11-10-26	
Contact		Chief Rick Borden		Date		10/26/2011	
Phone / Fax		978-373-8460					
Year	Color	GSO Number		Make / Model / Body			
1990	Red			Grumman / 102' Aerial Platform			
Start Date		Discription				Prepared By	Authorized
		Hydraulic repairs					
Line	Repair	Replace	Discription	Paint Labor	Labor Hrs.	Material	Sublet
1	X		Replacement of all hydraulic lines/ hoses and fittings for stabilizer system. Also replacing the valves banks in line. Due to metal filings found in the system the hydraulic pump should also be replaced. Multiple valves would need to be replaced such as deverter, flow, control, counterbalance, relief and check valves. This would be approximately 20 different valves. Some two, three or four duplicate valves. All filters and fluids will need to be changed during the repair process. during the work being performed.		160	\$23,590.00	
			The hydraulic cylinders will be removed and bench tested. If metal filings are found in the hydraulic system fluid it could be due to the cylinders needing to be replaced. Cylinders will include jack cylinders, outrigger extension, Master cylinder, basket leveling, lift cylinders and extension cylinders.		100	\$46,856.00	
Totals				0.0	260.0	\$70,446.00	\$0.00
N.E.T. 10				\$95.00 Per Hour		Labor	\$24,700.00
The above Estimate does not include any unforeseen damaged or worn areas or items found during the repairs. Quotations on material is subject to change.						Material	\$70,446.00
Auth _____						Sublet	\$0.00
						TOTAL	\$95,146.00

>>> TRACTOR DRAWN AERIALCAT



AVAILABLE FOR IMMEDIATE DELIVERY

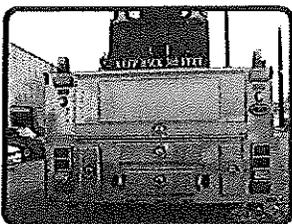
MANEUVERABILITY



- > 2005 Predator MFD w/ 6" Raised Roof Cab
- > 31,546 Miles - 2,561 Hours
- > Detroit Series 60, 515 HP Engine
- > Allison EVSR-4000 Transmission
- > Code 3 Warning Lights
- > Aluminum TDA AerialCat Body
- > Harrison PTO 8kw Generator
- > Unrestricted 500 lb. Rated Tip Load
- > -5 to +80 Degree Elevation Range
- > IQAN Motion Control System
- > 16' Outrigger Spread
- > 80,000 PSI Steel Ladder
- > Two (2) Electric Cord Reels
- > Various Shelves and Trays

- > 55'-11" Overall Length
- > 138" Overall Height
- > 141" Tractor Wheelbase
- > 330" Trailer Wheelbase
- > 1 yr. KME Bumper to Bumper Warranty to include lettering and delivery.
- > Many More Options

PRICE - \$394,000



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17 Winter Street
Woodville, MA 01784-0058
877.644.7707
www.bulldogfireapparatus.com

KME WORLD HEADQUARTERS

One Industrial Complex
Nesquehoning, PA 18240



1-800-235-3928 | www.kovatch.com

KME

KOVATCH

HAVERHILL FLOOD PROTECTION SYSTEM IMPROVEMENTS: ECONOMIC BENEFITS AND FUNDING OPPORTUNITIES

Downtown Haverhill is protected by a flood protection system comprised of three distinct parts: a flood wall, a pump station, and the Little River Conduit. Upgrades to the system are required to meet Federal Emergency Management Agency (FEMA) and U.S. Army Corps of Engineers (USACE) requirements and to provide improved flood protection to the City's critical downtown area, which is undergoing revitalization efforts. The recommended upgrades have planning level costs of up to \$4.4 million. While this is a substantial cost, implementation of the upgrades would result in significant benefits and avoided damages as detailed below and would encourage continued reinvestment and economic development in the downtown area. Potential funding opportunities are also identified below.

PROJECT BENEFITS

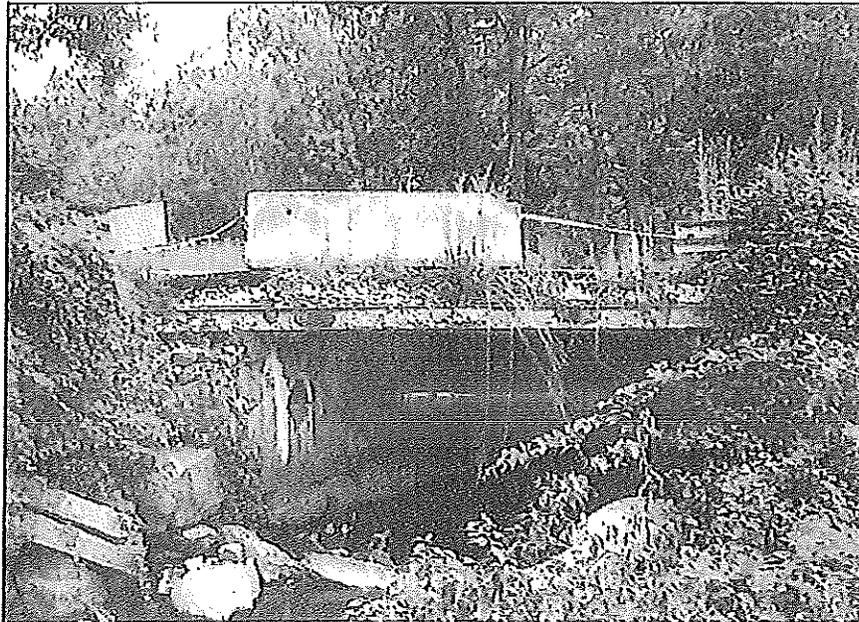
\$220,000 in Avoided Insurance Premiums Annually

The existing flood control system requires a number of repairs and improvements to meet FEMA's certification requirements. Without FEMA's certification of the flood wall and associated flood control elements, properties behind the flood wall in the downtown area would not be considered to be protected from the 100-year flood event. Flood insurance would be mandatory for those downtown properties with federally backed mortgages (most properties). If FEMA re-maps the area as unprotected, total mandatory annual insurance premiums would approximate \$220,000 for the affected property owners. If the flood control system is improved to meet FEMA's certification requirements, this insurance is non-mandatory and insurance costs to property owners would be reduced by approximately \$220,000 annually.

\$100,000 in Reduced Average Annualized Loss / Damages

A Risk Analysis was conducted to quantify the financial consequences and benefits of improving the flood protection system. As part of this analysis, an average annualized loss was calculated for various conditions using FEMA's Benefit-Cost Analysis (BCA) software and methodologies. The analysis demonstrates that the proposed improvements would reduce expected annual damages to the protected area by an additional \$100,000. This potential cost reduction of damages to the downtown area contributes to sound economic justification for flood control system repairs.

**CITY OF HAVERHILL
BRIDGE INSPECTION**

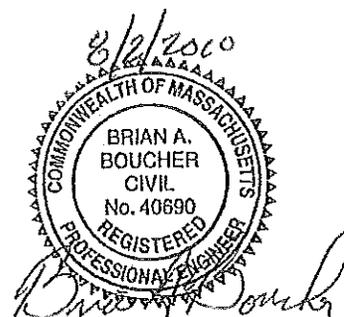


**EAST BROADWAY OVER MILLVALE BROOK
BRIDGE NO. H-12-013
BIN No. 8A5
STRUCTURE No. H12013-8A5-MUN-BRI**

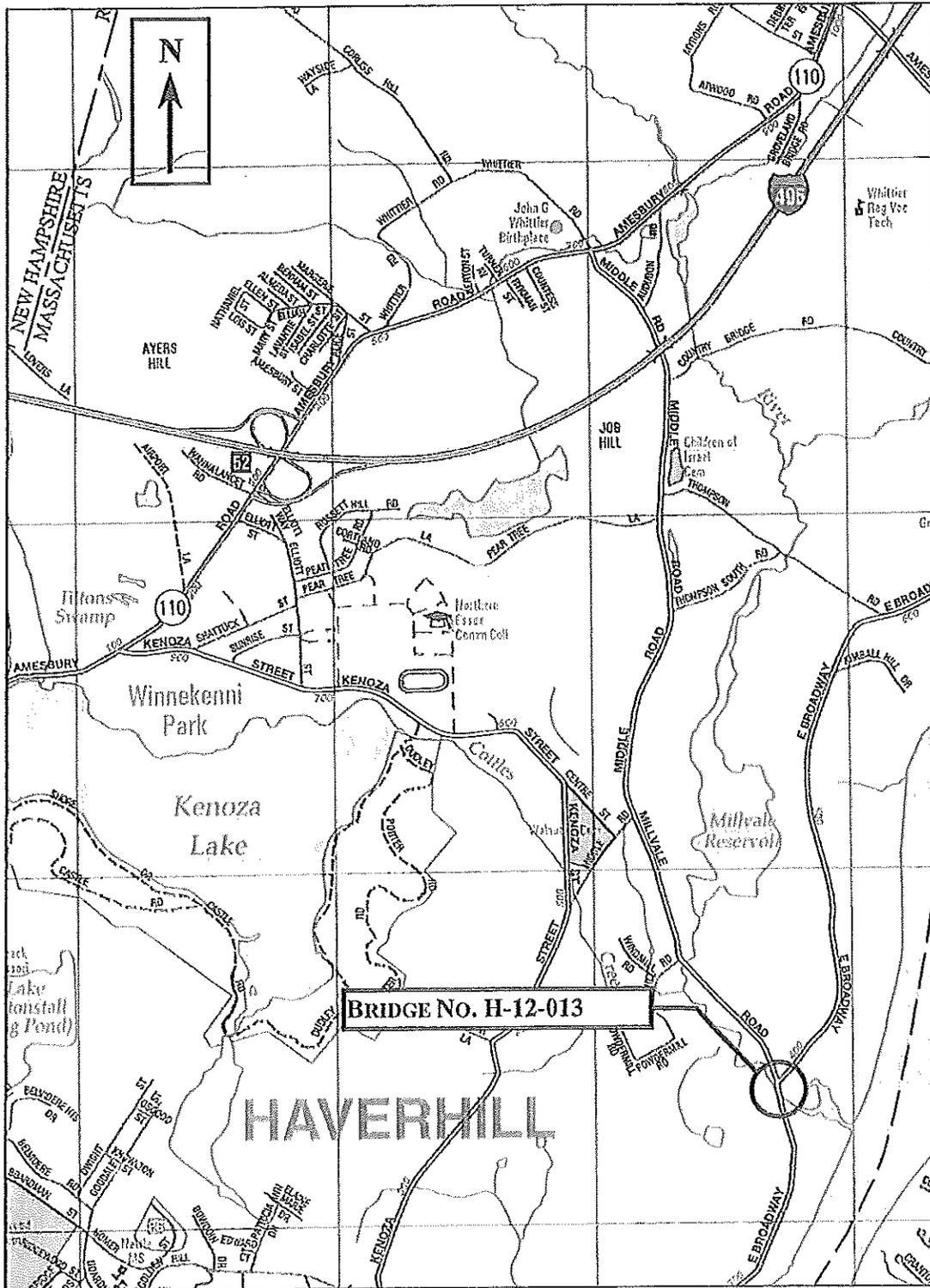
PREPARED BY:

**BAYSIDE ENGINEERING, INC.
600 Unicorn Park Drive
Woburn, MA 01801**

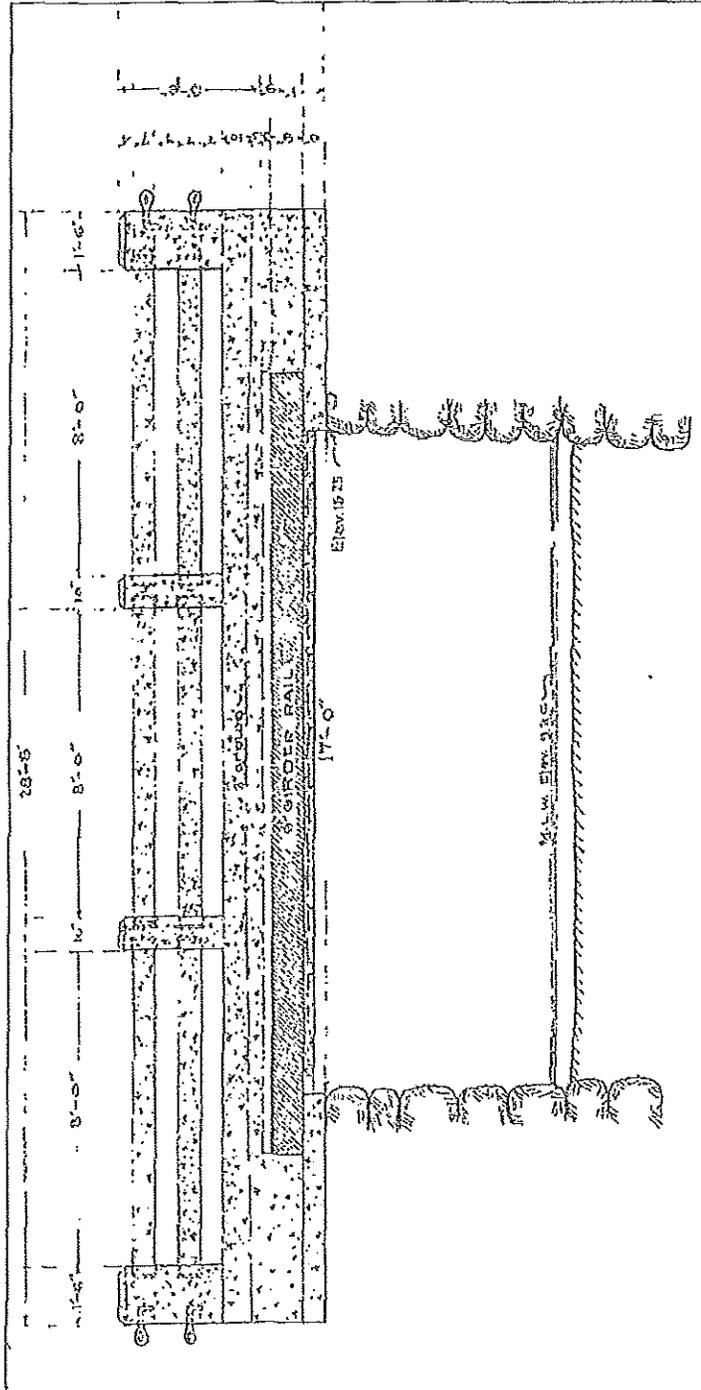
JULY 2010



LOCATION MAP



TYPICAL BRIDGE ELEVATION



APPENDIX A – FIELD NOTES AND INSPECTION FORMS

CITY OF HAVERHILL
STRUCTURES INSPECTION FIELD REPORT
ROUTINE INSPECTION

2-DIST 04	B.I.N. 8A5
---------------------	----------------------

BR. DEPT. NO. H-12-013

4-CITY/TOWN Haverhill	8-STRUCTURE NO. H12013-8A5-MUN-BRI	11-KILO. POINT	41-STATUS Open	INSPECTION DATE July 20, 2010
7-FACILITY CARRIED East Broadway	MEMORIAL NAME/LOCAL NAME		27-YR BUILT Unknown	106-YR REBUILT 1932
06-FEATURES INTERSECTED Millvale Brook	26-FUNCTIONAL CLASS. Urban Collector	QUALITY CONTROL ENGINEER Brian A. Boucher, P.E.		
43-STRUCTURE TYPE Concrete Encased Steel Stringer	22-OWNER Mun	21-MAINTAINER Mun	TEAM LEADER John J. Kelleher, P.E.	
107-DECK TYPE Cast in Place Concrete	WEATHER Sunny	TEMP. (air) 85 F	TEAM MEMBERS David Packard	

ITEM 58	4	DEF
DECK		
1. Wearing Surface	6	M/P
2. Deck Condition	4	S/A
3. Stay-in-place Forms	N	
4. Curbs	N	
5. Medians	N	
6. Sidewalks	N	
7. Parapets	N	
8. Railings	0	C-H/I
9. Anti-Missile Fence	N	
10. Drainage System	N	
11. Lighting Standards	N	
12. Utilities	7	
13. Deck Joints	N	
14.		
15.		
16.		

ITEM 59	6	DEF
SUPERSTRUCTURE		
1. Stringers	5	M/P
2. Floorbeams	N	
3. Floor System Bracing	N	
4. Girders or Beams	N	
5. Trusses-General	N	
a. Upper Chords	N	
b. Lower Chords	N	
c. Web Members	N	
d. Lateral Bracings	N	
e. Sway Bracings	N	
f. Portals	N	
g. End Posts	N	
6. Pins/Hangers	N	
7. Conn Plt's, Gussets, Angles	N	
8. Cover Plates	N	
9. Bearing Devices	N	
10. Diaphragms/Cross Frames	N	
11. Rivets & Bolts	N	
12. Welds	N	
13. Member Alignment	7	
14. Paint/Coating	N	
15.		
Year Painted:	N	

ITEM 60	5	DEF
SUBSTRUCTURE		
1. Abutments	5	
a. Pedestals	N N	
b. Bridge Seats	N 5	M/P
c. Backwalls	N N	
d. Breastwalls	N 4	C-S/A
e. Wingwalls	N 2	C-S/I
f. Slope Paving/Rip-Rap	N N	
g. Pointing	N 4	M/P
h. Footings	N N	
i. Piles	N N	
j. Scour	N 7	
k. Settlement	N N	
l.		
m.		
2. Piers or Bents	N	
a. Pedestals	N N	
b. Caps	N N	
c. Columns	N N	
d. Stems/Webs/Pierwalls	N N	
e. Pointing	N N	
f. Footing	N N	
g. Piles	N N	
h. Scour	N N	
i. Settlement	N N	
j.		
k.		
3. Pile Bents	N	
a. Pile Caps	N N	
b. Piles	N N	
c. Diagonal Bracing	N N	
d. Horizontal Bracing	N N	
e. Fasteners	N N	

CURB REVEAL (In millimeters)

N/E	127	S/W	127
-----	-----	-----	-----

APPROACHES	DEF
a. Appr. pavement condition	4 C-H/I
b. Appr. Roadway Settlement	4 C-H/I
c. Appr. Sidewalk Settlement	N
d.	

OVERHEAD SIGNS (Attached to bridge)	(Y/N)	DEF
a. Condition of Welds	N	
b. Condition of Bolts	N	
c. Condition of Signs	N	

COLLISION DAMAGE:
None Minor Moderate Severe

LOAD DEFLECTION:
None Minor Moderate Severe

LOAD VIBRATION:
None Minor Moderate Severe

Any Fracture Critical Member : (Y/N) **N**

Any Cracks : (Y/N) **Y**

UNDERMINING (Y/N) IF YES please explain **Y**

COLLISION DAMAGE:
None Minor Moderate Severe

I-60 (Dive Report): **N** I-60 (This Report): **5**

93b-UIW (DIVE) INSP DATE: _____

X=UNKNOWN N=NOT APPLICABLE H=HIDDEN/INACCESSIBLE R=REMOVED

CITY/TOWN Haverhill	B.I.N. 8A5	BR. DEPT. NO. H-12-013	S-STRUCTURE NO. H12013-8A5-MUN-BRI	INSPECTION DATE July 20, 2010
------------------------	---------------	---------------------------	---------------------------------------	----------------------------------

REMARKS & PHOTOS

GENERAL

For this inspection the approaches are north and south and the elevations are east and west. The structure is a single span concrete deck with encased steel stringers. The stringers are numbered from west to east.

ITEM 36 - TRAFFIC SAFETY FEATURES

- 36.1 **Bridge Railing** – The bridge rail consists of reinforced concrete posts and rails. The west bridge rail is in serious condition with minor exterior spalling and severe undermining the full length of the span (Refer to photo 33). The east bridge rail is completely missing and a jersey barrier has been put in its place (Refer to photo 12). The Jersey barrier is not connected to the approach guardrails and poses a safety issue with a blunt end facing oncoming traffic (Refer to photo 3).
- 36.2 **Transitions** – The west guardrail transition is in good condition. The east guardrail is in serious condition. The bridge rail is missing and a Jersey barrier has been put in its place. There is no mechanical connected between the approach guardrails and the Jersey barrier. The Jersey barrier has been placed in the roadway way posing a safety concern with a blunt end facing both directions of traffic (Refer to photo 37).
- 36.3 **Approach Guardrail** – The approach guardrails consist of steel W-shape rails. The northwest and northeast guardrails are in good condition. The southwest guardrail is missing and the southeast guardrail is in poor condition with multiple bent posts leading up to the bridge (Refer to photo 6).

ITEM 58 - DECK

- 58.1 **Wearing Surface** – The wearing surface is in fair condition. There are transverse cracks in the wearing surface in the northbound lane over both the north and south abutments (Refer to photos 15 & 16). These cracks indicated possible settlement of the east ends of the north and south abutments.
- 58.2 **Deck Condition** – The deck consists of concrete encased stringers and is in poor condition. The exterior stringers are exposed at both the west and east elevations. The west fascia has a full span spall and the east exterior stringer is completely exposed with all the concrete missing exposing the last interior stringer (refer to photos 25 & 26). The underside of the slab has heavy efflorescence with hairline cracks throughout (Refer to photo 19). There is a 3.5 foot wide by 9 foot long spall at the south abutment over the utility pipe 8 feet in from the east fascia (Refer to photo 35). The concrete is hollow sounding and delaminated 12 feet in from the east fascia. There is a full span crack parallel to the stringers 12 feet in from the east fascia (Refer to photo 20). This crack varies in width from 1/8 inch to 1/4 inch wide. There is a second full span crack located 14 feet west of the utility pipe (Refer to photo 21). The crack runs parallel to the stringers and varies in width from 1/8 inch to 1/4 inch wide. There is a third full span hairline crack that runs parallel to the stringers 15 feet west of the utility pipe (Refer to photo 22). There is a fourth full span crack 17 feet west of the utility pipe (Refer to photo 23). The crack runs parallel to the stringers and continues down into the beam seat at the north abutment. The crack is 1/8 inch wide. There is a fifth full span crack 19 feet west of the utility pipe (Refer to photo 24). The crack runs parallel to the stringers and is 1/8 inch wide.

CITY/TOWN Haverhill	B.I.N. 8A5	BR. DEPT. NO. H-12-013	8-STRUCTURE NO. H12013-8A5-MUN-BRI	INSPECTION DATE July 20, 2010
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REMARKS & PHOTOS

ITEM 60 – SUBSTRUCTURE Cont.

60.1e Abutment Wingwalls Cont.

with the remaining wall overturning (Refer to photo 29). The overturning wall is undermining the roadway and a sink hole has developed at the wingwall resulting in a safety concern for vehicles traveling over the structure.

60.1g Abutment Pointing – The abutment pointing is in poor condition with mortar missing on 80% of the joints in both abutments.

ITEM 61 – CHANNEL & CHANNEL PROTECTION

61.4 Vegetation – The vegetation is in poor condition with large brush growing out of the wingwalls on both sides of the structure.

RECOMMENDATIONS:

1. Install precast concrete Jersey barriers that bolt to the deck with steel guardrail that bolt to the barrier and terminate safely.
2. Reconstruct the northwest, northeast, and southeast wingwalls.
3. Repair sinkhole.
4. Remove vegetation growing from substructure.
5. Remove the boulders forming foot bridge/dam across channel at both openings of the bridge.
6. Repoint/rechink abutment as necessary.

APPENDIX B - List of Photographs

- Photo No. 1 - North Approach looking north
- Photo No. 2 - North Approach looking south
- Photo No. 3 - South Approach looking north
- Photo No. 4 - South Approach looking south
- Photo No. 5 - Northeast Guardrail
- Photo No. 6 - Southeast Guardrail
- Photo No. 7 - Overgrown Vegetation at Southwest Wingwall
- Photo No. 8 - Sinkhole and Overgrown Vegetation at Northwest Wingwall
- Photo No. 9 - Looking West off of Bridge Rail
- Photo No. 10 - Looking East off of Bridge Rail
- Photo No. 11 - Looking at West Bridge Rail
- Photo No. 12 - Looking at east barrier
- Photo No. 13 - Longitudinal crack in wearing surface at northwest wingwall
- Photo No. 14 - Sinkhole at northwest wingwall
- Photo No. 15 - Transverse crack in wearing surface over north abutment
- Photo No. 16 - Transverse crack in wearing surface over south abutment
- Photo No. 17 - West elevation
- Photo No. 18 - East elevation
- Photo No. 19 - Typical underside of slab
- Photo No. 20 - Full span crack in deck 12 ft from east fascia
- Photo No. 21 - Full span crack in deck 14 ft west of utility pipe
- Photo No. 22 - Full span crack in deck 15 ft west of utility pipe
- Photo No. 23 - Full span crack in deck 17 ft west of utility pipe
- Photo No. 24 - Full span crack in deck 19 ft west of utility pipe
- Photo No. 25 - Exposed exterior stringer, east fascia
- Photo No. 26 - Exposed exterior stringer, west fascia
- Photo No. 27 - North abutment
- Photo No. 28 - South abutment



Photo No. 1 – North Approach looking north



Photo No. 2 – North Approach looking south



Photo No. 5 – Northeast Guardrail



Photo No. 6 – Southeast Guardrail



Photo No. 9 – Looking West off of Bridge Rail

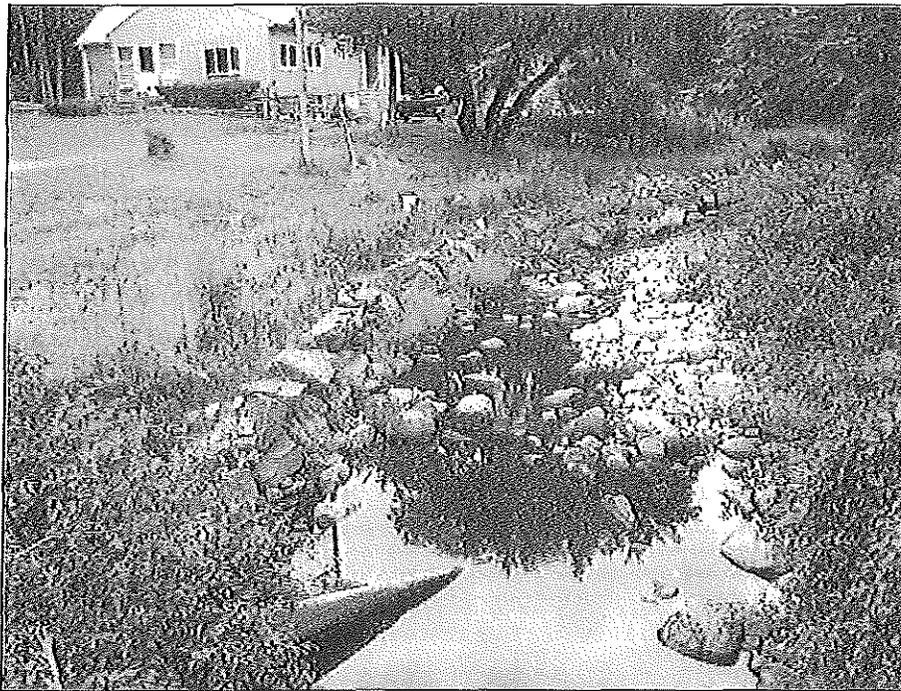


Photo No. 10 – Looking East off of Bridge Rail

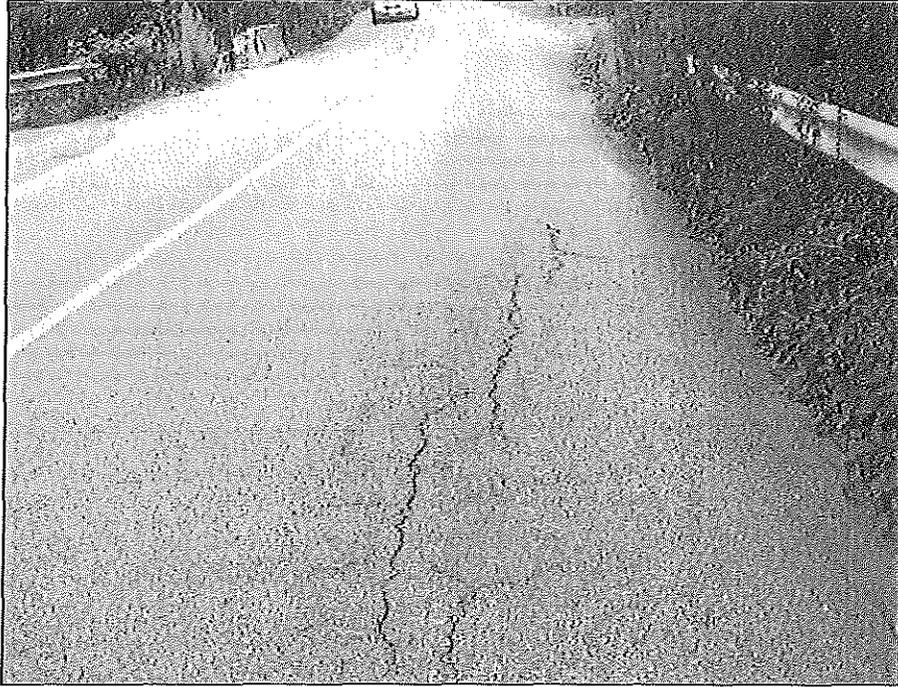


Photo No. 13 – Longitudinal crack in wearing surface at northwest wingwall



Photo No. 14 – Sinkhole at northwest wingwall



Photo No. 17 – West elevation

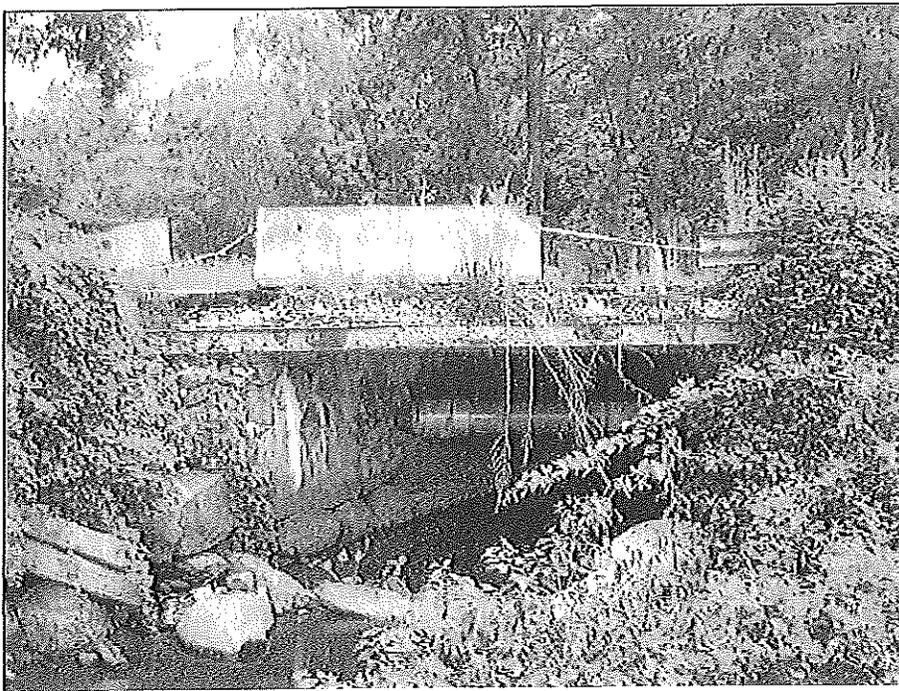


Photo No. 18 – East elevation

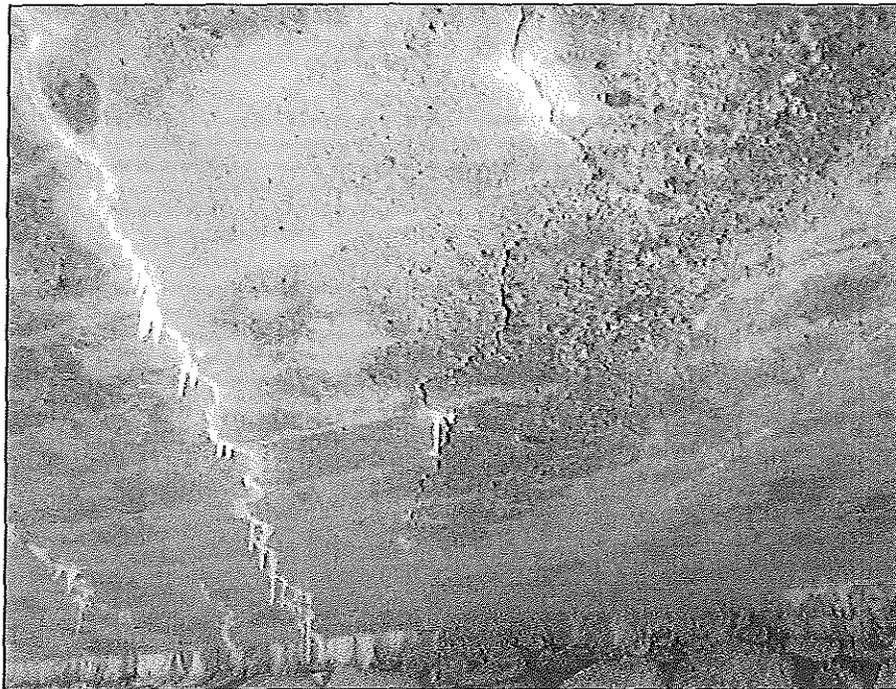


Photo No. 21 – Full span crack in deck 14 ft west of utility pipe

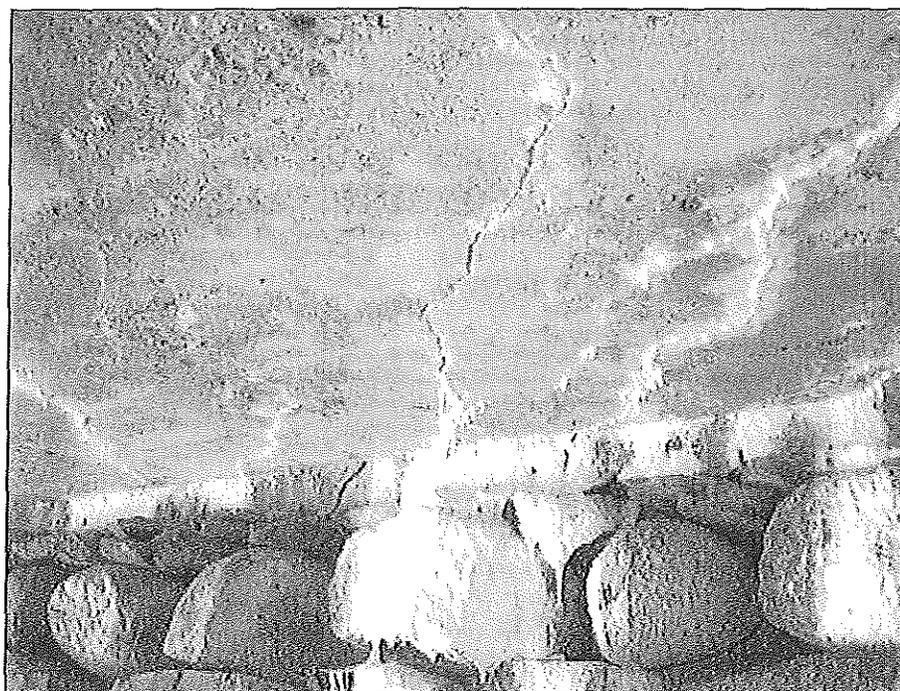


Photo No. 22 – Full length crack in deck 15 ft west of utility pipe



Photo No. 25 – Exposed exterior stringer, east fascia



Photo No. 26 – Exposed exterior stringer, west fascia



Photo No. 29 – Northwest wingwall

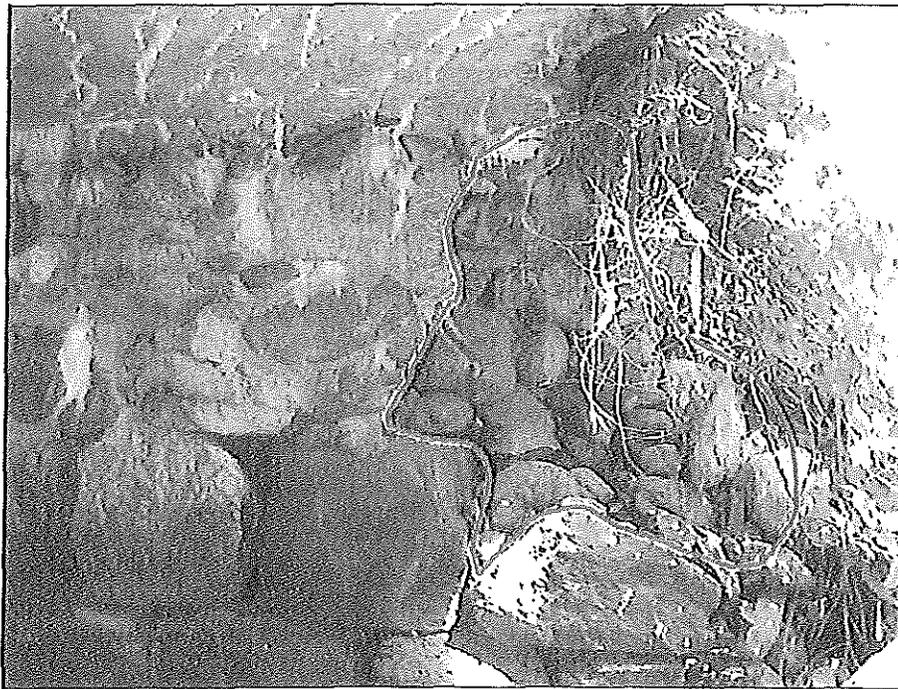


Photo No. 30 – Void in east corner of north abutment

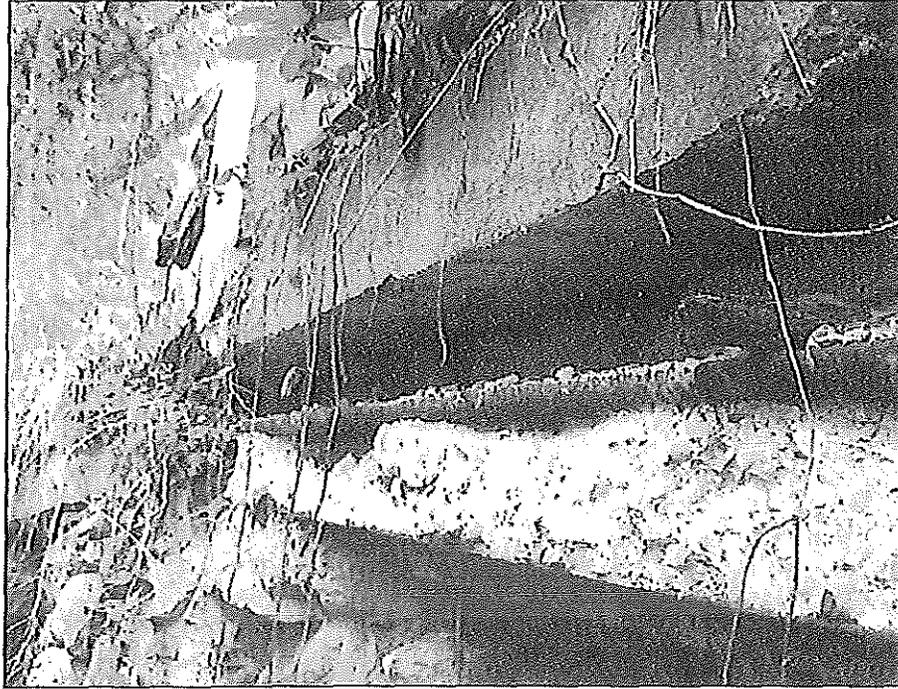


Photo No. 33 – Undermining of west bridge rail

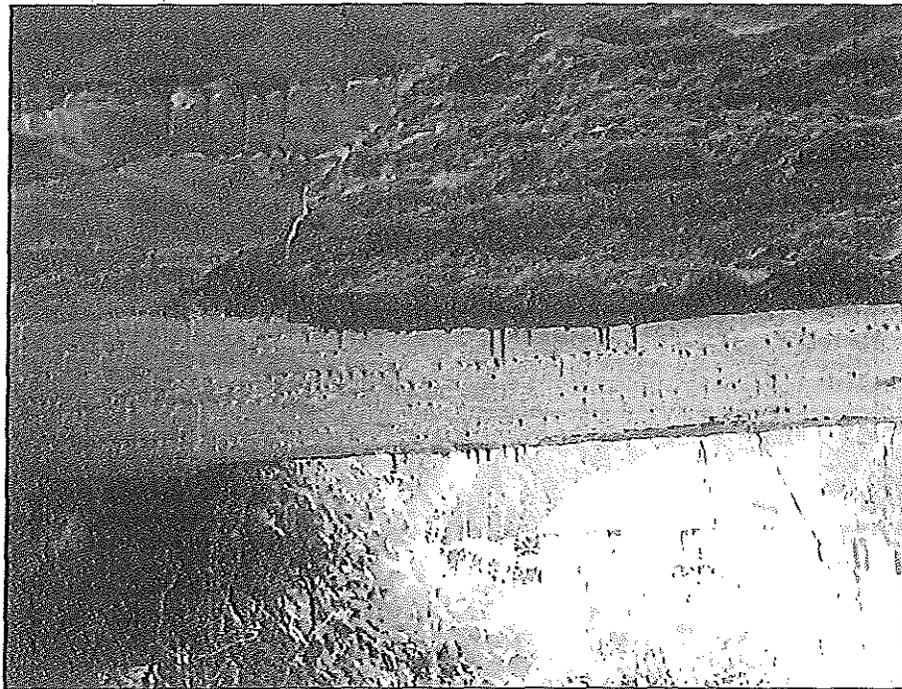


Photo No. 34 – Deck spall



Photo No. 37 – East guardrail transition

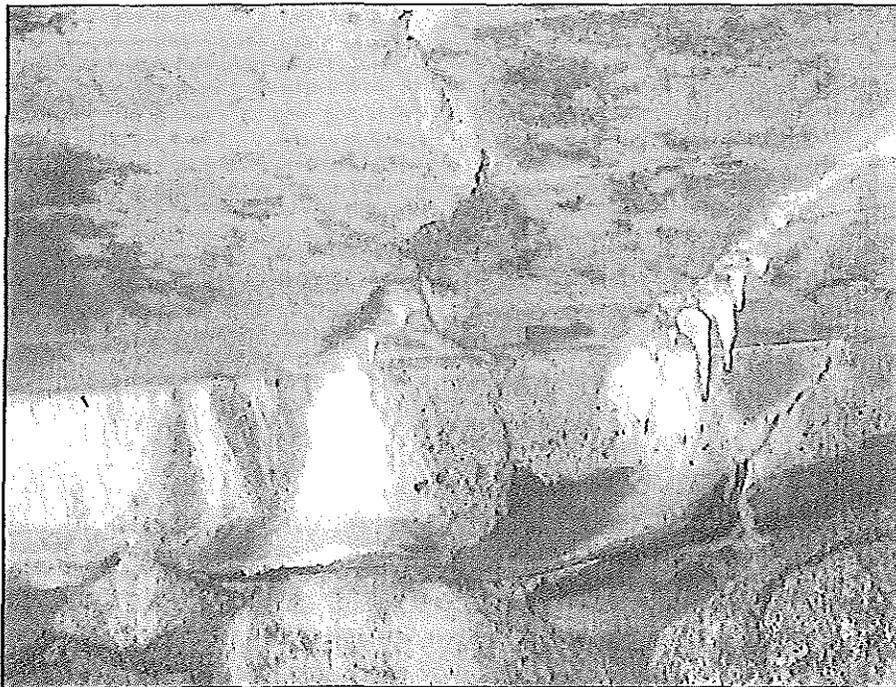
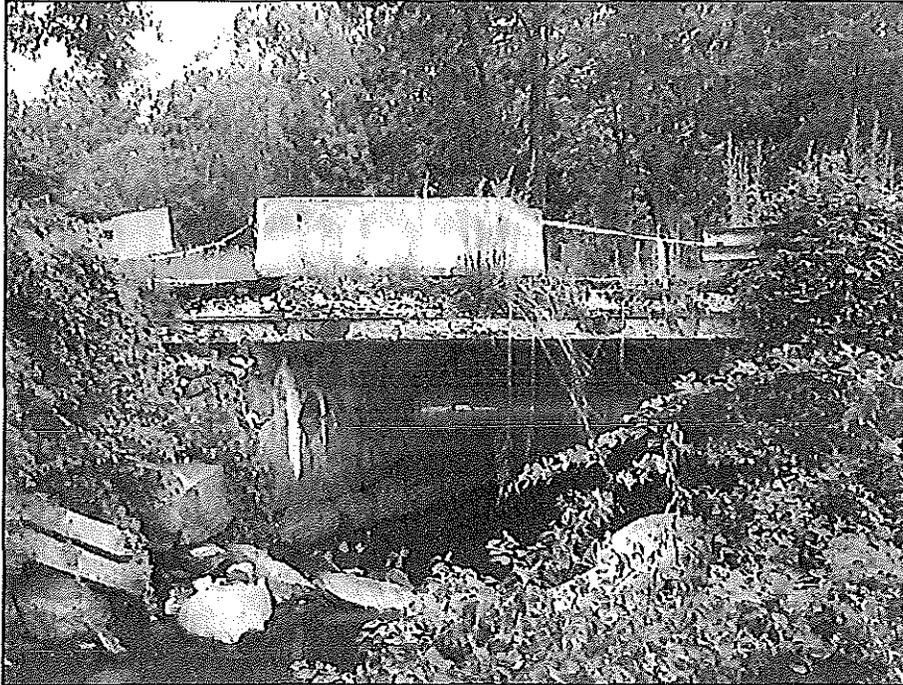


Photo No. 38 – Crack in north beam seat

CITY OF HAVERHILL

BRIDGE RATING



EAST BROADWAY OVER MILLVALE BROOK

BRIDGE NO. H-12-013

BIN 8A5

STRUCTURE NO. H12013-8A5-MUN-BRI

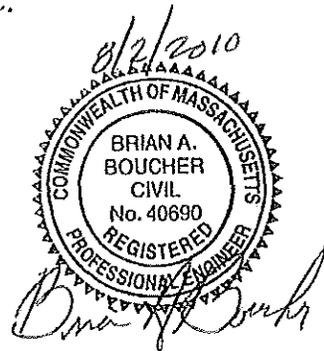
PREPARED BY:

BAYSIDE ENGINEERING, INC.

600 Unicorn Park Drive

Woburn, MA 01801

JULY 2010



Haverhill

East Broadway over Millvale Brook

H-12-013(8A5)

BREAKDOWN OF BRIDGE RATING

TOWN / CITY: Haverhill

BRIDGE NO.: H-12-013

CARRIES: East Broadway

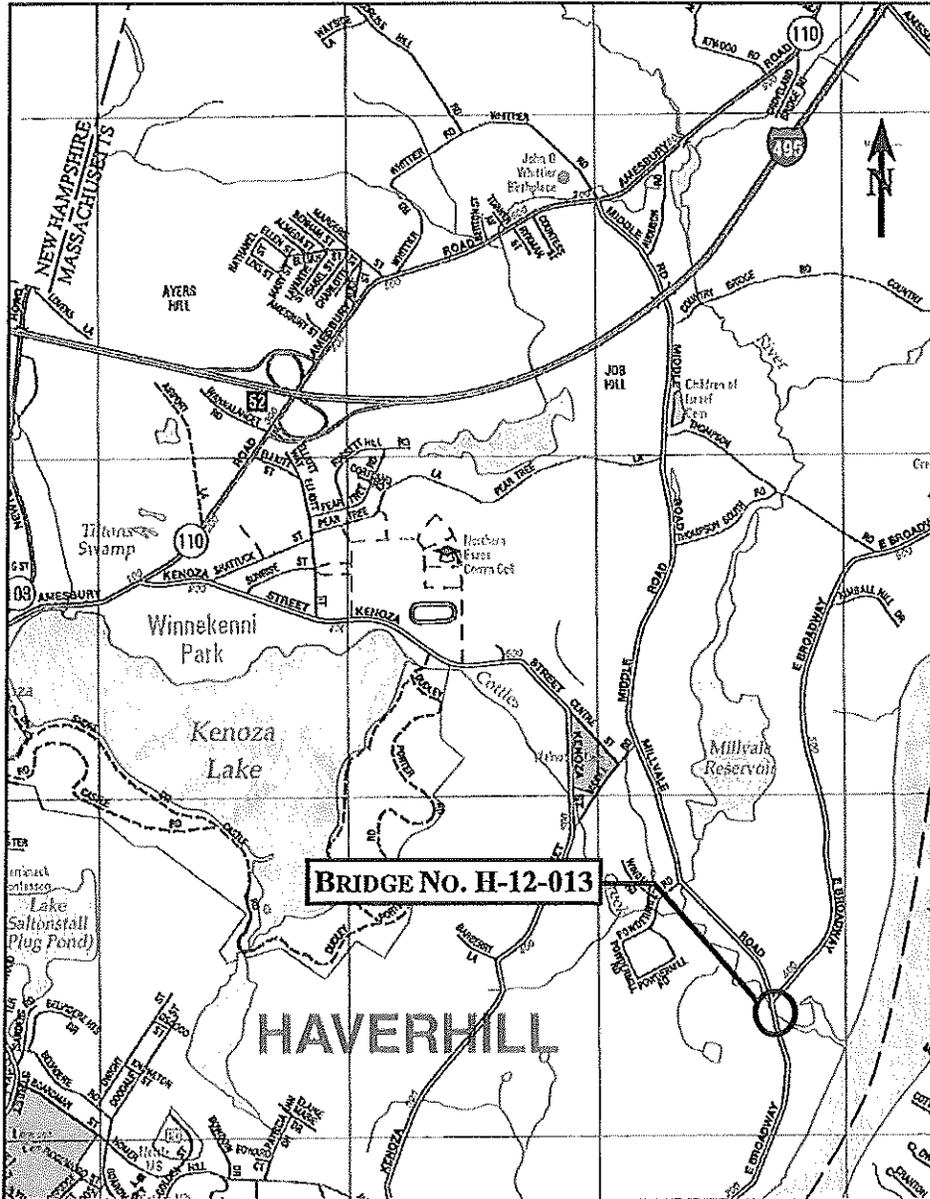
OVER: Millvale Brook

STRUCT. NO.: H12013-8A5-MUN-BRI

BIN NO.: 8A5

BRIDGE COMPONENT	INVENTORY RATING BY WORKING STRESS METHOD			OPERATING RATING BY WORKING STRESS METHOD		
	H20	TYPE 3	TYPE 3S2	H20	TYPE 3	TYPE 3S2
TYP. 9" GIRDER RAIL AT MIDSPAN	68.8	101.2	159.9	105.6	155.4	245.4
TYP. 12" GIRDER RAIL AT MIDSPAN	34.8	51.2	80.8	56.9	83.6	132.1

LOCATION MAP



RATING ANALYSIS ASSUMPTIONS AND CRITERIA

The rating analysis is based on inspection records and a site visit by Bayside Engineering, Inc. (BAYSIDE) personnel. It has been determined that the bridge is generally in poor condition.

The inventory and operating capacity of the bridge were rated in accordance with the provisions of the 1994 edition of the "Manual for Condition of Evaluation of Bridges" and the 17th edition of the "Standard Specifications for Highway Bridges", both published by the American Association of State Highway and Transportation Officials (AASHTO).

The live loads used in the rating are standard AASHTO Truck H-20 and the Type 3 and Type 3S2 as shown on Figure 7.4.3.1 of the above-referenced AASHTO (1994) manual.

For both inventory and operating analyses of the steel stringers, the live load distribution factor used was that indicated in Article 3.23 of the AASHTO Standard Specifications, for two or more traffic lanes, for interior stringers.

The assumptions used in rating the bridge structure are as follows:

1. The superstructure components to be rated are the steel stringers. The dead load for the analysis will be compiled through the use of tributary width.
2. The allowable unit stresses used are as follows:
Structural Steel (unknown steel 1905 - 1936):
Fy = 30,000 psi
fs = 16,000 psi (Inventory Allowable Stress)
fs = 22,500 psi (Operating Allowable Stress)
3. The substructure was not rated.

EVALUATION OF RATING AND RECOMMENDATIONS

The steel stringers meet the statutory requirements for the H20, Type 3 and Type 3S2 trucks.

The trucks analyzed have the following inventory ratings at the controlling locations:

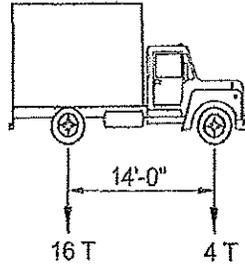
<u>TRUCK</u>	<u>RATING</u>
H20	34.8T
3	51.2T
3S2	80.8T

Bridge weight posting is not recommended for this bridge structure.

All preventive maintenance and inspection procedures should continue on regular and normal frequencies.

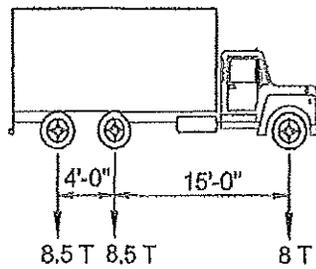
H20 VEHICLE

TOTAL WEIGHT
20 TONS



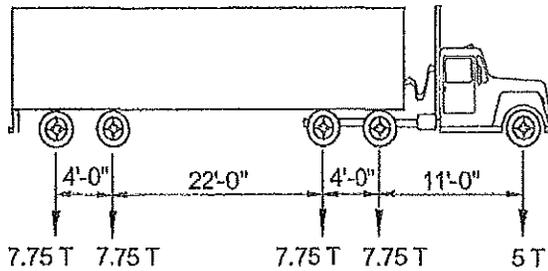
TYPE 3 VEHICLE

TOTAL WEIGHT
25 TONS

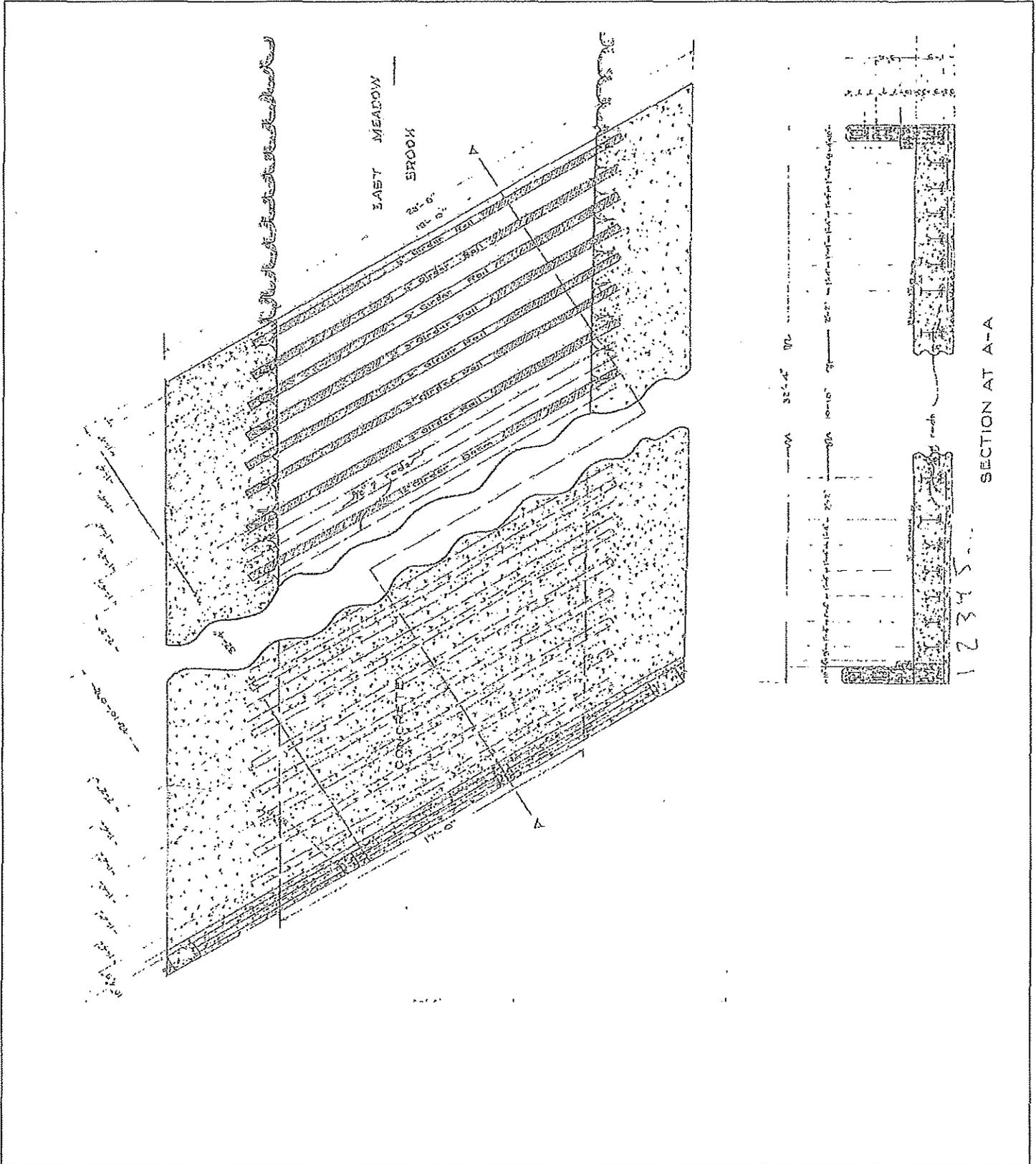


TYPE 3S2 VEHICLE

TOTAL WEIGHT
36 TONS



APPENDIX A
COMPUTATIONS



BAYSIDE ENGINEERING

600 Unicorn Park Drive Woburn, MA 01801

Phone: 781.932.3201 Fax: 781.932.3413

www.baysideengineering.com

JOB

H-12-013

SHEET NO.

2

OF

CALCULATED BY

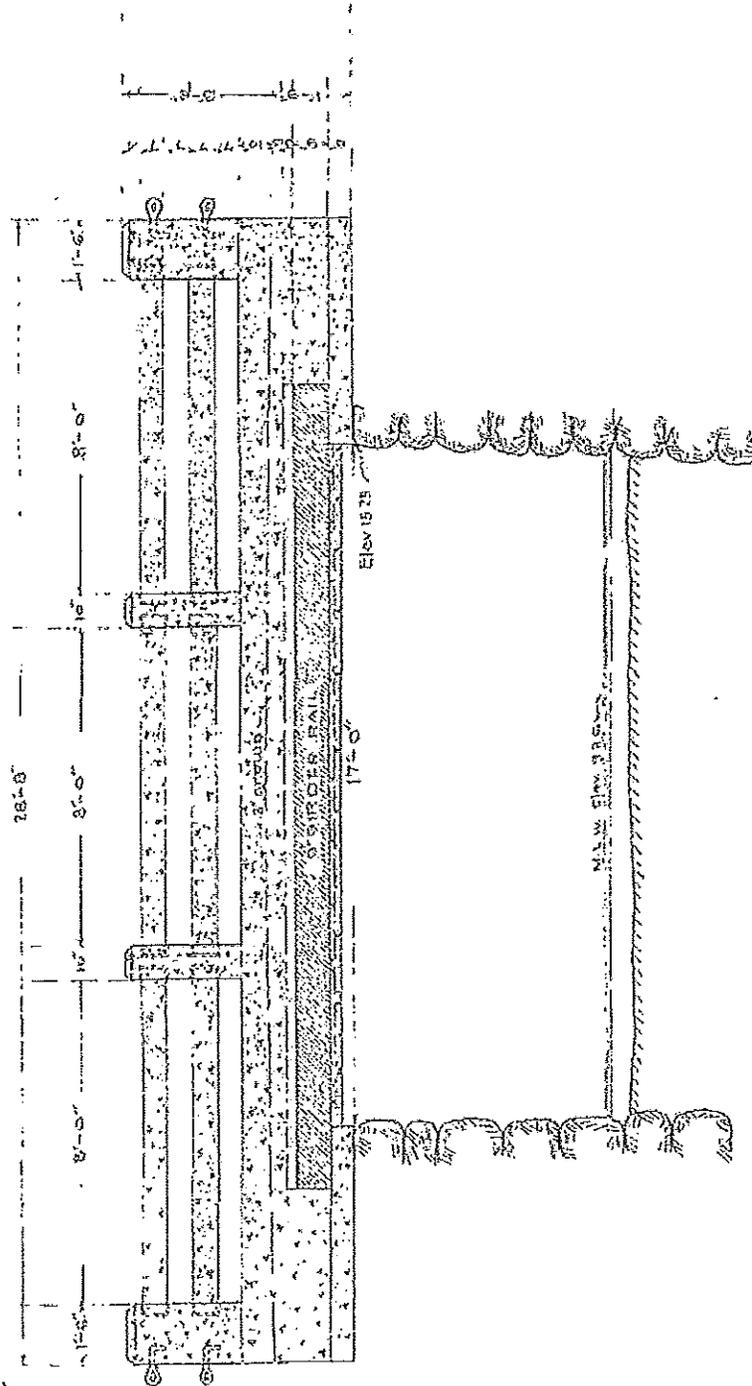
DP

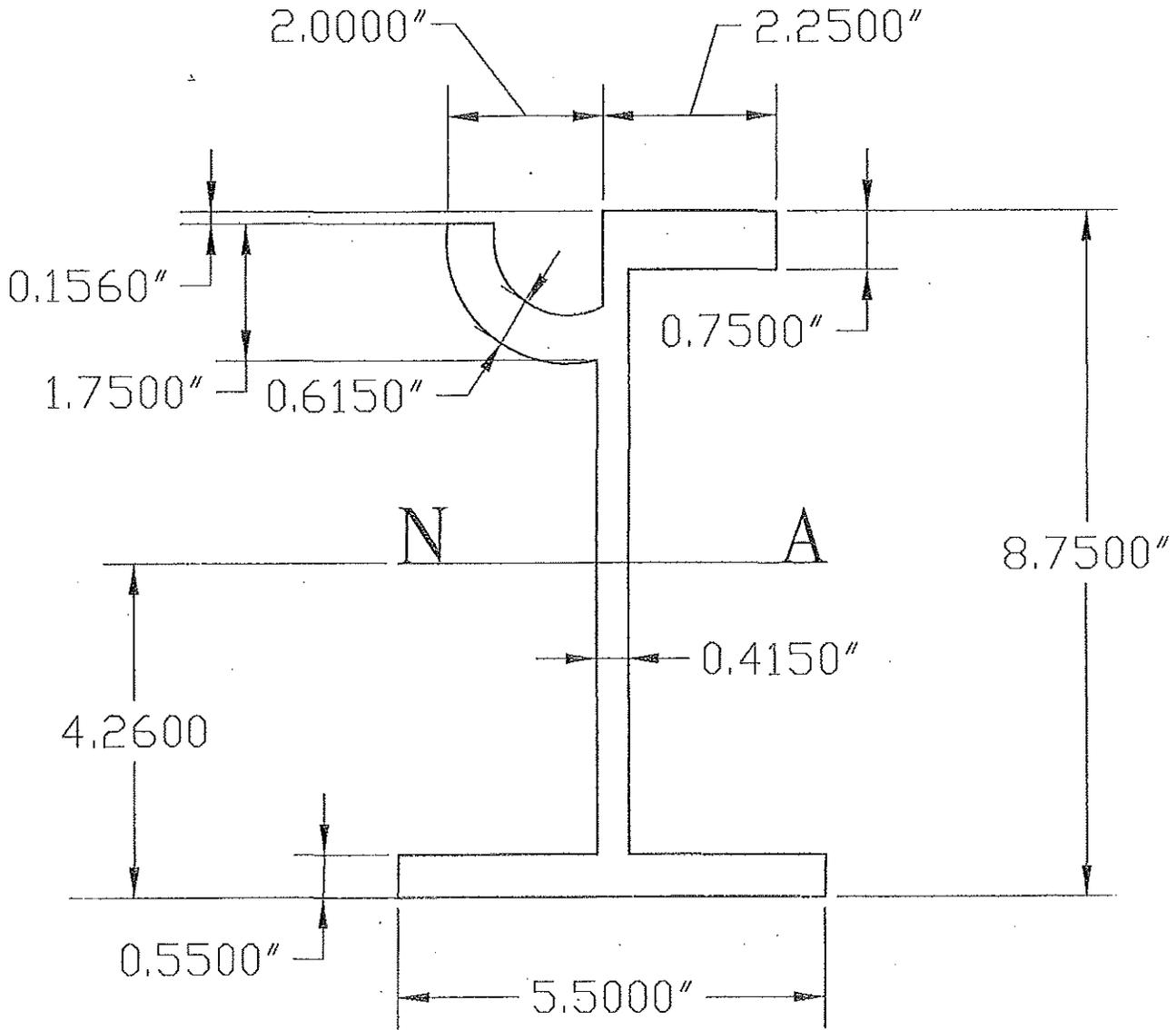
DATE

July-10

CHECKED BY

SCALE





ALL DIMENSIONS ARE BASED ON FIELD MEASUREMENTS

9 INCH GIRDER RAIL

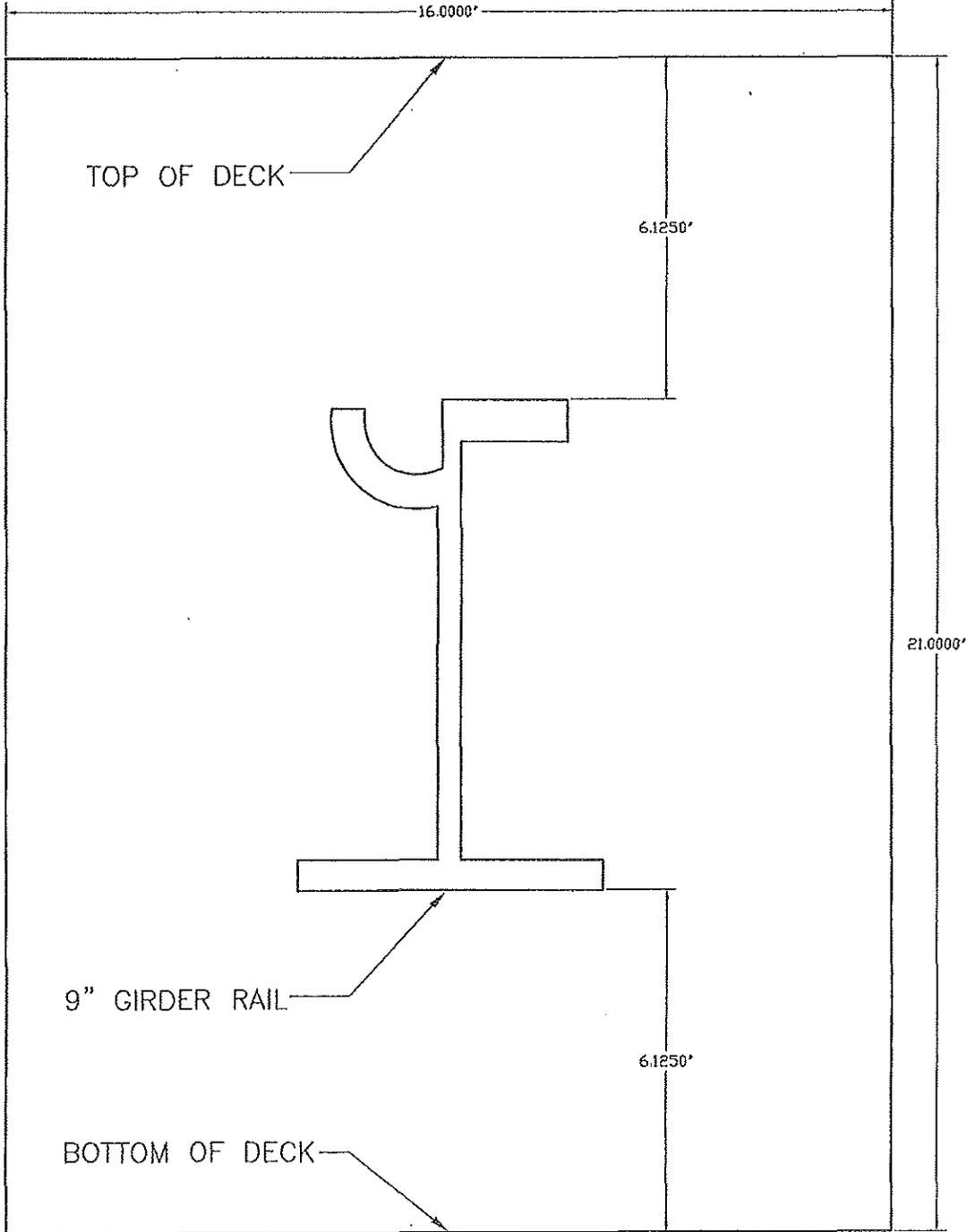
4

9 inch girder rail sect prop

select objects: 1 found

select objects:

```
----- REGIONS -----  
Area: 9.35  
Perimeter: 37.42  
Bounding box: X: -2.71 -- 2.79  
               Y: -4.26 -- 4.49  
Centroid: X: 0.00  
           Y: 0.00  
Moments of inertia: X: 108.32  
                   Y: 13.14  
Product of inertia: XY: -0.11  
Radii of gyration: X: 3.40  
                  Y: 1.19  
Principal moments and X-Y directions about centroid:  
I: 13.14 along [0.00 -1.00]  
J: 108.32 along [1.00 0.00]
```



9 INCH GIRDER RAIL SECTION
N.T.S



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JOB H-12-013 (8AS) Haverhill
 SHEET NO. 6 OF _____
 CALCULATED BY DP DATE 7/10
 CHECKED BY DPB DATE 7/10/10
 SCALE NFS

Section Capacity

Assumptions:

- Simply Supported
- Composite Section
- Top Flange Braced full length
- The grade of Steel is untested therefore yield stress of 30 ksi will be used based on AASHTO MCEB with construction between 1905 & 1936
- The grade of concrete is untested therefore $f'_c = 2 \text{ ksi}$ will be used based on AASHTO MCEB with construction prior to 1954

Beam Span (L_s):

$$L_s = 17' \text{ (clear span)} + 1.75'/2 + 1.75'/2 = 18.75'$$

Allowable Stress:

Flexure (σ_{allow}) = 16 ksi

MCEB Table 6.2.2.1-1

Shear (τ_{allow}) = 22.5 ksi

MCEB Table 6.2.2.1-2

9 inch Girder Rail

Beam Span (b) 16 inches

$E_s = 29,000$

$w_p = 150 \text{ plf}$

$f'_c = 2 \text{ ksi}$

$n = 15$ (Ref MCEB 6.6.2.4.1)

$D/n = 16''/15 = 1.07 \text{ in}$

Composite Section

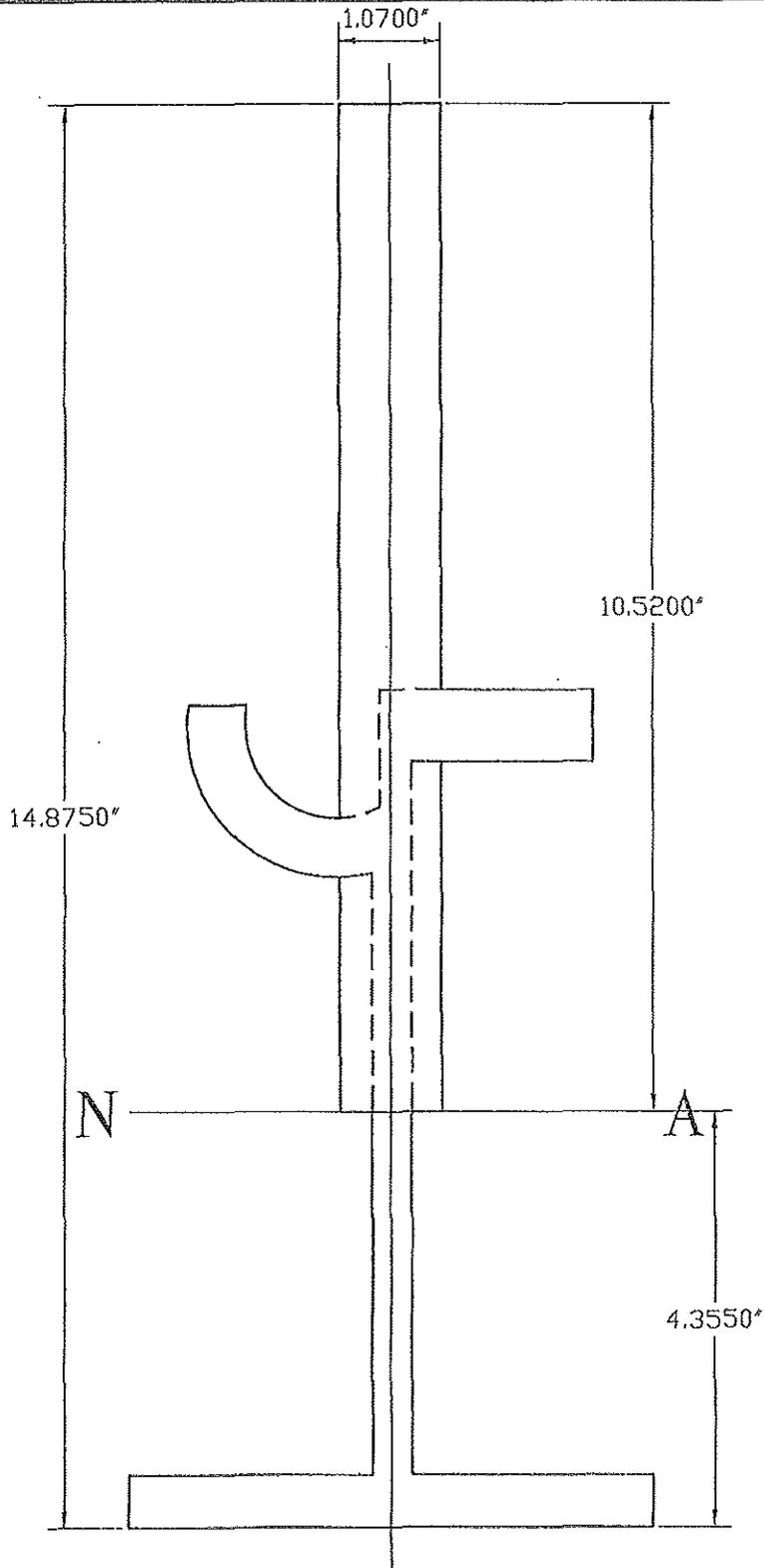
$y = 4.355 \text{ in}$ (See 9 inch Composite Section)

$I_{xx} = 354.36 \text{ in}^4$ (See 9 inch Composite Section)

$$S_{x_{top}} = \frac{I}{d_{top} - y} = \frac{354.36 \text{ in}^4}{8.75'' - 4.355''} = 80.6 \text{ in}^3$$

$$S_{x_{bottom}} = \frac{I}{y} = \frac{354.36 \text{ in}^4}{4.355''} = 81.4 \text{ in}^3$$

$S_{x_{top}} < S_{x_{bottom}} \Rightarrow \text{USE } S_x = 80.6 \text{ in}^3$



9 INCH COMPOSITE SECTION
N.T.S

9 inch rail composite section

Command: MASSPROP

Select objects: 1 found

Select objects:

```
----- REGIONS -----  
Area: 18.43  
Perimeter: 49.72  
Bounding box: X: -2.75 -- 2.75  
              Y: -4.36 -- 10.52  
Centroid: X: -0.02  
           Y: 2.89  
Moments of inertia: X: 507.80  
                   Y: 14.14  
Product of inertia: XY: -0.29  
Radii of gyration: X: 5.25  
                  Y: 0.88  
Principal moments and X-Y directions about centroid:  
I: 14.13 along [0.00 1.00]  
J: 354.36 along [-1.00 0.00]
```



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JOB 11-12-013 (8AS) Haverhill

SHEET NO. 9 OF

CALCULATED BY DP DATE 7/10

CHECKED BY PMS DATE 7/20/10

SCALE ANS

Section Capacity Cont.

9 inch Girder Rail Cont.

Moment Capacity:

$$M_c = \sigma S_x$$

Inventory Moment Capacity: $M_{INV} = \sigma_{INV} S_x = (16 \text{ ksi})(80.6 \text{ in}^3) = \frac{1290 \text{ k-in}}{12 \text{ in}} = 107 \text{ k-ft}$

Operating Moment Capacity: $M_{OPR} = \sigma_{OPR} S_x = (22.5 \text{ ksi})(80.6 \text{ in}^3) = \frac{1814 \text{ k-in}}{12 \text{ in}} = 151 \text{ k-ft}$

Superimposed Dead Load (S.D.L.) for 9 inch Girder Rail

Assume Knife Cut

Composite Section Self Weight (w_c):

$$A_{gr} = 9.35 \text{ in}^2$$

$$A_{total} = (16)(21) = 336 \text{ in}^2$$

$$A_{conc} = 336 \text{ in}^2 - 9.35 \text{ in}^2 = 326.7 \text{ in}^2$$

$$w_c = \frac{(9.35 \text{ in}^2)(490 \text{ pcf})}{(144 \text{ in}^2)} + \frac{(326.7 \text{ in}^2)(150 \text{ pcf})}{(144 \text{ in}^2)} = 372 \text{ PLF}$$

Bit. Conc.

5 in of Bit. Conc.

$$w_b = \left(\frac{5 \text{ in}}{12 \text{ in}} \right) \left(\frac{16 \text{ Spacing}}{12 \text{ in}} \right) (150 \text{ pcf}) = 83.3 \text{ PLF}$$

Fill

13 in of Fill from top of road to top of deck

Depth of Fill (D.F.) = 13 in - 5 in = 8 in

$$w_f = \left(\frac{8 \text{ in}}{12 \text{ in}} \right) \left(\frac{16 \text{ Spacing}}{12 \text{ in}} \right) (120 \text{ pcf}) = 107 \text{ PLF}$$



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JOB H-12-013 (8AS) Haverhill

SHEET NO. 10 OF
CALCULATED BY DP DATE 7/10
CHECKED BY BABS DATE 7/10
SCALE NTS

Superimposed Dead Load for Girder (Rail) Cont.

$$w_{DL} = 372 \text{ PLF} + 833 \text{ PLF} + 107 \text{ PLF} = 562 \text{ PLF} \approx 0.562 \text{ KLF}$$

$$M_{DL} = \frac{(w_{DL})(L^2)}{8} = \frac{(0.562 \text{ KLF})(18.75^2)}{8} = 24.7 \text{ K-ft}$$

Live Loads (LL)

$$\text{Span} = 18.75 \text{ ft} \approx 19 \text{ ft}$$

Reference Appendix A3 MGEB

$$\text{HZO: } M_{LL} = 76.0 \text{ K-ft}$$

$$\text{Type 3: } M_{LL} = 64.6 \text{ K-ft}$$

$$\text{Type 32: } M_{LL} = 58.9 \text{ K-ft}$$

Impact (I)

$$I = \frac{50}{L+25} \quad \text{Reference AASHTO 3.8.3.1}$$

$$I = \frac{50}{18.75+25} = 0.35 \Rightarrow \text{use } I = 0.5$$

Live Load Distribution Factor (DF)

Ref. AASHTO Table 3.23.1

$$DF = S/5.5$$

$$S = 16 \text{ in} = 1.33 \text{ ft}$$

$$DF = 1.33 \text{ ft} / 5.5 = 0.242$$

BASED ON WHEEL LOAD W/O IMPACT, D.F.

APPENDIX A3

LIVE LOAD MOMENTS ON LONGITUDINAL STRINGERS OR GIRDERS

Live Load Moments in Foot-Kips Per Wheel Line										
Type of Loading (Without Impact)					Span Feet c/c	Type of Loading (With Impact)				
H-15	HS-20	3'	3-S2	3-3		H-15	HS-20	3	3-S2	3-3
15.0	20.0	10.6	9.7	10.0	5	19.5	26.0	13.8	12.6	13.0
18.0	24.0	12.8	11.6	12.0	6	23.4	31.2	16.6	15.1	15.6
21.0	28.0	15.2	13.8	14.0	7	27.3	36.4	19.7	18.0	18.2
24.0	32.0	19.1	17.4	16.0	8	31.2	41.6	24.9	22.7	20.8
27.0	36.0	23.1	21.1	19.1	9	35.1	46.8	30.1	27.4	24.8
30.0	40.0	27.2	24.8	22.4	10	39.0	52.0	35.4	32.2	29.1
33.0	44.0	31.3	28.5	25.8	11	42.9	57.2	40.7	37.1	33.5
36.0	48.0	35.4	32.2	29.2	12	46.8	62.4	46.0	42.0	37.9
39.0	52.0	39.6	36.1	32.6	13	50.7	67.6	51.4	46.9	42.3
42.0	56.0	43.7	39.9	36.0	14	54.6	72.8	56.8	51.8	46.8
45.0	60.0	47.9	43.7	39.4	15	58.5	78.0	62.2	56.8	51.3
48.0	64.0	52.1	47.5	42.9	16	62.4	83.2	67.7	61.7	55.7
51.0	68.0	56.3	51.3	46.3	17	66.3	88.4	73.1	66.7	60.2
54.0	72.0	60.4	55.1	49.8	18	70.2	93.6	78.6	71.6	64.7
57.0	76.0	64.6	58.9	53.2	19	74.1	98.8	84.0	76.6	69.2
60.0	80.0	68.9	62.8	56.7	20	78.0	104.0	89.5	81.6	73.7
63.0	84.0	73.1	66.6	60.2	21	81.9	109.2	95.0	86.6	78.2
66.0	88.0	77.3	70.5	63.6	22	85.8	114.4	100.5	91.6	82.7
69.0	92.0	81.5	75.2	67.1	23	89.7	119.6	105.9	97.7	87.2
72.0	96.3	85.7	80.3	70.6	24	93.6	125.2	111.4	104.4	91.8
75.0	103.7	89.9	85.4	74.1	25	97.5	134.8	116.9	111.0	96.3
78.0	111.1	94.2	90.5	77.5	26	101.4	144.4	122.4	117.7	100.8
81.3	118.5	98.4	95.6	81.0	27	105.7	154.1	127.9	124.3	105.3
85.1	126.0	102.6	100.7	84.5	28	110.6	163.8	133.4	131.0	109.8
88.8	133.5	106.8	105.9	88.0	29	115.4	173.6	138.9	137.6	114.4
92.5	141.0	112.9	111.0	91.5	30	120.2	183.3	146.8	144.3	118.9
99.8	156.2	125.3	121.2	101.5	32	130.0	203.1	162.9	157.6	132.0
107.4	171.8	137.6	131.5	112.3	34	139.6	223.3	178.9	170.9	146.0
114.8	189.4	150.0	141.7	123.1	36	149.2	246.2	195.0	184.2	160.1
122.3	207.1	162.4	151.9	134.0	38	159.0	269.2	211.1	197.5	174.1
129.7	224.9	174.8	162.2	144.8	40	168.6	292.4	227.3	210.8	188.3
137.2	242.7	187.2	172.4	155.7	42	178.3	315.3	243.3	224.0	202.3
144.7	260.4	199.7	182.7	166.6	44	187.5	337.5	258.7	236.7	215.8
152.1	278.3	212.1	192.9	177.4	46	196.6	359.6	274.1	249.3	229.3
159.6	296.1	224.5	203.2	188.3	48	205.7	381.7	289.4	261.9	242.8
167.1	314.0	237.0	220.8	199.3	50	214.8	403.8	304.7	283.9	256.2
174.6	331.8	249.4	238.4	214.3	52	223.9	425.5	319.9	305.8	274.8
182.0	349.7	261.8	256.1	231.3	54	232.8	447.3	335.0	327.6	295.9
189.5	367.6	274.3	273.8	248.3	56	241.8	469.1	350.1	349.4	316.9
198.8	385.4	286.8	291.4	265.3	58	251.1	490.6	365.1	371.1	337.7
209.2*	403.3	299.2	309.2	282.3	60	265.8*	512.2	380.1*	392.7	358.5
265.1*	492.8	361.5	398.0	372.2	70	333.1*	619.0	454.2*	500.1	467.6
327.0*	582.4	423.9	487.1	471.9	80	406.8*	724.5	527.3*	605.9	587.0
394.9*	672.2	486.3	576.4	571.7	90	486.7*	828.8	599.4	710.5	704.6
468.8*	762.0	548.7	665.9	671.5	100	572.9*	931.2	670.7	813.9	820.7
634.5*	941.6	673.6	845.1	871.3	120	764.0*	1133.7	811.1	1017.5	1049.1
824.2*	1121.4	798.5	1024.5	1071.1	140	979.8*	1333.3	949.2	1217.8	1273.2
1038.0*	1384.0*	923.5	1204.1	1270.9	160	1220.1*	1626.2*	1085.5	1415.3	1493.9
1275.8*	1701.0*	1048.4	1383.7	1470.8	180	1484.9*	1980.0*	1222.3	1610.6	1712.0
1537.5*	2050.0*	1173.4	1563.5	1670.8	200	1774.0*	2365.7*	1353.9	1804.0	1927.8
2296.9*	3062.5*	1485.8	2013.0	2170.6	250	2603.1*	3469.8*	1683.9	2281.4	2460.0
3206.2*	4275.0*	1798.2	2462.6	2670.5	300	3583.5*	4779.4*	2009.8	2752.4	2984.7

*Based on standard lane loading. All other values based on standard truck loading.



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JOB H-12-013 (8AS) Haverhill

SHEET NO. 12 OF _____

CALCULATED BY DP DATE 7/10

CHECKED BY PAB DATE 7/20/11

SCALE NIS

Rating Calculations For 9 inch Girder Mill

$$Rating = \frac{M_{app} - M_{DL}}{(M_u)(I+1)(D.F.)} \text{ (Truck weight)}$$

$$H20_{app} = \frac{(107 \text{ k-ft} - 24.7 \text{ k-ft})}{(76.0 \text{ k-ft})(1.3)(0.242)} (20T) = \underline{68.8T}$$

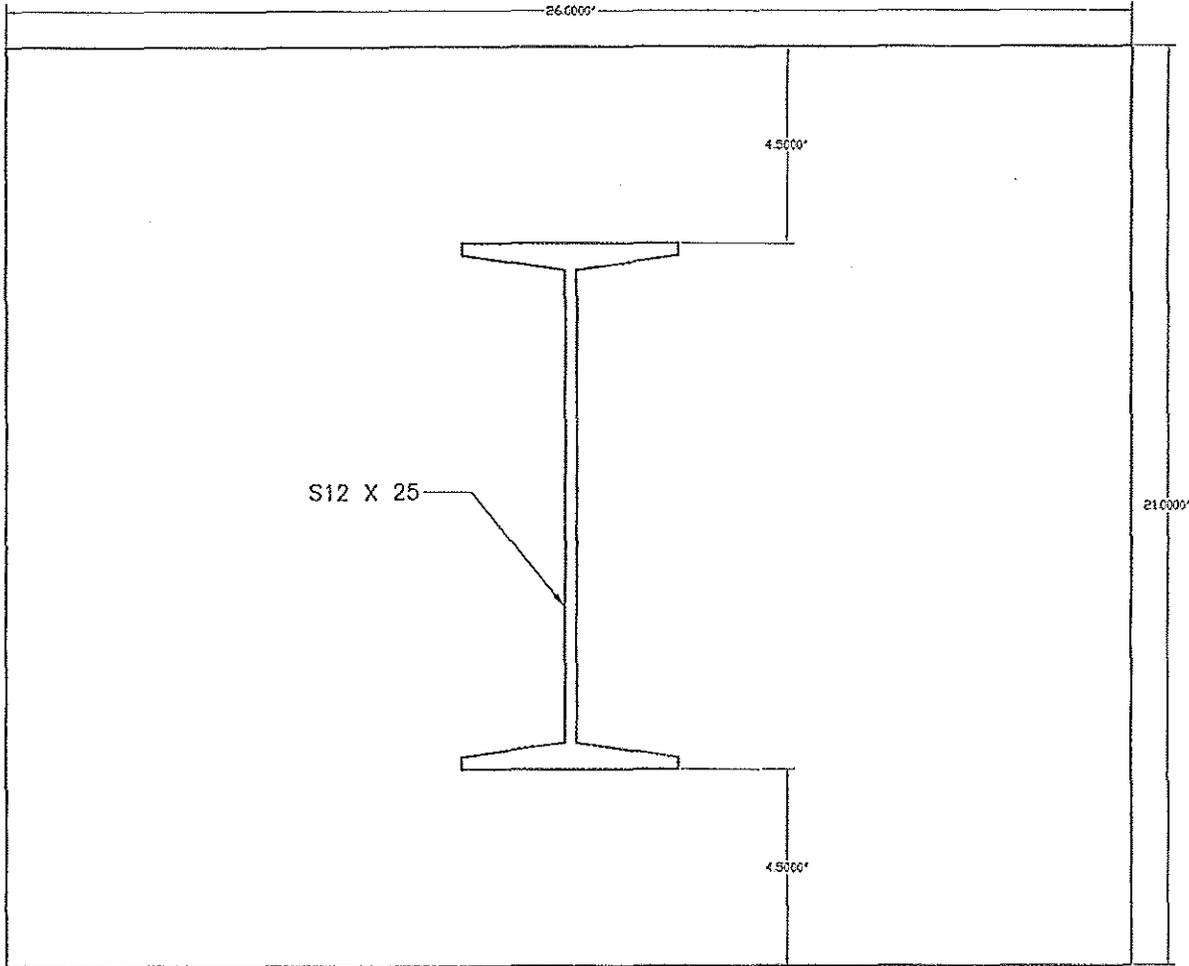
$$H20_{app} = \frac{(151 \text{ k-ft} - 24.7 \text{ k-ft})}{(76.0 \text{ k-ft})(1.3)(0.242)} (20T) = \underline{105.0T}$$

$$Type 3_{app} = \frac{(107 \text{ k-ft} - 24.7 \text{ k-ft})}{(64.6 \text{ k-ft})(1.3)(0.242)} (25T) = \underline{101.2T}$$

$$Type 3_{app} = \frac{(151 \text{ k-ft} - 24.7 \text{ k-ft})}{(64.6 \text{ k-ft})(1.3)(0.242)} (25T) = \underline{155.4T}$$

$$Type 3SS_{app} = \frac{(107 \text{ k-ft} - 24.7 \text{ k-ft})}{(58.9 \text{ k-ft})(1.3)(0.242)} (30T) = \underline{159.9T}$$

$$Type 3SS_{app} = \frac{(151 \text{ k-ft} - 24.7 \text{ k-ft})}{(58.9 \text{ k-ft})(1.3)(0.242)} (30T) = \underline{245.4T}$$

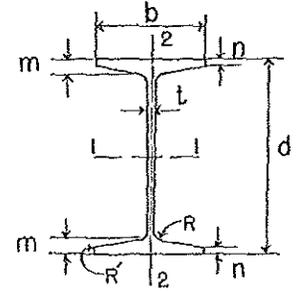


12 INCH GIRDER BEAM SECTION
N.T.S

12" AMERICAN STANDARD BEAMS

REFERENCES, SEE COLUMN (I) AND PAGE 4

CP 1889	C 1916	PH 1912	2, 3, 4, 7, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 30, 32, 33, 35	B 66 C 1921 C 1923
CP 1890	C 1917	PH 1915	See Page 21	
5	C 1919	PH 1923	22	
C 1913	C 1920	31		
C 1915	8	PH 1929		
9	IL 1914	PH 1931		
OIL 1946	IL 1925	34	NJ 1889	
OIL 1948	IL 1932	K 1950	NJ 1891	
US 1950				



*Computed

COL. (I)	WEIGHT PER FOOT	AREA	DEPTH d	WIDTH b	WEB THICK t	DIMENSIONS				SLOPE INSIDE FLANGE %	AXIS 1-1			AXIS 2-2		
						m	n	R	R'		I	S	r	I	S	r
						In.	In.	In.	In.		In ⁴	In ³	In.	In ⁴	In ³	In.
4, 10, 13, 17, 19, 21	40.0	11.84	12.0	5.250	.460	.859	.46	.56	.276	16 2/3	268.9	44.8	4.77	13.81	5.3	1.08
23, 24	40.0	11.8	12.0	5.50	.39	.88	.50	.50	—	14 9/16	281.3	46.9	4.90	16.8	6.11	1.20
27	40.0	11.77	12.0	5.25	.42	.88	.48	.52	.24	16 2/3	274.68	45.8	4.83	14.26	5.43	1.10
28	40.0	11.76	12.0	5.250	.460	.859	.46	.56	.276	16 2/3	268.9	44.8	4.77	13.81	5.26	1.08
13, 15	40.0	11.76	12.0	5.215	.558	.738	.35	.45	.21	16 2/3	245.9	41.0	4.57	10.95	4.2	.96
22	40.0	11.73	12.0	5.50	.39	.91	.50	.50	—	16.0	281.3	46.9	4.90	16.76	6.09	1.20
1, 2, 3, 28	40.0	11.7	12.0	5.50	.39	.88	.50	.50	—	14 9/16	281.3	46.9	4.90	16.8	6.1	1.20
26	39.4	11.6	12.0	5.25	.40	.86	.50	—	—	14.8	268.30	44.72	4.81	14.57	5.55	1.12
2	39.0	11.5	12.0	5.425	.525	.72	.35	.50	—	15.1	247.5	41.3	4.64	12.1	4.5	1.03
25	39.0	11.52	12.0	5.213	.553	.672	.344	.50	—	14.1	235.56	39.26	4.52	10.37	3.98	.95
26	38.4	11.29	12.0	5.19	.53	.68	.33	—	—	15.0	233.80	38.97	4.55	10.19	3.93	.95
16	38.0	11.2	12.0	5.468	.343	.844	.469	.50	—	14.6	265.4	44.2	4.86	15.6	5.71	1.18
16	37.5	11.4	12.0	5.414	.508	.703	.328	.50	—	15.3	238.7	39.8	4.58	11.5	4.25	1.00
25	36.6	10.80	12.0	5.153	.493	.672	.344	.50	—	14.1	226.92	37.82	4.58	10.07	3.91	.97
3	36.0	10.6	12.0	5.35	.45	.72	.35	.50	—	15.1	236.7	39.5	4.73	11.53	4.3	1.04
24	35.0	10.3	12.0	5.22	.44	.71	.34	.50	—	15.5	232.9	38.8	4.77	10.5	4.02	1.01
4, 10, 13, 18, 21, 28	35.0	10.29	12.0	5.086	.436	.738	.35	.45	.21	16 2/3	228.3	38.0	4.71	10.07	4.0	.99
17	35.0	10.29	12.0	5.085	.436	.739	.35	.45	—	16 2/3	228.3	38.0	4.71	10.07	3.97	.99
27	35.0	10.29	12.0	5.07	.42	.74	.35	.45	.21	16 2/3	230.95	38.5	4.74	10.01	3.95	.99
7, 9, 11, 12, 14, 20, 33, 34	35.0	10.20	12.0	5.078	.428	.738	.350	.45	.21	16 2/3	227.0	37.8	4.72	10.0	3.9	.99
25	34.1	10.04	12.0	5.090	.430	.672	.344	.50	—	14.1	217.85	36.31	4.66	9.67	3.80	.98
22	32.0	9.46	12.0	5.25	.32	.78	.38	.50	—	16.2	229.2	38.2	4.92	11.64	4.43	1.11
1, 2, 3, 28	32.0	9.4	12.0	5.25	.35	.72	.35	.50	—	15.1	222.3	37.0	4.85	10.3	3.9	1.04
32	31.8	9.35	12.0	5.00	.35	.738	.350	.45	.21	16 2/3	217.0	36.2	4.82	9.50	3.80	1.01
7, 9, 11, 12, 14, 20, 23, 30, 33, 34, 35	31.8	9.26	12.0	5.000	.350	.738	.350	.45	.21	16 2/3	215.8	36.0	4.83	9.5	3.8	1.01
25	31 2/3	9.31	12.0	5.029	.369	.672	.344	.50	—	14.1	209.07	34.85	4.74	9.17	3.65	.99
27	31.5	9.27	12.0	5.00	.35	.74	.35	.45	.21	16 2/3	218.71	36.5	4.86	9.45	3.78	1.01
23, 24	31.5	9.3	12.0	5.13	.35	.71	.34	.50	—	15.5	220.5	36.7	4.88	10.3	4.02	1.04
17, 26	31.5	9.3	12.0	5.00	.35	.739	.35	.45	—	16 2/3	215.81	36.0	4.82	9.5	3.8	1.01
4, 10, 13, 19, 21, 28	31.5	9.26	12.0	5.000	.350	.738	.35	.45	.21	16 2/3	215.8	36.0	4.83	9.50	3.8	1.01
26	30.6	9.01	12.0	5.00	.34	.68	.33	—	—	15.0	207.9	34.65	4.80	9.00	3.60	1.00
25	30.5	8.96	12.0	5.00	.34	.672	.344	.50	—	14.1	204.89	34.15	4.78	9.04	3.62	1.00
16	30.0	9.1	12.0	5.218	.312	.703	.328	.50	—	15.3	211.7	35.3	4.82	10.2	3.91	1.05
33	28.0	8.24	11.88	6.569	.314	.485	.225	.35	—	8 1/2	193.6	32.6	4.85	13.9	4.28	1.30
6	28.0	8.15	12.0	6.000	.284	.540	.280	.26	—	9.1	199.4	33.2	4.95	12.6	4.2	1.24
B 66, 7	27.9	8.15	12.0	6.000	.284	.540	.280	.26	—	9.1	199.4	33.2	4.95	12.6	4.2	1.24
31	27.5	8.09	12.0	5.061	.301	.662	.265	.40	.16	16 2/3	191.5	31.9	4.88	8.01	3.17	.99
29	27.5	8.09	12.0	5.00	.255	.710	.315	.40	—	16 2/3	199.6	33.3	4.98	8.70	3.48	1.04
5	27.5	8.04	12.0	5.000	.255	.710	.315	.40	—	16 2/3	199.6	33.3	4.98	8.7	3.5	1.04
33	25.0	7.35	11.88	6.495	.240	.485	.225	.35	—	8 1/2	182.8	30.8	4.98	13.4	4.12	1.35
8	25.0	7.35	12.0	5.00	.270	.570	.270	.270	—	12.7	175.5	29.2	4.89	7.30	2.92	1.00
31	25.0	7.35	12.0	5.000	.240	.662	.265	.40	.16	16 2/3	182.7	30.5	4.99	7.60	3.04	1.02



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JOB H-12-031 (RAS) Haverhill
 SHEET NO. 15 OF _____
 CALCULATED BY DP DATE 7/10
 CHECKED BY BAB DATE 7/2010
 SCALE NTS

12 inch girder beam

Beam Spacing (b) = 26 in

$E_s = 29,000$

$w_d = 150 \text{ pcf}$

$f'_c = 2 \text{ ksi}$

$n = 15$

(Ref ACERS 8.6.2.9.1)

$b/n = 26''/15 = 1.73 \text{ in}$

Composite Section

$\bar{y} = 0.04 \text{ in}$

(See 12 inch Composite Section)

$I_{tr} = 480.10 \text{ in}^4$

(See 12 inch Composite Section)

$$S_{x_{top}} = \frac{I}{d_{beam} - \bar{y}} = \frac{480.10 \text{ in}^4}{12'' - 6''} = 80.0 \text{ in}^3$$

$$S_{x_{bot}} = \frac{I}{\bar{y}} = \frac{480.10 \text{ in}^4}{6''} = 80.0 \text{ in}^3$$

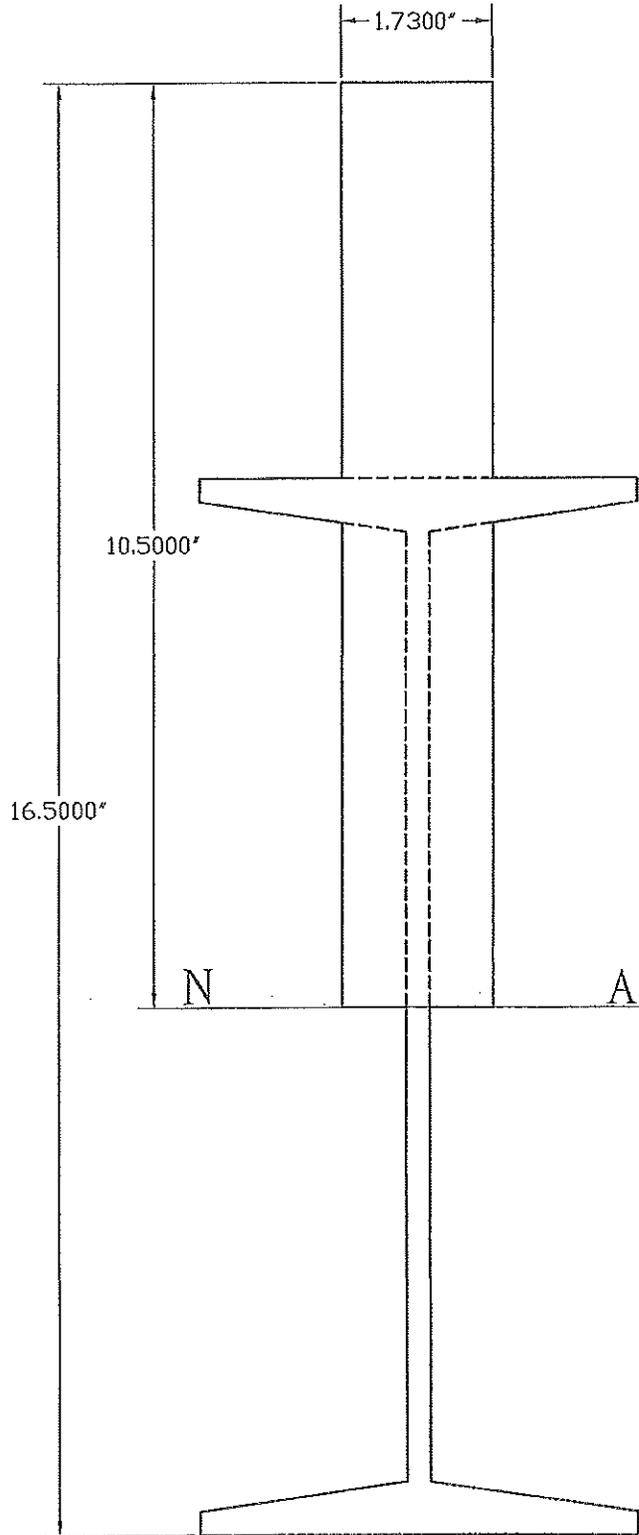
Use $S_x = 80.0 \text{ in}^3$

Moment Capacity:

$M_c = \phi S_x$

Inventory Moment Capacity: $M_{inv} = \phi_{inv} S_x = (16 \text{ ksi}) (80 \text{ in}^3) = 1280 \text{ K-in} = \underline{107 \text{ K-ft}}$

Operating Moment Capacity: $M_{oper} = \phi_{oper} S_x = (22.5 \text{ ksi}) (80 \text{ in}^3) = 1800 \text{ K-in} = \underline{150 \text{ K-ft}}$



12 INCH COMPOSITE SECTION
N.T.S

12 inch girder beam composite section

Command: MASSPROP

Select objects: 1 found

Select objects:

```
----- REGIONS -----  
Area:                23.13  
Perimeter:           51.40  
Bounding box:        X: -2.50 -- 2.50  
                     Y: -6.00 -- 10.50  
Centroid:            X: 0.00  
                     Y: 3.71  
Moments of inertia:  X: 798.82  
                     Y: 11.80  
Product of inertia: XY: 0.00  
Radii of gyration:   X: 5.88  
                     Y: 0.71  
Principal moments and X-Y directions about centroid:  
I: 11.80 along [0.00 1.00]  
J: 480.10 along [-1.00 0.00]
```



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JOB H-12-013 (BAS) Haverhill
 SHEET NO. 18 OF _____
 CALCULATED BY DP DATE 7/10
 CHECKED BY BAS DATE 7/2010
 SCALE N/S

Superimposed Dead Load (SD) for 12 inch Girder Beams

Assume knife cut

Composite Section Self weight (W_s):

$A_g = 7.35 \text{ in}^2$ (See 12" American Standard Beams)

$A_{\text{deck}} = (26" \times 2") = 546 \text{ in}^2$

$A_{\text{total}} = 546 \text{ in}^2 + 7.35 \text{ in}^2 = 553.35 \text{ in}^2$

$W_s = \left(\frac{7.35 \text{ in}^2}{144 \text{ in}^2} \right) (490 \text{ pcf}) + \left(\frac{553.35 \text{ in}^2}{144 \text{ in}^2} \right) (150 \text{ pcf}) = 586 \text{ PLF}$

Bit. Conc.

5" of Bit. conc.

$W_{bc} = \left(\frac{5"}{12} \right) \left(\frac{26" \text{ spacing}}{12} \right) (150 \text{ pcf}) = 135 \text{ PLF}$

Fill

DOF = 8"

$W_f = \left(\frac{8"}{12} \right) \left(\frac{26" \text{ spacing}}{12} \right) (120 \text{ pcf}) = 173 \text{ PLF}$

$W_{DL} = 586 \text{ PLF} + 135 \text{ PLF} + 173 \text{ PLF} = 894 \text{ PLF} \approx 0.894 \text{ KLF}$

$M_{DL} = \frac{(W_{DL})(L^2)}{8} = \frac{(0.894 \text{ KLF})(18.75^2)}{8} = 39.3 \text{ K-ft}$

Live Load Distribution Factor (DF)

Ref. AASHTO Table 3.25.1

$DF = S/5.5$

$S = 26 \text{ in} = 2.17 \text{ ft}$

$DF = 2.17/5.5 = 0.394$



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JOB H-12-013 (8AS) Haverhill
SHEET NO. 19 OF _____
CALCULATED BY DVP DATE 7/10
CHECKED BY BAB DATE 7/20/06
SCALE 1/15

Rafting Calculations for 12 inch Girder Beam

Note: Live loads and impact are the same as used for the Pinch Girder Beam

$$Rafting = \frac{(M_{top} - M_{bot})}{(L_{eff})(I)(D.F.)} \text{ (weight of truck)}$$

$$H2O_{full} = \frac{(107 \text{ k-ft} - 39.3 \text{ k-ft})}{(76.8 \text{ k-ft})(1.3)(0.394)} (20T) = \underline{34.8T}$$

$$H2O_{part} = \frac{(150 \text{ k-ft} - 39.3 \text{ k-ft})}{(76.8 \text{ k-ft})(1.3)(0.394)} (20T) = \underline{56.9T}$$

$$\text{Type 3}_{full} = \frac{(107 \text{ k-ft} - 39.3 \text{ k-ft})}{(64.6 \text{ k-ft})(1.3)(0.394)} (25T) = \underline{51.2T}$$

$$\text{Type 3}_{part} = \frac{(150 \text{ k-ft} - 39.3 \text{ k-ft})}{(64.6 \text{ k-ft})(1.3)(0.394)} (25T) = \underline{83.6T}$$

$$\text{Type 3S2}_{full} = \frac{(107 \text{ k-ft} - 39.3 \text{ k-ft})}{(58.9 \text{ k-ft})(1.3)(0.394)} (36T) = \underline{80.8T}$$

$$\text{Type 3S2}_{part} = \frac{(150 \text{ k-ft} - 39.3 \text{ k-ft})}{(58.9 \text{ k-ft})(1.3)(0.394)} (36T) = \underline{132.1T}$$

Docks project off Boardwalk

\$123,361.86- Remaining PARC grant State reimbursement
\$ 44,500.14 Waterways account
\$ 7,763.00 Docks fees account
\$ 27,500.00 Remaining CDBG \$\$

\$203,125.00 **Total**

\$251,738.00 Pepperell Cove low bid on RAMP only

(\$48,613.00) deficit for RAMP only

Sullivan Flotation Systems, Inc. low bid on:

Option A. (\$87,244.00) 2 Aluminum Gangways + 8 Timber Docks

Option B. (\$43,622.00) 1 Gangway + 4 Docks

Option C. (\$32,302.00) 1 Gangway + 2 Docks

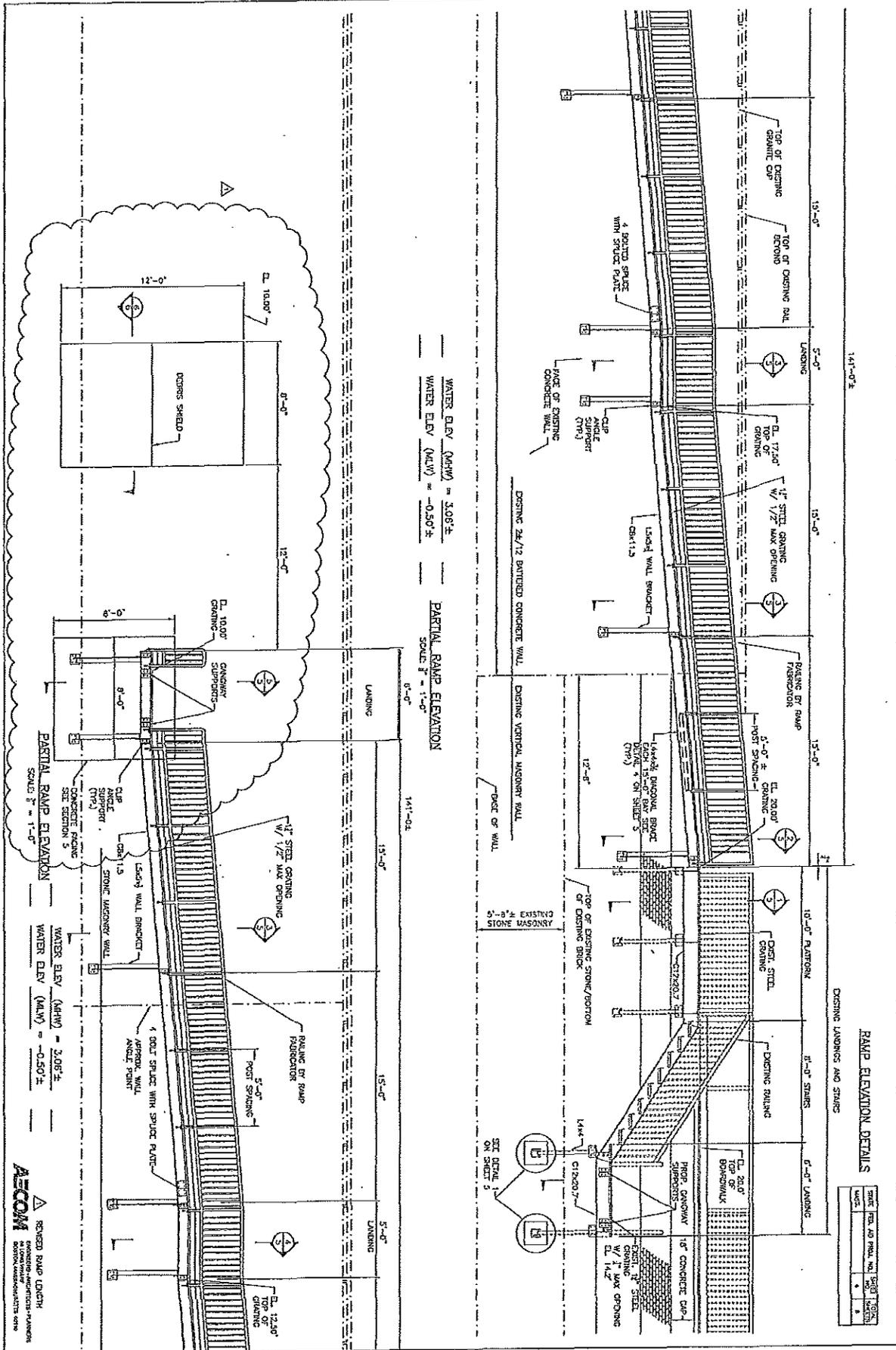
Option D. (\$20,932.00) 1 Gangway + no docks (use existing)

Option A. (\$135,857) = deficit

Option B. (\$ 92,235) = deficit

Option C. (\$ 80,915) = deficit

Option D. (\$ 69,545) = deficit



AECOM
 ENGINEERING ARCHITECTURE PLANNING
 1000 AVENUE OF THE STARS
 SUITE 1000
 FALLS CHURCH, VA 22044

IFB029.12
Dock and Gangway at the Haverhill River walk
1-26-12 @ 2PM

Bidder	Total Price
Narragansett Dock Works 14 Gull Road Narragansett, RI 02882	\$ 91,941.00
Sullivan Flotation Systems, Inc 3 Chancellor Lane Warwick, NY 10990	\$ 87,244.00 ✓
Dock Hardware & Marine Fab. LLC P O Box 2295 Conway, SC 29528	\$ 123,978.00
Pepperrell Cove Marine Services, Inc 105 Bartlett St Portsmouth, NH 03801	110,447.00

Witnesses: Robert Meyer Date: 1/26/12
[Signature] Date: 1/26/12

IFB030.12
Ramp System at the Haverhill River walk
1-26-12 @ 2PM

Bidder	Bid Bond	Total Price
New England Infrastructure, Inc. 13 Brent Drive Hudson, MA 01749	✓	327,800.00
Pepperrell Cove Marine Services Inc. 105 Bartlett St. Portsmouth, NH 03801	✓	251,738.00
Brian Bush →		

Witness: Robert Major Date: 1/26/12

[Signature] Date: 1/26/12

from the Property; and (c) upon the HHA's obtaining knowledge of the incurring of any expense by any governmental authority in connection with the assessment, containment or removal of any hazardous substances located upon or under the Property or emanating from the Property. The HHA hereby agrees, at its sole cost and expense, to promptly take all remedial action necessary to assess, contain, monitor, remediate and remove all hazardous substances which are located upon or released at the Property in such a manner as to bring the Property in compliance with applicable legal requirements, and to take all actions necessary or appropriate to avoid any liability of or claims against the HHA, the City, or any subsequent owner of the Property, and to avoid the imposition of any liens on the Property as a result of the presence of hazardous substances thereon. The HHA agrees, at its sole cost and expense, to provide to the City all professional environmental assessments prepared with respect to the Property at any time upon request of the City and such other information with respect to hazardous substances at the Property any Participating City from time to time may require. The HHA further agrees to indemnify and hold the City harmless from and against any and all liabilities, damages, losses, obligations, penalties, claims, demands, actions, costs and expenses (including without limitation attorneys and expert fees and costs) of any kind or nature whatsoever arising at any time from or out of the presence or release of any hazardous substance at or from the Property or the violation of any legal requirements with respect to such hazardous substances.

- 4.13 Debarment.** Neither HHA nor any of its officers or directors or any person having a beneficial interest in the Property and/or the Project (i) are presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded by any federal department or agency; (ii) have within the three-year period preceding this Agreement been convicted of, or had a civil judgment rendered against them for commission of fraud or a criminal offense in connection with obtaining, attempting to obtain, or performing a public (federal, state or local) transaction or contract under a public transaction; violation of federal or state antitrust statutes or commission of embezzlement, theft, forgery, bribery, falsification or destruction of records, making false statements, or receiving stolen property; (iii) are presently indicted for or otherwise criminally or civilly charged by a governmental entity (federal, state or local) with commission of any of the offenses enumerated in subparagraph (ii) above; and (iv) have within the three-year period preceding this Agreement had one or more public transactions (federal, state or local) terminated for cause or default.
- 4.14 Tenants Eligible for Relocation Assistance.** The list of persons (including individuals, businesses, nonprofit organizations, corporations, partnerships and associations) and their addresses included in the approved relocation plan for the Project, if any, is a true and accurate listing of all persons occupying any part of the Property as of the date hereof.
- 4.15 Use of Proceeds; Representations under NSP Program.** HHA represents and warrants that, at the time of the execution of this agreement, the Property was either (a) an Abandoned or Foreclosed-upon Home or Residential Property, or (b) a Vacant Property.

For purposes of this section:

STATE	PROJ. NO.	PROJ. NO.	DATE	BY
MASS.			1	

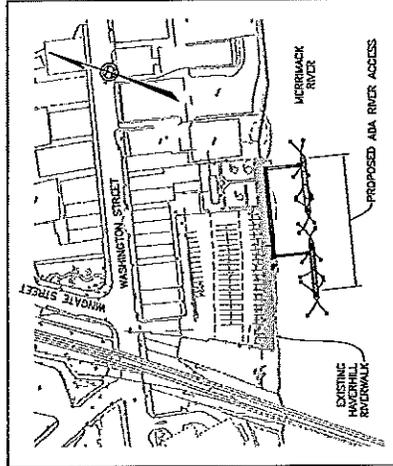


CITY OF HAVERHILL MASSACHUSETTS

HAVERHILL ADA RIVER ACCESS

ESSEX COUNTY

SHEET NO.	DESCRIPTION
1	TITLE SHEET & INDEX
2	GENERAL NOTES AND LEGEND
3	GENERAL PLAN & ELEVATION
4	RAMP ELEVATION DETAILS
5	SECTIONS & DETAILS 1
6	SECTIONS & DETAILS 2



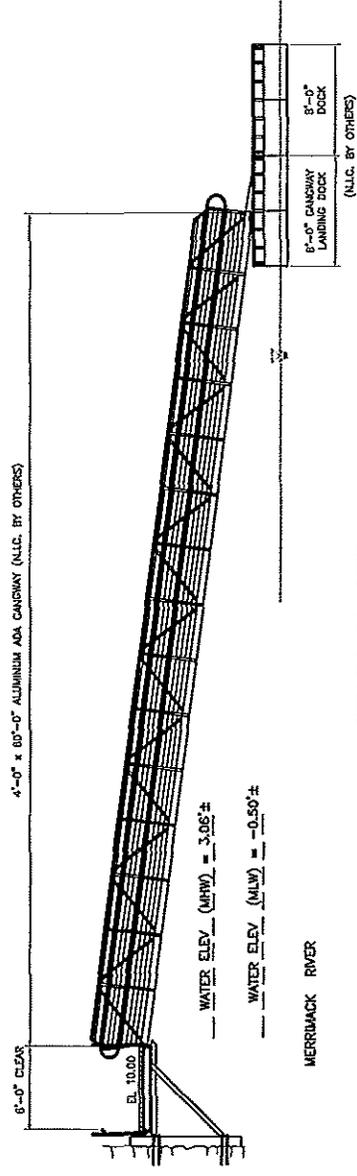
SCALE: 1"=100'

FENCE LINE	---
BASE OF SURVEY LINE	---
RIGHT OF WAY LINE	---
MEAN HIGH WATER	---
MEAN LOW WATER	---
HARBOR LINE	---
FEDERAL NAVIGATION PROJECT	---

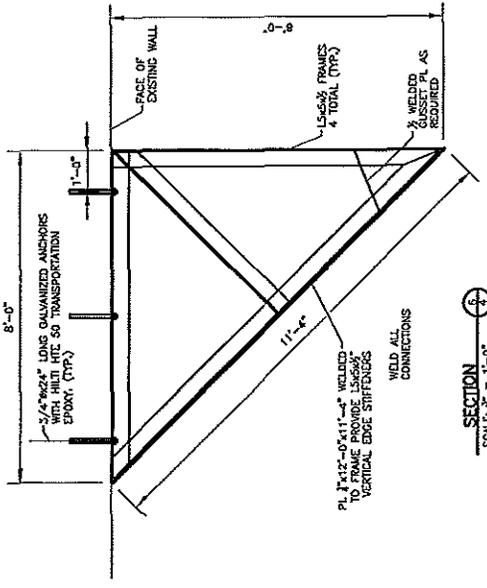
AECOM
GENERAL CONTRACTORS PLANNERS
AND ENGINEERS
100 WATER STREET
BOSTON, MASSACHUSETTS 02109

DATE	REV.	BY	CHKD.	APP'D.

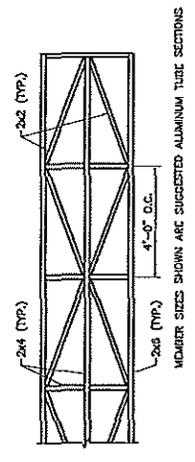
SECTIONS AND DETAILS 2



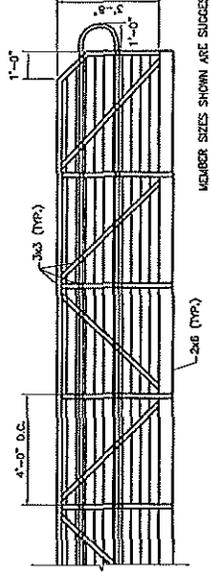
GANGWAY ELEVATION DETAIL
SCALE: 1/8" = 1'-0"



SECTION
SCALE: 1/8" = 1'-0"

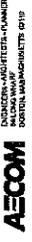


GANGWAY BRACING DETAIL (N.I.C. BY OTHERS)
SCALE: 1/8" = 1'-0"



GANGWAY SECTION (N.I.C. BY OTHERS)
SCALE: 1/8" = 1'-0"

GANGWAY SECTION (N.I.C. BY OTHERS)
SCALE: 1/8" = 1'-0"



DESIGNED - ARCHITECTED - MANAGED
DORRILL WASHINGTON/RETIRED

STATE	FED. AID PROJ. NO.	SHEET NO.	TOTAL SHEETS
MASS.		1	1

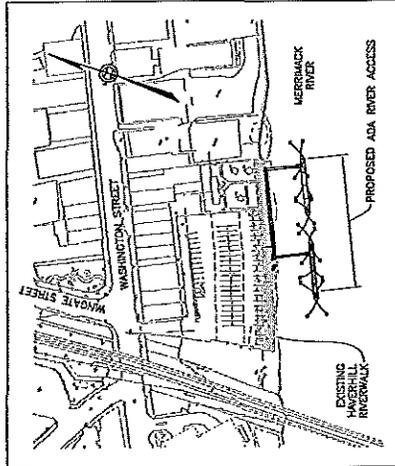


CITY OF HAVERHILL MASSACHUSETTS

HAVERHILL ADA RIVER ACCESS

ESSEX COUNTY

SHEET NO.	DESCRIPTION
1	TITLE SHEET & INDEX
2	GENERAL NOTES AND LEGEND
3	GENERAL PLAN & ELEVATION
4	SECTIONS & DETAILS 1



SCALE: 1"=100'

FENCE LINE	---
BASE OF SURVEY LINE	---
RIGHT OF WAY LINE	---
MEAN HIGH WATER	---
MEAN LOW WATER	---
HARBOR LINE	---
FEDERAL NAVIGATION PROJECT	---

AECOM
CORPORATE HEADQUARTERS
100 WATER STREET
BOSTON, MASSACHUSETTS 02109

STATE	FED. AID	PROJ. NO.	SHEET NO.	TOTAL SHEETS
MASS.			2	2

GENERAL NOTES

DESIGN:
 IN ACCORDANCE WITH THE MASSACHUSETTS STATE BUILDING CODE SECOND EDITION.
 DAMP LIVE LOAD = 100 PSF
 GAMWAY LIVE LOAD = 100 PSF
 FLOATING DOCK LIVE LOAD = 40 PSF

BENCH MARK:
 NAIL SET IN UTILITY POLE 795/71, LOCATED NEAR THE CONCRETE PAD AT THE ENTRANCE TO THE GARAGE. THE BENCH MARK IS 28.807'. ALL ELEVATIONS REFER TO N.A.M.D. OF 1988.

SURVEY:
 ELECTRONIC FILES WERE COMPILED FROM SURVEY COPIES OF FILES MAY BE OBTAINED FROM AECOM, CHELSEA/FORD MA.

SCALES:
 SCALES NOTED ON THE PLANS ARE NOT APPLICABLE TO REDUCED SIZE PRINTS.

UTILITIES
 THE CONTRACTOR SHALL LOCATE AND PROTECT FROM DAMAGE ALL EXISTING UTILITIES.

EXISTING CONDITIONS
 DIMENSIONS SHOWN ON EXISTING STRUCTURE ARE TAKEN FROM ORIGINAL DESIGN DRAWINGS AND ARE NOT GUARANTEED. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS NECESSARY FOR COMPLETION OF ALL WORK BY FIELD MEASUREMENTS AND SURVEY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ADEQUACY AND ACCURACY OF ALL FIELD MEASUREMENTS AND SURVEY. THE CONTRACTOR SHALL VERIFY THE EXISTING STRUCTURE AND FABRICATION UNTIL HE/SHE HAS MADE THE REQUIRED MEASUREMENTS ON THE ACTUAL STRUCTURE AND EXTENT OF THE PROPOSED WORK HAS BEEN APPROVED BY THE ENGINEER. EXISTING STRUCTURE IS SHOWN THUS: EXCEPT WHERE NOTED.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
WPA Form 5 – Order of Conditions
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
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 eDEP Transaction #
 Haverhill
 City/Town

A. General Information (cont.)

6. Property recorded at the Registry of Deeds for (attach additional information if more than one parcel):
Essex, South District
- | | |
|-------------|--------------------------------------------|
| a. County | b. Certificate Number (if registered land) |
| <u>3429</u> | <u>485</u> |
| c. Book | d. Page |
7. Dates: March 17, 2011 April 21, 2011 May 24, 2011
 a. Date Notice of Intent Filed b. Date Public Hearing Closed c. Date of Issuance
8. Final Approved Plans and Other Documents (attach additional plan or document references as needed):
See Attachment "A", "State and Municipal Conditions", incorporated herein and made part of this Order of Conditions
- | | |
|--------------------------------------|--------------------------|
| b. Prepared By | c. Signed and Stamped by |
| d. Final Revision Date | e. Scale |
| f. Additional Plan or Document Title | g. Date |

B. Findings

1. Findings pursuant to the Massachusetts Wetlands Protection Act:
- Following the review of the above-referenced Notice of Intent and based on the information provided in this application and presented at the public hearing, this Commission finds that the areas in which work is proposed is significant to the following interests of the Wetlands Protection Act (the Act). Check all that apply:
- | | | |
|-------------------------------------------------------------|------------------------------------------------------------------|----------------------------------------------------------------|
| a. <input checked="" type="checkbox"/> Public Water Supply | b. <input checked="" type="checkbox"/> Land Containing Shellfish | c. <input checked="" type="checkbox"/> Prevention of Pollution |
| d. <input checked="" type="checkbox"/> Private Water Supply | e. <input checked="" type="checkbox"/> Fisheries | f. <input checked="" type="checkbox"/> Protection of Wildlife |
| g. <input checked="" type="checkbox"/> Groundwater Supply | h. <input checked="" type="checkbox"/> Storm Damage Prevention | i. <input checked="" type="checkbox"/> Flood Control |
2. This Commission hereby finds the project, as proposed, is: (check one of the following boxes)

Approved subject to:

- a. the following conditions which are necessary in accordance with the performance standards set forth in the wetlands regulations. This Commission orders that all work shall be performed in accordance with the Notice of Intent referenced above, the following General Conditions, and any other special conditions attached to this Order. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, these conditions shall control.



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B. Findings (cont.)

Denied because:

- b. the proposed work cannot be conditioned to meet the performance standards set forth in the wetland regulations. Therefore, work on this project may not go forward unless and until a new Notice of Intent is submitted which provides measures which are adequate to protect the interests of the Act, and a final Order of Conditions is issued. **A description of the performance standards which the proposed work cannot meet is attached to this Order.**
- c. the information submitted by the applicant is not sufficient to describe the site, the work, or the effect of the work on the interests identified in the Wetlands Protection Act. Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides sufficient information and includes measures which are adequate to protect the Act's interests, and a final Order of Conditions is issued. **A description of the specific information which is lacking and why it is necessary is attached to this Order as per 310 CMR 10.05(6)(c).**

Inland Resource Area Impacts: Check all that apply below. (For Approvals Only)

3. Buffer Zone Impacts: Shortest distance between limit of project disturbance and Bank or Bordering Vegetated Wetland boundary (if available) 0
a. linear feet

Resource Area	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
4. <input type="checkbox"/> Bank	<u> </u> a. linear feet	<u> </u> b. linear feet	<u> </u> c. linear feet	<u> </u> d. linear feet
5. <input type="checkbox"/> Bordering Vegetated Wetland	<u> </u> a. square feet	<u> </u> b. square feet	<u> </u> c. square feet	<u> </u> d. square feet
6. <input checked="" type="checkbox"/> Land Under Waterbodies and Waterways	<u>182</u> a. square feet <u>NA</u> e. c/y dredged	<u>182</u> b. square feet <u>NA</u> f. c/y dredged	<u>0</u> c. square feet	<u>0</u> d. square feet
7. <input type="checkbox"/> Bordering Land Subject to Flooding	<u> </u> a. square feet	<u> </u> b. square feet	<u> </u> c. square feet	<u> </u> d. square feet
Cubic Feet Flood Storage	<u> </u> e. cubic feet	<u> </u> f. cubic feet	<u> </u> g. cubic feet	<u> </u> h. cubic feet
8. <input type="checkbox"/> Isolated Land Subject to Flooding	<u> </u> a. square feet	<u> </u> b. square feet		
Cubic Feet Flood Storage	<u> </u> c. cubic feet	<u> </u> d. cubic feet	<u> </u> e. cubic feet	<u> </u> f. cubic feet



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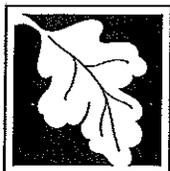
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B. Findings (cont.)

Resource Area	Proposed Alteration	Permitted Alteration	Proposed Replacement	Permitted Replacement
9. <input type="checkbox"/> Riverfront Area	a. total sq. feet	b. total sq. feet		
Sq ft within 100 ft	c. square feet	d. square feet	e. square feet	f. square feet
Sq ft between 100-200 ft	g. square feet	h. square feet	i. square feet	j. square feet

Coastal Resource Area Impacts: Check all that apply below. (For Approvals Only)

10. Designated Port Areas
 Indicate size under Land Under the Ocean, below
11. Land Under the Ocean
- | | | | |
|----------------|----------------|--|--|
| a. square feet | b. square feet | | |
| c. c/y dredged | d. c/y dredged | | |
12. Barrier Beaches
 Indicate size under Coastal Beaches and/or Coastal Dunes below
13. Coastal Beaches
- | | | | |
|----------------|----------------|-------------------------|-------------------------|
| a. square feet | b. square feet | c. nourishment
cu yd | d. nourishment
cu yd |
|----------------|----------------|-------------------------|-------------------------|
14. Coastal Dunes
- | | | | |
|----------------|----------------|-------------------------|-------------------------|
| a. square feet | b. square feet | c. nourishment
cu yd | d. nourishment
cu yd |
|----------------|----------------|-------------------------|-------------------------|
15. Coastal Banks
- | | | | |
|----------------|----------------|--|--|
| a. linear feet | b. linear feet | | |
|----------------|----------------|--|--|
16. Rocky Intertidal Shores
- | | | | |
|----------------|----------------|--|--|
| a. square feet | b. square feet | | |
|----------------|----------------|--|--|
17. Salt Marshes
- | | | | |
|----------------|----------------|----------------|----------------|
| a. square feet | b. square feet | c. square feet | d. square feet |
|----------------|----------------|----------------|----------------|
18. Land Under Salt Ponds
- | | | | |
|----------------|----------------|--|--|
| a. square feet | b. square feet | | |
| c. c/y dredged | d. c/y dredged | | |
19. Land Containing Shellfish
- | | | | |
|----------------|----------------|----------------|----------------|
| a. square feet | b. square feet | c. square feet | d. square feet |
|----------------|----------------|----------------|----------------|
20. Fish Runs
 Indicate size under Coastal Banks, Inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above
- | | | | |
|----------------|----------------|--|--|
| a. c/y dredged | b. c/y dredged | | |
|----------------|----------------|--|--|
21. Land Subject to Coastal Storm Flowage
- | | | | |
|----------------|----------------|--|--|
| a. square feet | b. square feet | | |
|----------------|----------------|--|--|



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B. Findings (cont.)

22. Restoration/Enhancement:

_____ a. square feet of BWV

_____ b. square feet of salt marsh

23. Stream Crossing(s):

_____ a. number of new stream crossings

_____ b. number of replacement stream crossings

C. General Conditions Under Massachusetts Wetlands Protection Act

The following conditions are only applicable to Approved projects.

1. Failure to comply with all conditions stated herein, and with all related statutes and other regulatory measures, shall be deemed cause to revoke or modify this Order.
2. The Order does not grant any property rights or any exclusive privileges; it does not authorize any injury to private property or invasion of private rights.
3. This Order does not relieve the permittee or any other person of the necessity of complying with all other applicable federal, state, or local statutes, ordinances, bylaws, or regulations.
4. The work authorized hereunder shall be completed within three years from the date of this Order unless either of the following apply:
 - a. the work is a maintenance dredging project as provided for in the Act; or
 - b. the time for completion has been extended to a specified date more than three years, but less than five years, from the date of issuance. If this Order is intended to be valid for more than three years, the extension date and the special circumstances warranting the extended time period are set forth as a special condition in this Order.
5. This Order may be extended by the issuing authority for one or more periods of up to three years each upon application to the issuing authority at least 30 days prior to the expiration date of the Order.
6. If this Order constitutes an Amended Order of Conditions, this Amended Order of Conditions does not extend the issuance date of the original Final Order of Conditions and the Order will expire on May 24, 2014, unless extended in writing by the Department.
7. Any fill used in connection with this project shall be clean fill. Any fill shall contain no trash, refuse, rubbish, or debris, including but not limited to lumber, bricks, plaster, wire, lath, paper, cardboard, pipe, tires, ashes, refrigerators, motor vehicles, or parts of any of the foregoing.
8. This Order is not final until all administrative appeal periods from this Order have elapsed, or if such an appeal has been taken, until all proceedings before the Department have been completed.



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C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)

9. No work shall be undertaken until the Order has become final and then has been recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property. In the case of recorded land, the Final Order shall also be noted in the Registry's Grantor Index under the name of the owner of the land upon which the proposed work is to be done. In the case of the registered land, the Final Order shall also be noted on the Land Court Certificate of Title of the owner of the land upon which the proposed work is done. The recording information shall be submitted to the Conservation Commission on the form at the end of this Order, which form must be stamped by the Registry of Deeds, prior to the commencement of work.
10. A sign shall be displayed at the site not less than two square feet or more than three square feet in size bearing the words,

"Massachusetts Department of Environmental Protection" [or, "MassDEP"]
"File Number 33-1307 "
11. Where the Department of Environmental Protection is requested to issue a Superseding Order, the Conservation Commission shall be a party to all agency proceedings and hearings before MassDEP.
12. Upon completion of the work described herein, the applicant shall submit a Request for Certificate of Compliance (WPA Form 8A) to the Conservation Commission.
13. The work shall conform to the plans and special conditions referenced in this order.
14. Any change to the plans identified in Condition #12 above shall require the applicant to inquire of the Conservation Commission in writing whether the change is significant enough to require the filing of a new Notice of Intent.
15. The Agent or members of the Conservation Commission and the Department of Environmental Protection shall have the right to enter and inspect the area subject to this Order at reasonable hours to evaluate compliance with the conditions stated in this Order, and may require the submittal of any data deemed necessary by the Conservation Commission or Department for that evaluation.
16. This Order of Conditions shall apply to any successor in interest or successor in control of the property subject to this Order and to any contractor or other person performing work conditioned by this Order.
17. Prior to the start of work, and if the project involves work adjacent to a Bordering Vegetated Wetland, the boundary of the wetland in the vicinity of the proposed work area shall be marked by wooden stakes or flagging. Once in place, the wetland boundary markers shall be maintained until a Certificate of Compliance has been issued by the Conservation Commission.



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C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)

18. All sedimentation barriers shall be maintained in good repair until all disturbed areas have been fully stabilized with vegetation or other means. At no time shall sediments be deposited in a wetland or water body. During construction, the applicant or his/her designee shall inspect the erosion controls on a daily basis and shall remove accumulated sediments as needed. The applicant shall immediately control any erosion problems that occur at the site and shall also immediately notify the Conservation Commission, which reserves the right to require additional erosion and/or damage prevention controls it may deem necessary. Sedimentation barriers shall serve as the limit of work unless another limit of work line has been approved by this Order.

NOTICE OF STORMWATER CONTROL AND MAINTENANCE REQUIREMENTS

19. The work associated with this Order (the "Project") is (1) is not (2) subject to the Massachusetts Stormwater Standards. If the work is subject to the Stormwater Standards, then the project is subject to the following conditions:

a) All work, including site preparation, land disturbance, construction and redevelopment, shall be implemented in accordance with the construction period pollution prevention and erosion and sedimentation control plan and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollution Discharge Elimination System Construction General Permit as required by Stormwater Condition 8. Construction period erosion, sedimentation and pollution control measures and best management practices (BMPs) shall remain in place until the site is fully stabilized.

b) No stormwater runoff may be discharged to the post-construction stormwater BMPs unless and until a Registered Professional Engineer provides a Certification that:

- i.* all construction period BMPs have been removed or will be removed by a date certain specified in the Certification. For any construction period BMPs intended to be converted to post construction operation for stormwater attenuation, recharge, and/or treatment, the conversion is allowed by the MassDEP Stormwater Handbook BMP specifications and that the BMP has been properly cleaned or prepared for post construction operation, including removal of all construction period sediment trapped in inlet and outlet control structures;
- ii.* as-built final construction BMP plans are included, signed and stamped by a Registered Professional Engineer, certifying the site is fully stabilized;
- iii.* any illicit discharges to the stormwater management system have been removed, as per the requirements of Stormwater Standard 10;
- iv.* all post-construction stormwater BMPs are installed in accordance with the plans (including all planting plans) approved by the issuing authority, and have been inspected to ensure that they are not damaged and that they are in proper working condition;
- v.* any vegetation associated with post-construction BMPs is suitably established to withstand erosion.



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C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)

c) The landowner is responsible for BMP maintenance until the issuing authority is notified that another party has legally assumed responsibility for BMP maintenance. Prior to requesting a Certificate of Compliance, or Partial Certificate of Compliance, the responsible party (defined in General Condition 18(e)) shall execute and submit to the issuing authority an Operation and Maintenance Compliance Statement ("O&M Statement") for the Stormwater BMPs identifying the party responsible for implementing the stormwater BMP Operation and Maintenance Plan ("O&M Plan") and certifying the following: *i.*) the O&M Plan is complete and will be implemented upon receipt of the Certificate of Compliance, and *ii.*) the future responsible parties shall be notified in writing of their ongoing legal responsibility to operate and maintain the stormwater management BMPs and implement the Stormwater Pollution Prevention Plan.

d) Post-construction pollution prevention and source control shall be implemented in accordance with the long-term pollution prevention plan section of the approved Stormwater Report and, if applicable, the Stormwater Pollution Prevention Plan required by the National Pollution Discharge Elimination System Multi-Sector General Permit.

e) Unless and until another party accepts responsibility, the landowner, or owner of any drainage easement, assumes responsibility for maintaining each BMP. To overcome this presumption, the landowner of the property must submit to the issuing authority a legally binding agreement of record, acceptable to the issuing authority, evidencing that another entity has accepted responsibility for maintaining the BMP, and that the proposed responsible party shall be treated as a permittee for purposes of implementing the requirements of Conditions 18(f) through 18(k) with respect to that BMP. Any failure of the proposed responsible party to implement the requirements of Conditions 18(f) through 18(k) with respect to that BMP shall be a violation of the Order of Conditions or Certificate of Compliance. In the case of stormwater BMPs that are serving more than one lot, the legally binding agreement shall also identify the lots that will be serviced by the stormwater BMPs. A plan and easement deed that grants the responsible party access to perform the required operation and maintenance must be submitted along with the legally binding agreement.

f) The responsible party shall operate and maintain all stormwater BMPs in accordance with the design plans, the O&M Plan, and the requirements of the Massachusetts Stormwater Handbook.



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 MassDEP File #

 eDEP Transaction #
 Haverhill

 City/Town

C. General Conditions Under Massachusetts Wetlands Protection Act (cont.)

- g) The responsible party shall:
 1. Maintain an operation and maintenance log for the last three (3) consecutive calendar years of inspections, repairs, maintenance and/or replacement of the stormwater management system or any part thereof, and disposal (for disposal the log shall indicate the type of material and the disposal location);
 2. Make the maintenance log available to MassDEP and the Conservation Commission ("Commission") upon request; and
 3. Allow members and agents of the MassDEP and the Commission to enter and inspect the site to evaluate and ensure that the responsible party is in compliance with the requirements for each BMP established in the O&M Plan approved by the issuing authority.

- h) All sediment or other contaminants removed from stormwater BMPs shall be disposed of in accordance with all applicable federal, state, and local laws and regulations.
- i) Illicit discharges to the stormwater management system as defined in 310 CMR 10.04 are prohibited.
- j) The stormwater management system approved in the Order of Conditions shall not be changed without the prior written approval of the issuing authority.
- k) Areas designated as qualifying pervious areas for the purpose of the Low Impact Site Design Credit (as defined in the MassDEP Stormwater Handbook, Volume 3, Chapter 1, Low Impact Development Site Design Credits) shall not be altered without the prior written approval of the issuing authority.
- l) Access for maintenance, repair, and/or replacement of BMPs shall not be withheld. Any fencing constructed around stormwater BMPs shall include access gates and shall be at least six inches above grade to allow for wildlife passage.

Special Conditions (if you need more space for additional conditions, please attach a text document):

See Attachment "A", "State and Municipal Conditions", incorporated herein and made part of this Order of Conditions.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
WPA Form 5 – Order of Conditions
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
 33-1307
 MassDEP File #
 eDEP Transaction #
 Haverhill
 City/Town

D. Findings Under Municipal Wetlands Bylaw or Ordinance

1. Is a municipal wetlands bylaw or ordinance applicable? Yes No
2. The Haverhill hereby finds (check one that applies):
 Conservation Commission
- a. that the proposed work cannot be conditioned to meet the standards set forth in a municipal ordinance or bylaw, specifically:

1. Municipal Ordinance or Bylaw _____ 2. Citation _____

Therefore, work on this project may not go forward unless and until a revised Notice of Intent is submitted which provides measures which are adequate to meet these standards, and a final Order of Conditions is issued.

- b. that the following additional conditions are necessary to comply with a municipal ordinance or bylaw:

An Ordinance to Protect the Wetlands, Related Water Resources and Chapter 253
Adjoining Land Areas 2. Citation

3. The Commission orders that all work shall be performed in accordance with the following conditions and with the Notice of Intent referenced above. To the extent that the following conditions modify or differ from the plans, specifications, or other proposals submitted with the Notice of Intent, the conditions shall control.

The special conditions relating to municipal ordinance or bylaw are as follows (if you need more space for additional conditions, attach a text document):

See Attachment "A", "State and Municipal Conditions", incorporated herein and made part of this Order of Conditions



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
WPA Form 5 – Order of Conditions
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:
 33-1307
 MassDEP File # _____
 eDEP Transaction # _____
 Haverhill
 City/Town

E. Signatures

This Order is valid for three years, unless otherwise specified as a special condition pursuant to General Conditions #4, from the date of issuance.

May 24, 2011
 1. Date of Issuance

Please indicate the number of members who will sign this form. This Order must be signed by a majority of the Conservation Commission.

six
 2. Number of Signers

The Order must be mailed by certified mail (return receipt requested) or hand delivered to the applicant. A copy also must be mailed or hand delivered at the same time to the appropriate Department of Environmental Protection Regional Office, if not filing electronically, and the property owner, if different from applicant.

Signatures:

Chris Accardi

Brenda Braslock

[Signature]

William [Signature]

[Signature]

Shannan Henry

by hand delivery on

by certified mail, return receipt requested, on

May 24, 2011
 Date

 Date

F. Appeals

The applicant, the owner, any person aggrieved by this Order, any owner of land abutting the land subject to this Order, or any ten residents of the city or town in which such land is located, are hereby notified of their right to request the appropriate MassDEP Regional Office to issue a Superseding Order of Conditions. The request must be made by certified mail or hand delivery to the Department, with the appropriate filing fee and a completed Request of Departmental Action Fee Transmittal Form, as provided in 310 CMR 10.03(7) within ten business days from the date of issuance of this Order. A copy of the request shall at the same time be sent by certified mail or hand delivery to the Conservation Commission and to the applicant, if he/she is not the appellant.

Any appellants seeking to appeal the Department's Superseding Order associated with this appeal will be required to demonstrate prior participation in the review of this project. Previous participation in the permit proceeding means the submission of written information to the Conservation Commission prior to the close of the public hearing, requesting a Superseding Order, or providing written information to the Department prior to issuance of a Superseding Order.

The request shall state clearly and concisely the objections to the Order which is being appealed and how the Order does not contribute to the protection of the interests identified in the Massachusetts Wetlands Protection Act (M.G.L. c. 131, § 40), and is inconsistent with the wetlands regulations (310 CMR 10.00). To the extent that the Order is based on a municipal ordinance or bylaw, and not on the Massachusetts Wetlands Protection Act or regulations, the Department has no appellate jurisdiction.



Haverhill

Economic Development and Planning
Conservation Department
Phone: 978-374-2334 Fax: 978-374-2337
moore@cityofhaverhill.com
conservation@cityofhaverhill.com

ATTACHMENT "A"
STATE AND MUNICIPAL CONDITIONS
DEP FILE #33-1307
CITY OF HAVERHILL
WASHINGTON STREET
PARCEL IDs: 309-1-9A, 14, 15 AND 310-1-15, 19

I. GENERAL CONSTRUCTION

1. Work on this project site shall be performed according to the following listed plans and documents. Should any conflicts be found to exist between these plans and documents and the conditions of this Order, the Haverhill Conservation Commission (HCC) shall be contacted for a clarification.
 - a) Site Plan "Haverhill ADA River Access" (5 Sheets), site plan prepared by AECOM (66 Long Wharf, Boston, MA 02110), dated printed April 20, 2011, and on file with the HCC (Room 210, City Hall, 4 Summer Street, Haverhill, MA 01830).
2. All pumps, drilling machines, and their surrounding areas, whether used for dewatering or other purposes, shall be properly contained to limit the potential for environmental impacts due to fuel leakage, pump leakage, or other failures.

II. NOTIFICATION TO OTHER PARTIES

1. The applicant shall notify the Haverhill Conservation Commission, in writing, at least 48 hours before any activity commences on site. At this time the applicant shall also supply the HCC with a list of names, addresses, and emergency phone numbers for those parties responsible for compliance with this Order on the site, including the Environmental Monitor.
2. During the life of this Order, should any modifications to the wetland delineations be found to be necessary by the HCC, the applicant shall submit a modified plan reflecting these modifications.
3. The sign required under General Condition #9 of this Order shall not be attached to a live tree.
4. Any changes proposed under General Condition #13 of this Order might require the applicant to file a Request for a Modification to the Order of Conditions with the Commission.
5. While all activities regulated by this Order are being performed and during the construction phase of this project, an on-site foreman, directing engineer, or designated construction manager, shall have a copy of this

permit and its associated plans and documents at the site, familiarize him or herself with the conditions of this permit, and adhere to such conditions. This Order of Conditions shall be made part of all construction-related documents for this project. All contractors working at the site shall be made aware of the provisions contained within this Order of Conditions and adhere to them.

6. The applicant shall secure an Environmental Monitor for this project. This Monitor shall be, at a minimum, a professional with experiences in stormwater management, erosion and siltation control practices, wildlife habitat evaluation, and wetlands protection. This Monitor shall have, at a minimum, a working knowledge of botany, hydrology, and general construction practices.
 - a) On the Monday of every week during the life of this project, the Environmental Monitor shall provide the HCC with a status report of the project. This report shall indicate the activities completed the previous week and those planned for the current week. The report shall also mention any deviations from the previous week's report and any environmental mitigation measures that have been undertaken. The frequency of this reporting may be altered as site conditions warrant, upon concurrence between the HCC or its representative and the Environmental Monitor.
 - b) In addition to this reporting, the Environmental Monitor shall be responsible for all inspections and reporting as outlined in this Order and the referenced plans and documents pertaining to resource area activities, erosion and siltation controls, and stormwater management. The Monitor shall be on site as necessary to ensure proper implementation of the conditions of this Order and the work outlined in the referenced plans and documents.

III. CONSTRUCTION SEQUENCING

1. **Prior to the commencement of work** on this site, the applicant shall provide a detailed construction sequencing for this project to the HCC and City Engineer. This sequence shall be subject to the prior review and approval of an HCC official and the City Engineer. Should any conflicts arise between this sequencing, the conditions of this Order, and/or the general construction practices of the site contractor, a Conservation Department Official shall be contacted for a clarification.
2. **Prior to the commencement of work**, the applicant and/or contractor shall provide a written plan detailing measures to be employed for the containment of drill cuttings to prevent their deposit in the river. This plan shall be subject to the review and approval of a Conservation Department Official.
3. **Prior to the commencement of work** on this site, the applicant shall provide the HCC with a final, signed and stamped set of 100% Construction Plans to be used for the project.
4. **Prior to the commencement of work** on this site, the applicant shall submit a recorded copy of the 401 Water Quality Certificate and Chapter 91 Waterways License issued by the Department of Environmental Protection for this project (if needed) and an Army Corps of Engineers permit (if needed).
5. **Prior to the commencement of work** regulated by this Order of Conditions, pre-construction meetings shall be conducted with the site contractor, the applicant, the applicant's engineers/consultants, the Environmental Monitor, the Conservation Commission, and all other affected City Officials. The purpose of the pre-construction meetings is to review this Order of Conditions and resolve any outstanding issues at that time.

6. **Immediately following the installation of this dock system**, the applicant shall contact the Haverhill Conservation Department to schedule a site inspection for compliance with these conditions.

IV. LIMITS OF PROJECT

1. Work on this project shall be performed in accordance with Haverhill Municipal Ordinances Chapter 253 – “An Ordinance to Protect the Wetlands, Related Water Resources, and Adjoining Land Areas”.
2. All wetland resource areas shall be visibly staked every 25 feet along the resource area boundaries in order to assure that no intrusion into these areas occur.
3. Flagging and staking used to identify wetland resource areas shall be of a color different from any others used on the site. The existing flagging and required staking shall be maintained until the work is complete.
4. Refueling of equipment shall not be done within 100’ of a wetland resource area. No fuel, oil, or other potential pollutants shall be stored within 100’ of a wetland resource area.
5. Equipment shall not be staged overnight within 100’ of a wetland resource area.
6. All vegetation clearing associated with this project, including any pruning that may be necessary for the construction of this project, shall be subject to the prior review and approval of an HCC official. All approved limits of clearing and/or pruning shall be clearly identified on the site by the applicant using staking, flagging, or other appropriate means.
7. In accordance with Haverhill Municipal Ordinance Chapter 253, there shall be no activities allowed within **25’** of the delineated wetland resource areas and no building construction within **50’** of these same areas, except as shown on the approved plans referenced above.
8. No waste products, grubbed stumps, slash, cut timber, construction materials, etc. shall be deposited or accumulated within 100’ of a wetland resource area. Covered dumpsters shall be maintained on site for appropriate materials.
9. No storage of debris, fill, or excavated material or the stockpiling of topsoil shall be conducted within 100’ of a wetland resource area or within bordering land subject to flooding, unless approved in advance by a Conservation Department Official.

V. EROSION AND SILTATION CONTROLS

1. HCC reserves the right to require erosion control measures, as it deems necessary. The HCC reserves the right to impose additional conditions on portions of this project to mitigate any impacts which could result from site erosion or any noticeable degradation of surface water quality discharging from the site.
2. The areas of construction shall remain in a stable condition at the close of each construction day. Erosion controls should be inspected at this time, and maintained or reinforced if necessary.
3. The Environmental Monitor shall oversee any emergency placement of controls and regular inspection or replacement of erosion and sedimentation control devices. The name and phone number of the Monitor

must be provided to the HCC in the event that this person has to be contacted, due to an emergency at the site, during any 24-hour period, including weekends. This person shall be given authority to stop construction for erosion control purposes. The Environmental Monitor will be required to inspect all such devices and oversee cleaning and the proper disposal of waste products. The Monitor shall immediately correct any erosion problems that may occur on the site.

4. Upon completion of the project all disturbed areas shall be permanently stabilized with rapidly growing cover with sufficient topsoil to assure long term stabilization of disturbed areas.
5. Erosion control devices may be modified based on experience at the site. Approval of the HCC must be obtained prior to any non-emergency modification of the approved erosion and sediment control measures. All such devices shall be inspected, cleaned, or replaced during construction and shall remain in place until such time as the site is stabilized with vegetative cover.
6. Subsequent to seeding, disturbed areas are to be covered with hay mulch or jute netting in order to provide a suitable surface cover until seed germination.
7. During all phases of construction, all disturbed or exposed soil surfaces shall be brought to final finished grade and either a) covered with loam and seeded in accordance with USDA Soil Conservation Services Guidelines for permanent stabilization or b) stabilized in another way approved by the HCC. Bare ground that cannot be permanently stabilized within 30 days shall be stabilized with mulch or any other protective covering and/or method approved by the USDA Soil Conservation Service.
8. No planting of non-native or invasive plants, even if already found on this site, shall occur anywhere on this project site.
9. The locations of long term (greater than 30 days) stockpiles and the locations and construction methods of the temporary construction entrances shall receive the prior approval of an HCC official, City Engineer, and the Environmental Monitor. Any conflicts regarding these matters shall be resolved with the applicant's filing of a proposal in accordance with condition II.4.

VI. RESOURCE AREA ACTIVITIES

1. All work proposed within wetland resource areas and the 25'-No Disturbance Zone shall be performed according to the plans and documents submitted as part of the Notice of Intent filing, unless specified otherwise in this Order.
2. The Environmental Monitor shall be on site as needed to supervise this construction.
3. The contractor shall not disturb any area of protected or regulated Federal, State, and/or Local wetland resource area or buffer zone except for that which has been permitted by this Order.
4. The contractor shall restore all temporarily disturbed resource areas and buffer zones to the satisfaction of the HCC and the Environmental Monitor.

5. The contractor shall follow the directions of the Environmental Monitor, whether given prior to, or during, construction. If feasible, the contractor shall propose alternative environmental protection techniques that provide cost or time savings or improved environmental protection, provided (1) they provide equivalent or greater wetland protection than afforded by the methods contained in this Order and NOI and provided by the Environmental Monitor; (2) they receive prior approval by the HCC and the Environmental Monitor; and (3) they meet the Performance Standards of the Massachusetts Wetland Protection Regulations (310 CMR 10.00) and the requirements of Haverhill Municipal Ordinance Chapter 253.

VII. WILDLIFE HABITAT PROTECTION

1. The Natural Heritage and Endangered Species Program has determined that this project occurs within or immediately adjacent to the habitat for the Short-nose Sturgeon (*Acipenser brevirostrum*) and the Bald Eagle (*Haliaeetus leucocephalus*). The Environmental Monitor shall instruct all workers on this site in the identification and habitats of these species.
2. Every effort shall be made to photograph the presence of either of these species encountered within the estimated habitat area. The date, time, weather conditions, and species activity of each encounter shall be documented. This information shall be included in the Environmental Monitor's report. Sightings and documentation shall be promptly reported to the HCC.
3. The applicant shall comply with any and all conditions required by the National Marine Fisheries Service for this project.

VIII. OTHER CONDITIONS

1. If any unforeseen problem occurs during construction, which affects any of the eight statutory interests of the Wetlands Protection Act, M.G.L. Chapter 131, Section 40, upon discovery, the applicant shall notify the HCC and an immediate meeting shall be held between the Commission, the applicant, the engineer, contractor, and other concerned parties to determine the corrective measures to be employed. The applicant shall then act to correct the problems using the corrective measures agreed upon.
2. Upon completion of the project, the applicant shall request a Certificate of Compliance from the Commission and shall submit the following information with the request:
 - a) A written statement by a professional engineer or land surveyor registered in the Commonwealth of Massachusetts certifying compliance with the approved plans referenced above and this Order of Conditions and setting forth deviations, if any exist;
 - b) A final monitoring report prepared by the Environmental Monitor in accordance with the criteria outlined in Section VII.
 - c) Two sets of as-built site plans prepared by a registered land surveyor or registered professional engineer showing grades, utilities, drainage systems, building footprint and detailed landscaping (i.e. all wetland resource areas, limits of work, etc.). These plans shall include the date(s) of fieldwork and shall be prepared in accordance with the "Plot Plan Standards" of the HCC Policy - P2000-02 "Occupancy Permit Checklist Endorsement".

IX. ONGOING CONDITIONS

Certain conditions are ongoing and do not expire upon the completion of the project or the issuance of a Certificate of Compliance. These conditions shall remain in effect after the issuance of a Certificate of Compliance for the project and shall be referenced in the chain of title for the property. These conditions are:

1. The Haverhill Conservation Commission reserves the right to enforce any and all restrictions and/or requirements established for this property within this Order of Conditions under the enforcement powers of the City's wetlands protection ordinance, Municipal Ordinance Chapter 253.
2. There shall be no storage of deleterious or hazardous materials on the dock system
3. Prior to the completion of this project, the applicant shall collect and remove all trash, compost, and loose man-made debris from the site. Following the completion of the project, the applicant shall conduct routine litter pick-ups on the site to prevent debris from entering the river.
5. No vegetation pruning shall take place on this site for the installation of the dock system without the prior review and approval of a Conservation Department Official.
6. All floats, ramps, and other seasonal structures shall be removed from the river from October 15th to April 1st and stored in an upland location.
7. No creosote or other chemical coating of the structures shall be allowed.
8. Deck spacing on the docks shall be a minimum of 3/4" between boards to allow for light penetration to the land under the dock structures.
9. At no time shall any float sections be positioned over or within 25' of any Special Aquatic Sites (vegetated shallows, mudflats, wetlands, and riffles and pools) along the river. Vessels using the proposed dock shall not be moored over Special Aquatic Sites.
10. Boats shall not be fueled on site.
11. The dock sections shall be constructed with float stops or "feet" on their bottom-side corners to prevent them from lying on the land under the dock during periods of low flow. Floats shall be supported a minimum of 2.5' above the substrate during all tides.
12. Following the installation of this system, the applicant shall contact the Haverhill Conservation Department to schedule a site inspection for compliance with these stipulations.
13. It is suggested that the applicant maintain a minimum offset of 25' from his lines of riparian rights with the proposed dock system. Should less than a 25' offset be desired or necessary, then it is suggested that the applicant consult with the abutting landowner to determine the potential for future dock/boating conflicts.
14. Installation and removal of the floats shall be from the water, not from the land.



The Commonwealth of Massachusetts
Executive Office of Energy and Environmental Affairs
100 Cambridge Street, Suite 900
Boston, MA 02114

Deval L. Patrick
GOVERNOR

Timothy P. Murray
LIEUTENANT GOVERNOR

Richard K. Sullivan, Jr.
SECRETARY

Tel: (617) 626-1000
Fax: (617) 626-1181

<http://www.mass.gov/envir>

April 8, 2011

CERTIFICATE OF THE SECRETARY OF ENERGY AND ENVIRONMENTAL AFFAIRS
ON THE
NOTICE OF PROJECT CHANGE

PROJECT NAME : Haverhill-Merrimack River Walkway
PROJECT MUNICIPALITY : City of Haverhill
PROJECT WATERSHED : Merrimack River
EEA NUMBER : 14097
PROJECT PROPONENT : City of Haverhill
DATE NOTICED IN MONITOR : March 9, 2011

Pursuant to the Massachusetts Environmental Policy Act (G. L. c. 30, ss. 61-62I) and Section 11.10 of the MEPA regulations (301 CMR 11.00), I have reviewed the Notice of Project Change (NPC) submitted for this project and hereby determine that this project **does not require** the preparation of an Environmental Impact Report (EIR).

A Certificate on the Environmental Notification Form (ENF) for this project was issued on October 10, 2007. An EIR was not required. The proposed project at that time consisted of development of a 2.5 mile walkway forming a loop that circles the Merrimack River between the Upper County/Joseph C. Comeau Bridge and the Basiliere Bridge (Route 125). The purpose of the project is to increase visual, pedestrian and recreational access to the river, and it was proposed in two phases (Task A and Task B). The proposed project change expands the project to include construction of a new permanent ramp adjacent to an existing staircase, and temporary gangways and floating docks within the Merrimack River in support of a boating facility to be operated by the Proponent, the City of Haverhill. The proposed facility will provide temporary floating docks for commercial, residential and/or transient purposes.

The work for the proposed boating facility will take place on the waterside of the existing flood wall and will not require any material changes to the land-based elements of the project as proposed in the ENF. Task A has been completed recently and includes renovation of an existing

The Notice of Intent (NOI) for the project should clarify impacts to Short-nose Sturgeon habitat (NPC estimates 182 sf of impact on page 5 and 782 sf on page 3-2). The NOI should also describe and quantify impacts to Bank resources.

Rare Species

The proposed project occurs within or immediately adjacent to the habitat for Short-nose Sturgeon (*Acipenser brevirostrum*) and the Bald Eagle (*Haliaeetus leucocephalus*), which are state-listed as Endangered species and protected pursuant to the Massachusetts Endangered Species Act (MESA) and its implementing regulations (310 CMR 10.00).

The proposed boating facility will involve work within the Merrimack River in a known Short-nose Sturgeon spawning area. The project may require timing restrictions to avoid interference with this species during its spawning period. Other measures to protect Short-nose Sturgeon during construction may also be required. The City of Haverhill should consult directly with the National Marine Fisheries Service (NMFS) to determine if NMFS will require any timing, construction or use-related restrictions. The City should also consult with NHESP regarding potential impacts and protective measures for the Bald Eagle and provide NMFS with an update on NMFS consultations. NHESP is available for consultation with the City in advance of a formal MESA filing and indicates in its comment letter that it is confident that rare species concerns can be resolved.

Cultural Resources

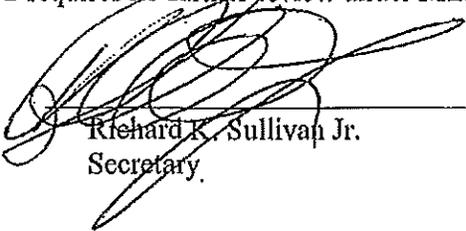
The Board of Underwater Archaeological Resources (Board) indicates in its comment letter that the project is unlikely to adversely impact submerged cultural resources. I refer the City to the Board's comment letter for guidance if any resources are encountered.

Conclusion

I am satisfied that any remaining environmental issues associated with the proposed boating facility can be adequately addressed during the state and local permit and review processes. The project as proposed in the NPC requires no further review under MEPA.

April 8, 2011

DATE


Richard K. Sullivan Jr.
Secretary

Comments Received:

3/28/2011 Massachusetts Division of Fisheries and Wildlife, Natural Heritage and Endangered Species Program
3/28/2011 Massachusetts Board of Underwater Archaeological Resources
3/29/2011 Massachusetts Department of Environmental Protection

RKS/AOS/aos



Commonwealth of Massachusetts
Executive Office of Energy & Environmental Affairs

Department of Environmental Protection

One Winter Street Boston, MA 02108 • 617-292-5500

DEVAL L. PATRICK
Governor

RICHARD K. SULLIVAN JR.
Secretary

TIMOTHY P. MURRAY
Lieutenant Governor

KENNETH L. KIMMELL
Commissioner

City of Haverhill
c/o AECOM
250 Apollo Drive
Chelmsford, MA 01824
Attn: Thomas Keough

RE: ISSUANCE OF CHAPTER 91 WATERWAYS LICENSE
Waterways License Application No. W11-3337, License No. 13104
Merrimack River, Haverhill, Essex County

SEP 13 2011

Dear Licensee,

The Department of Environmental Protection hereby issues the above-referenced Waterways license, enclosed, authorizing you to perform certain activities pursuant to M.G.L. c. 91, the Public Waterfront Act and its regulations 310 CMR 9.00. Any change in use or alteration of any structure or fill not authorized by this license shall render this license void.

This License is not final until all administrative appeal periods from this License have elapsed, or if such an appeal has been taken, until all proceedings before the Department have been completed. The appeal period is for twenty-one (21) days. No work shall be undertaken until the License has become final and has been recorded in the Registry of Deeds or the Land Court for the district in which the land is located, within the chain of title of the affected property

RECORDING OF THE LICENSE

This License must be recorded at the County Registry of Deeds or, if registered land, with the Land Registration Office within sixty (60) days from the date of license issuance. In the case of recorded land, the License shall also be noted in the Registry's Grantor Index under the name of the owner of the land upon which the project is located. In the case of the registered land, the License shall also be noted on the Land Court Certificate of Title of the owner of the land upon which the project is located. Failure to record this license within sixty (60) days of the date of issuance will render this license void pursuant to 310 CMR 9.18.

A Waterways License Recordation Notice Form has been enclosed for your use in notifying the Department of the recording information for this License. Failure to notify the Department of the recording of this license is a violation of 310 CMR 9.00 and is subject to enforcement action by the Department.

REQUEST CERTIFICATE OF COMPLIANCE

Pursuant to 310 CMR 9.19, once the proposed project is completed you must file a Request for a Certificate of Compliance form, BRP WW05, within sixty (60) days of completion but in no event

RE: ISSUANCE OF CHAPTER 91 WATERWAYS LICENSE

Waterways License Application No. W11-3337, License No. 13104

Merrimack River, Haverhill, Essex County

later than five (5) years from the License's issuance date. The license for any project for which such a request is not filed and certificate issued may be revoked pursuant to 310 CMR 9.26.

APPEAL RIGHTS AND TIME LIMITS

The following persons shall have the right to an adjudicatory hearing concerning this decision by the Department to grant or deny a license or permit, in accordance with 310 CMR 9.17(1): (a) an applicant who has demonstrated property rights in the lands in question, or which is a public agency; (b) any person aggrieved by the decision of the Department to grant a license or permit who has submitted written comments within the public comment period; (c) ten (10) residents of the Commonwealth who, pursuant to M.G.L. c. 30A, § 10A, have submitted comments within the public comment period with at least 5 of the 10 residents residing in the municipality(s) in which the license or permitted activity is located. The appeal shall clearly and specifically state the facts and grounds for the appeal and the relief sought, and each appealing resident shall file an affidavit stating the intent to be part of the group and to be represented by its authorized representative; (d) the municipal official in the affected municipality who has submitted written comments within the public comment period; and (e) CZM, for any project identified in 310 CMR 9.13(2) (a) for CZM participation or, in an Ocean Sanctuary, if it has filed a notice of participation within the public comment period.

A person requesting an adjudicatory hearing must submit a "Notice of Claim" to the Department, with a copy of the MassDEP Transmittal Form and including the detail specified below, within twenty-one (21) days of the date of issuance of this decision. The MassDEP Fee Transmittal Form is available at the following website: <http://www.mass.gov/dep/service/adr/adjherfm.doc>. The Notice of Claim must be made in writing and sent by certified mail or hand delivery to:

Case Administrator
MassDEP
One Winter Street, 2nd Floor
Boston, MA 02108

A copy of the complete Notice of Claim must be sent at the same time by certified mail or hand delivery to: (1) the applicant, (2) the municipal official of the city or town where the project is located, and (3) the issuing office of the MassDEP, which in this case is located at:

MassDEP Waterways Regulation Program
One Winter Street, 5th Floor
Boston, MA 02108

The MassDEP Fee Transmittal Form and a valid check payable to the Commonwealth of Massachusetts in the amount of one hundred dollars (\$100) must be mailed to:

Mass. Department of Environmental Protection
Commonwealth Master Lockbox
P.O. Box 4062
Boston, Massachusetts 02211

CONTENTS OF APPEAL REQUEST

Pursuant to 310 CMR 9.17(3), any Notice of Claim requesting an adjudicatory hearing must include the following information:

- (a) the MassDEP Waterways Application File Number;
- (b) the complete name, address, fax number and telephone number of the applicant;
- (c) the address of the project;
- (d) the complete name, address, fax number, and telephone number of the party filing the request and, if represented by counsel, the name, address, fax number, and phone number of the attorney;

RE: ISSUANCE OF CHAPTER 91 WATERWAYS LICENSE

Waterways License Application No. W11-3337, License No. 13104

Merrimack River, Haverhill, Essex County

- (e) if claiming to be a person aggrieved, the specific facts that demonstrate that the party satisfies the definition of "aggrieved person" found in 310 CMR 9.02;
- (f) a clear statement that a formal adjudicatory hearing is being requested;
- (g) a clear statement of the facts which are the grounds for the proceedings, the specific objections to the MassDEP's written decision, and the relief sought through the adjudicatory hearing, including specifically the changes desired in the final written decision; and
- (h) a statement that a copy of the request has been sent to: the applicant and the municipal official of the city or town where the project is located.

DISMISSAL OF REQUEST

The request for appeal will be dismissed if the filing fee is not paid, unless the appellant is exempt or is granted a waiver. The filing fee is not required if the appellant is a city or town (or municipal agency), county, or district of the Commonwealth of Massachusetts, or a municipal housing authority. The Department may waive the adjudicatory hearing filing fee pursuant to 310 CMR 4.06(2) for a person who shows that paying the fee will create an undue financial hardship. A person seeking a waiver must file an affidavit setting forth the facts believed to support the claim of undue financial hardship together with the hearing request as provided above.

Please feel free to contact David B. Slagle of the Waterways Regulation Program, (617) 654-6640, if you have any questions pertaining to the recording of your Waterways license or Certificate of Compliance.

Sincerely,

Ben Lynch
Program Chief
Waterways Regulation Program

cc: Haverhill, Mayor and City Council
Haverhill, Conservation Commission
Haverhill, Planning Board
Haverhill, Harbormaster

Ecc: DEP/NE Wetlands File #
EOEEA, MEPA Unit File #

Enclosure(s) Waterways License # **13104**
Notification of Waterways License Recordation form

Michael Girvan
Waterways Regulation Program
Department of Environmental Protection
1 Winter Street, 5th Floor
Boston, Massachusetts 02108

**RE: NOTIFICATION OF RECORDING THE WATERWAYS LICENSE
Waterways License No. 13104
Merrimack River, Haverhill, Essex County**

Dear Mr. Girvan:

This is to notify you that the above referenced Waterways license was recorded with the appropriate Registry of Deeds/ Land Court for this project location and to provide your office with the following recordation information.

Date of Recordation: _____
County Registry of Deeds/ Land Court: _____
Book number _____, **and page number(s)** _____.

We will apply for a Certificate of Compliance with your office when the authorized work or change in use is completed.

Sincerely,

_____, Chapter 91 Waterways Licensee

License is void if not recorded within sixty (60) days of issuance.

The Commonwealth of Massachusetts

No. 13104



Whereas, City of Haverhill

of -- Haverhill --, in the County of -- Essex -- and Commonwealth aforesaid, has applied to the Department of Environmental Protection for license to -- construct and maintain a cantilevered access ramp; and maintain existing platform and stairs -----

and has submitted plans of the same; and whereas due notice of said application has been given, as required by law, to the -- Mayor and City Council -- of the -- City of Haverhill; -----

NOW, said Department, having heard all parties desiring to be heard, and having fully considered said application, hereby, subject to the approval of the Governor, authorizes and licenses the said

-- City of Haverhill --, subject to the provisions of the ninety-first chapter of the General Laws, and of all laws which are or may be in force applicable thereto, to -- construct and maintain a cantilevered access ramp; and maintain existing platform and stairs -----

in and over filled tidelands of -- Merrimack River -- at rear of 130 Washington Street -- in the -- City -- of -- Haverhill -- and in accordance with the locations shown and details indicated on the accompanying DEP License Plan No. 13104, (3 sheets).

The structures hereby authorized shall be limited to the following uses: to provide commercial/noncommercial docking and boating access to navigable waters.

SPECIAL WATERWAYS CONDITIONS

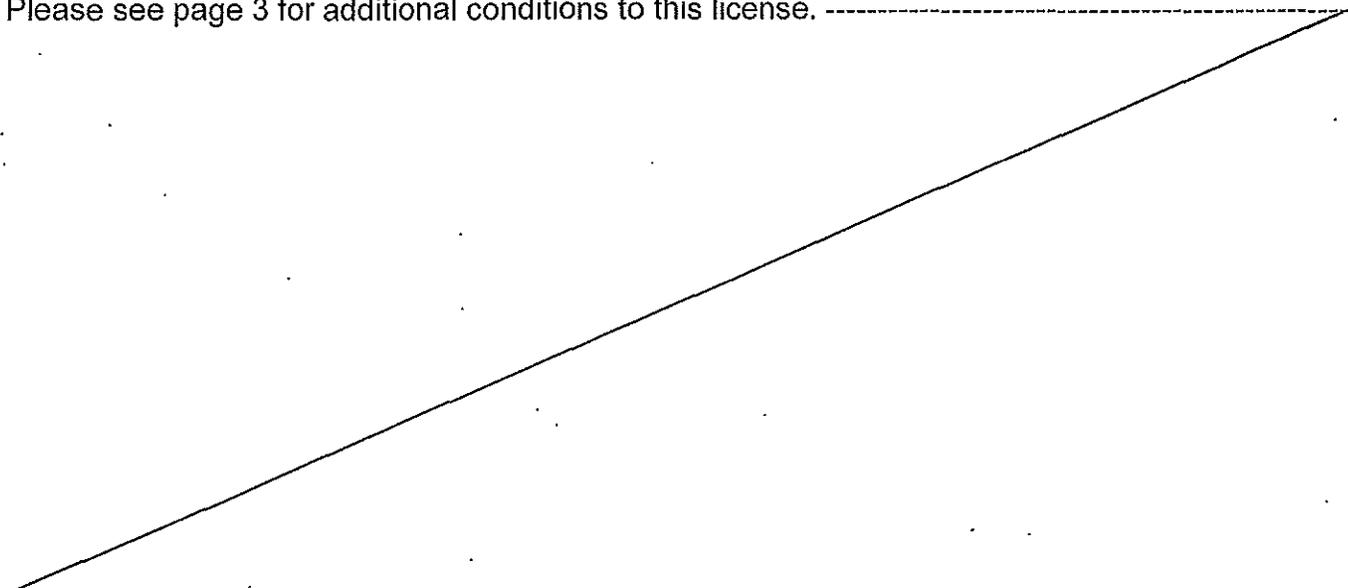
This license shall have an unlimited term.

The seasonal dock system, gangways and bottom anchored floats, are not permitted under this license and these structures will need to obtain an annual Harbormaster's 10A permit, due to the structures being seaward of the State Harbor Line.

All work authorized herein shall be completed within five (5) years of the date of license issuance. Said construction period may be extended by the Department for one or more one year periods without public notice, provided that the Applicant submits to the Department thirty (30) days prior to the end of the construction period, a written request to extend the period and provides adequate justification for said extension.

Within sixty (60) days of completion of the licensed project, the Licensee shall request in writing that the Department issue a Certificate of Compliance in accordance with 310 CMR 9.19. The request shall be accompanied by a certification by a registered professional engineer licensed in the Commonwealth that the project was completed in accordance with the License.

Please see page 3 for additional conditions to this license. -----



Duplicate of said plan, number 13104 on file in the office of said Department, and original of said plan accompanies this License, and is to be referred to as a part hereof.

STANDARD WATERWAYS LICENSE CONDITIONS

1. Acceptance of this Waterways License shall constitute an agreement by the Licensee to conform to all terms and conditions stated herein.
 2. This License is granted upon the express condition that any and all other applicable authorizations necessitated due to the provisions hereof shall be secured by the Licensee prior to the commencement of any activity or use authorized pursuant to this License.
 3. Any change in use or any substantial structural alteration of any structure or fill authorized herein shall require the issuance by the Department of a new Waterways License in accordance with the provisions and procedures established in Chapter 91 of the Massachusetts General Laws. Any unauthorized substantial change in use or unauthorized substantial structural alteration of any structure or fill authorized herein shall render this Waterways License void.
 4. This Waterways License shall be revocable by the Department for noncompliance with the terms and conditions set forth herein. This license may be revoked after the Department has given written notice of the alleged noncompliance to the Licensee and those persons who have filed a written request for such notice with the Department and afforded them a reasonable opportunity to correct said noncompliance. Failure to correct said noncompliance after the issuance of a written notice by the Department shall render this Waterways License void and the Commonwealth may proceed to remove or cause removal of any structure or fill authorized herein at the expense of the Licensee, its successors and assigns as an unauthorized and unlawful structure and/or fill.
 5. The structures and/or fill authorized herein shall be maintained in good repair and in accordance with the terms and conditions stated herein and the details indicated on the accompanying license plans.
 6. Nothing in this Waterways License shall be construed as authorizing encroachment in, on or over property not owned or controlled by the Licensee, except with the written consent of the owner or owners thereof.
 7. This Waterways License is granted subject to all applicable Federal, State, County, and Municipal laws, ordinances and regulations including but not limited to a valid final Order of Conditions issued pursuant to the Wetlands Protection Act, G.L. Chapter 131, s.40.
 8. This Waterways License is granted upon the express condition that the use of the structures and/or fill authorized hereby shall be in strict conformance with all applicable requirements and authorizations of the DEP.
 9. This License authorizes structure(s) and/or fill on:
 - Private Tidelands. In accordance with the public easement that exists by law on private tidelands, the licensee shall allow the public to use and to pass freely upon the area of the subject property lying between the high and low water marks, for the purposes of fishing, fowling, navigation, and the natural derivatives thereof.
 - Commonwealth Tidelands. The Licensee shall not restrict the public's right to use and to pass freely, for any lawful purpose, upon lands lying seaward of the low water mark. Said lands are held in trust by the Commonwealth for the benefit of the public.
 - a Great Pond of the Commonwealth. The Licensee shall not restrict the public's right to use and to pass freely upon lands lying seaward of the high water mark for any lawful purpose.
 - Navigable River or Stream. The Licensee shall not restrict the public's right to use and to pass freely, for any lawful purpose, in the waterway.
- No restriction on the exercise of these public rights shall be imposed unless otherwise expressly provided in this license.
10. Unless otherwise expressly provided by this license, the licensee shall not limit the hours of availability of any areas of the subject property designated for public passage, nor place any gates, fences, or other structures on such areas in a manner that would impede or discourage the free flow of pedestrian movement thereon.

The amount of tidewater displaced by the work hereby authorized has been ascertained by said Department, and compensation thereof has been made by the said -- City of Haverhill -- by paying into the treasury of the Commonwealth -- zero dollars and zero cents (\$0.00)-- for each cubic yard so displaced, being the amount hereby assessed by said Department. (0.0 cu. yds. = \$0.00)

Nothing in this License shall be so construed as to impair the legal rights of any person. This License shall be void unless the same and the accompanying plan are recorded within 60 days from the date hereof, in the Registry of Deeds for the County of -- Essex -----

IN WITNESS WHEREAS, said Department of Environmental Protection have hereunto set their hands this 13th day of September in the year two thousand and eleven

Commissioner		Department of
Program Chief		Environmental Protection

THE COMMONWEALTH OF MASSACHUSETTS

This license is approved in consideration of the payment into the treasury of the Commonwealth by the said -- City of Haverhill

-- the further sum of -- zero dollars and zero cents (\$0.00) --

the amount determined by the Governor as a just and equitable charge for rights and privileges hereby granted in the land of the Commonwealth.

Approved by the Governor.

BOSTON,



Governor

ELECTRIC LIGHT
COMPANY INC.

One Morgan Way Cape Neddick, ME 03902 207-361-1234

October 13, 2011

Michael Lavoie
Haverhill Fire Department
4 Summer Street
Haverhill, MA 01830
FAX 978-373-8464

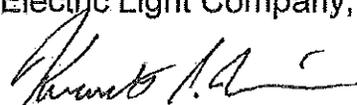
RE: Traffic Signals at 514 Main Street

Dear Mike,

We are pleased to quote you on the reactivation of the traffic signals at Temple Emanu El. Included is the installation of a mast arm foundation, installation of a city supplied mast arm, electrical service, signal cable two vehicle signals, pedestrian signal and pedestrian pushbutton. We will also install city supplied traffic signal cabinet on the mast arm. The total cost is \$11,800.00.

This quotation does not include the cost for any police details, or the cost for any permits, fees or taxes required by any State, municipal or utility agency.

Sincerely,
Electric Light Company, Inc


Kenneth Miller
President

June

ELECTRIC LIGHT
COMPANY INC.

One Morgan Way Cape Neddick, ME 03902 207-361-1234

October 13, 2011

Michael Lavoie
Haverhill Fire Department
4 Summer Street
Haverhill, MA 01830
FAX 978-373-8464

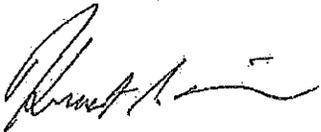
RE: Traffic signals at Kenoza / Webster

Dear Mike,

We are pleased to quote you on the installation of a video camera and processor for Webster Street. The total cost would be \$7,400.00 including a 2 channel processor for a future camera.

This quotation does not include the cost for any police details, or the cost for any permits, fees or taxes required by any State, municipal or utility agency.

Sincerely,
Electric Light Company, Inc



Kenneth Miller
President

Jane

Reply

To: richardborden
Date: 03/02/2012
Subject: Award Notification (Application Number: EMW-2011-FO-05818)
From: firegrants@dhs.gov

Congratulations!

Your grant application submitted under the Grant Programs Directorate's (DHS) FY 2011 Assistance to Firefighters Grant Program has been approved for award. Please go to <https://portal.fema.gov> to accept or decline your award. This will take you to the Assistance to Firefighters eGrants system. Enter your User Name and Password as requested on the login screen. Your User Name and Password are the same as those used to complete the application on-line.

Once you are in the system, the Status page will be the first screen you see. On the right side of the Status screen, you will see a column entitled Action. In this column, please select the View Award Package from the drop down menu. Click Go to view your award package and indicate your acceptance or declination of award. PLEASE NOTE: your period of performance has begun. If you wish to accept your grant, you should do so immediately. When you have finished, we recommend printing your award package for your records.

If you accept your award, you will see a link on the left side of the screen that says Update 1199A in the Action column. Click this link. This link will take you to the SF-1199A, Direct Deposit Sign-up Form. Please complete the SF-1199A on-line if you have not done so already. When you have finished, you must submit the form electronically. Then, using the Print 1199A Button, print a copy and take it to your bank to have the bottom portion completed. Make sure your application number is on the form. After your bank has filled out their portion of the form, you must fax a copy of the form to FEMA's SF-1199 Processing Staff at 301-998-8699. You should keep the original form in your grant files. After the faxed version of your SF 1199A has been reviewed you will receive an email indicating the form is approved. After which you will be able to request payments online. If you have any questions regarding your SF-1199A, please call 1-866-274-0960.

Go Back

U.S. Department of Homeland Security
Washington, D.C. 20472



FEMA

Mr. Richard Borden
Haverhill Fire Department
4 Summer Street Rm 113
Haverhill, Massachusetts 01830-5843

Re: Grant No.EMW-2011-FO-05818

Dear Mr. Borden:

On behalf of the Federal Emergency Management Agency (FEMA) and the Department of Homeland Security (DHS), I am pleased to inform you that your grant application submitted under the FY 2011 Assistance to Firefighters Grant has been approved. FEMA's Grant Programs Directorate (GPD), in consultation with the U.S. Fire Administration (USFA), carries out the Federal responsibilities of administering your grant. The approved project costs total to \$399,480.00. The Federal share is 80 percent or \$319,584.00 of the approved amount and your share of the costs is 20 percent or \$79,896.00.

As part of your award package, you will find Grant Agreement Articles. Please make sure you read and understand the Articles as they outline the terms and conditions of your grant award. Maintain a copy of these documents for your official file. **You establish acceptance of the grant and Grant Agreement Articles when you formally receive the award through the AFG online system.** By accepting the grant, you agree not to deviate from the approved scope of work without prior written approval from FEMA.

If your SF 1199A has been reviewed and approved, you will be able to request payments online. Remember, you should request funds when you have an immediate cash need.

If you have any questions or concerns regarding the awards process or how to request your grant funds, please call the helpdesk at 1-866-274-0960.

A handwritten signature in cursive script that reads "Elizabeth M. Harman".

Elizabeth M. Harman
Assistant Administrator
Grant Programs Directorate

Article III - Period of Performance

The period of performance shall be from **24-FEB-12 to 23-FEB-13**.

Article IV - Amount Awarded

The amount of the award is detailed on the Obligating Document for the Award attached to these articles. Following are the budgeted estimates for each object class of this grant (including Federal share plus grantee match):

Personnel	\$0.00
Fringe Benefits	\$0.00
Travel	\$0.00
Equipment	\$398,980.00
Supplies	\$0.00
Contractual	\$0.00
Construction	\$0.00
Other	\$500.00
Indirect Charges	\$0.00
Total	\$399,480.00

NEGOTIATION COMMENTS IF APPLICABLE

If you have any questions pertaining to your award package, please contact your GPD Grants Management Specialist Ramesa Pitts at Ramesa.Pitts@dhs.gov

Article V - Financial Guidelines

The grantee and any subgrantee shall comply with the most recent version of the Administrative Requirements, Cost Principles, and Audit Requirements. A non-exclusive list of regulations commonly applicable to FEMA grants are listed below:

A. Administrative Requirements

1. 44 CFR Part 13, Uniform Administrative Requirements for Grants and Cooperative Agreements to State and Local Governments
2. 2 CFR Part 215, Uniform Administrative Requirements for Grants and Agreements with Institutions of Higher Education, Hospitals, and Other Nonprofit Organizations (OMB Circular A-110)

B. Cost Principles

1. 2 CFR Part 225, Cost Principles for State, Local, and Indian Tribal Governments (OMB Circular A-87)
2. 2 CFR Part 220, Cost Principles for Educational Institutions (OMB Circular A-21)
3. 2 CFR Part 230, Cost Principles for Nonprofit Organizations (OMB Circular A-122)
4. Federal Acquisition Regulations (FAR), Part 31.2 Contract Cost Principles and Procedures, Contracts with Commercial Organizations

C. Audit Requirements

1. OMB Circular A-133, Audits of States, Local Governments, and Nonprofit Organizations

Article VI - Prohibition on Using Federal Funds

Recipient understands and agrees that it cannot use any federal funds, either directly or indirectly, in support of the enactment, repeal, modification or adoption of any law, regulation or policy, at any level of government, without the express prior written approval of FEMA.

Article VII - GPD Allocations

The recipient agrees that all allocations and use of funds under this grant will be in accordance with the FY 2011 Assistance to Firefighters Grant Program guidance and application kit.

Article VIII - Financial Reporting

Recipients of any Assistance to Firefighters Grants will be required to submit a semi-annual Federal Financial Report (FFR) via the automated system on the Standard Form 425. The FFR is intended to provide Federal agencies and grant recipients with a standard format and consistent reporting requirements throughout the government. The FFR, to be submitted using the online e-grant system, will be due semi-annually based on the calendar year beginning with the period after the award is made. Grant recipients will be required to submit a FFR throughout the entire period of performance of the grant.

The reporting periods for the FFR are January 1 through June 30 (Report due by July 31), and July 1 through December 31 (Report due by January 30).

At the end of the grant's period of performance, all grantees are required to produce a final report on how the grant funding was used and the benefits realized from the award. Grantees must submit a final financial report and a final performance report within 90 days after the end of the period of performance.

Article IX - FEMA Officials

Program Officer: Catherine Patterson is the Program Officer for the Assistance to Firefighters Grant Program. The Program Officer is responsible for the technical monitoring of the stages of work and technical performance of the activities described in the approved grant application.

Grants Assistance Officer: Jane Early is the Assistance Officer for this grant program. The Assistance Officer is the Federal official responsible for negotiating, administering, and executing all grant business matters.

Grants Management Division POC: The Grants Management Specialist shall be contacted to address all financial and administrative grant business matters for this award. If you have any questions regarding your grant please call ASK-GMD at 866-927-5646 to be directed to a specialist.

**FEDERAL EMERGENCY MANAGEMENT AGENCY
OBLIGATING DOCUMENT FOR AWARD/AMENDMENT**

1a. AGREEMENT NO. EMW-2011-FO-05818	2. AMENDMENT NO. 0	3. RECIPIENT NO. 04-6001392	4. TYPE OF ACTION AWARD	5. CONTROL NO. W482946N
6. RECIPIENT NAME AND ADDRESS Haverhill Fire Department 4 Summer Street Rm 113 Haverhill Massachusetts, 01830-5843	7. ISSUING OFFICE AND ADDRESS Grant Programs Directorate 500 C Street, S.W. Washington DC, 20528-7000 POC: Jane Early	8. PAYMENT OFFICE AND ADDRESS FEMA, Financial Services Branch 500 C Street, S.W., Room 723 Washington DC, 20472		
9. NAME OF RECIPIENT PROJECT OFFICER Richard Borden	PHONE NO. 9783738460	10. NAME OF PROJECT COORDINATOR Catherine Patterson	PHONE NO. 1-866-274-0960	
11. EFFECTIVE DATE OF THIS ACTION 24-FEB-12	12. METHOD OF PAYMENT SF-270	13. ASSISTANCE ARRANGEMENT Cost Sharing	14. PERFORMANCE PERIOD From:24-FEB-12 To:23-FEB-13 Budget Period From:31-OCT-11 To:30-SEP-12	

15. DESCRIPTION OF ACTION

a. (Indicate funding data for awards or financial changes)

PROGRAM NAME ACRONYM	CFDA NO.	ACCOUNTING DATA (ACCS CODE) XXXX-XXX-XXXXXX-XXXXX- XXXX-XXXX-X	PRIOR TOTAL AWARD	AMOUNT AWARDED THIS ACTION + OR (-)	CURRENT TOTAL AWARD	CUMMULATIVE NON- FEDERAL COMMITMENT
AFG	97.044	2012-M1-3007RG- 10000000-4101-D	\$0.00	\$319,584.00	\$319,584.00	\$79,896.00
TOTALS			\$0.00	\$319,584.00	\$319,584.00	\$79,896.00

b. To describe changes other than funding data or financial changes, attach schedule and check here.
N/A

16a. FOR NON-DISASTER PROGRAMS: RECIPIENT IS REQUIRED TO SIGN AND RETURN THREE (3) COPIES OF THIS DOCUMENT TO FEMA (See Block 7 for address)

Assistance to Firefighters Grant recipients are not required to sign and return copies of this document. However, recipients should print and keep a copy of this document for their records.

16b. FOR DISASTER PROGRAMS: RECIPIENT IS NOT REQUIRED TO SIGN

This assistance is subject to terms and conditions attached to this award notice or by incorporated reference in program legislation cited above.

17. RECIPIENT SIGNATORY OFFICIAL (Name and Title)
N/A

DATE
N/A

18. FEMA SIGNATORY OFFICIAL (Name and Title)
Jane Early

DATE
23-FEB-12

Go Back

Hearing May 1 2012 ^{4.1}

50

Questions contact – Alex Groshev- 508-298-1527

PETITION FOR POLE AND WIRE LOCATIONS

North Andover, Massachusetts

To the City Council
of Haverhill, Massachusetts

NATIONAL GRID requests permission to locate poles, wires, and fixtures, including the necessary sustaining and protecting fixtures, along and across the following public way:

Laurel Ave- Haverhill, Massachusetts

To install a new SO pole - 19-84 and guy beginning at a point approximately 505 feet sw of the centerline of the intersection of South Elm St.

Location approximately as shown on plan attached

Wherefore it prays that after due notice and hearing as provided by law, it be granted a location for and permission to erect and maintain poles and wires, together with such sustaining and protecting fixtures as it may find necessary, said poles to be erected substantially in accordance with the plan filed herewith marked – Laurel Ave-Haverhill Massachusetts

12402878 March 29, 2012

Also for permission to lay and maintain underground laterals, cables, and wires in the above or intersecting public ways for the purpose of making connections with such poles and buildings as each of said petitioners may desire for distributing purposes.

Your petitioner agrees to reserve space for one cross-arm at a suitable point on each of said poles for the fire, police, telephone, and telegraph signal wires belonging to the municipality and used by it exclusively for municipal purposes.

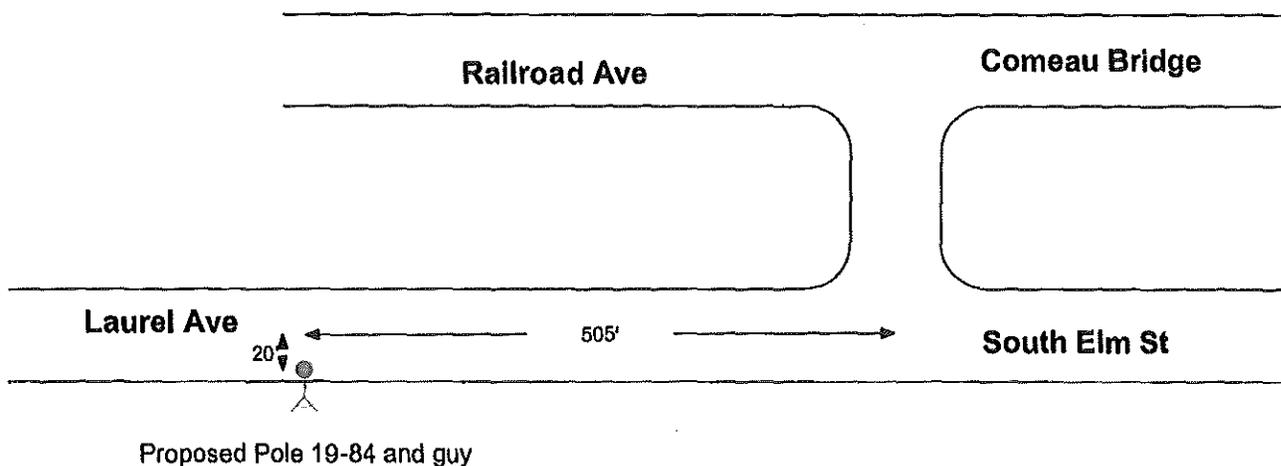
NATIONAL GRID

BY Jay Dewey JA
Engineering Department

IN CITY COUNCIL: April 10 2012
VOTED: that HEARING BE HELD
MAY 1 2012

Attest:

City Clerk



National Grid is to install a new pole and anchor for guying purposes.

POLE PETITION	nationalgrid
<input checked="" type="radio"/> Proposed NGRID Pole Locations	Date: 03/28/2012
<input type="radio"/> Existing NGRID Pole Locations	Plan Number: 12402878
<input checked="" type="radio"/> Proposed J.O. Pole Locations	To Accompany Petition Dated: 03/28/2012
<input type="radio"/> Existing J.O. Pole Locations	To The: Town Of Haverhill
<input checked="" type="radio"/> Existing Telephone Co. Pole Locations	For Proposed: SO Pole: 19-84 Location: Laurel Ave
<input type="radio"/> Existing NGRID Pole Location To Be Made J.O.	Date Of Original Grant:
<input checked="" type="checkbox"/> Existing Pole Locations To Be Removed	
DISTANCES ARE APPROXIMATE	

City

Questions contact – Alex Groshev-508-298-1527

ORDER FOR POLE AND WIRE LOCATIONS

In the city of Haverhill, Massachusetts

Notice having been given and public hearing held, as provided by law,
IT IS HEREBY ORDERED:

that NATIONAL GRID and be and it is hereby granted a location for and permission to erect and maintain poles and wires to be placed thereon, together with such sustaining and protecting fixtures as said Company may deem necessary, in the public way or ways hereinafter referred to, as requested in petition of said Company dated the #29th day of March 2012.

All construction under this order shall be in accordance with the following conditions:

Poles shall be of sound timber, and reasonable straight, and shall be set substantially at the points indicated upon the plan marked – Laurel St-Haverhill, Massachusetts.

12402878 Dated: March 29, 2012. Filed with this order

There may be attached to said poles such wires, cables, and fixtures as needed in their business and all of said wires and cables shall be placed at a height of not less than twenty (20) feet from the ground.

The following are the public ways or part of ways along which the poles above referred to may be erected, and the number of poles which may be erected thereon under this order:

Laurel Ave- Haverhill, Massachusetts

To install a new SO pole - 19-84 and guy beginning at a point approximately 505 feet sw of the centerline of the intersection of South Elm St.

I hereby certify that the foregoing order was adopted at a meeting of the City Council of the City/Town of _____, Massachusetts held on the _____ day of _____ 20 _____.

Massachusetts City/Town Clerk.
20 _____

Received and entered in the records of location orders of the City/Town of _____
Book _____ Page _____

Attest:

City/Town Clerk

30-13

For Hearing May 1 2012

RECEIVED

2012 APR -2 A 9:17

I hereby certify that on
at **RECORDS OFFICE**
HAVERHILL, MASS.

20 , at o'clock, M
a public hearing was held on the petition of

NATIONAL GRID

for permission to erect the poles, wires, and fixtures described in the order herewith recorded, and that we mailed at least seven days before said hearing a written notice of the time and place of said hearing to each of the owners of real estate (as determined by the last preceding assessment for taxation) along the ways or parts of ways upon which the Company is permitted to erect poles, wires, and fixtures under said order. And that thereupon said order was duly adopted.

City/Town Clerk.

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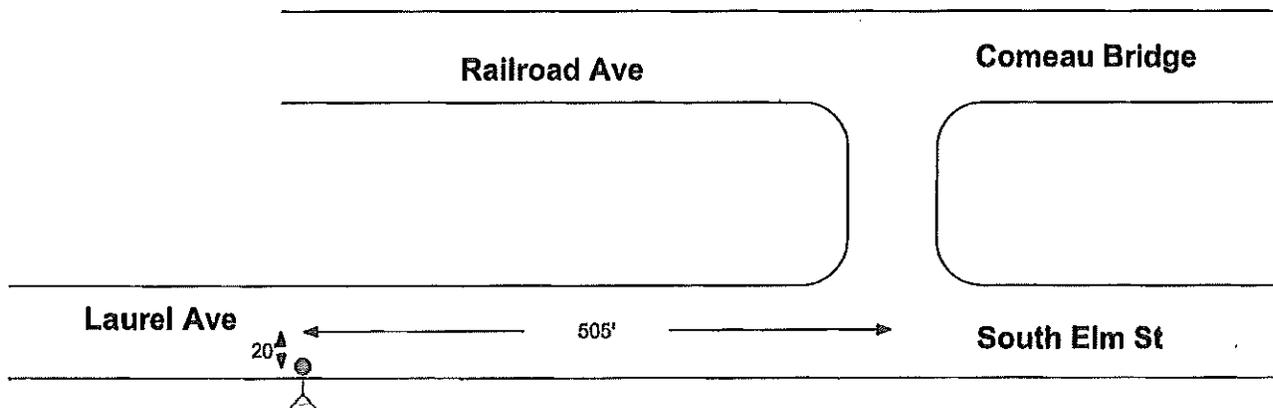
Board or Council of Town or City, Massachusetts

CERTIFICATE

I hereby certify that the foregoing is a true copy of the location order and certificate of hearing with notice adopted by the of the City of Massachusetts, on the day of 20 , and recorded with the records of location orders of the said City, Book , Page . This certified copy is made under the provisions of Chapter 166 of General Laws and any additions thereto or amendments thereof.

Attest:

City/Town Clerk



Proposed Pole 19-84 and guy

711-6-19

National Grid is to install a new pole and anchor for guying purposes.

POLE PETITION	nationalgrid
<input checked="" type="radio"/> Proposed NGRID Pole Locations	Date: 03/28/2012 Plan Number: 12402878 To Accompany Petition Dated: 03/28/2012 To The: Town Of Haverhill For Proposed: SO Pole: 19-84 Location: Laurel Ave Date Of Original Grant:
<input type="radio"/> Existing NGRID Pole Locations	
<input checked="" type="radio"/> Proposed J.O. Pole Locations	
<input type="radio"/> Existing J.O. Pole Locations	
<input checked="" type="radio"/> Existing Telephone Co. Pole Locations	
<input checked="" type="radio"/> Existing NGRID Pole Location To Be Made J.O.	
<input checked="" type="radio"/> Existing Pole Locations To Be Removed	
DISTANCES ARE APPROXIMATE	





CITY OF HAVERHILL
COMMUNITY DEVELOPMENT

WILLIAM PILLSBURY, JR., DIRECTOR
TELEPHONE: 978-374-2344 VTDD
FAX: 978-374-2332

CITY HALL, ROOM 309
FOUR SUMMER STREET
HAVERHILL, MA 01830-5843

April 27, 2012

Council President John A. Michitson
Council Office - City Hall - Room 204
Haverhill, MA 01830

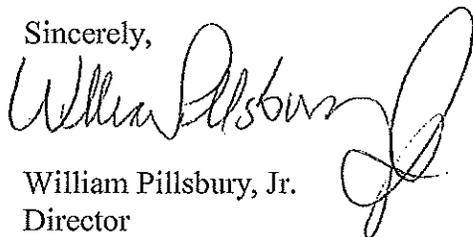
Re: Resolution authorizing the Mayor to submit the CDBG Application

Dear President Michitson:

I respectfully request that the City Council on Tuesday, May 1, 2012 approve the attached resolution authorizing the Mayor to submit the 2012-2013 Community Development Block Grant (CDBG) program for the City. The approval of this resolution is a standard requirement each year as part of the HUD mandated application process.

The resolution is attached, and your positive action on this matter is requested. Thank you for your attention to this request.

Sincerely,



William Pillsbury, Jr.
Director

c: Mayor Fiorentini
Andrew K. Herlihy, Division Director
City Clerk



DOCUMENT

CITY OF HAVERHILL

In Municipal Council

ORDERED:

RESOLUTION OF THE CITY COUNCIL OF HAVERHILL, MASSACHUSETTS, AUTHORIZING THE MAYOR TO SUBMIT THE AMENDED CONSOLIDATED PLAN FOR THE COMMUNITY DEVELOPMENT BLOCK GRANT PROGRAM, INCLUDING ALL UNDERSTANDINGS AND ASSURANCES CONTAINED THEREIN.

WHEREAS: the City of Haverhill is entitled to receive federal financial assistance under the Housing and Community Development Act of 1974, as amended, and

WHEREAS: to secure such financial assistance, it is necessary to file an annual amendment to the Consolidated Plan, and

WHEREAS: the Housing and Community Development Act of 1974, as amended, requires each municipality to give assurances with respect to Community Development Block Grant funds.

NOW, THEREFORE, BE IT RESOLVED THAT

1. The Mayor, as Chief Executive Officer, is hereby authorized as follows:
 - a. To file said amendment to the Consolidated Plan with the U.S. Department of Housing and Urban Development no later than May 11, 2012.
 - b. To serve as authorized representative of the City of Haverhill in connection with said amended Consolidated Plan, and to provide such additional information as may be required.
2. The Mayor, his designee, and City Solicitor, in their respective capacities, are hereby authorized to sign all necessary documents for implementation of the City's Community Development Block Grant program.
3. The Secretary of Housing and Urban Development be, and is hereby, assured of full compliance by the City of Haverhill with the assurances attached hereto and made part thereof.

6.3
Haverhill

Human Services --Director Vincent R Ouellette
Phone: 978-374-2388 ext 28 Fax: 978-5212626
vouellette@cityofhaverhill.com

Date: 4/27/2011
To: Haverhill City Council
Cc: Mayor Fiorentini
From: Vin Ouellette
RE: Parking Deck

Dear Council Members

I am requesting the use of the westerly portion of the upper level of the downtown parking deck including the Bailey Boulevard parking lot from Mon May7- through Sunday May 9th for the 8th Annual Spring Carnival.

Fiesta Shows New England's premier Carnival Shows will again be providing rides, games and concessions for all to enjoy. This annual event not only provides Haverhill families an enjoyable spring time event it also serves as the cities largest fund raiser for the annual 4th of July celebration.

The Recreation Department the Police Department and the Inspectional Services along with various departments from the State will work with the management of Fiesta Shows to insure all local and state regulations are adhered to.

Sincerely


Vin Ouellette

Director of Recreation



7.1
Hearing May 1 2012

Haverhill

Economic Development and Planning
Phone: 978-374-2330 Fax: 978-374-2315
wpillsbury@cityofhaverhill.com

March 30, 2012

TO: City Council President John A. Michitson and members of the Haverhill City Council

FROM: William Pillsbury, Jr. Economic Development and Planning Director

SUBJECT: Flood Plain Zoning Amendment public hearings.

City Solicitor Bill Cox has filed a zoning amendment to correct technical language related to flood plain regulations. The planning board hearing for this amendment will be held on April 11, 2012.

The City council is requested to schedule its hearing in this amendment for May 1, 2012.

Thank you .

IN CITY COUNCIL: April 3 2012
REFER TO PLANNING BOARD and
VOTED: that COUNCIL HEARING BE HELD MAY 1 2012
Attest:

City Clerk

Doc 46-B zoning ORDINANCE
Flood plain Amendment

**CITY OF HAVERHILL
MASSACHUSETTS
CITY SOLICITOR'S OFFICE**

145 South Main Street
Bradford, MA 01835
(978) 373-2360
FAX: 978/372-0688
EMAIL: billcoxlaw@aol.com

**WILLIAM D. COX, JR.
CITY SOLICITOR**

March 29, 2012

TO: John A. Michitson, President and Members of the Haverhill City Council

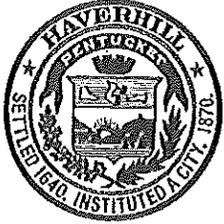
FROM: William D. Cox, Jr., Esq. 
City Solicitor

RE: Ordinance - Floodplain District

Michael Stankovich, DPW Director, recently contacted me concerning changes which need to be made to our current zoning ordinance relative to the floodplain district. As you know, the City has until July 2012 to adopt the new Flood Insurance Rate Map (FIRM). Updating our floodplain management documents is a required component of this process. Mr. Stankovich has forwarded our current regulations to the MA flood plain coordinator, who has assisted us in ensuring that we have the proper regulatory language prepared for adoption by the City Council.

The ordinance filed today is the result of these efforts. The document should be placed on file, forwarded to the Planning Board for their consideration and a hearing scheduled in about 30 days time. Before your hearing on this matter, Mr. Stankovich will provide additional information for your consideration, or, in the interim you should contact him with any concerns or questions in this matter. Thank you.

cc: James J. Fiorentini, Mayor
Michael Stankovich, DPW Director
William Pillsbury, Planning Director



7.1.1

Haverhill

Economic Development and Planning
Conservation Department
Phone: 978-374-2334 Fax: 978-374-2337
rmoores@cityofhaverhill.com
conservation@cityofhaverhill.com

MEMO TO: President John A. Michitson and Councillors
COPY TO: William Pillsbury, Economic Development and Planning Director (via email)
Mike Stankovich, Director of Public Works (via email)
Atty. William Cox, City Solicitor (via email)
Margaret Toomey, City Clerk
FROM: Robert E. Moore, Jr., Environmental Health Technician 
DATE: April 19, 2012
RE: Zoning Ordinance Amendment – Section 255-18, Floodplain District

I have reviewed the draft ordinance with Mr. Pillsbury, Mr. Stankovich, and Attorney Cox. I recommend the following revised language for Section F:

F. Notification of Watercourse Alteration.

In a riverine situation, any party proposing to alter or relocate a watercourse shall notify the following:

- **Adjacent Communities of Merrimac, West Newbury, Groveland, Boxford, North Andover, and Methuen, Massachusetts and Salem, Atkinson, Plaistow, and Newton, New Hampshire;**
- **NFIP State Coordinator – New Hampshire Office of Energy and Planning, Governor Hugh J. Gallen State Office Park, Johnson Hall, 3rd Floor, 107 Pleasant Street, Concord, NH 03301;**
- **NFIP State Coordinator – Massachusetts Department of Conservation and Recreation, 251 Causeway Street, Suite 600-700, Boston, MA 02114-2104; and**
- **NFIP Program Specialist – Federal Emergency Management Agency, Region I, 99 High Street, 6th Floor, Boston, MA 02110.**

The party shall provide the City of Haverhill Zoning Officer with proof of proper notifications in the form of a notarized affidavit.



Haverhill

Economic Development and Planning
Phone: 978-374-2330 Fax: 978-374-2315
wpillsbury@cityofhaverhill.com

April 23, 2012

City Council President John Michitson
& City Councilors
City of Haverhill

RE: Zoning Amendment Section 255:18, Update to the Floodplain Regulations

Members Present: Timothy Connors, Celeste Hynick, Roy Wright, James Cronin, Jack Everette, Joseph Sullivan, Bob Driscoll and Paul B. Howard

Members Absent: None

Also Present: William Pillsbury, Director of Economic Development & Planning
Lori A. Woodsum, Office Manager/Board Clerk/Planning Department

Dear City Council President & Councilors:

The Haverhill Planning Board at its meeting held on 4-11-12, Wednesday Evening, at 7:00 P.M. in Room 202, Haverhill City Hall heard the above-cited zoning amendment. Member Jack Everette read the rules for a public hearing. Paul Howard chaired the meeting. The chairman turned the hearing over to the planning director.

Planning Director William Pillsbury noted that this requested zoning amendment has been placed before the City Council and the role of the planning board is to make a recommendation to the City Council on the zoning change. It was noted that this was really a technical language amendment which has been drafted by the city solicitor with the input from the state and the changes would put the city's ordinance in compliance with the required regulations.

It was also noted that the city departments have reviewed the proposed changes and their comments are in your packages. The planner recommended a favorable recommendation to the City Council on this agenda item. It was noted that it is required that we update our zoning language as it relates to the floodplain district in 255-18. The chairman was informed that this was his presentation for the hearing section and would also give his recommendation to the board at the same time which is a favorable recommendation to the City Council.

**Zoning Amendment—255:18, Update to the Floodplain Regulations
4-11-12 Planning Board Meeting**

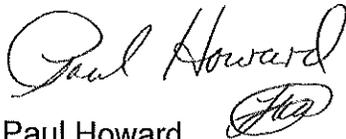
Chairman Paul Howard asked if there was anyone that wanted to speak on this agenda item. No one else spoke in favor and no one came forward to speak in opposition. The public portion of the hearing was closed. The board members had no questions or comments. The chairman asked for a motion.

MOTION

Member Bob Driscoll motioned to send a favorable recommendation to the City Council as recommended by the planning director. Member Roy Wright seconded the motion with members Timothy Connors, Celeste Hynick, Roy Wright, James Cronin, Jack Everette, Joseph Sullivan, Bob Driscoll and Paul B. Howard all voting to forward a favorable recommendation to the City Council as recommended by the planning director. No members were absent. Motion passed.

City department reports are attached to and considered part of this decision an minutes.

Signed,



Paul Howard
Chairman

Cc: 255:18, Floodplain Regulations Zoning Amendment File
Mayor James Fiorentini
City Solicitor William D. Cox, City Solicitor
City Clerk
City Departments



Haverhill

Economic Development and Planning
Conservation Department
Phone: 978-374-2334 Fax: 978-374-2337
rmoores@cityofhaverhill.com
conservation@cityofhaverhill.com

#2
rec 3
4-10-12
mcv

MEMO TO: William Pillsbury, Economic Development and Planning Director
COPY TO: Mike Stankovich, Director of Public Works (via email)
Atty. William Cox, City Solicitor (via email)
FROM: Robert E. Moore, Jr., Environmental Health Technician *RM*
DATE: April 11, 2012
RE: Zoning Ordinance Amendment – City of Haverhill
Section 255-18, Floodplain District

I have reviewed the draft ordinance and offer the following comments with regard to Section F - Notification of Watercourse Alteration:

1. I request the burden of notification be placed on the party altering the watercourse, with proof of notification then being provided to the City's Zoning Officer in the form of a notarized affidavit.
2. I presume the ordinance is simply referring to States bordering the City of Haverhill and not the entire Commonwealth. If this is the case, I would request the "Bordering States" requirement be replaced by the appropriate NFIP State Coordinator information for New Hampshire.
3. I also request clarification on "Adjacent Communities". With this ordinance addressing a federal requirement, are Salem, Atkinson, Plaistow, and Newton, NH required to be notified as adjacent communities?

If the burden of notification can not be transferred to the altering party, I would then offer the following additional comments:

4. The City has not had a "Conservation Agent" for more than 20 years. I would recommend this language be revised to reflect "Conservation Commission" or "Conservation Department".



Haverhill Fire Department

Fire Prevention / Investigation Unit



James J. Fiorentini
Mayor

Richard B. Borden
Fire Chief

D/C William F. Laliberty
Lieut. Richard Beaudoin
Insp. Steven Trocki

4 Summer St, Room 113
Tel: (978) 373-8460
Fax: (978) 521-4441

RECEIVED
APR 04 2012

Econ Devlp & Planning
& B.O.A.

April 4, 2012

William Pillsbury, Planning Director
4 Summer Street, room 201
Haverhill, MA 01830

Re: Flood Plain District Zoning Ordinance

The planning, design and construction of new buildings, renovation of existing buildings and structures to provide egress facilities, fire protection and built-in fire protection equipment shall be in accordance with 780 CMR; and any alterations, additions or changes in buildings required by the provisions of 527 CMR which in the scope of 780 CMR, 8th edition, shall be made in accordance therewith. (527 CMR 1.04(4) and 780 CMR 101.2)

Plans approved by the fire department are approved with the intent they comply in all respects to 780 CMR, 527 CMR, MGL Chapter 148 and any City of Haverhill ordinance. Any omissions or errors on the plans do not relieve the applicant of complying with applicable requirements.

I have reviewed the submitted plans for the address stated above and in the interest of public safety, have the following comments:

- No comments at this time but reserve the right to comment in the future on matters the fire department is required to by law or regulation.

Respectfully,

William F. Laliberty
Deputy Fire Chief

Flood Plain District

REZONING/ZONING ORDINANCE
REQUEST FOR COMMENTS*

*COMMENTS DUE BY: 4 / 10 / 12

- TO:
- ✓ Fire Chief – Room 113
 - ✓ Board of Health Chairperson & Members – Room 210
 - ✓ Conservation Commission & Members – Room 210
 - ✓ Building Inspector – Room 210
 - ✓ Police Chief – Room 106 (Mail Slot)
 - ✓ Highway & Park Superintendent – Room 106 (Mail Slot)
 - ✓ Robert Ward, Water/Wastewater Director – Room 214 (Mail Slot)
 - ✓ John Pettis, III, City Engineer – Room 214
 - ✓ Superintendent of Schools – Room 104

FROM: William Pillsbury, Planning Director/Grants Coordinator – Room 201

DATE: 3 / 30 / 12

RE: ~~Rezoning~~/Zoning Ordinance Amendment Application of: C.O.H.
 Street Location/Section of Ordinance: 255. Article V AS Amended by Further
 First Submission/Revised Submission Number: (157) Amended in Chapter 255-18

THE PLANS AND APPLICATION FORM ATTACHED TO THIS TRANSMITTAL LETTER, AS NOTED ARE FOR THE CITED Flood Plain District ~~REZONING~~/AMENDMENT TO THE ZONING ORDINANCE. APPLICATION RECEIVED FROM THE APPLICANT ON 3 / 30 / 12. PLEASE BE SO KIND AS TO REVIEW THE ATTACHED CORRESPONDENCE AND PROVIDE YOUR RESPECTIVE REPORTS TO:

THE PLANNING DEPARTMENT, CITY HALL, ROOM 201, no later than the due date listed below:

RESPECTIVE COMMENTS DUE BY: 4 / 10 / 12



Haverhill

Economic Development and Planning
Phone: 978-374-2330 Fax: 978-374-2315
wpillsbury@cityofhaverhill.com

March 30, 2012

TO: City Council President John A. Michitson and members of the Haverhill City Council

FROM: William Pillsbury, Jr. Economic Development and Planning Director

SUBJECT: Flood Plain Zoning Amendment public hearings.

City Solicitor Bill Cox has filed a zoning amendment to correct technical language related to flood plain regulations. The planning board hearing for this amendment will be held on April 11, 2012.

The City council is requested to schedule its hearing in this amendment for May 1, 2012.

Thank you .

**CITY OF HAVERHILL
MASSACHUSETTS
CITY SOLICITOR'S OFFICE**

145 South Main Street
Bradford, MA 01835
(978) 373-2360
FAX: 978/372-0688
EMAIL: billcoxlaw@aol.com

**WILLIAM D. COX, JR.
CITY SOLICITOR**

March 29, 2012

TO: John A. Michitson, President and Members of the Haverhill City Council

FROM: William D. Cox, Jr., Esq. 
City Solicitor

RE: Ordinance - Floodplain District

Michael Stankovich, DPW Director, recently contacted me concerning changes which need to be made to our current zoning ordinance relative to the floodplain district. As you know, the City has until July 2012 to adopt the new Flood Insurance Rate Map (FIRM). Updating our floodplain management documents is a required component of this process. Mr. Stankovich has forwarded our current regulations to the MA flood plain coordinator, who has assisted us in ensuring that we have the proper regulatory language prepared for adoption by the City Council.

The ordinance filed today is the result of these efforts. The document should be placed on file, forwarded to the Planning Board for their consideration and a hearing scheduled in about 30 days time. Before your hearing on this matter, Mr. Stankovich will provide additional information for your consideration, or, in the interim you should contact him with any concerns or questions in this matter. Thank you.

cc: James J. Fiorentini, Mayor
Michael Stankovich, DPW Director
William Pillsbury, Planning Director

COPY



DOCUMENT

CITY OF HAVERHILL

In Municipal Council

~~DESPERK~~

MUNICIPAL ORDINANCE

CHAPTER 255

**AN ORDINANCE RELATING TO
ZONING - FLOODPLAIN DISTRICT**

BE IT ORDAINED by the City Council of the City of Haverhill that the Code of the City of Haverhill, Chapter 255, Article V, as amended, be and is hereby further amended in §255-18 as follows:

1. By deleting the first paragraph and inserting in place thereof the following:

“The Floodplain District is herein established as an overlay district. The District includes all special flood hazard areas within the City of Haverhill designated as Zone A and AE on Essex County Flood Insurance Rate Map (FIRM) issued by the Federal Emergency Management Agency (FEMA) for the administration of the National Flood Insurance Program. The map panels of the Essex County FIRM that are wholly or partially within the City of Haverhill are panel numbers 25009C0058F, 25009C0059F, 25009C0066F, 25009C0067F, 25009C0068F, 25009C0069F, 25009C0078F, 25009C0080F, 25009C0083F, 25009C0084F, 25009C0086F, 25009C0087F, 25009C0088F, 25009C0089F, 25009C0091F, 25009C0092F, 25009C0093F, 25009C0094F, 25009C0111F, 25009C0226F, 25009C0227F, and 25009C0231F dated July 3, 2012. The exact boundaries of the District may be defined by the 100-year base flood elevations shown on the FIRM and further defined by the Essex County Flood Insurance Study (FIS) report dated July 3, 2012. The FIRM and FIS report are incorporated herein by reference and are on file with the City Engineer.”

2. By deleting the words “Flood Boundary and Floodway Map” in §255-18 (C) and inserting in place thereof the words “Flood Insurance Rate Map”.

3. By adding the following at the end of §255-18:

“D. Base Flood Elevation and Floodway Data.

(1) In Zones A and AE, along watercourses that have not had a regulatory floodway designated, the best available Federal, State, local, or other floodway data shall be

copy

used to prohibit encroachments in floodways which would result in any increase in flood levels within the community during the occurrence of the base flood discharge.

(2) Base flood elevation data is required for subdivision proposals or other developments greater than 50 lots or 5 acres, whichever is the lesser, within unnumbered A zones.

E. Use Regulations.

(1) The Floodplain District is established as an overlay district to all other districts. All development in the district, including structural and non-structural activities, whether permitted by right or by special permit must be in compliance with Chapter 131, Section 40 of the Massachusetts General Laws and with the following:

- Sections of the Massachusetts State Building Code (780 CMR) which address floodplain and coastal high hazard areas;
- Wetlands Protection Regulations, Department of Environmental Protection (DEP) (currently 310 CMR 10.00);
- Inland Wetlands Restriction, DEP (currently 310 CMR 13.00);
- Minimum Requirements for the Subsurface Disposal of Sanitary Sewage, DEP (currently 310 CMR 15, Title 5);

Any variances from the provisions and requirements of the above referenced state regulations may only be granted in accordance with the required variance procedures of these state regulations.

(2) In Zone AE, along watercourses within the City of Haverhill that have a regulatory floodway designated on the Essex County FIRM encroachments are prohibited in the regulatory floodway which would result in any increase in flood levels within the community during the occurrence of the base flood discharge.

(3) All subdivision proposals must be designed to assure that:

- a) such proposals minimize flood damage;
- b) all public utilities and facilities are located and constructed to minimize or eliminate flood damage; and
- c) adequate drainage is provided to reduce exposure to flood hazards.

F. Notification of Watercourse Alteration.

In a riverine situation, the City's Conservation Agent shall notify the following of any alteration or relocation of a watercourse:

- Adjacent Communities
- Bordering States
- NFIP State Coordinator - Massachusetts Department of Conservation and Recreation, 251 Causeway Street, Suite 600-700, Boston, MA 02114-2104
- NFIP Program Specialist - Federal Emergency Management Agency, Region I 99 High Street, 6th Floor, Boston, MA 02110

G. Permitted Uses.

COPY

The following uses of low flood damage potential and causing no obstructions to flood flows are encouraged provided they are permitted in the underlying district and they do not require structures, fill, or storage of materials or equipment:

- 1) Agricultural uses such as farming, grazing, truck farming, horticulture, etc.
- 2) Forestry and nursery uses.
- 3) Outdoor recreational uses, including fishing, boating, play areas, etc.
- 4) Conservation of water, plants, wildlife.
- 5) Wildlife management areas, foot, bicycle, and/or horse paths.
- 6) Temporary non-residential structures used in connection with fishing, growing, harvesting, storage, or sale of crops raised on the premises.
- 7) Buildings lawfully existing prior to the adoption of these provisions.”

APPROVED AS TO LEGALITY:


City Solicitor

46-15



DOCUMENT 46-B

CITY OF HAVERHILL

In Municipal Council April 3 2012

~~ORDINANCE~~

MUNICIPAL ORDINANCE

CHAPTER 255

**AN ORDINANCE RELATING TO
ZONING - FLOODPLAIN DISTRICT**

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2. By deleting the words “Flood Boundary and Floodway Map” in §255-18 (C) and inserting in place thereof the words “Flood Insurance Rate Map”.

3. By adding the following at the end of §255-18:

“D. Base Flood Elevation and Floodway Data.

(1) In Zones A and AE, along watercourses that have not had a regulatory floodway designated, the best available Federal, State, local, or other floodway data shall be

For Hearing May 1 2012

used to prohibit encroachments in floodways which would result in any increase in flood levels within the community during the occurrence of the base flood discharge.

(2) Base flood elevation data is required for subdivision proposals or other developments greater than 50 lots or 5 acres, whichever is the lesser, within unnumbered A zones.

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- Sections of the Massachusetts State Building Code (780 CMR) which address floodplain and coastal high hazard areas;
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- Minimum Requirements for the Subsurface Disposal of Sanitary Sewage, DEP (currently 310 CMR 15, Title 5);

Any variances from the provisions and requirements of the above referenced state regulations may only be granted in accordance with the required variance procedures of these state regulations.

(2) In Zone AE, along watercourses within the City of Haverhill that have a regulatory floodway designated on the Essex County FIRM encroachments are prohibited in the regulatory floodway which would result in any increase in flood levels within the community during the occurrence of the base flood discharge.

(3) All subdivision proposals must be designed to assure that:

- a) such proposals minimize flood damage;
- b) all public utilities and facilities are located and constructed to minimize or eliminate flood damage; and
- c) adequate drainage is provided to reduce exposure to flood hazards.

F. Notification of Watercourse Alteration.

In a riverine situation, the City's Conservation Agent shall notify the following of any alteration or relocation of a watercourse:

- Adjacent Communities
- Bordering States
- NFIP State Coordinator - Massachusetts Department of Conservation and Recreation, 251 Causeway Street, Suite 600-700, Boston, MA 02114-2104
- NFIP Program Specialist - Federal Emergency Management Agency, Region I 99 High Street, 6th Floor, Boston, MA 02110

G. Permitted Uses.

Ordinance Re: ZONING - Floodplain District

§ 255-18. Floodplain District.

[Added 2-15-1983 by Doc. 219-B/82 Editor's Note: This ordinance also repealed original § 255-18, Floodplain Districts, added 1-14-1975 by Doc. 357-C/74.]

The Floodplain District is hereby established as an overlay district. The underlying permitted uses are allowed, subject to all other provisions of this chapter, provided that they meet the following additional requirements as well as those of the Massachusetts State Building Code dealing with construction in floodplains. The Floodplain District includes all special flood hazard areas designated as Zone A and A1 - 30 on the City of Haverhill Flood Insurance Rate Maps (FIRM) and the Flood Boundary and Floodway Maps, dated February 16, 1983, on file with the City Engineer who shall furnish a record of elevation of lowest floor of all new or substantially improved structures. These maps, as well as the accompanying City of Haverhill Flood Insurance Study, are incorporated herein by reference. The following requirements apply in the Floodplain District:

A. Within Zone A, where the base flood elevation is not provided on the FIRM, the applicant shall obtain any existing base flood elevation data from the City Engineer, and it shall be reviewed by the Building Inspector for its reasonable utilization toward meeting the elevation or floodproofing requirements, as appropriate, of the State Building Code and the following special provisions:

(1) Structures intended for residential purposes must be built in such a manner that the lowest floor (including basement or cellar) is elevated to or above the base flood elevation.

(2) Structures intended for nonresidential purposes must be built in such a manner that the lowest floor (including basement or cellar) is elevated to or above the base flood elevation or, together with attendant utility and sanitary facilities, is floodproofed up to the base flood elevation.

(3) Structures shall be anchored to resist flotation and lateral movement.

(4) Construction of water supply and waste treatment systems shall prevent the entrance of floodwaters.

(5) Valves or controls on sanitary and storm drains which will permit the drains to be closed to prevent backup of sewage and stormwaters shall be installed.

(6) All electrical equipment, circuits and electrical appliances shall be located in a manner which will assure they are not subject to flood damage.

(7) These provisions shall not be interpreted to prohibit the construction of structures underground which are waterproof or are intended to absorb floodwater, provided that such structures do not raise the existing ground elevations nor obstruct the flow of floodwaters.

B. Existing structures.

(1) Existing structures and appurtenances thereto within the Floodplain District which are inconsistent with these provisions shall be considered nonconforming structures and as such shall be bound by the provisions contained in this chapter (see Article **IX**), except that a facility permitted and assigned under the provisions of MGL, c. 111, § 150A, may be completed without regard to the floodplain provisions stated herein.

(2) In addition, an existing structure, group of structures and appurtenances thereto and a facility permitted and assigned under MGL, c. 111, § 150A, may be expanded, altered and/or otherwise improved by right, without regard to the floodplain provisions stated herein, provided that such improvement, alteration and/or expansion which is inconsistent with said floodplain requirements does not exceed 50% of the market value of the existing structure or facility as defined under "substantial improvement" when completed.

C. In the floodway, designated on the Flood Boundary and Floodway Map, the following provisions shall apply:

(1) All encroachments, including fill, new construction, substantial improvement to existing structures and other development, are prohibited unless certification by a registered professional engineer is provided by the applicant demonstrating that such encroachment shall not result in any increase in flood levels during the occurrence of the one-hundred-year flood.

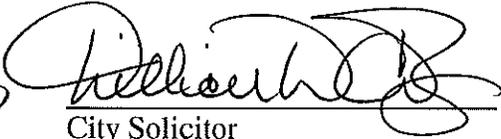
(2) Any encroachment meeting the above standard shall comply with the floodplain requirements of the State Building Code.

Ordinance Re: Zoning - Floodplain District

The following uses of low flood damage potential and causing no obstructions to flood flows are encouraged provided they are permitted in the underlying district and they do not require structures, fill, or storage of materials or equipment:

- 1) Agricultural uses such as farming, grazing, truck farming, horticulture, etc.
- 2) Forestry and nursery uses.
- 3) Outdoor recreational uses, including fishing, boating, play areas, etc.
- 4) Conservation of water, plants, wildlife.
- 5) Wildlife management areas, foot, bicycle, and/or horse paths.
- 6) Temporary non-residential structures used in connection with fishing, growing, harvesting, storage, or sale of crops raised on the premises.
- 7) Buildings lawfully existing prior to the adoption of these provisions."

APPROVED AS TO LEGALITY:



City Solicitor

PLACED ON FILE for at least 10 days

Attest:

 City Clerk



DOCUMENT

CITY OF HAVERHILL

In Municipal Council

ORDERED:

That the Mayor being and is hereby authorized to accept a bequest from the Elmo D'Alessandro 1996 Trust in the amount of \$357,382.60 to be used exclusively for law enforcement purposes. Said bequest shall be held in a separate account and subject to appropriation by the Mayor and City Council.

CITY OF HAVERHILL

**MASSACHUSETTS
CITY SOLICITOR'S OFFICE**

145 South Main Street
Bradford, MA 01835
(978) 373-2360
FAX: 978/372-0688
EMAIL: billcoxlaw@aol.com

**WILLIAM D. COX, JR.
CITY SOLICITOR**

April 17, 2012

TO: John A. Michitson, President and Members of the Haverhill City Council

**FROM: William D. Cox, Jr., Esq.
City Solicitor**

RE: Order - Acceptance of Bequest from Elmo D'Alessandro 1996 Trust

In October of 2010 the City was received notice of a pending action in the Essex Probate and Family Court concerning the Elmo D'Alessandro Trust, of which the City was a one-quarter remainder beneficiary. The action was filed to require two life insurance policies to be paid over to the Trust.

The litigation was recently concluded and counsel for the Trust has paid over to the City \$357,382.60 as its' share of the Trust. The Trust specifically provided that the monies are to be used "exclusively for law enforcement purposes" and the bequest comes with that limitation.

It is my opinion that, where these funds are derived from a trust and directed to "the City of Haverhill", the Council and Mayor need to accept the bequest and approve any expenditure of the funds. Attached is a copy of the transmittal letter, beneficiary page of the Trust and check.

If I can be of any further assistance, kindly advise. Thank you.

**cc: James J. Fiorentini, Mayor
Alan DeNaro, Commissioner of Public Safety**



CLEVELAND, WATERS AND BASS, P.A.
ATTORNEYS AT LAW

MARK S. DERBY, ESQUIRE
603-224-7761 EXT. 216

TWO CAPITAL PLAZA, P.O. BOX 1137
CONCORD, NEW HAMPSHIRE 03302-1137

ALSO ADMITTED IN MAINE, MASSACHUSETTS AND NEW YORK

February 24, 2012

William D. Cox, Jr., Esquire
145 South Main Street
Bradford, MA 01835

RE: Elmo D'Alessandro 1996 Trust – City of Haverhill Gift

Dear Attorney Cox:

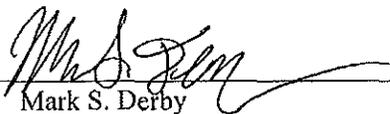
On behalf of Jane Renner and Dominic Scalise, Trustees of the Elmo D'Alessandro 1996 Trust, it is my pleasure to present the City of Haverhill with the enclosed check, representing one-quarter of the proceeds of the SunLife life insurance policies which have been subject to the litigation in the Essex County Probate and Family Court. That matter has been resolved. For your reference, I have attached a copy of the relevant section of the Trust document, indicating that the funds are to be used by the City of Haverhill "exclusively for law enforcement purposes".

By way of Background, Mrs. Renner and Mr. Scalise knew Elmo D'Alessandro to be a man with a deep love of, and devotion to, his faith, his community and his country. They hope that this gift will honor the D'Alessandro family legacy in the community he called home, and where his family business thrived.

Thank you for your cooperation and professionalism as this matter progressed through the Probate Court, and please do not hesitate to contact me with any questions.

Very truly yours,

CLEVELAND, WATERS AND BASS, P.A.

By: 
Mark S. Derby

MSD/

Page 2

Enclosures

cc: Dennis M. Spurling, Esquire
Dominic J. Scalise
Jane Renner

EXHIBIT "A"

TO

ELMO D'ALESSANDRO

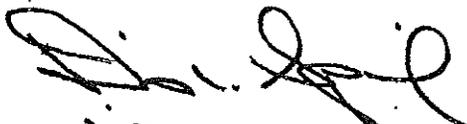
INDENTURE OF TRUST

Two Hundred Fifty Thousand (\$250,000.00) Dollars to each of the following:

All the rest, residue and remainder to the following, in EQUAL SHARES, share and share alike:

Sacred Hearts Church, of Bradford, MA
St. Elizabeth's Church, of Seabrook, NH
The City of Haverhill, MA, to be used exclusively for law enforcement purposes.
The Town of Seabrook, NH, to be used exclusively for law enforcement purposes.

GREGOR, SPURLING,
RT & TRAKIMAS, P.C.
ATTORNEYS AT LAW
.05 KENOZA AVENUE
POST OFFICE BOX 769
HAVERHILL,
MASSACHUSETTS 01831


Witness 7-31-96


Elmo A. D'Alessandro



JAMES J. FIORENTINI
MAYOR

**CITY OF HAVERHILL
MASSACHUSETTS**

CITY HALL, ROOM 100
FOUR SUMMER STREET
HAVERHILL, MA 01830
PHONE 978-374-2300
FAX 978-373-7544
WWW.CI.HAVERHILL.MA.US

April 27, 2012

City Council President John Michitson and
Members of the Haverhill City Council

RE: Elmo D'Alessandro 1996 Trust

Dear President Michitson and City Council Members:

Enclosed, please find an order for the Mayor to accept a bequest from the Elmo D'Alessandro 1996 Trust in the amount of \$357,382.60. The provisions of this bequest require that it be used exclusively for law enforcement purposes. Upon acceptance of this bequest, I am consulting with Police Commissioner DeNaro for the best use of this gift.

Elmo D'Alessandro lived in Bradford for a large part of his life and was the son of Italian immigrants from Abruzzi, Italy. His father, Augusto D'Alessandro, was the founder of the Lesande Shoe Company located in Haverhill. After Elmo served in the Air Force during WWII, he worked for and later ran Lesande Shoe. He also owned D'Alessandro Realty and was a founding member of the former First Bank and Trust of Haverhill. In his final years, he lived in Seabrook, which also received a bequest from Mr. D'Alessandro.

Mr. D'Alessandro's life was the America success story. Like so many families who live in Haverhill, his parents were immigrants who worked in the shoe factories and through their hard work and dedication, achieve success they would not have experienced in their home lands. They called Haverhill home and Mr. D'Alessandro's generous bequest shows the great love he had for Haverhill.

I request that the City Council accept this donation so we can make Haverhill even better.

Very truly yours,

James J. Fiorentini, Mayor

JJF/lk
Encl.

48



DOCUMENT 48

CITY OF HAVERHILL

In Municipal Council April 3 2012

~~ORDERED~~

MUNICIPAL ORDINANCE

CHAPTER 128

**AN ORDINANCE RELATING TO
FIRE DEPARTMENT FEES**

BE IT ORDAINED by the City Council of the City of Haverhill that Chapter 128, Article II, Fire Department Fees, as amended, be and is hereby further amended as follows:

§128-3.1 Master Box connection and monitoring.

By deleting the figure "\$180" and inserting in place thereof the figure "\$250".

APPROVED AS TO LEGALITY:

City Solicitor

PLACED ON FILE for at least 10 days
Attest:

City Clerk

IN CITY COUNCIL: April 17 2012
POSTPONED TO MAY 1 2012
Attest:

City Clerk



CITY OF HAVERHILL
Commissioner of Public Safety



Office of the Commissioner of Public Safety, 40 Bailey Blvd, Haverhill, Massachusetts 01830

Alan R. DeNaro
Public Safety Commissioner

Tel. (978) 373 - 1212
Fax (978) 373 - 3981

March 30, 2102

Council President John Michitson
Members of the Haverhill City Council
4 Summer Street
Haverhill, MA 01830

Re: Master Box Alarm Ordinance

Dear President Michitson & Councilors:

Please accept this letter as my support for the ordinance regarding our new Municipal Fire Alarm Reporting System. New technology has produced a more reliable radio box system. There will be new fire alarm receivers located in fire dispatch. These new receivers will be able to monitor our current system, as well as the new radio box system. The radio box system is a wireless system that is more reliable and will provide more detailed information during an alarm.

Massachusetts State Building requires the supervision of all fire suppression systems and fire protection signaling systems required by that code (780 CMR 923.0 Supervision). This system will allow us to eventually eliminate our current wired system. As you are aware, the wired system is falling into disrepair and it is no longer economically feasible to maintain it. Should you require any additional information please feel free to contact me.

Sincerely,

A handwritten signature in black ink that reads "Alan R. DeNaro".

Alan R. DeNaro
Public Safety Commissioner



Index	City of Haverhill, MA	<input type="text" value="Search"/>	<input type="button" value="Q"/>
New Laws	CHAPTER 128 CHARGES AND FEES, MISCELLANEOUS		Print
ARTICLE I. Police Escort Service	Help	ARTICLE III. Items Sold in City Engineer's Office	
e			

This electronic version is provided for informational purposes only. For the official version please contact the municipality.

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[ARTICLE II. Fire Department Fees](#)

[§ 128-3. Site survey.](#)

[§ 128-3.1. Master box connection and monitoring.](#)

[§ 128-4. False fire alarms/sprinkler activation.](#)

[§ 128-5. Fire alarm system.](#)

[§ 128-6. Illegal burning.](#)

[§ 128-6.1. Open burning permit; agricultural burning permit; illegal burning.](#)

[§ 128-7. Smoke detector inspection \(for combination smoke/carbon monoxide inspection\) \(per MGL c. 148, Fire Prevention, § 10A\).](#)

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[§ 128-8. Smoke detector reinspection.](#)

[§ 128-8.1. Nursing home/health care facility annual inspection.](#)

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[§ 128-10.1. Other fees.](#)

[§ 128-10.2. Plan review.](#)

[§ 128-10.3. Copies.](#)

Article II. Fire Department Fees

[Adopted 9-16-2003 by Doc. 141]

§ 128-3. Site survey.

[Amended 10-5-2004 by Doc. 133] The fee for a 21E site survey or site history (research and copies) shall be \$100 per address.

§ 128-3.1. Master box connection and monitoring.

[Added 10-5-2004 by Doc. 133] The annual master box connection and monitoring fee shall be \$180.

§ 128-4. False fire alarms/sprinkler activation.

[Amended 6-10-2008 by Doc. 73] Any sprinkler or fire alarm contractor and/or company working on a system without proper notification to Fire Alarm shall be subject to the following:

A. First alarm per year: No charge.

B. Second alarm per year: \$50.

C. Each subsequent alarm or more each year: \$200.

§ 128-5. Fire alarm system.

[Amended 10-5-2004 by Doc. 133; 6-10-2008 by Doc. 73]The fee for fire alarm system installation or repair shall be:

A. Residential: \$25.

B. Commercial.

(1) Less than 7,500 square feet: \$50.

(2) Over 7,500 square feet: \$100.

§ 128-6. Illegal burning.

Illegal burning: MGL c. 48, § 13 (through District Court).

§ 128-6.1. Open burning permit; agricultural burning permit; illegal burning.

[Added 6-10-2008 by Doc. 73]

A. Open burning permit and offenses.

(1) Open burning permit (Fee to be paid for the first permit in any calendar year. Any additional permit granted in the same calendar year shall be without any fee.): \$10 poer calendar year.

[Amended 4-7-2009 by Doc. 41]

(2) Illegal burning.

(a) First offense: no charge.

(b) Second offense: \$50.

(c) Third and each subsequent offense: \$100.

B. Agricultural burning permit and offenses.

(1) Agricultural burning permit: \$50.

§ 128-7. Smoke detector inspection (for combination smoke/carbon monoxide inspection) (per MGL c. 148, Fire Prevention, § 10A).

[Amended 6-10-2008 by Doc. 73]

A. Single-family dwelling or a single-dwelling unit: \$50.

B. Two-family dwelling: \$100.

C. Any building/structure with six or fewer residential/commercial units: \$150.

D. Any building or structure with more than six units: \$500.

§ 128-7.1. Carbon monoxide detector inspection.

[Added 6-10-2008 by Doc. 73]The fee for a carbon monoxide detector inspection shall be, per unit: \$25.

§ 128-8. Smoke detector reinspection.

- A. Three units or fewer: \$15.
- B. Four to six units: \$30.
- C. Seven or more units: \$50.

§ 128-8.1. Nursing home/health care facility annual inspection.

[Added 10-5-2004 by Doc. 133]Nursing home/health care facility annual inspection:

- A. Under 5,000 square feet, per quarter: \$50.
- B. Over 5,000 square feet, per quarter: \$100.

§ 128-8.2. Group homes.

[Added 10-5-2004 by Doc. 133]Group homes residential: \$100 annually.

§ 128-8.3. Health care facility.

[Added 10-5-2004 by Doc. 133]Health care facility: \$100 annually.

§ 128-8.4. Day-care/educational facility.

[Added 10-5-2004 by Doc. 133]Day-care/education facility: \$100 annually.

§ 128-9. Sprinkler system.

- A. Install or repair, residential: \$25.
- B. Install or repair, commercial.

[Amended 10-5-2004 by Doc. 133]

- (1) Less than 7,500 square feet: \$50.
- (2) Over 7,500 square feet: \$100.

§ 128-10. Tank facility.

[Amended 10-5-2004 by Doc. 133]

- A. FP 290 permit: \$50 plus \$50 per tank.
- B. Yearly maintaining permit: \$100.

§ 128-10.1. Other fees.

[Added 10-5-2004 by Doc. 133]The combined permit/inspection fee for all other items not defined will be \$25.

§ 128-10.2. Plan review.

[Added 10-5-2004 by Doc. 133]Plan review:

- A. Residential: \$25.
- B. Industrial or commercial: \$50.

§ 128-10.3. Copies.

[Added 10-5-2004 by Doc. 133]Copies of Fire Department document: \$0.30 per page.

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DOCUMENT

CITY OF HAVERHILL

In Municipal Council

ORDERED:

P R O C L A M A T I O N

- Whereas; In 1872, J. Sterling Morton proposed to the Nebraska Board of Agriculture that a special day be set aside for the planting of trees, and
- Whereas; This holiday, called Arbor Day, was first observed with the planting of more than a million trees in Nebraska, and
- Whereas; Arbor Day is now observed throughout the nation and the world, and
- Whereas; Trees can reduce the erosion of our precious topsoil by wind and water, cut heating and cooling costs, moderate the temperature, clean the air, produce life-giving oxygen, and provide habitat for wildlife, and
- Whereas; Trees are a renewable resource giving us paper, wood for our homes, fuel for our fires and countless other wood products, and
- Whereas; Trees in our city increase property values, enhance the economic vitality of business areas, and beautify our community, and
- Whereas; Trees, wherever they are planted, are a source of joy and spiritual renewal.

NOW THEREFORE, I, JAMES J. FIORENTINI, MAYOR of the City of Haverhill do hereby proclaim Friday, April 27th, 2012, to be;

Arbor Day

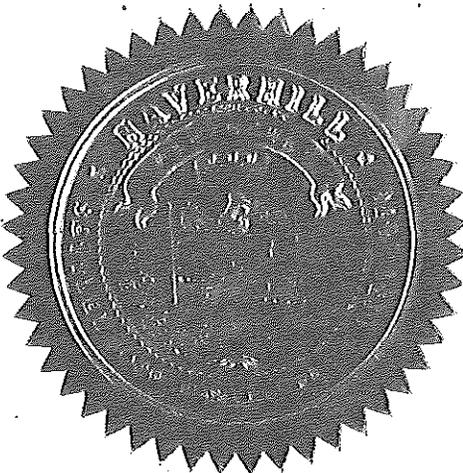
In the City of Haverhill, Massachusetts and I urge all citizens to celebrate Arbor Day and to support efforts to protect our trees and woodlands, and

Further; I urge all citizens to plant trees to gladden the heart and promote well-being of this and future generations.

IN WITNESS WHEREOF I have hereunto set my hand and caused the Seal of the City of Haverhill to be affixed this 25th day of April in the year of Our Lord two thousand and twelve.



 MAYOR JAMES J. FIORENTINI





DOCUMENT

CITY OF HAVERHILL

In Municipal Council

ORDERED:

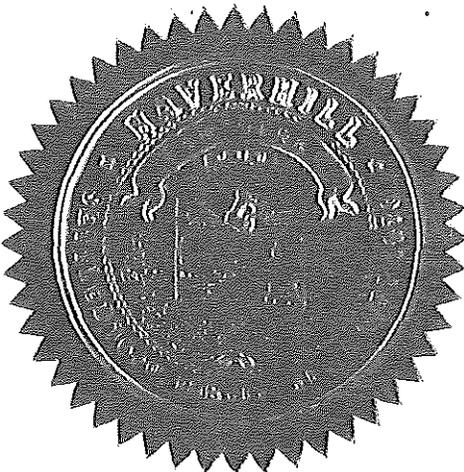
P R O C L A M A T I O N

- Whereas, May 3rd, 2012, marks the anniversary of the establishment of the 1791 Polish constitution, and;
- Whereas, Was the first liberal constitution in Europe and the second in the world, after the Constitution of the United States, and;
- Whereas, Established three independent branches of government — executive, legislative and judiciary. Throughout the constitution runs philosophy of humanitarianism and tolerance including: perfect and entire liberty to all people; rule by majority; secret ballot at all elections; and religious freedom and liberty, and;
- Whereas, Most importantly the constitution abolished the one vote veto powers of individuals who would undermine proposals and created a level of unity within Poland, and;

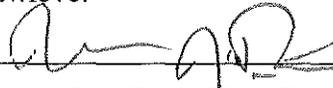
NOW, THEREFORE I, JAMES J. FIORENTINI MAYOR of the City of Haverhill, Massachusetts, do hereby declare May 3rd, 2012,

Polish Constitution Day

In the City of Haverhill and urge all citizens to join me and our citizens of Polish descent in recognizing this historic observance of the unique history of Poland in their pursuit for freedom and democracy.



IN WITNESS WHEREOF I have hereunto set my hand and caused the Seal of the City of Haverhill to be affixed this 25th day of April in the year of our Lord two thousand and twelve.



 MAYOR JAMES J. FIORENTINI

CITY COUNCIL

JOHN A. MICHITSON
PRESIDENT
ROBERT H. SCATAMACCHIA
VICE PRESIDENT
MICHAEL J. HART
WILLIAM H. RYAN
SVEN A. AMIRIAN
MICHAEL S. MCGONAGLE
WILLIAM J. MACEK
COLIN F. LEPAGE
MARY ELLEN DALY O'BRIEN



CITY OF HAVERHILL
HAVERHILL, MASSACHUSETTS 01830-5843

12.2

CITY HALL, ROOM 204
4 SUMMER STREET
TELEPHONE: 978-374-2328
FACSIMILE: 978-374-2329
www.ci.haverhill.ma.us
citycncl@cityofhaverhill.com

DOCUMENTS REFERRED TO COMMITTEE STUDY

#5-L/10	Communication from Councillor Macek requesting to propose the enactment of a Safe Building Ordinance.	NRPP	2/23/10
74-W/11	Communication from Councillor Daly O'Brien requesting a discussion about lights at Kenoza Avenue and Webster Street	Public Safety	9/27/11
74-X/11	Communication from Co. Amirian requesting a discussion about proposed pig farm at Boxford Road	Planning & Dev.	9/27/11
97-C/11	Communication from Councillor Hall requesting a discussion about the odor from the Covanta plant in Ward Hill	Public Safety	10/18/11
4	Communication from Councillor Macek requesting a discussion regarding the proposed Monument Square traffic divider/island.	Planning & Dev.	1/3/12
97-T/11	Communication from Councillor Scatamacchia requesting a discussion regarding parking on River Street	Public Safety	1/3/12
119/11	Ordinance regarding Parks and Recreation: Amend Ch.11, Article II, Sections 4 through 8 of the City Code	Administration & Finance	1/3/12
12-E	Communication from Councillor Scatamacchia requesting to introduce Vincent Kissel to speak regarding safety issues at Kenoza Avenue and Newton Road	Planning & Dev	1/17/12
12-O	Communication from Councillor LePage requesting a discussion regarding City financial obligations and deficit projections for current fiscal year & beyond	A & F	2/7/12
16-D	Order that the sum of \$34,623.00 be transferred from Capital Account – Rail Trail to new Capital Account – Backup Generator-Highway Building	A & F	2/7/12
12-U	Communication from Councillor McGonagle requesting discussion regarding the issue of public safety as it relates to the railroad tracks	Public Safety	2/28/12
40-D	Communication from Councillor Daly O'Brien requesting a discussion re: the issue of charging an annual fee to non-profit properties in lieu of taxes with religious and government properties being exempt.	A & F	4/3/12