



CITY OF HAVERHILL  
CITY COUNCIL AGENDA –  
Tuesday, July 14, 2026, at 7:00 PM

JUL 10 AM 10:35  
HAVCITYCLERK

Theodore A. Pelosi, Jr. Council Chambers, 4 Summer St, Room 202  
In-Person/Remote Meeting: <https://meet.google.com/bkm-ynpr-eur>

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*This meeting of Haverhill City Council will be held in-person at the location provided on this notice as its official meeting location pursuant to the Open Meeting Law. As the meeting is held in person at a physical location that is open and accessible to the public, the City Council is not required to provide remote access to the meeting. Members of the public are welcome to attend this in-person meeting. Please note that a live stream of the meeting is being provided only as a courtesy to the public, and the meeting will not be suspended or terminated if technological problems interrupt the virtual broadcast, unless otherwise required by law. Members of the public with particular interest in any specific item on this agenda should make plans for in-person vs. virtual attendance accordingly. Those attending tonight's meeting should be aware that the meeting is being audio and video recorded by HCTV, The Eagle Tribune, and WHAV. Any audience members who wish to record any part of the meeting must inform the Council President who will announce the recording. This is to comply with the MA wiretap statute. Thank you.*

**1. OPENING PRAYER**

**2. PLEDGE OF ALLEGIANCE**

**3. APPROVAL OF MINUTES OF PRIOR MEETING**

**4. ASSIGNMENT OF THE MINUTES REVIEW FOR THE NEXT MEETING:**

**5. COMMUNICATIONS FROM THE MAYOR:**

5.1. Mayor Barrett requests to present HC Media's *Declaration of Independence* community reading video

5.2. Mayor Barrett and Salisbury Town Manager Neil Harrington requests to provide an update to Council on the progress of the Whittier Regional Technical High School - *Regional Agreement Amendment Committee (RAAC)*

5.3. Mayor Barrett requests Robert E. Ward, *Director of Water/Wastewater*, to provide an update on the 42" force main sewer break

**6. COMMUNICATIONS FROM COUNCILORS TO INTRODUCE AN INDIVIDUAL(S) TO ADDRESS THE COUNCIL:**

**7. PUBLIC PARTICIPATION- REQUESTS UNDER COUNCIL RULE 28:**

**8. COMMUNICATIONS AND REPORTS FROM CITY OFFICERS AND EMPLOYEES:**

8.1. Chris Loughnane, *City Assessor*, submits monthly abatement report for the month of June 2026

8.2. Kaitlin M. Wright Esposito, *City Clerk*, requests approval for several orders regarding changes to designated polling places

8.2.1. Order – that the following location is hereby established as a Polling Place for all elections this year, in accordance with Chapter 54, Section 24



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of the Massachusetts General Laws – Ward 5, Precinct 1 and 1A –  
Consentino Middle School – 685 Washington St

8.2.2. Order – that the following location is hereby established as a Polling Place for all elections this year, in accordance with Chapter 54, Section 24 of the Massachusetts General Laws – Ward 5, Precinct 2 – Julian Steele Community Room – 772 Washington St

8.2.3. Order – that the following location is hereby established as a Polling Place for all elections this year, in accordance with Chapter 54, Section 24 of the Massachusetts General Laws – Ward 7, Precinct 2A – Consentino Middle School – 685 Washington St

8.3. Kaitlin M. Wright Esposito, *City Clerk*, submits Election Warrant for the 2026 State Primary Election to be held on Tuesday, the first day of September 2026 from 7 AM to 8 PM

8.4. **EROM-26-16** – Lisa DeMeo, *City Engineer*, requests approval to open the roadway to allow for the installation of a fire suppression water service, which requires Kelley Excavation to excavate in the right of way

8.4.1. Order – approve request to excavate at 136 Winter St

**9. UTILITY PUBLIC HEARING(S) AND RELATED ORDER(S):**

9.1. **Doc 7-E**- Petition from National Grid and Verizon, requesting a joint pole location for South Prospect St WR#31222471

9.2. **Doc 7-F**- Petition from National Grid and Verizon, requesting a joint pole location for Water St WR#31222575

**10. PUBLIC HEARINGS AND RELATED ORDERS:**

10.1. **Doc 21-A - CCSP-26-1**;- Jony Perez of Davinci Mini Apartments, LLC and Davinci Child Center, LLC requesting to convert a currently unoccupied building to a daycare program on first floor (allowed by right in Zoning Code) and 12 apartments units (six two-bedrooms and six one-bedrooms) on the top three floors at 121 Merrimack St in the Waterfront (WD-C) District

*Continued from May 19, 2026*



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*Related communication from Planning Director, Jacki Byerley, stating Planning Board has continued their hearing until September 9<sup>th</sup> to allow applicant time to submit a traffic study report*

- 10.2. **Doc 21-B** - Planning Director, Jacki Byerley, requests a hearing for the following Zoning Amendment – Battery Energy Storage Systems

10.2.1 Ordinance: re: Amend Chapter 255 Zoning Ordinance and Zoning Map – Battery Energy Storage Systems Overlay District (BESS)– by inserting a new section 7.9 Battery Energy Storage Systems, amending section 3.1.3 Table of Use and Parking regulations by allowing a Tier 1, Tier 2 and Tier 3 BESS and amending the Zoning Map to include the BESS Overlay District. The overlay district will be creating regulations for the installation and use of free-standing battery energy storage systems (“BESS”), adding to the table the overlay district with the allowed Tiers and updating the zoning map to include the BESS Overlay District, or take any other action related to

*Continued from May 19, 2026*

*Related communication from Planning and Development Committee Chair, Vice President Michitson, to continue hearing until August 25<sup>th</sup>*

- 10.3. **Doc 13-B** - Zoning hearing request from Attorney Paul Magliochetti on behalf of client, Haverhill STEM, LLC (Haverhill STEM) for a zoning change to allow the licensing and operation of Marijuana Social Consumption Establishments

*Continued from June 2, 2026*

*Related communication from applicant withdrawing application  
Planning Board recommendation to allow the withdrawal of the application*

**11. APPOINTMENTS:**

**12. PETITIONS:**

- 12.1. **CCSP-26-5** – Francis Bevilacqua of Bevi Builds II requests approval to replace existing single-family dwelling and construct a three-family residential dwelling at 16 Margin St in the Residential Urban (RU) zoning district

*Hearing for August 11, 2026*

- 12.2. **CCSP-26-2** – Philip Rice of Rice & Brouillard requests approval to transform an existing 1 ½ story structure into a three-family residential building containing a mix of two and three bedroom units. The renovation will include an interior



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reconfiguration, structural expansion, and modernization of all building systems to meet current safety, accessibility, and energy-efficiency standards if/as needed

*Hearing for August 25, 2026*

12.3. **Applications Handicap Parking Sign:** *with Police approval*

12.4. **Amusement/Event Application:** *with Police approval*

12.4.1. **EVNT-26-20** – Cynthia Morgan of *Cyndie's Methodical Media* requests to hold *Woofstock 2026* on Saturday September 19, 2026 from 10 AM to 3 PM at Chris' Farm Stand located at 436 Salem St

12.5. **Auctioneer License:**

12.6. **Tag Days:** *with Police approval*

12.6.1. **TAGD-26-9** – Haverhill Lions Club, September 12, 2026

12.7. **One Day Liquor License –with Police and License Commission approval**

12.7.1. **LCDL-26-15** – Joseph LeBlanc for *Team Haverhill* requests All Alcohol license for *River Ruckus Festival*, Saturday September 12, 2026 from 12 noon to 9 PM in the Riverfront parking lot

12.8. **ANNUAL LICENSE RENEWALS:**

12.8.1. **Hawker Peddlers License- Fixed location** – *w/Police approval*

12.8.2. **Coin-Op License Renewals** – *with Police approval*

12.8.3. **Christmas Tree Vendor** – *with Police approval*

12.8.4. **Taxi Driver Licenses:** *with Police approval*

12.8.5. **Taxi/Limousine License** *with Police approval*

12.8.5.1. **TLLB-26-2;** Victor Gonzalez for *New England Health Transportation Inc.*, 143 Essex St Suite 721, 4 vehicles

12.8.6. **Junk Dealer /Collector License** - *with Police approval*

12.8.7. **Pool/Billiard**

12.8.8. **Bowling**

12.8.9. **Sunday Bowling**

12.8.10. **Buy & Sell Secondhand Articles** *with Police approval*

12.8.11. **Buy & Sell Secondhand Clothing** *with Police approval*

12.8.12. **Pawnbroker license** - *with police approval*

12.8.13. **Fortune Teller** *with - Police approval*

12.8.14. **Buy & Sell Old Gold** – *with Police approval*



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- 12.8.15. **Roller Skating Rink**
- 12.8.16. **Sunday Skating**
- 12.8.17. **Exterior Vending Machines/Redbox Automated Retail, LLC**
- 12.8.18. **Limousine/Livery License/Chair Cars *with Police approval***

**13. MOTIONS AND ORDERS:**

13.1. Order - That \$953,216 will be transferred from various general fund appropriations to fund FY 2026 operating expenses.

Transfer to: (Budget Deficits)	
Auditing Services / Expenses	\$ 22,500.00
IT Salaries	\$ 14,215.00
Building Maint. Salaries	\$ 3,800.00
Building Maint. Expenses	\$ 4,000.00
Public Health Salaries	\$ 18,565.00
Snow & Ice Salaries	\$ 7,420.00
Snow & Ice Expenses	\$ 369,342.00
Citizens Center Salaries	\$ 3,264.00
Payroll Taxes	\$ 196,183.00
Workers Compensation	\$ 226,014.00
Injured on Duty	\$ 47,448.00
Sick Leave Buyback	\$ 40,001.00
General Liability Insurance	\$ 464.00
	<b>\$ 953,216.00</b>

Transfer from: (Budget Surplus)	
Budget Reserve	\$ 180,000.00
Veterans Expense	\$ 65,000.00
Parks Department Salaries	\$ 40,000.00
Fleet Maintenance Salaries	\$ 85,000.00
Public Works Highway Salaries	\$ 125,000.00
Police Salaries	\$ 300,000.00
Economic Development Salaries	\$ 30,000.00
Inspectional Services Salaries	\$ 25,000.00
City Clerk Salaries	\$ 33,216.00
Constituent Services Salaries	\$ 15,000.00
Treasurer/Collector Salaries	\$ 55,000.00
	<b>\$ 953,216.00</b>

**14. ORDINANCES (FILE 10 DAYS):**

**15. COMMUNICATIONS FROM COUNCILORS:**

15.1. Councilor McGonagle wishes to announce the Public Safety subcommittee meeting on Wednesday, July 29, 2026 at 6 PM in Room 202, City Council Chambers

**16. UNFINISHED BUSINESS OF PRECEDING MEETING:**

**17. RESOLUTIONS AND PROCLAMATIONS:**

**18. COUNCIL COMMITTEE REPORTS AND ANNOUNCEMENTS:**

**19. DOCUMENTS REFERRED TO COMMITTEE STUDY:**

**20. LONG TERM MATTERS STUDY LIST:**

**21. ADJOURN:**

5.1

MELINDA E. BARRETT  
MAYOR



CITY OF HAVERHILL  
MASSACHUSETTS

CITY HALL, ROOM 100  
FOUR SUMMER STREET  
HAVERHILL, MA 01830  
PHONE 978-374-2300  
FAX 978-373-7544  
MAYOR@HAVERHILLMA.GOV  
WWW.HAVERHILLMA.GOV

July 10, 2026

JUL 10 AM 9:14  
HAVCITYCLERK

**To:** City Council President Timothy J. Jordan and Members of the Haverhill City Council

**From:** Mayor Melinda E. Barrett

**Re:** HC Media Declaration of Independence Community Reading Video

Dear Mr. President and Members of the City Council:

I respectfully request to present HC Media's Declaration of Independence community reading video.

Very truly yours,

Melinda E. Barrett  
Mayor

MELINDA E. BARRETT  
MAYOR



CITY OF HAVERHILL  
MASSACHUSETTS

5.2

CITY HALL, ROOM 100  
FOUR SUMMER STREET  
HAVERHILL, MA 01830  
PHONE 978-374-2300  
FAX 978-373-7544  
MAYOR@HAVERHILLMA.GOV  
WWW.HAVERHILLMA.GOV

July 10, 2026

JUL 10 AM 9:14  
HAUCITYCLERK

**To:** City Council President Timothy J. Jordan and Members of the Haverhill City Council

**From:** Mayor Melinda E. Barrett

**Re:** Whittier Regional Technical High School - Regional Agreement Amendment Committee (RAAC)

Dear Mr. President and Members of the City Council:

I and Salisbury Town Manager Neil Harrington will provide an update to Council on the progress of the Regional Agreement Amendment Committee (RAAC).

Very truly yours,

Melinda E. Barrett  
Mayor

5.3

MELINDA E. BARRETT  
MAYOR



CITY OF HAVERHILL  
MASSACHUSETTS

CITY HALL, ROOM 100  
FOUR SUMMER STREET  
HAVERHILL, MA 01830  
PHONE 978-374-2300  
FAX 978-373-7544  
MAYOR@HAVERHILLMA.GOV  
WWW.HAVERHILLMA.GOV

July 10, 2026

JUL 10 AM 9:14  
HAUCITYCLERK

**To:** City Council President Timothy J. Jordan and Members of the Haverhill City Council  
**From:** Mayor Melinda E. Barrett  
**Re:** Update on 42" Force Main Sewer Break

Dear Mr. President and Members of the City Council:

Bob Ward, Director of Water/Wastewater, will provide an update on the 42" force main sewer break.

Very truly yours,

Melinda E. Barrett  
Mayor



8.1

**CITY OF HAVERHILL**  
ASSESSORS OFFICE – ROOM 115  
Phone: 978-374-2316 Fax: 978-374-2319  
Assessors@cityofhaverhill.com

July 1, 2026

TO: MEMBERS OF THE HAVERHILL CITY COUNCIL:

In accordance with Municipal Ordinance, Chapter 7,  
entitled "Assessor" as follows:

The Board of Assessors shall file monthly with the  
City Council a copy of the report submitted to the  
Auditor showing a summary of the above abated  
amounts for that month.

Attached herewith is the report for the month of  
June as filed in the Assessors Office.

Very truly yours,

Chris Loughnane, MAA  
Assessor

JUL 2 AM 8:57  
HAVCITYCLERK

# Transaction Summary All Years

City of Haverhill

All Int Effective Date range 06/01/2026 through 06/30/2026 for Abatements, Exemptions

	Tax		Interest		Fees		Tax		Interest		Fee		Refund		Abate	Exemp	Adjust	Transfers		
	Paid		Paid		Paid		Reversals		Reversals		Reversals		Reversals							
Motor Vehicle Excise Tax	0.00		0.00		0.00		0.00		0.00		0.00		0.00		878.08	0.00	0.00	0.00		
2024 Motor Vehicles	0.00		0.00		0.00		0.00		0.00		0.00		0.00		878.08	0.00	0.00	0.00		
2024	0.00		0.00		0.00		0.00		0.00		0.00		0.00		878.08	0.00	0.00	0.00		
Motor Vehicle Excise Tax	0.00		0.00		0.00		0.00		0.00		0.00		0.00		3,436.41	0.00	0.00	0.00		
2025 Motor Vehicles	0.00		0.00		0.00		0.00		0.00		0.00		0.00		3,436.41	0.00	0.00	0.00		
2025	0.00		0.00		0.00		0.00		0.00		0.00		0.00		3,436.41	0.00	0.00	0.00		
Motor Vehicle Excise Tax	0.00		0.00		0.00		0.00		0.00		0.00		0.00		35,029.70	0.00	0.00	0.00		
2026 Motor Vehicles	0.00		0.00		0.00		0.00		0.00		0.00		0.00		35,029.70	0.00	0.00	0.00		
Property Tax	0.00		0.00		0.00		0.00		0.00		0.00		0.00		10,282.79	0.00	0.00	0.00		
2026 Real Estate	0.00		0.00		0.00		0.00		0.00		0.00		0.00		10,282.79	0.00	0.00	0.00		
2026	0.00		0.00		0.00		0.00		0.00		0.00		0.00		45,312.49	0.00	0.00	0.00		
Report	0.00		0.00		0.00		0.00		0.00		0.00		0.00		49,626.98	0.00	0.00	0.00		
<b>Total All Charges</b>															<b>49,626.98</b>					

Total All Charges: Add all columns except Adjustments.



**CITY OF HAVERHILL,**  
**MASSACHUSETTS**  
*Office of the City Clerk*

4 Summer St, Room 118  
Haverhill, MA 01830  
Phone: 978-374-2312  
Fax: 978-973-8490  
[haverhillma.gov](http://haverhillma.gov)

Kaitlin M. Wright Esposito, CMC  
City Clerk

Rose M. Leonard-Flynn  
Assistant City Clerk

8.2

July 9, 2026

Dear President Jordan and Members of the Haverhill City Council,

I am requesting the Council approve the following polling location changes for all elections this year:

<u>Ward and Precinct</u>	<u>Current Location</u>	<u>New Location</u>
Ward 5, Precinct 1/1A	from Julian Steele Community Room - 772 Washington St	to Consentino Middle School - 685 Washington St
Ward 5, Precinct 2	from First Presbyterian Church - 346 Broadway	to Julian Steele Community Room - 772 Washington St
Ward 7, Precinct 2A	from Julian Steele Community Room - 772 Washington St	to Consentino Middle School - 685 Washington St

We were recently informed by Ruling Elder Ann Lochniskar of the First Presbyterian Church of Haverhill that the building is currently for sale and that we would likely be unable to use the building for elections this year. To avoid voter confusion, my office seeks to change the polling location before the election cycle gets underway to ensure that we have time to notify as required by law.

State election law requires the polling location be either in the precinct or the adjacent precinct, which significantly limits the suitable locations available to us. Therefore, we will need to move Ward 5, Precinct 2 to the Julian Steele Community Room and move the current precincts there (Ward 5, Precinct 1 and 1A and Ward 7, Precinct 2A) to Consentino Middle School. I am requesting the City Council approve this request to change the polling locations and designate the above-mentioned locations as polling locations for the remainder of the 2026 calendar year.

Thank you for your consideration.

Respectfully,

Kaitlin M. Wright Esposito, CMC  
City Clerk



8.2.1

JUL 9 PM 1:54  
HAUCITYCLERK

DOCUMENT

**CITY OF HAVERHILL**

In Municipal Council

ORDERED:

Order – That the following location is hereby established as a Polling Place for all elections this year, in accordance with Chapter 54, Section 24 of the Massachusetts General Laws:

Ward 5, Precinct 1/1A – Consentino Middle School – 685 Washington St



DOCUMENT

**CITY OF HAVERHILL**

In Municipal Council

8.2.2

JUL 9 PM 1:54  
HAVCITYCLERK

ORDERED:

Order – That the following location is hereby established as a Polling Place for all elections this year, in accordance with Chapter 54, Section 24 of the Massachusetts General Laws:

Ward 5, Precinct 2 - Julian Steele Community Room – 772 Washington St



8.2.3  
JUL 9 PM 1:54  
HVCITYCLERK

DOCUMENT

**CITY OF HAVERHILL**

In Municipal Council

ORDERED:

Order – That the following location is hereby established as a Polling Place for all elections this year, in accordance with Chapter 54, Section 24 of the Massachusetts General Laws:

Ward 7, Precinct 2A– Consentino Middle School – 685 Washington St

COMMONWEALTH OF MASSACHUSETTS  
WILLIAM FRANCIS GALVIN  
SECRETARY OF THE COMMONWEALTH

8.3

WARRANT FOR 2026 STATE PRIMARY

JUL 9 PM3:00  
HAUCITYCLERK

SS.

To the Constables of the City of Haverhill

**GREETINGS:**

In the name of the Commonwealth, you are hereby required to notify and warn the inhabitants of said city or town who are qualified to vote in Primaries to vote at:

Ward 1, Precinct 1	Somebody Cares	358 Washington St
Ward 1, Precinct 2/2A	Citizen Center	10 Welcome St
Ward 1, Precinct 3/3A	Haverhill High School	137 Monument St
Ward 2, Precinct 1	Hunking Middle School	480 South Main St
Ward 2, Precinct, 2	Bradford Elementary School	118 Montvale St
Ward 2, Precinct 3	Moody School	59 Margin St
Ward 3, Precinct 1	Citizen Center 10 Welcome St	10 Welcome St
Ward 3, Precinct 2	Haverhill City Hall – Early Voting Room	4 Summer St
Ward 3, Precinct 3	Unitarian Universalist Church	16 Ashland St
Ward 4, Precinct 1	Nettle Middle School	150 Boardman St
Ward 4, Precinct 2	NECC, Tech Center	100 Elliot St
Ward 4, Precinct 3	Kennedy Circle Community Room	1 Kennedy Cir
Ward 5, Precinct 1/1A	Consentino Middle School	685 Washington St
Ward 5, Precinct 2	Julian Steele Community Room	772 Washington St
Ward 5, Precinct 3/3A	West Congregational Church	767 Broadway
Ward 6, Precinct 1	Haverhill High School	137 Monument St
Ward 6, Precinct 2/2A	John Greenleaf Whittier Middle School	256 Concord St
Ward 6, Precinct 3	Pentucket Lake Elementary School	252 Concord St
Ward 7, Precinct 1	Presidential Gardens Community Room	140 Evergreen Dr
Ward 7, Precinct 2	Hunking Middle School	480 South Main St
Ward 7, Precinct 2A	Consentino Middle School	685 Washington St
Ward 7, Precinct 3/3A	Bradford Elementary School	118 Montvale St

On **TUESDAY, THE FIRST DAY OF SEPTEMBER, 2026**, from 7:00 A.M. to 8:00 P.M. for the following purpose:

To cast their votes in the State Primaries for the candidates of political parties for the following offices:

SENATOR IN CONGRESS	For this Commonwealth
GOVERNOR	For this Commonwealth
LIEUTENANT GOVERNOR	For this Commonwealth
ATTORNEY GENERAL	For this Commonwealth
SECRETARY OF STATE	For this Commonwealth
TREASURER	For this Commonwealth
AUDITOR	For this Commonwealth
REPRESENTATIVE IN CONGRESS	THIRD DISTRICT
COUNCILLOR	FIFTH DISTRICT
SENATOR IN GENERAL COURT	FIRST ESSEX DISTRICT
SENATOR IN GENERAL COURT	SECOND ESSEX AND MIDDLESEX DISTRICT
REPRESENTATIVE IN GENERAL COURT	THIRD ESSEX DISTRICT
REPRESENTATIVE IN GENERAL COURT	FIFTHTEENTH ESSEX DISTRICT
DISTRICT ATTORNEY	EASTERN DISTRICT
REGISTER OF PROBATE	ESSEX COUNTY

Hereof fail not and make return of this warrant with your doings thereon at the time and place of said voting.

Given under our hands this \_\_\_\_\_ day of \_\_\_\_\_, 2026.  
(month)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

City Council of: \_\_\_\_\_  
(City or Town)

\_\_\_\_\_  
(Indicate method of service of warrant)

\_\_\_\_\_, 2026.  
Constable \_\_\_\_\_ (month and day)

Warrant must be posted by **August 25, 2026** (at least *seven days prior* to the **September 1, 2026** State Primary).



8.4

# Haverhill

Lisa DeMeo, City Engineer  
Phone: 978-374-2335  
ldemeo@haverhillma.gov

July 9, 2026

**MEMO TO: CITY COUNCIL PRESIDENT TIMOTHY JORDAN AND  
MEMBERS OF THE CITY COUNCIL**

**SUBJECT: ROAD OPENING, 136 WINTER ST, EROM-26-16**

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As the subject street was paved within the last 5 years, Council approval is required to open the roadway to allow for installation of a fire suppression water service, which is necessary to support the operational needs of the property, at 136 Winter Street.; which requires Kelley Excavation to excavate in the right of way. I am supportive of this request, and The Engineering Office will require proper repaving from curb to curb and the limits of which will be established by city staff in the field.

Please contact me if you have any questions.

Sincerely,

Lisa DeMeo  
City Engineer

C: Mayor Barrett, K. Wright, R. Ward, R. Kimball



DOCUMENT

**CITY OF HAVERHILL**

In Municipal Council

ORDERED:

That the City Council approve the request to excavate at the following location for the installation of a new fire suppression water service line: Winter Street #136

The roadway has been paved in the last 5 years and in accordance with Chapter 222, Section 11, Restrictions on future paving of the Municipal Ordinances, Council approval is necessary.

JUL 9 PM1:33  
HAVCITYCLERK

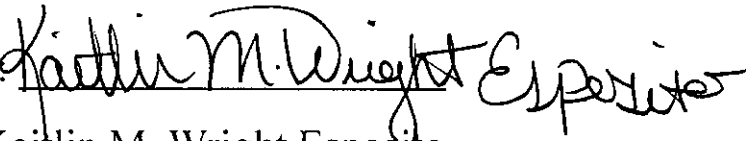
**Document # 7-E**

Petition from National Grid and Verizon, requesting a joint pole location for South Prospect St  
WR#31222471

**IN COUNCIL: June 16, 2026**

**Hearing scheduled for July 14**

**10 YEAS, 0 NAYS, 1 ABSENT**

Attest:   
Kaitlin M. Wright Esposito  
City Clerk

**nationalgrid**

announce 6/1/4  
hearing 7/1/4  
received  
5/19/24  
19.1

April 3, 2026

WR# 31222471 – South Prospect Street

To the City of Haverhill, Massachusetts

To Whom It May Concern:

Enclosed please find a petition for NATIONAL GRID and VERIZON, covering joint NATIONAL GRID-VERIZON pole location(s)

If you have any questions regarding this permit, please contact:

Alex Campbell (860) 806-9650 or [alex.campbell@nationalgrid.com](mailto:alex.campbell@nationalgrid.com)

Please notify National Grid's Jennifer Iannalfo of the **hearing date / time** to [Jennifer.Iannalfo@nationalgrid.com](mailto:Jennifer.Iannalfo@nationalgrid.com)

If this petition meets with your approval, please return an executed copy to each of the above-named Companies.

National Grid: Jennifer Iannalfo, 1101 Turnpike Street; North Andover, MA 01845.

Very truly yours,

*Dave Johnson*

Dave Johnson  
Supervisor, Distribution Design

Enclosures

Questions contact – Alex Campbell (860) 806-9650 or [alex.cambell@nationalgrid.com](mailto:alex.cambell@nationalgrid.com)

**PETITION FOR JOINT OR IDENTICAL POLE LOCATIONS**

North Andover, Massachusetts

To The City Council  
Of Haverhill, Massachusetts

Massachusetts Electric Company d/b/a NATIONAL GRID and Verizon New England, Inc requests permission to locate poles, wires, and fixtures, including the necessary sustaining and protecting fixtures, along and across the following public way:

South Prospect Street - National Grid to install 1 JO pole beginning at a point approximately 240 feet North of the centerline of the intersection of South Main Street. National Grid will install 45ft class H1 pole. Pole will be installed between P2 and P3 South Prospect Street, on the same side of the road as P2 and P3. Pole will be labeled P2-50, Haverhill, MA.

Location approximately as shown on plan attached.

Wherefore it prays that after due notice and hearing as provided by law, it be granted a location for and permission to erect and maintain poles and wires, together with such sustaining and protecting fixtures as it may find necessary, said poles to be erected substantially in accordance with the plan filed herewith marked – South Prospect Street - Haverhill, Massachusetts.

**No.# 31222471**

Also, for permission to lay and maintain underground laterals, cables, and wires in the above or intersecting public ways for the purpose of making connections with such poles and buildings as each of said petitioners may desire for distributing purposes.

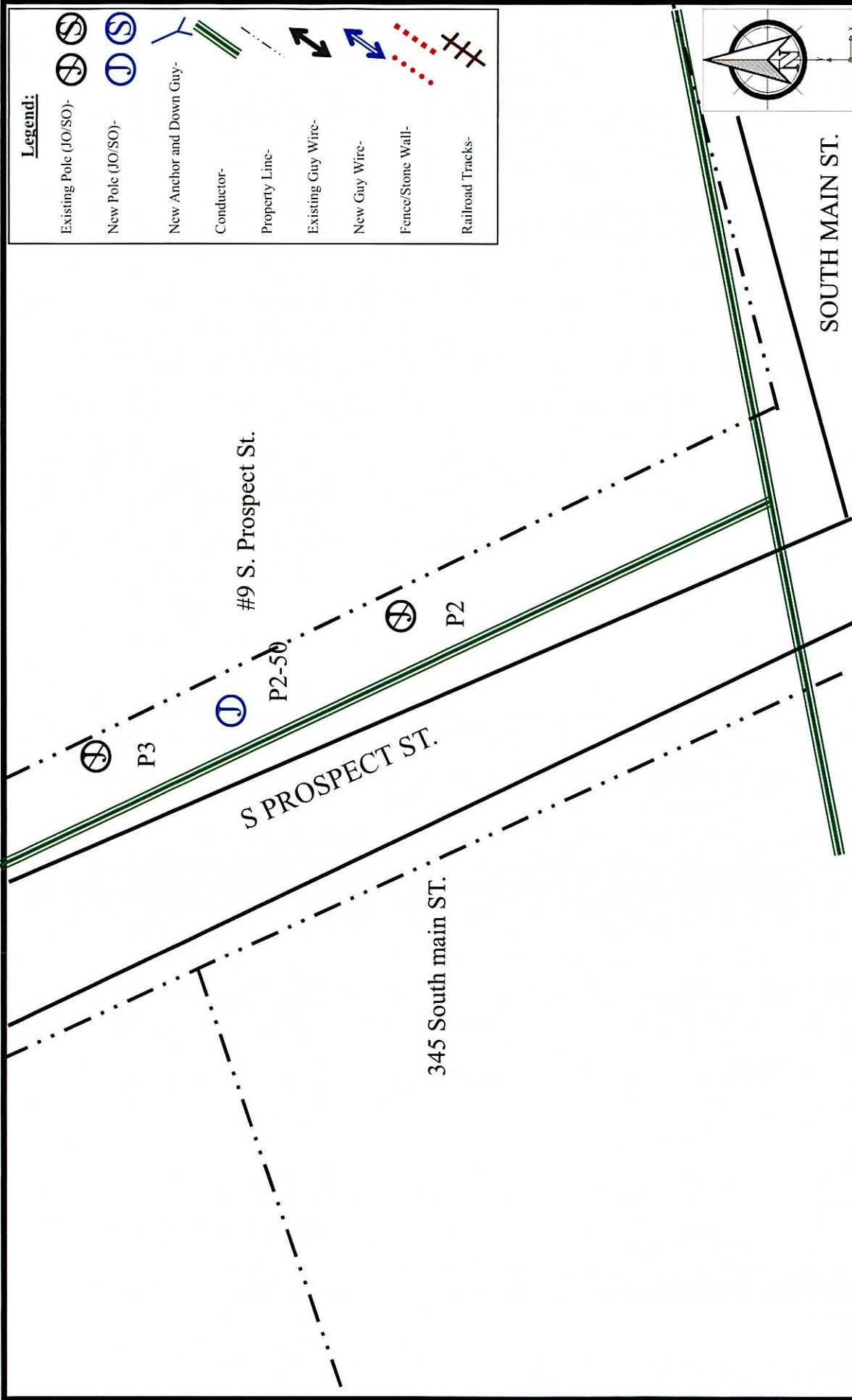
Your petitioner agrees to reserve space for one cross-arm at a suitable point on each of said poles for the fire, police, telephone, and telegraph signal wires belonging to the municipality and used by it exclusively for municipal purposes.

Massachusetts Electric Company d/b/a  
NATIONAL GRID *Dave Johnson*

BY \_\_\_\_\_  
Engineering Department

VERIZON NEW ENGLAND, INC.

BY *fb* \_\_\_\_\_  
Manager / Right of Way



**Petition #:**

**Designer:** Alex Campbell  
**Date:** 11/5/2025  
**Work Order #:** 31222471  
**Town:** Haverhill, MA

**Petition Sketch**

**CONSTRUCTION DETAILS:**  
 Install 45ft class H1 pole. Pole will be installed between P2 and P3 S. Prospect St. on the same side of the road as P2 and P3. Pole will be labeled 2-50.

**nationalgrid**

**Exhibit A—Not to Scale**

The Exact location of said Facilities to be established by and upon the installation and erection of the Facilities thereof

April 3, 2026

Questions contact – Alex Campbell (860) 806-9650 or [alex.cambell@nationalgrid.com](mailto:alex.cambell@nationalgrid.com)

## **ORDER FOR JOINT OR IDENTICAL POLE LOCATIONS**

To the City Council Of Haverhill, Massachusetts

Notice having been given and public hearing held, as provided by law,  
IT IS HEREBY ORDERED: that Massachusetts Electric Company d/b/a NATIONAL GRID and VERIZON NEW ENGLAND INC. (formerly known as NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY) be and they are hereby granted joint or identical locations for and permission to erect and maintain poles and wires to be placed thereon, together with such sustaining and protecting fixtures as said Companies may deem necessary, in the public way or ways hereinafter referred to, as requested in petition of said Companies dated the 5th day of November, 2025.

All construction under this order shall be in accordance with the following conditions:

Poles shall be of sound timber, and reasonable straight, and shall be set substantially at the points indicated upon the plan marked – South Prospect Street - Haverhill, Massachusetts.

**No.# 31222471**

Filed with this order:

There may be attached to said poles by Massachusetts Electric Company d/b/a NATIONAL GRID and Verizon New England Inc. such wires, cables, and fixtures as needed in their business and all of said wires and cables shall be placed at a height of not less than twenty (20) feet from the ground.

The following are the public ways or part of ways along which the poles above referred to may be erected, and the number of poles which may be erected thereon under this order:

South Prospect Street - National Grid to install 1 JO pole beginning at a point approximately 240 feet North of the centerline of the intersection of South Main Street. National Grid will install 45ft class H1 pole. Pole will be installed between P2 and P3 South Prospect Street, on the same side of the road as P2 and P3. Pole will be labeled P2-50, Haverhill, MA.

Also, for permission to lay and maintain underground laterals, cables, and wires in the above or intersecting public ways for the purpose of making connections with such poles and buildings as each of said petitioners may desire for distributing purposes.

I hereby certify that the foregoing order was adopted at a meeting of the  
Of the City/Town of \_\_\_\_\_, Massachusetts held on the \_\_\_\_\_ day of \_\_\_\_\_ 20 \_\_\_\_ .

City/Town Clerk.

Massachusetts

20 .

Received and entered in the records of location orders of the City/Town of

Book

Page

Attest:

City/Town Clerk

I hereby certify that on

20 , at

o'clock, M

At

a public hearing was held on the petition of

Massachusetts Electric Company d/b/a NATIONAL GRID and VERIZON NEW ENGLAND, INC. for permission to erect the poles, wires, and fixtures described in the order herewith recorded, and that we mailed at least seven days before said hearing a written notice of the time and place of said hearing to each of the owners of real estate (as determined by the last preceding assessment for taxation) along the ways or parts of ways upon which the Company is permitted to erect Poles, wires, and fixtures under said order. And that thereupon said order was duly adopted.

City/Town Clerk.

.....  
.....  
.....  
.....

Board or Council of Town or City, Massachusetts

CERTIFICATE

I hereby certify that the foregoing is a true copy of the location order and certificate of hearing with notice adopted by the of the City of Massachusetts, on the day of 20 and recorded with the records of location orders of the said City, Book , and Page . This certified copy is made under the provisions of Chapter 166 of General Laws and any additions thereto or amendments thereof.

Attest:

City/Town Clerk

719-665-10 ✓  
KIMANI JOSECK-ETUX  
333 SOUTH MAIN ST  
BRADFORD, MA 01835

719-666-8B ✓  
CONSOLES NICHOLAS S  
PO BOX 309  
HAMPTON, NH 03843

719-665-10-2 ✓  
CHAPARALA ARJUN  
9 SOUTH PROSPECT ST  
BRADFORD, MA 01835

719-666-9 ✓  
CREATIVE HAVERHILL, INC  
351 SOUTH MAIN ST  
BRADFORD, MA 01835

Abutters for  
S. Prospect St.

719-665-10A ✓  
PALMER WESLEY M  
15 SO PROSPECT STREET  
BRADFORD, MA 01835

City of Haverhill ✓  
4 Summerst  
Haverhill, MA 01830

**Document # 7-F**

Petition from National Grid and Verizon, requesting a joint pole location for Water St WR#31222575

**IN CITY COUNCIL: June 16, 2026**

**Hearing scheduled for July 14**

**10 YEAS, 0 NAYS, 1 ABSENT**

Attest Kaitlin M. Wright Esposito

Kaitlin M. Wright Esposito, CMC

City Clerk

received 5/19/26 announce 6/16  
hearing 7/14  
19.2

**nationalgrid**

April 6, 2026

WR# 31222575 – Water Street

To the City of Haverhill, Massachusetts

To Whom It May Concern:

Enclosed please find a petition for NATIONAL GRID and VERIZON, covering joint NATIONAL GRID-VERIZON pole location(s)

If you have any questions regarding this permit, please contact:

Joseph Prah (508) 482-1053

Please notify National Grid's Jennifer Iannalfo of the **hearing date / time** to [Jennifer.Iannalfo@nationalgrid.com](mailto:Jennifer.Iannalfo@nationalgrid.com)

If this petition meets with your approval, please return an executed copy to each of the above-named Companies.

National Grid: Jennifer Iannalfo, 1101 Turnpike Street; North Andover, MA 01845.

Very truly yours,

*Dave Johnson*

Dave Johnson  
Supervisor, Distribution Design

Enclosures

Questions contact – Joseph Prah (508) 482-1053

**PETITION FOR JOINT OR IDENTICAL POLE LOCATIONS**

North Andover, Massachusetts

To The City Council  
Of Haverhill, Massachusetts

Massachusetts Electric Company d/b/a NATIONAL GRID and Verizon New England, Inc requests permission to locate poles, wires, and fixtures, including the necessary sustaining and protecting fixtures, along and across the following public way:

Water Street - National Grid to install 1 JO pole on Water Street beginning at a point approximately 50 feet Southeast of the centerline of the intersection of Buttonwood Terrace. National Grid will install 45ft class 2 pole between P21 and P22, Water Street, Haverhill, MA. Pole will be located on town property and will be labeled P21-50.

Location approximately as shown on plan attached.

Wherefore it prays that after due notice and hearing as provided by law, it be granted a location for and permission to erect and maintain poles and wires, together with such sustaining and protecting fixtures as it may find necessary, said poles to be erected substantially in accordance with the plan filed herewith marked – Water Street - Haverhill, Massachusetts.

No.# 31222575

Also, for permission to lay and maintain underground laterals, cables, and wires in the above or intersecting public ways for the purpose of making connections with such poles and buildings as each of said petitioners may desire for distributing purposes.

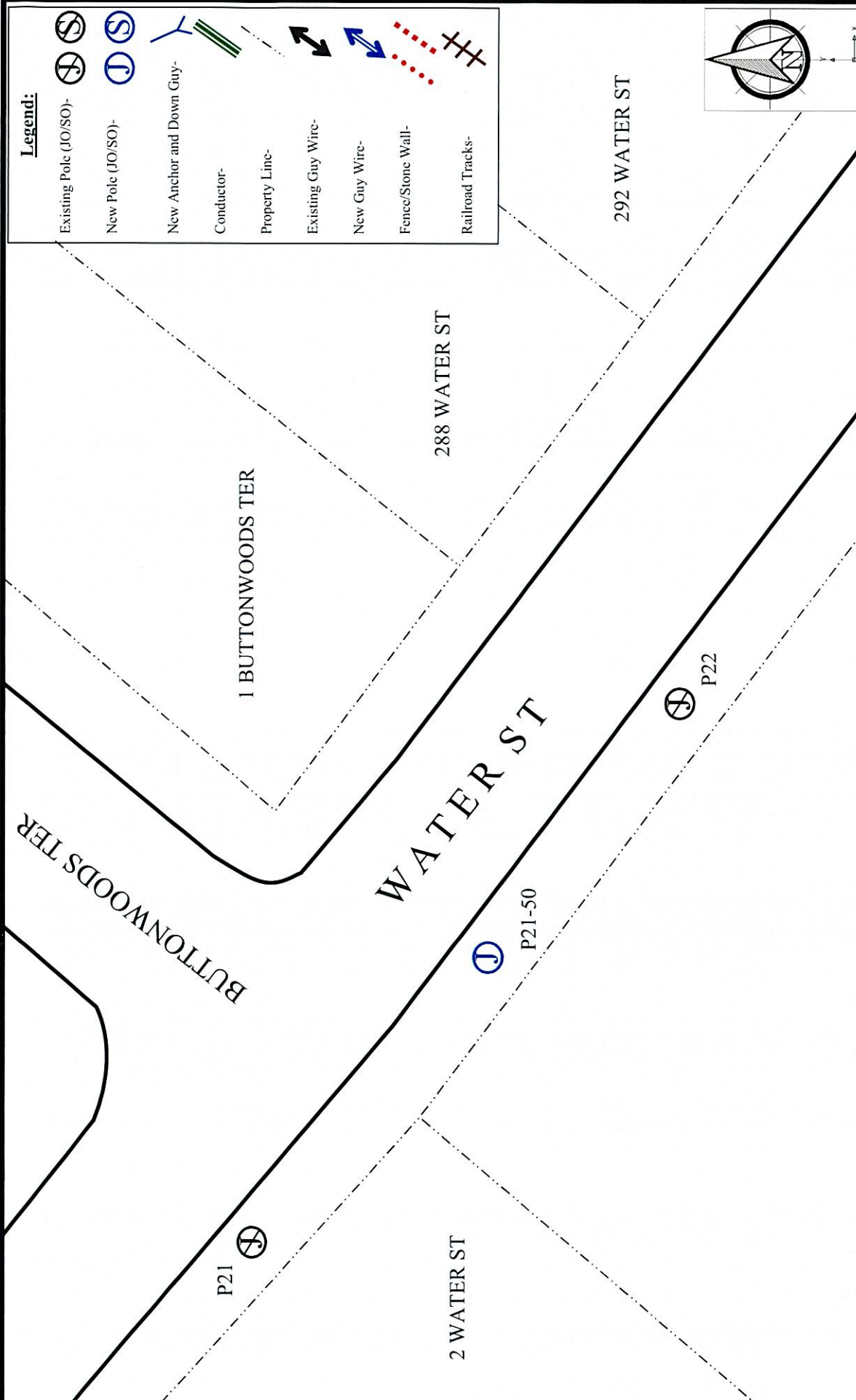
Your petitioner agrees to reserve space for one cross-arm at a suitable point on each of said poles for the fire, police, telephone, and telegraph signal wires belonging to the municipality and used by it exclusively for municipal purposes.

Massachusetts Electric Company d/b/a  
NATIONAL GRID *Dave Johnson*

BY \_\_\_\_\_  
Engineering Department

VERIZON NEW ENGLAND, INC.

BY *[Signature]* \_\_\_\_\_  
Manager / Right of Way



<p><b>Petition #:</b></p>	<p><b>Petition Sketch</b></p>	<p><b>nationalgrid</b></p>
<p><b>Designer:</b> JOSEPH PRAH  <b>Date:</b> 3/25/2026  <b>Work Order #:</b> 3 1222575  <b>Town:</b> HAVERHILL, MA</p>	<p><u>CONSTRUCTION DETAILS:</u>          Install 45ft class 2 pole between P21 and P22 Water St, Haverhill MA. Pole will be located on town property and will be labeled 21-50.</p>	<p><b>Exhibit A-Not to Scale</b>          The Exact location of said Facilities to be established by and upon the installation and erection of the Facilities thereof</p>

April 6, 2026

Questions contact – Joseph Prah (508) 482-1053

## **ORDER FOR JOINT OR IDENTICAL POLE LOCATIONS**

To the City Council Of Haverhill, Massachusetts

Notice having been given and public hearing held, as provided by law,  
IT IS HEREBY ORDERED: that Massachusetts Electric Company d/b/a NATIONAL GRID and VERIZON NEW ENGLAND INC. (formerly known as NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY) be and they are hereby granted joint or identical locations for and permission to erect and maintain poles and wires to be placed thereon, together with such sustaining and protecting fixtures as said Companies may deem necessary, in the public way or ways hereinafter referred to, as requested in petition of said Companies dated the 25th day of March, 2026.

All construction under this order shall be in accordance with the following conditions:

Poles shall be of sound timber, and reasonable straight, and shall be set substantially at the points indicated upon the plan marked – Water Street - Haverhill, Massachusetts.

**No.# 31222575**

Filed with this order:

There may be attached to said poles by Massachusetts Electric Company d/b/a NATIONAL GRID and Verizon New England Inc. such wires, cables, and fixtures as needed in their business and all of said wires and cables shall be placed at a height of not less than twenty (20) feet from the ground.

The following are the public ways or part of ways along which the poles above referred to may be erected, and the number of poles which may be erected thereon under this order:

Water Street - National Grid to install 1 JO pole on Water Street beginning at a point approximately 50 feet Southeast of the centerline of the intersection of Buttonwood Terrace. National Grid will install 45ft class 2 pole between P21 and P22, Water Street, Haverhill, MA. Pole will be located on town property and will be labeled P21-50.

Also, for permission to lay and maintain underground laterals, cables, and wires in the above or intersecting public ways for the purpose of making connections with such poles and buildings as each of said petitioners may desire for distributing purposes.

I hereby certify that the foregoing order was adopted at a meeting of the

Of the City/Town of \_\_\_\_\_, Massachusetts held on the \_\_\_\_\_ day of \_\_\_\_\_ 20\_\_ .

City/Town Clerk.  
20 .

Massachusetts  
Received and entered in the records of location orders of the City/Town of  
Book Page

Attest:  
City/Town Clerk

I hereby certify that on 20 , at o'clock, M  
At a public hearing was held on the petition of  
Massachusetts Electric Company d/b/a NATIONAL GRID and VERIZON NEW ENGLAND,  
INC. for permission to erect the poles, wires, and fixtures described in the order herewith recorded,  
and that we mailed at least seven days before said hearing a written notice of the time and place of  
said hearing to each of the owners of real estate (as determined by the last preceding assessment  
for taxation) along the ways or parts of ways upon which the Company is permitted to erect  
Poles, wires, and fixtures under said order. And that thereupon said order was duly adopted.

City/Town Clerk.

.....  
.....  
.....  
.....

Board or Council of Town or City, Massachusetts

CERTIFICATE

I hereby certify that the foregoing is a true copy of the location order and certificate of  
hearing with notice adopted by the of the City of  
Massachusetts, on the day of 20 and recorded with the records of location  
orders of the said City, Book , and Page . This certified copy is made under  
the provisions of Chapter 166 of General Laws and any additions thereto or amendments thereof.

Attest:  
City/Town Clerk

432-2-8

MELONAS FAMILY REAL ESTATE TR ✓

2 BUTTONWOODS AVE

HAVERHILL, MA 01830

434-1-57

JOHN & SUZANNE TORRISI FAMILY TRUST ✓

288 WATER ST

HAVERHILL, MA 01830

434-1-58

ASHLEY SARAH J ✓

1 BUTTONWOODS AVE

HAVERHILL, MA 01830

*Abutters for  
Water St.*

434-5-3

CITY OF HAVERHILL

4 SUMMER ST

HAVERHILL, MA 01830

10.1

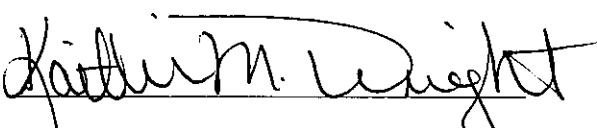
**Document # 21-A**

CCSP-26-1: Jony Perez of Davinci Mini Apartments, LLC and Davinci Child Center, LLC requesting to convert a currently unoccupied building to a daycare program on first floor (allowed by right in Zoning Code) and 12 apartments units (six two-bedrooms and six one-bedrooms) on the top three floors at 121 Merrimack St in the Waterfront (WD-C) District

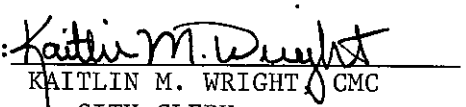
**IN CITY COUNCIL: February 10, 2026**

**Hearing scheduled for March 24, 2026**

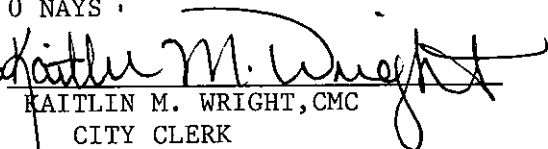
**9 YEAS, 0 NAYS, 2 ABSENT**

Attest:   
Kaitlin M. Wright, CMC  
City Clerk

IN CITY COUNCIL: MARCH 24, 2026  
CONT'D TO MAY 19, 2026

ATTEST:   
KAITLIN M. WRIGHT, CMC  
CITY CLERK

IN CITY COUNCIL: MAY 19, 2026  
CONT'D TO JULY 14  
11 YEAS, 0 NAYS

ATTEST:   
KAITLIN M. WRIGHT, CMC  
CITY CLERK

10.1



City of Haverhill, MA

July 9, 2026

## Planning Director Review

Record No. CCSP-26-1

Status Completed

Became Active January 9, 2026

Type Approval

Due Date None

Assignee Jacki Byerley

### Record No: CCSP-26-1

JUL 9 PM 8:00  
HAVERHILL CITY CLERK

City Council Special Permit

Status: Stopped

Submitted On: 1/9/2026

#### Primary Location

121 MERRIMACK ST  
Haverhill, MA 01830

#### Owner

DAVINCI MINI APARTMENTS, LLC  
AVON ST 55 LAWRENCE, MA 01841

#### Applicant

Jony Perez  
 978-375-0639  
 jony\_perez@hotmail.com  
 121 Merrimack Street  
Haverhill, MA 01830

## Messages

**Jacki Byerley** January 14, 2026 at 3:13 pm

Please call me to set up time to meet to review.

**Alicia McCracken**  Internal January 15, 2026 at 12:51 pm

Meeting scheduled 1/27/26 at 10:00am. Applicant has confirmed.

**Jacki Byerley** January 27, 2026 at 12:54 pm

When the application is deemed complete and a public hearing is schedule the applicant needs to provide a site plan with parking, child drop off and pick up areas, staff parking, lighting and landscaping. Follow Section 9.3 for district and plan requirements.

**Jacki Byerley** February 3, 2026 at 7:53 am

Can be placed on Council agenda for hearing. Submission of site plan and supplemental information as requested at meeting and in this workflow will be necessary as this moves through the hearing process.

**Jacki Byerley** February 13, 2026 at 11:37 am

In accordance with the Zoning Ordinance Section 10.8 a Site Plan approval from the Planning Board for a child-care is required. Please apply online at <https://haverhillma.portal.opengov.com/categories/1081>

**Jacki Byerley** April 17, 2026 at 3:05 pm

Because the deadline to appear on the May 13 Planning Board agenda for Site Plan Review of the proposed child-care use has passed, that portion of the application cannot be reviewed in time for City Council action on May 19. As a result, the City Council cannot act on the special permit at its May 19 public hearing if it includes the child-care component. However, if the child-care request is removed from the application, the Council may proceed with consideration of the remaining special permit on that date; otherwise, a continuance to a June meeting will be recommended.

**Jacki Byerley** May 14, 2026 at 1:54 pm

Applicant has submitted an application with the Planning Board to be reviewed at their July 8th meeting, if Council is inclined to continue this public hearing a suggested date would be July 14th.

**Jacki Byerley** July 9, 2026 at 10:12 am



The Planning Board opened the meeting for review of the day care at their July 8th meeting, the applicant confirmed he is working with a traffic engineer to submit a review of the traffic and parking. The Planning Board continued the item to their September 9th meeting to allow time for the traffic engineer to submit their report. See PBDA-26-1 for further information on concerns and information requested.



**City Council Special Permit**

**CCSP-26-1**

Submitted On: Jan 9, 2026

**Applicant**

Jony Perez  
9783750639  
@ jony\_perez@hotmail.com

**Primary Location**

121 MERRIMACK ST  
Haverhill, MA 01830

12.1

**Important: Please Read Before Starting Your Application**

**Applicant Information**

FEB 2 PM 12:30  
HAVCITYCLERK

**What is Your Role in This Process?**

Owner

**Applicant Business/Firm Name**

Davinci Mini Apts

**Applicant Business/Firm Phone**

9783750639

**Applicant Business/Firm Address**

55 Avon Street

**Applicant Business/Firm City**

Lawrence

**Applicant Business/Firm State**

MA

**Applicant Business/Firm Zip**

01841

**New Field**

Att: Jony Perez

**Property Information**

**Proposed Housing Plan Name**

125 Merrimack Street

**Proposed Street Name(s)**

Merrimack Street

**How Long Owned by Current Owner?**

1 Year

**Type of Dwelling(s) Planned in Project**

Apartments

**Lot Dimension(s)**

140'x49'

**Registry Plat Number, Block & Lot**

106-9-24

**Zoning District Where Property Located**

WD - Waterfront District

**IF WATERFRONT, Which Sub-Zone?**

C - North Side of Merrimack Street

**Deed Recorded in Essex South Registry: Block Number**

42754

**Deed Recorded in Essex South Registry: Page**

499

**Does the Property Have Multiple Lots?**

No

**Thoroughly Describe the Reason(s) for thre Special Permit**

Redeveloping existing building site to include a daycare program on first floor and 12 apartment units on top 3 floors.

**Property Description**

Currently building is unoccupied.

**Current Property Use**

Vacant

**TOTAL Number of Units Planned**

12

**TOTAL Number of Parking Spaces Planned**

10

**Planned Lot Use**

**Special Circumstances**

**Building Coverage**

true

**Front Yard Setback**

true

**Rear Yard Setback**

true

**Lot Depth**

true

**Building Height**

true

**Open Space**

--

**Sign Size**

true

**Other**

--

**Dimensional Variance**

--

**Side Yard Setback**

true

**Lot Frontage**

true

**Lot Area**

true

**Floor Area Ratio**

true

**Parking**

true

**Use**

--

**Hearing Waiver**

Agrees

Yes

**Agreement & Signature**

Agrees

true

**PLEASE READ**

101-1-1  
MERRIMACK REALTY TRUST ✓  
76 MERRIMACK ST SUITE 19  
HAVERHILL, MA 01830

101-1-17  
BRIGHAM CIRCLE TRUST ✓  
75 OAK STREET  
NEWTON, MA 02464

101-1-5  
L'ARCHE BOSTON NORTH, INC ✓  
53 WINGATE ST  
HAVERHILL, MA 01832

~~101-1-6A-2~~  
DOUGLAS R LOCKE REV TRUST  
PO BOX 220  
BOXFORD, MA 01921  
*duplicate*

~~101-1-6A-5~~  
LOCKE DOUGLAS R  
PO BOX 220  
BOXFORD, MA 01921  
*duplicate*

102-7-11  
AG PALMDALE REAL OWNERS, LLC ✓  
2211 MICHELSON DR, Unit 200  
IRVINE, CA 92612

102-7-20  
CITY OF HAVERHILL ✓  
4 SUMMER ST  
HAVERHILL, MA 01830

103-2-3  
LENY, LLC ✓  
326 HAVEN ST  
READING, MA 01867

~~103-3-1~~  
CITY OF HAVERHILL  
4 SUMMER ST  
HAVERHILL, MA 01830  
*duplicate*

106-8-9  
TD BANKNORTH, N.A.  
4140 CHURCH RD  
MOUNT LAUREL, NJ 08054

101-1-11  
WALCOTT CORP ✓  
1050 COMMONWEALTH AVE  
BOSTON, MA 02215

101-1-17A  
118 MERRIMACK STREET IRREVOCAB ✓  
38 SHERWOOD DR  
HAVERHILL, MA 01835

101-1-6  
ERIC AND KATHLEEN DARBY IRREVOCABLE TRUST ✓  
24 WELLINGTON AVE  
HAVERHILL, MA 01830

~~101-1-6A-3~~  
DOUGLAS R LOCKE REV TRUST  
PO BOX 220  
BOXFORD, MA 01921  
*duplicate*

~~101-1-6A-6~~  
DOUGLAS R LOCKE REV TRUST  
PO BOX 220  
BOXFORD, MA 01921

102-7-12  
150 MERRIMACK STREET REALTY LLC ✓  
150 MERRIMACK ST  
HAVERHILL, MA 01830

103-2-1  
FREEMASONS HALL ASSOCIATES ✓  
P O BOX 603  
HAVERHILL, MA 01831

~~103-2-4~~  
LENY, LLC  
326 HAVEN ST  
READING, MA 01867  
*duplicate*

~~103-3-1B~~  
CITY OF HAVERHILL  
4 SUMMER ST  
HAVERHILL, MA 01830  
*duplicate*

106-8-9A  
THE FAMILY MUTUAL SAVINGS BANK ✓  
380 WELLINGTON ST  
LONDON, ON N6A4S4

101-1-12  
ELA LLC ✓  
126 MERRIMACK ST  
HAVERHILL, MA 01830

~~101-1-4~~  
L'ARCHE BOSTON NORTH, INC  
53 WINGATE ST  
HAVERHILL, MA 01832  
*duplicate*

101-1-6A-1  
DOUGLAS R LOCKE REV TRUST ✓  
PO BOX 220  
BOXFORD, MA 01921

~~101-1-6A-4~~  
DOUGLAS R LOCKE REV TRUST  
PO BOX 220  
BOXFORD, MA 01921  
*duplicate*

101-1-6A-7  
PACE WILLIAM V ✓  
6 MERRIMACK PLACE  
HAVERHILL, MA 01830

102-7-18  
HAVERHILL CO-OPERATIVE ✓  
180 MERRIMACK ST  
HAVERHILL, MA 01830

103-2-2-1  
MERRIMACK STREET PROPERTY 1, LLC ✓  
290 MERRIMACK ST, 2ND FLOOR  
LAWRENCE, MA 01843

103-2-5  
99-103 MERRIMACK STREET HAVERH REALTY TRUST ✓  
7 PARTRIDGE HILL RD  
ANDOVER, MA 01810

106-8-4A  
BIG BLUE NOMINEE TRUST ✓  
163 MERRIMACK ST  
HAVERHILL, MA 01830

106-9-11  
ATLANTIS VENTURES, LLC ✓  
P.O. BOX 31  
HAVERHILL, MA 01831

106-9-14  
SEVENTY BAILEY PARTNERS, LLC ✓  
70 BAILEY BOULEVARD  
HAVERHILL, MA 01830

106-9-24  
DAVINCI MINI APARTMENTS, LLC ✓  
55 AVON ST  
LAWRENCE, MA 01843

106-9-15  
BAILEY BLVD REALTY TR ✓  
60 BAILEY BLVD  
HAVERHILL, MA 01830

106-9-3  
~~AG PALMDALE REAL OWNERS, LLC~~  
~~2211 MICHELSON DR, Unit 200~~  
~~IRVINE, CA 92612~~ *duplicate*

106-9-20  
LUING GROWTH, LLC ✓  
109 HIGHLAND AV  
NEEDHAM, MA 02492

106-9-5  
TD BANKNORTH, N.A. ✓  
600 ATRIUM WAY  
MOUNT LAUREL, NJ 08054

A	B	C	D	E	F	G	H	I	J	K
ParcelID	StreetNum/AltStreetN	StreetName	LocCity	CondoUnit	Owner1	BillingAddress	City	State	Zip	
1	101-1-1	MERRIMACK ST	HAVERHILL		MERRIMACK REALTY TRUST	76 MERRIMACK ST SUITE 19	HAVERHILL	MA	01830	
2	101-1-11	MERRIMACK ST	HAVERHILL		WALCOTT CORP	1050 COMMONWEALTH AVE	BOSTON	MA	02215	
3	101-1-12	MERRIMACK ST	HAVERHILL		ELA LLC	126 MERRIMACK ST	HAVERHILL	MA	01830	
4	101-1-17	MERRIMACK ST	HAVERHILL		BRIGHAM CIRCLE TRUST	75 OAK STREET	NEWTON	MA	02464	
5	101-1-17A	MERRIMACK ST	HAVERHILL		118 MERRIMACK STREET IRREVOCAB	38 SHERWOOD DR	HAVERHILL	MA	01835	
6	101-1-4	MERRIMACK ST	HAVERHILL		L'ARCHE BOSTON NORTH, INC	53 WINGATE ST	HAVERHILL	MA	01832	
7	101-1-5	MERRIMACK ST	HAVERHILL		L'ARCHE BOSTON NORTH, INC	53 WINGATE ST	HAVERHILL	MA	01832	
8	101-1-6	MERRIMACK ST	HAVERHILL		ERIC AND KATHLEEN DARBY IRREVOCABLE TRUST	24 WELLINGTON AVE	HAVERHILL	MA	01830	
9	101-1-6A-1	MERRIMACK PL	HAVERHILL	1	DOUGLAS R LOCKE REV TRUST	PO BOX 220	BOXFORD	MA	01921	
10	101-1-6A-2	MERRIMACK PL	HAVERHILL	2	DOUGLAS R LOCKE REV TRUST	PO BOX 220	BOXFORD	MA	01921	
11	101-1-6A-3	MERRIMACK PL	HAVERHILL	3	DOUGLAS R LOCKE REV TRUST	PO BOX 220	BOXFORD	MA	01921	
12	101-1-6A-4	MERRIMACK PL	HAVERHILL	4	DOUGLAS R LOCKE REV TRUST	PO BOX 220	BOXFORD	MA	01921	
13	101-1-6A-5	MERRIMACK PL	HAVERHILL	5	LOCKE DOUGLAS R	PO BOX 220	BOXFORD	MA	01921	
14	101-1-6A-6	MERRIMACK PL	HAVERHILL	6	DOUGLAS R LOCKE REV TRUST	PO BOX 220	BOXFORD	MA	01921	
15	101-1-6A-7	MERRIMACK PL	HAVERHILL	7	PAGE WILLIAM V	6 MERRIMACK PLACE	HAVERHILL	MA	01830	
16	102-7-11	MERRIMACK ST	HAVERHILL		AG PALMDALE REAL OWNERS, LLC	2211 MICHELSON DR, Unit 200	IRVINE	CA	92612	
17	102-7-12	MERRIMACK ST	HAVERHILL		150 MERRIMACK STREET REALTY LLC	150 MERRIMACK ST	HAVERHILL	MA	01830	
18	102-7-18	MERRIMACK ST	HAVERHILL		HAVERHILL CO-OPERATIVE	180 MERRIMACK ST	HAVERHILL	MA	01830	
19	102-7-20	MERRIMACK ST	HAVERHILL		CITY OF HAVERHILL	4 SUMMER ST	HAVERHILL	MA	01830	
20	103-2-1	MERRIMACK ST	HAVERHILL		FREEMASONS HALL ASSOCIATES	P O BOX 603	HAVERHILL	MA	01831	
21	103-2-2-1	PARK WAY	HAVERHILL		MERRIMACK STREET PROPERTY 1, LLC	290 MERRIMACK ST, 2ND FLOOR	LAWRENCE	MA	01843	
22	103-2-3	MERRIMACK ST	HAVERHILL		LENY, LLC	326 HAVEN ST	READING	MA	01867	
23	103-2-4	MERRIMACK ST	HAVERHILL		LENY, LLC	326 HAVEN ST	READING	MA	01867	
24	103-2-5	MERRIMACK ST	HAVERHILL		99-103 MERRIMACK STREET HAVERH, REALTY TRUST	7 PARTRIDGE HILL RD	ANDOVER	MA	01810	
25	103-3-1	BAILEY B BLVD	HAVERHILL		CITY OF HAVERHILL	4 SUMMER ST	HAVERHILL	MA	01830	
26	103-3-1B	PARK WAY	HAVERHILL		CITY OF HAVERHILL	4 SUMMER ST	HAVERHILL	MA	01830	
27	106-8-4A	MERRIMACK ST	HAVERHILL		BIG BLUE NOMINEE TRUST	163 MERRIMACK ST	HAVERHILL	MA	01830	
28	106-8-9	BAILEY B BLVD	HAVERHILL		TD BANKNORTH, N.A.	4140 CHURCH RD	HAVERHILL	MA	01830	
29	106-8-9A	WEST ST	HAVERHILL		THE FAMILY MUTUAL SAVINGS BANK	380 WELLINGTON ST	MOUNT LAUREL	NJ	08054	
30	106-9-11	21 WEST ST	HAVERHILL		ATLANTIS VENTURES, LLC	P.O. BOX 31	LONDON	ON	N6A4S4	
31	106-9-14	BAILEY B BLVD	HAVERHILL		SEVENTY BAILEY PARTNERS, LLC	70 BAILEY BOULEVARD	HAVERHILL	MA	01831	
32	106-9-15	BAILEY B BLVD	HAVERHILL		BAILEY BLVD REALTY TR	60 BAILEY BLVD	HAVERHILL	MA	01830	
33	106-9-20	HOW ST	HAVERHILL		LUING GROWTH, LLC	109 HIGHLAND AV	HAVERHILL	MA	01830	
34	106-9-24	MERRIMACK ST	HAVERHILL		DAVINCI MINI APARTMENTS, LLC	55 AVON ST	NEEDHAM	MA	02492	
35	106-9-3	MERRIMACK ST	HAVERHILL		AG PALMDALE REAL OWNERS, LLC	2211 MICHELSON DR, Unit 200	LAWRENCE	MA	01843	
36	106-9-5	MERRIMACK ST	HAVERHILL		TD BANKNORTH, N.A.	600 ATRIUM WAY	IRVINE	CA	92612	
37							MOUNT LAUREL	NJ	08054	

2025 FEB 24 AM 10:04  
 2025 FEB 24 AM 10:04

2025 FEB 24 AM 10:04  
 2025 FEB 24 AM 10:04

## Kaitlin Wright

---

**From:** North of Boston <noreply@wave2adportal.com>  
**Sent:** Wednesday, February 4, 2026 10:09 AM  
**To:** CityClerk  
**Cc:** cmacdonald@northofboston.com; Kaitlin Wright  
**Subject:** Thank you for placing your order with us.

**Warning! External Email. Exercise caution when opening attachments or clicking on any links.**  
**THANK YOU for your notice submission!**

This is your confirmation that your order has been submitted. Below are the details of your transaction. Please save this confirmation for your records.

### Job Details

Order Number:  
**W0141470**  
Business Type:  
All Other Public Notices  
Notice Size:  
Public Notices  
Notice Estimate:  
\$161.54  
Referral Code:  
**CCSP-26 121 Merrimack St.**

### Account Details

Haverhill Clerk  
4 SUMMER ST STE 118  
HAVERHILL, MA □ 01830  
978-374-2312  
cityclerk@cityofhaverhill.com  
HAVERHILL CITY CLERK

### Schedule for notice number W01414700

**Thu Mar 5, 2026**  
**Haverhill Gazette Public Notices**  
*All Zones*  
**Thu Mar 12, 2026**  
**Haverhill Gazette Public Notices**  
*All Zones*

**February 2, 2026**  
**PUBLIC HEARING**  
**City Council Chambers, City Hall,**  
**Room 202, 4 Summer St**

Notice is hereby given that a hearing will be held for all parties interested, in a hybrid meeting (in person/virtual), on Tuesday March 24, 2026 at 7:00 PM on a request (CCSP-26-1) from Jony Perez of Davinci Mini Apartments, LLC and Davinci Child Center, LLC requesting to convert a currently unoccupied building to a daycare program on first floor (allowed by right in Zoning Code) and 12 apartments units (six two-bedrooms and six one-bedrooms) on the top three floors at 121 Merrimack St in the Waterfront (WD-C) District.

**(Residents who are interested in commenting on this item can either (1) Attend in person (Council Chambers, Room 202) or (2) Attend remotely using the link provided on the public meeting calendar on the City's website.)**

Description of area, maps and plans are on file in the City Clerk's Office.

Kaitlin M. Wright, CMC  
City Clerk  
HG - Publication Dates

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## Planning Director Review

Record No. CCSP-26-1

Status Completed

Became Active January 9, 2026

Type Approval

Due Date None

Assignee Jacki Byerley

### Record No: CCSP-26-1

City Council Special Permit

Status: Stopped

Submitted On: 1/9/2026

## Messages

**Jacki Byerley**

January 14, 2026 at 3:13 pm

Please call me to set up time to meet to review.

**Alicia McCracken**  Internal

January 15, 2026 at 12:51 pm

Meeting scheduled 1/27/26 at 10:00am. Applicant has confirmed.

**Jacki Byerley**

January 27, 2026 at 12:54 pm

When the application is deemed complete and a public hearing is schedule the applicant needs to provide a site plan with parking, child drop off and pick up areas, staff parking, lighting and landscaping. Follow Section 9.3 for district and plan requirements.

**Jacki Byerley**

February 3, 2026 at 7:53 am

Can be placed on Council agenda for hearing. Submission of site plan and supplemental information as requested at meeting and in this workflow will be necessary as this moves through the hearing process.

**Jacki Byerley**

February 13, 2026 at 11:37 am

In accordance with the Zoning Ordinance Section 10.8 a Site Plan approval from the Planning Board for a child-care is required. Please apply online at <https://haverhillma.portal.opengov.com/categories/1081>

**Jacki Byerley**

April 17, 2026 at 3:05 pm

Because the deadline to appear on the May 13 Planning Board agenda for Site Plan Review of the proposed child-care use has passed, that portion of the application cannot be reviewed in time for City Council action on May 19. As a result, the City Council cannot act on the special permit at its May 19 public hearing if it includes the child-care component. However, if the child-care request is removed from the application, the Council may proceed with consideration of the remaining special permit on that date; otherwise, a continuance to a June meeting will be recommended.

**Jacki Byerley**

May 14, 2026 at 1:54 pm

Applicant has submitted an application with the Planning Board to be reviewed at their July 8th meeting, if Council is inclined to continue this public hearing a suggested date would be July 14th.



## Confirmation of Complete Application

Record No. CCSP-26-1

Status Completed

Became Active February 2, 2026

Type Approval

Due Date None

Assignee Kaitlin Wright

### Record No: CCSP-26-1

City Council Special Permit

Status: Active

Submitted On: 1/9/2026

### Applicant



Jony Perez



978-375-0639



@ jony\_perez@hotmail.com



121 Merrimack Street

Haverhill, MA 01830

### Messages

No comments yet.



## City Clerk Review – Hearing Dates Set

Record No. CCSP-26-1

Status Completed

Became Active February 2, 2026

Type Approval

Due Date None

Assignee Kaitlin Wright

### Record No: CCSP-26-1


City Council Special Permit


Status: Active


Submitted On: 1/9/2026

#### Applicant

 Jony Perez

 978-375-0639

 jony\_perez@hotmail.com

 121 Merrimack Street

Haverhill, MA 01830

## Messages

**Kaitlin Wright**

January 12, 2026 at 12:28 pm

Please provide a written summary of your project that details the work for this project as well as file documentation demonstration how the project complies with the City Council rules and regulations for special permits (see doc 92-B attached) by providing all information necessary for Council to make the required findings detailed in the rules. The City Council retains the right to reject as incomplete any application which does not address the applicable review criteria. Detailed narratives shall be filed with the application to accomplish this requirement.

**Jony Perez**

January 12, 2026 at 3:08 pm

We will address this documents immediately. Thank you!

**Kaitlin Wright**

January 22, 2026 at 2:57 pm

Jony, I see you have uploaded a written summary - thank you. Please note, this application is not deemed complete at this time as you have not provided a narrative that addresses the rules and regulations for special permits as outlined in City Council doc 92-B of 2024 (attached). Please review the attachment and provide documentation relative to doc 92-B. We cannot move forward with a hearing date until this is addressed.

**Jony Perez**

January 22, 2026 at 3:14 pm

Our team has a scheduled meeting for the 27th of January in the morning. We need guidance as regards to the rules and regulations for special permits as outlined in City Council doc 92-B of 2024, and we are hoping we can get more information at the meeting.

**Kaitlin Wright**

January 22, 2026 at 3:59 pm

I will be in attendance at the meeting. However, in the meantime, I ask that you review the document I have attached to gain an understanding of what is required under doc 92-B of 2024.

**Kaitlin Wright**

January 27, 2026 at 11:58 am

Good morning, please see most recent attachment for an electronic copy of a properly executed description of project outlined in doc 92-B of 2024 as part of the City Council's rules and regulations. A hard copy of the same document, as well as a hard copy of doc 92-b was provided to applicant in

meeting this morning. Please note, your application is not deemed "filed" until this is provided and we will not move forward with a hearing date until this is submitted to our office.

**Kaitlin Wright**

February 2, 2026 at 12:21 pm

Hearing will be announced at February 10th meeting for a March 24th hearing date.



## Conservation Department Review

Record No. CCSP-26-1

Status Completed

Became Active February 2, 2026

Type Approval

Due Date None

Assignee Robert Moore

### Record No: CCSP-26-1

City Council Special Permit

Status: Active

Submitted On: 1/9/2026

### Applicant



Jony Perez



978-375-0639



jony\_perez@hotmail.com



121 Merrimack Street

Haverhill, MA 01830

### Messages

Robert Moore

February 2, 2026 at 3:31 pm

n/a



## Engineering Department Review

Record No. CCSP-26-1

Status Completed

Became Active February 2, 2026

Type Approval

Due Date None

Assignee Tara Lynch

### Record No: CCSP-26-1

City Council Special Permit

Status: Active

Submitted On: 1/9/2026

#### Applicant



Jony Perez



978-375-0639



jony\_perez@hotmail.com



121 Merrimack Street

Haverhill, MA 01830

#### Messages

Tara Lynch

February 2, 2026 at 2:35 pm

The attached certified plot plan shows existing utilities where the addition is proposed, including a catch basin and associated drain line that would need to be removed.

Should the Special Permit be granted Engineering looks forward to the Development Review stage to ensure all applicable codes and standards are met.



## Fire2 Department Review

Record No. CCSP-26-1

Status Completed

Became Active February 2, 2026

Type Approval

Due Date None

Assignee Robert Irvine

### Record No: CCSP-26-1

City Council Special Permit

Status: Active

Submitted On: 1/9/2026

### Applicant



Jony Perez



978-375-0639



jony\_perez@hotmail.com



121 Merrimack Street

Haverhill, MA 01830

## Messages

**Robert Irvine**

February 2, 2026 at 12:46 pm

Snow storage will be an issue with the lot. Access in and out of the lot with a single entrance and exit will be a safety issue between parking, the play area for the children and dumpster storage and emptying. If the dumpster storage is within 10' of the building a sprinkler system shall need to be designed into the buildings sprinkler system. The children's play area shall require crash protection separating the play are from vehicle traffic in the parking lot.

**Jony Perez**

February 20, 2026 at 12:06 pm

Hi Robert, We are updating the site plan to address these concerns. New site plan should be uploaded next week. Thank you!



## Health Department Review

Record No. CCSP-26-1

Status Completed

Became Active February 2, 2026

Type Approval

Due Date None

Assignee Mark Tolman

## Record No: CCSP-26-1

City Council Special Permit

Status: Active

Submitted On: 1/9/2026

### Applicant



Jony Perez



978-375-0639



jony\_perez@hotmail.com



121 Merrimack Street

Haverhill, MA 01830

## Messages

**Mark Tolman**

February 13, 2026 at 9:32 am

Dumpster area located in rear corner of the building.

Dumpster must be kept away from the building and meet all other health, fire and building codes.

State will be licensing and inspecting the day care program.

**Jony Perez**

February 20, 2026 at 12:03 pm

Hi Mark, we are updating the site plan to comply with the request of keeping dumpster away from building. New site plan will be updated next week.

Thank you.

Also, the childcare program will be licensed and inspected by Massachusetts EEC.



## School Department Review

Record No. CCSP-26-1

Status Completed

Became Active February 2, 2026

Type Approval

Due Date None

Assignee HPS Superintendent

### Record No: CCSP-26-1

City Council Special Permit

Status: Active

Submitted On: 1/9/2026

### Applicant



Jony Perez



978-375-0639



@ jony\_perez@hotmail.com



121 Merrimack Street

Haverhill, MA 01830

### Messages

No comments yet.



## Water Supply Review

Record No. CCSP-26-1

Status Completed

Became Active February 2, 2026

Type Approval

Due Date None

Assignee Robert Ward

### Record No: CCSP-26-1

City Council Special Permit

Status: Active

Submitted On: 1/9/2026

### Applicant



Jony Perez



978-375-0639



@ jony\_perez@hotmail.com



121 Merrimack Street

Haverhill, MA 01830

### Messages

No comments yet.



## First Ad Placement

Record No. CCSP-26-1

Status Completed

Became Active February 2, 2026

Type Approval

Due Date None

Assignee Kaitlin Wright

## Record No: CCSP-26-1

City Council Special Permit

Status: Active

Submitted On: 1/9/2026

## Applicant



Jony Perez



978-375-0639



jony\_perez@hotmail.com



121 Merrimack Street

Haverhill, MA 01830

## Messages

Kaitlin Wright

February 2, 2026 at 12:24 pm

@Natalia Hernandez Advertise for March 5th and 12th in the Gazette, with abutter notification going out in the mail on March 5th.



## Placed on Agenda

Record No. CCSP-26-1

Status Completed

Became Active Unknown

Type Approval

Due Date None

Assignee Kaitlin Wright

## Record No: CCSP-26-1

City Council Special Permit

Status: Active

Submitted On: 1/9/2026

### Applicant



Jony Perez



978-375-0639



jony\_perez@hotmail.com



121 Merrimack Street

Haverhill, MA 01830

## Messages

Kaitlin Wright

March 18, 2026 at 10:31 am

Hearing announced at February 10th meeting for a March 24th hearing date.



## Abutter Notification

Record No. CCSP-26-1

Status Completed

Became Active March 18, 2026

Type Approval

Due Date None

Assignee Kaitlin Wright

## Record No: CCSP-26-1

City Council Special Permit

Status: Active

Submitted On: 1/9/2026

### Applicant



Jony Perez



978-375-0639



jony\_perez@hotmail.com



121 Merrimack Street

Haverhill, MA 01830

## Messages

Kaitlin Wright

February 2, 2026 at 12:24 pm

Advertise for March 5th and 12th in the Gazette, with abutter notification going out in the mail on March 5th.



## Second Ad Placement

Record No. CCSP-26-1

Status Completed

Became Active February 2, 2026

Type Approval

Due Date None

Assignee Kaitlin Wright

## Record No: CCSP-26-1

City Council Special Permit

Status: Active

Submitted On: 1/9/2026

### Applicant



Jony Perez



978-375-0639



@ jony\_perez@hotmail.com



121 Merrimack Street

Haverhill, MA 01830

## Messages

Kaitlin Wright

February 2, 2026 at 12:24 pm

Advertise for March 5th and 12th in the Gazette, with abutter notification going out in the mail on March 5th.

**NOTES**

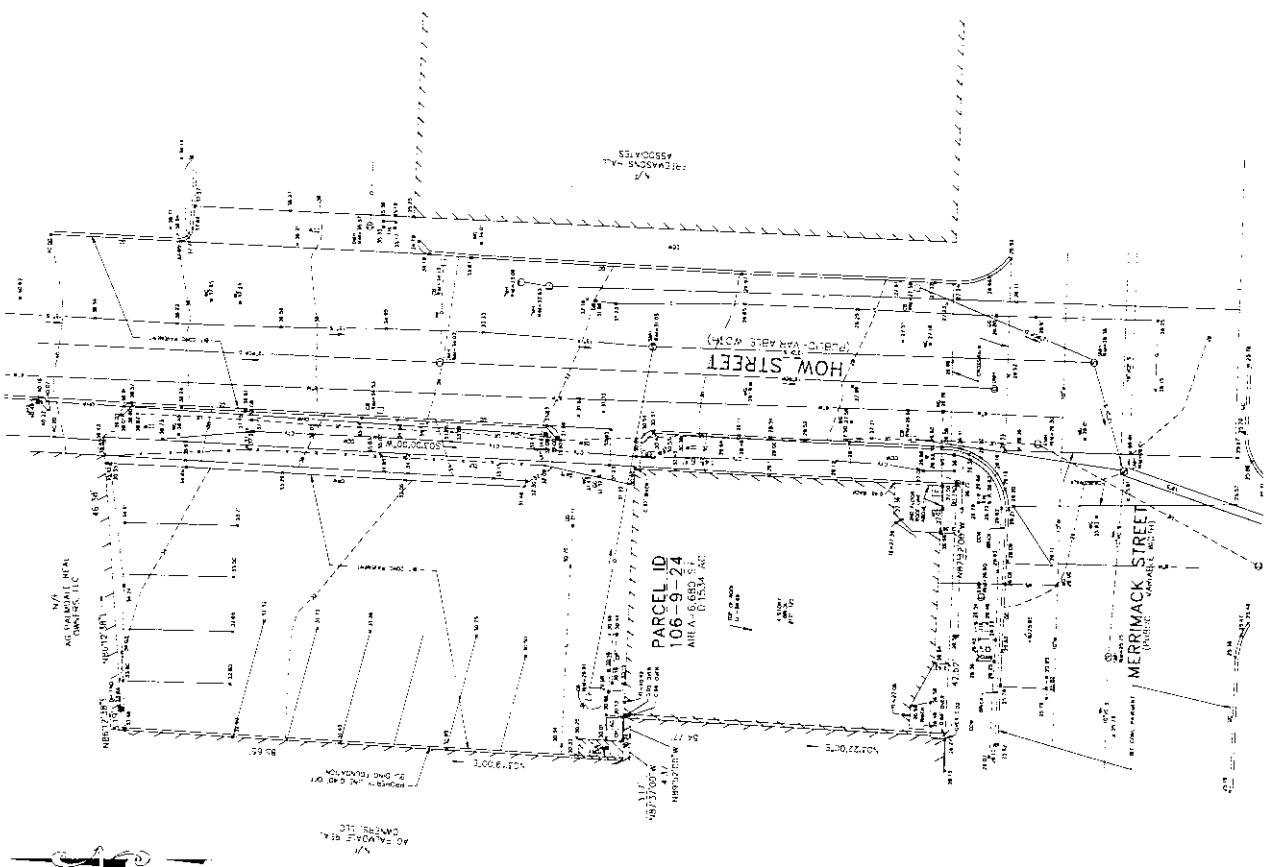
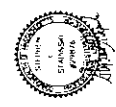
- SEE CITY OF HAVERHILL PARCEL ID #06-9-24. DEED BOOK #1123 PAGE #7A AND PLAN #293 ON 1977 SURVEY S.E. NORTH BASED ON TOWN PLAN.
- TOPOGRAPHIC DATA NAVORS ESTABLISHED BY BIRK O'S.
- POINTS FROM THE D. JONNY AND RECORD PLANS.

**LEGEND**

- ① D11 IRON PIPE
- ② D12 IRON PIPE
- ③ D13 IRON PIPE
- ④ D14 IRON PIPE
- ⑤ D15 IRON PIPE
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- ⑦ D97 IRON PIPE
- ⑧ D98 IRON PIPE
- ⑨ D99 IRON PIPE
- ⑩ D100 IRON PIPE

**PLAN OF LAND**  
 IN  
**HAVERHILL, MASSACHUSETTS**  
 PREPARED FOR  
**DAVINCI MINI APARTMENTS**  
**C/O JONNY PEREZ**  
 55 AVON STREET  
 LAWRENCE, MASSACHUSETTS 01841  
 DATE: SEPTEMBER 15, 2005

SCALE: 1" = 10'  
 0' 5' 10' 20' 30'  
 MERRIMACK ENGINEERING SERVICES  
 66 PARK STREET  
 LAWRENCE, MASSACHUSETTS 01845  
 PHONE: 978-673-3555 FAX: (978) 475-1440  
 EMAIL: MERRIMACK@MERRIMACK.COM



# **Zoning Solutions, Inc.**

836 Washington Street, P.O. Box 850270, Braintree, MA 02185  
781-848-0040 ~ FAX 781-380-4136

## **ZONING CERTIFICATE**

**Date:** May 28, 2025

This certificate was compiled from public records obtained and reviewed by Zoning Solutions, Inc. regarding the zoning requirements and limitations for this property.

**Subject Property:**

119 – 125 Merrimack Street, Haverhill, MA

**Zoning District:**

Waterfront District C (WD-C) District

See attached zoning map & index

**Permitted Uses:**

Multi-Family dwelling is permitted

Mixed-use development is permitted with residential above first floor commercial

Accessory parking is permitted

Office, Retail and Barber/Beauty shop is a permitted use

Restaurant and coffee shop is permitted

See attached Use Table for additional permitted uses

See attached assessor records confirming the property is a mixed-use building built in 1880. The existing use is permitted.

Dimensional/ Open Space Requirements: See Table 2

**Other relevant records attached:**

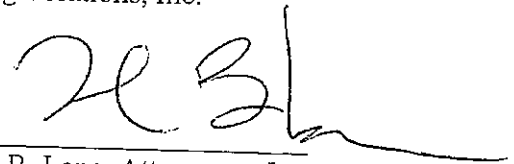
1. Use Table;
2. Dimensional table;
3. Zoning map and map index
4. Parking Table
5. Assessor record

This Zoning Certificate is not a title insurance product or a legal zoning opinion, but a limited representation to the zoning district and permitted uses therein for the property according to the provisions of the City of Haverhill public records as amended through May 28, 2025. Zoning Solutions, Inc. has relied upon the authenticity and accuracy of the representations and documentation provided to Zoning Solutions, Inc. by representatives at Haverhill City Hall in making this certification.

If this certificate raises zoning issues not clearly explained by the enclosed documentation, please contact the undersigned immediately.

Zoning Solutions, Inc.

By:

A handwritten signature in black ink, appearing to read 'DL', with a long horizontal flourish extending to the right.

David B. Lane, Attorney at Law

Enclosures

105-9-3  
 105 Map Block Lot  
 3 Lot  
 9 Block  
 127 MERRIMACK ST  
 HAVERHILL, MA 01830

City of Haverhill  
 Building Location 127 MERRIMACK ST

Card: 1 of 1  
 Total Parcel 431,000 /  
 APPR 431,000 /  
 USE + IMP 431,000 /  
 USE LAND 0 /  
 ASSESSED 431,000 /  
 431,000

100-9-3  
 Parcel ID  
 IN PROCESS APPRAISAL SUMMARY

Use Code	Building Val	Land Val	Land Size	Yard Items	Total Val
325	89,900	341,100	0.16	0	431,000
<b>Building Total</b>	<b>89,900</b>	<b>341,100</b>	<b>0.16</b>	<b>0</b>	<b>431,000</b>
<b>Parcel Total</b>	<b>89,900</b>	<b>341,100</b>	<b>0.16</b>	<b>0</b>	<b>431,000</b>
<b>Source</b>	<b>0 - 1st Adj Cost</b>	<b>Tot Val SF/Prcl</b>	<b>20.43</b>	<b>Tot Val SF/Prcl</b>	<b>20.43</b>

OWNERSHIP  
 AG PALMDALE REAL OWNERS, LLC  
 C/O GREENLAW PARTNERS  
 18301 VON KARMAN AVE, STE 250  
 IRVINE, CA 92612-0000

PREVIOUS ASSESSMENTS  
 Tx Yr Cal Use Bid Value Land Size Yard Items Total Appr Land Val Date

Tx Yr	Cal	Use	Bid Value	Land Size	Yard Items	Total Appr	Land Val	Date
2025	FV	325	89,900	0.16185	0	431,000	341,100	12/16/2024
2024	FV	325	86,200	0.16185	0	411,000	324,800	12/13/2023
2023	FV	325	81,300	0.16185	0	369,900	308,600	12/19/2022
2022	FV	325	66,800	0.16185	0	337,500	270,700	12/09/2021
2021	FV	325	63,800	0.16185	0	326,600	259,800	12/11/2020
2020	FV	325	66,800	0.16185	0	326,600	259,800	12/12/2019
2019	FV	325	66,800	0.16185	0	326,600	259,800	12/11/2018
2017	FV	325	138,200	0.16185	0	354,700	216,500	12/14/2016
2016	FV	325	138,200	0.16185	0	354,700	216,500	12/16/2015
2015	FV	325	138,200	0.16185	0	354,700	216,500	12/15/2014

NARRATIVE DESCRIPTION  
 This parcel contains 7,050 SF of land mainly classified as STORE with a COMM BLOCK building built about 1880, having primarily BRICK Exterior and 21,100 Square Feet, with 2 Commercial Units, 2 Half Baths.

Code	Desc	Amnt	Comm Int/Amnt

LEGAL DESCRIPTION  
 Lot Size  
 Total Land  
 Land Unit Type

PROPERTY ID: 76

Legal Ref	Legal Ref	Type	Date	Verif	Notes
40829-13	133 MERRIMACK, LLC		03/30/2022	N	2022 SALE INC 102-7-11 & 102-7-21
36888-473	MERRYMAKE, LLC		07/26/2018	N	SALE 718 CASH-SOLD AS-IS
35581-580	NEWMAN NORMAN N		12/30/2016	C	
5998 160			02/06/1963	C	

SALES INFORMATION

Date	Number	Desc	Amount	Closed	Status	Type	Notes	Last Visit	By
12/21/1995	2011	ADD SIGN			C		112 BTH	01/24/1996	CHRIS WEBB
07/12/1994	35	MANUAL			C			04/12/2023	CHRIS WEBB
03/01/1993	597	MANUAL						10/30/2019	PETER KRAJES
06/01/1992	1185	MANUAL					ADD BATHRM	02/20/2018	ASSESSORS
05/10/1992	1150	MANUAL					FREINTRANC	07/11/2012	ASSESSORS
								02/25/2009	ASSESSORS
								07/23/2008	ASSESSORS
								03/30/2005	ASSESSORS
								03/30/2005	ASSESSORS
								04/04/2001	ASSESSORS
								01/24/1996	ASSESSOR MAP

BUILDING PERMITS

LUC Desc	All %	FL	# Units	Depth	U. Type	U. Type	Base V	Unit Prc	Adj Prc	NBC	FL	Mod	Int 1 %	Int 2 %	Int 3 %	Agr	AP 2 LUC %	Spec L.V.	Juris	L. FL	Assessed/Notes	
325 STORE		1	7,050		SF	SITE	015.75	15.75	11	1	1							0	0.00000			341,100
<b>Total AC/HA</b>			<b>0.16</b>																			<b>341,100</b>

LAND SECTION (325)

Code	Desc	Amnt	Comm Int/Amnt

PROPERTY FACTORS

USER DEFINED

Priority	Desc
Priority1a	
Priority2a	
Priority3a	
Priority1b	
Priority2b	
Priority3b	
Priority1c	
Priority2c	
Priority3c	
Assessor Map	

ACTIVITIES

Date	Result	By
04/16/2024	100	CHRIS WEBB
04/12/2023	100	CHRIS WEBB
10/30/2019	16	PETER KRAJES
02/20/2018	23	ASSESSORS
07/11/2012	100	STEVE GULLO
02/25/2009	23	ASSESSORS
07/23/2008	3	TYSON DIXON
03/30/2005	14	ASSESSORS
03/30/2005	23	ASSESSORS
04/04/2001	4	MICHAEL CASS
01/24/1996	15	IRVING TUNUITY

Disclaimer: This information is believed to be correct but is subject to change and is not guaranteed

Property: 76 | Bld: 75 | Seq: 1 | Year: 2025 | Data As Of Date: 04/25/2025 | User: apr0 | DB: Assess50-Haverhill\_MA\_RC

Parcel ID 106-9-3

Exterior Information

Table with exterior details: Type (4 - COMM BLOCK), Stry Height (0), Tot 2, (Liv) Units (0), Found (3 - BRICKSTONE), Frame (1 - WOOD), P. Wall (7 - BRICK), Sec Wall (18 - CORREG ST 2/5), Roof Str (4 - FLAT), Roof Cvr (4 - TAR+GRAVEL), Color (GREEN), View, Shape, Bid Name.

General Information

Table with general info: Grade (C - AVERAGE), Year Bld (1880), E/F/Yr, All LUC, Juris, Con Mod.

Interior Information

Table with interior details: Avg Ht/Ft (2 - PLASTER), P. Int Wall, Sec Int Wall, Partitions (L - TYPICAL), P. Floor (2 - SOFTWOOD), Sec Floor (4 - CARPET 25%), Bmt Floors, Sub Floors.

Condo Information

Table with condo details: Location, Tot Units, Floor (1 - 1ST FLOOR), % Own, Name.

Bath Features

Table with bath features: Full Bath (0 Ring), Add Full (0 Ring), 3/4 Bath (0 Ring), Add 3/4 (0 Ring), 1/2 Bath (2 Ring), Add 1/2 (0 Ring), Other Fix (3 Ring), P - POOR.

Other Features

Table with other features: Kitchens (0 Ring), Add Klt (0 Ring), Fireplaces (0 Ring), WS Flues (0 Ring).

Depreciation

Table with depreciation: Phys Con (66), Functional (25), Economic (25), Special (0), Override.

Remodeling

Table with remodeling details: Exterior (Interior, Add, Kitchen, Bath, Plumb, Electric, Heating, General), Rooms, Birms.

Res Breakdown

Table with res breakdown: Floor, No. Unit, Rooms, Birms, Depr, Depr'd Total, Junts Ft, Spec. Features, Lump Sum, Final Total, Override Val, Assmtl Fl, Assessed Val, Total \$SF, Underp \$/SF.

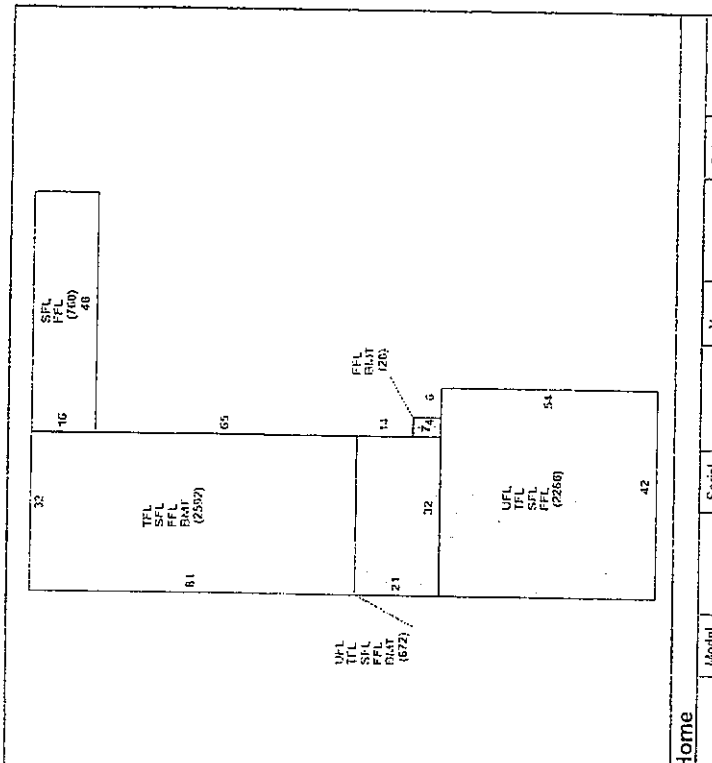
Calc Ladder

Table with calc ladder: Base Rate (75.00), Size Adj (0.88555), Con Adj (0.85026), Adj Prc (\$56.47), Grade Fl. (1.00000), Other Feat. (-\$8.811), NBH Mod (1.00000), NBC Inlt (1.00000), LUC Fl. (1.00000), Adj Tot. incs (470.167), Depr % (80.88%), Total (\$0.88%).

Comments

WL 4.23.23A.24A.26A. MAIN ACCESS LOCKED. HEIGHTS OF HAVERHILL - NEW CONDOAPTS. EXT. V. WORK. BOTH UNITS INT WIP. RECK 7/21

Sketch



Mobile Home

Table with mobile home details: Make, Model, Year, Color, S. Area, Alt Type, % All, Tenants, Qual, % U.

Sub Areas

Table with sub areas: Code, Desc, Gross A., Net Area, F. Area, Str Adj A., Rate AV, Undepr Val, S. Area, Alt Type, % All, Tenants, Qual, % U.

Comparable Sales

Table with comparable sales: Ring, Parcel ID, Type, Sale Date, Price, Ring, Parcel ID, Type, Sale Date, Price.

Special Features / Yard Items

Table with special features and yard items: Code, Desc, A, Y/S, Qty, Size, Qual, Con, Year, Unit Prc, DIS, Depr %, LUC, Fl, NBC, Fl, Juris, FI, Appr Val, Assessed, Image.



Disclaimer: This information is believed to be correct but is subject to change and is not guaranteed

### Parcel 106-9-24



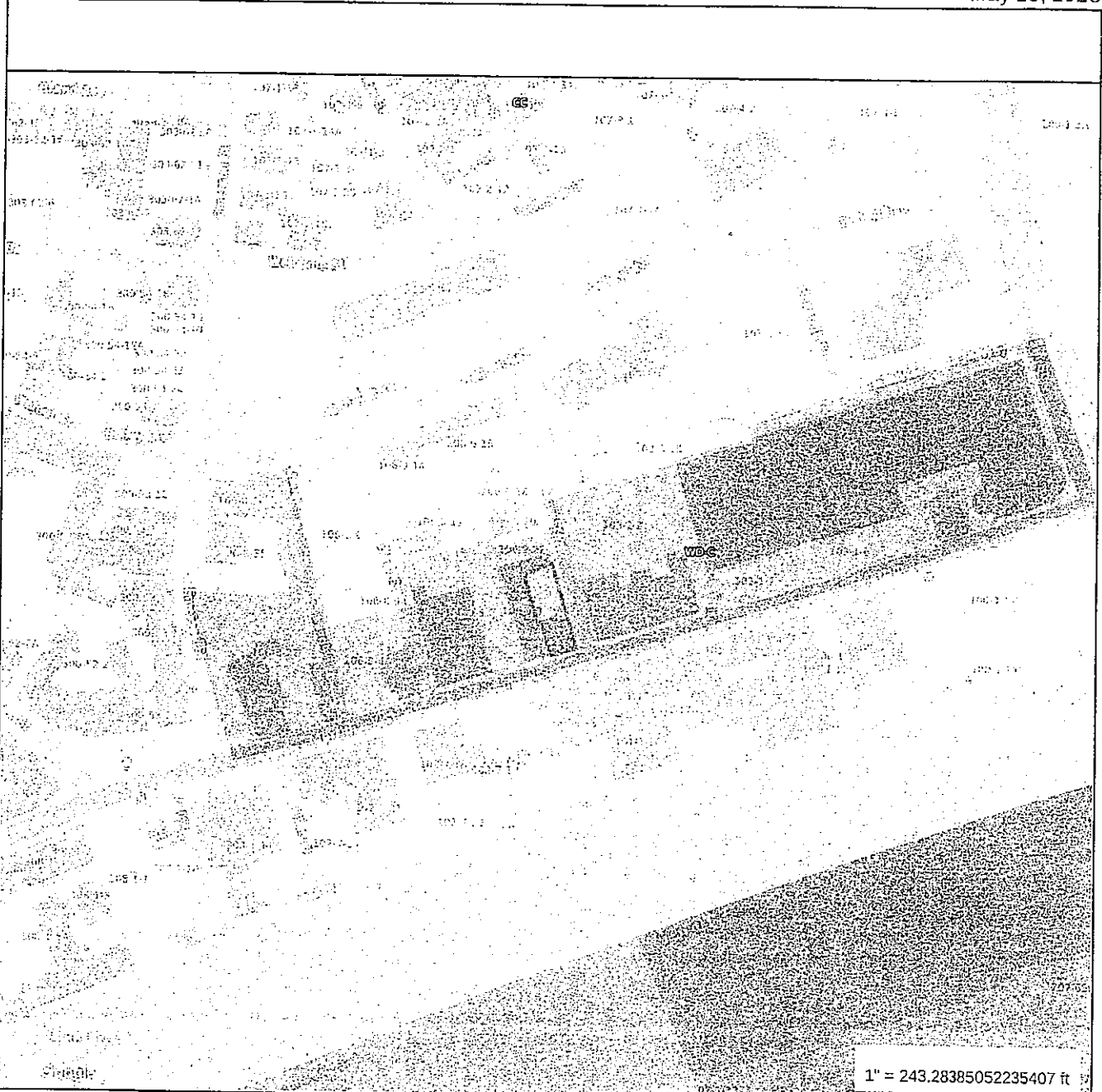
**Property Information**  
 Property ID 106-9-24  
 Location 119 MERRIMACK ST  
 Owner TEHRANI ABOLGHASSEM M ETUX



**MAP FOR REFERENCE ONLY  
 NOT A LEGAL DOCUMENT**

City of Haverhill, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.  
 Geometry updated February 5, 2019  
 Data updated February 4, 2019

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.



1" = 243.28385052235407 ft

**Property Information**  
Property ID 106-9-24  
Location 119 MERRIMACK ST  
Owner TEHRANI ABOLGHASSEM M ETUX



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Geometry updated February 5, 2019  
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Critical layout or measurement activities should not be done using this resource.

# Map Theme Legends

## Zoning

- WD-C - NORTH SIDE OF MERRIMACK STREET
- WD-D - SOUTH SIDE OF WATER STREET
- WD-E - OLD PAPERBOARD SITE AREA
- WD-F - INDUSTRIAL AREA, SOUTH SIDE OF MERRIMACK RIVER
- WD-G - RESIDENTIAL AREA, SOUTH SIDE OF MERRIMACK RIVER
- WD-H - NORTH SIDE OF RAILROAD AVENUE

SC - CONSERVATION

CC - CENTRAL

CG - GENERAL

CH - HIGHWAY

CM - MEDICAL SERVICES

CN - NEIGHBORHOOD

BP - BUSINESS PARK

IG - GENERAL

OP - OFFICE PARK

### RESIDENTIAL

RH - HIGH DENSITY

RL - LOW DENSITY

RM - MEDIUM DENSITY

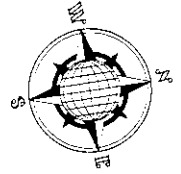
RR - RURAL DENSITY

RU - URBAN DENSITY

RC-AC - CAMPUS - ACADEMIC CENTER

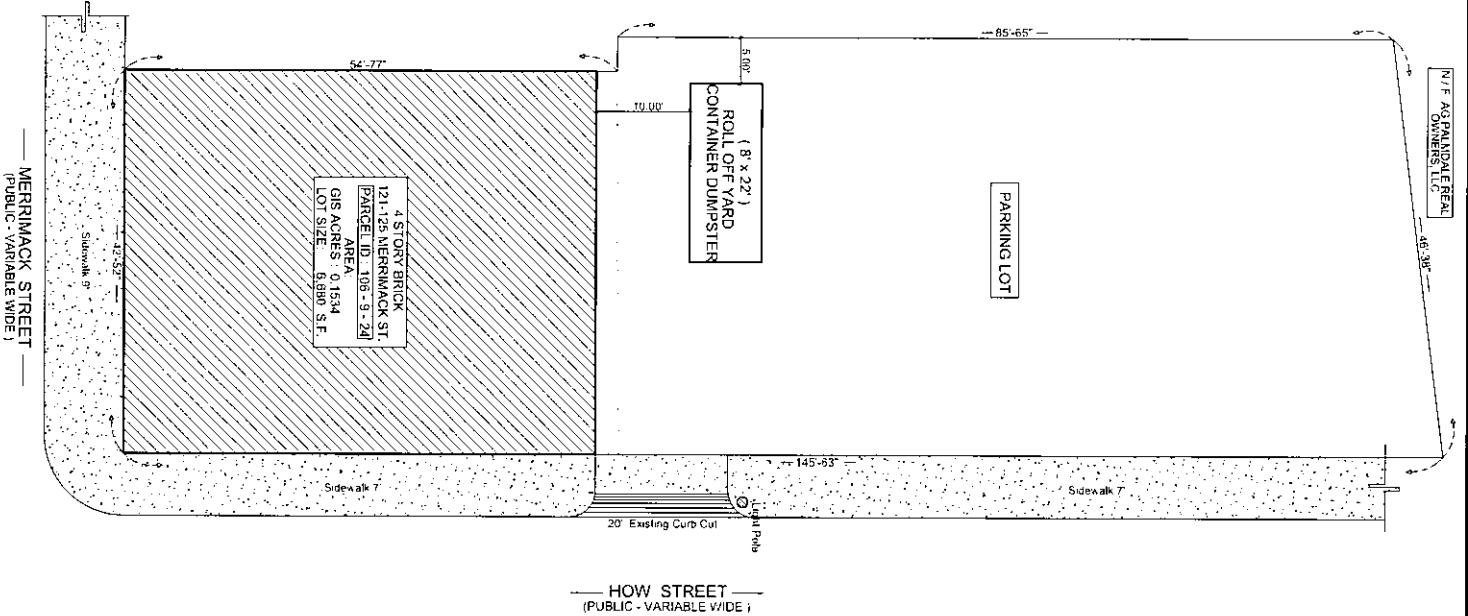
RC-CV - CAMPUS - CAMPUS VILLAGE

City of Haverhill



N / F  
AG PALMADALE REAL  
OWNERS, LLC

N / F  
AG PALMADALE REAL  
OWNERS, LLC



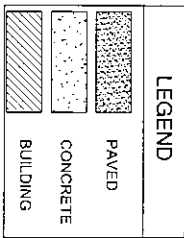
**NOTE:**

THE PURPOSE OF THIS PLAN IS TO LAYOUT EXISTING STRUCTURES, PROPOSED ADDITION AND IMPROVEMENT WORKS WITHIN THE PROPERTY BOUNDARIES AS SHOWN IN THE REFERENCE MAPS AND DEED. IT IS NOT INTENDED AS SURVEY TO SET AND/OR UPDATE PROPERTY LINES. CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS LATEST EDITION OF THE BUILDING CODE, THE BUILDING BOARD OF STANDARDS AND REGULATIONS AND THE CITY OF HAVERHILL ORDINANCES. CURB GRANITE PIECES MUST BE RECYCLED BY CITY'S DPW. CONTRACTOR MUST CALL CITY'S DPW FOR RECYCLING ARRANGEMENTS. SIDEWALK MUST BE RESURFACED WITH MATERIAL TO MATCH EXISTING, IF REQUIRED.

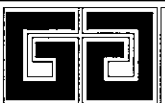
**REFERENCE DOCS & PLANS**

<b>GIS PARCEL INFORMATION</b>	
PARCEL ID :	106 - 9 - 24
GIS ACRES :	0.1534
<b>PROPERTY INFORMATION</b>	
PROPERTY ID :	106 - 9 - 24
OWNER :	DAVINCI MINI APTS / CO JONY PEREZ
ADDRESS :	125 MERRIMACK ST.
LOT SIZE :	6,680 S.F.
LAND USE CODE :	1110
LEGAL REFERENCE :	11123-454
ZONING :	NA
BLDG STYLE :	COMM BLOCK
STORIES :	4
YEAR BUILT :	1875
ASSESSOR MAP :	HaverhillAssessorMap194

**LEGEND**



**DIMENSIONAL SITE PLAN**  
SCALE: 1"=10'



**GJ DESIGN GROUP LLC**  
Assoc. AIA  
Professional Designer

118 WOODLAND ST LAWRENCE MA 01841  
978-691-2844 FAX 978-208-1335  
E-MAIL: lach07812@gmail.com  
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PROJECT: COMMERCIAL RESIDENTIAL BUILDING  
ADDRESS: 125 MERRIMACK ST. HAVERHILL MA 01830  
OWNER: DAVINCI MINI APTS-JONY PEREZ  
PETITIONER: DAVINCI MINI APTS-JONY PEREZ

REVIEWED BY:  
APPROVED BY:  
DRAWN BY: GILBERTO JIMENEZ  
DATE: 9/28/2025

DIMENSIONAL  
SITE PLAN  
SHEET 1 / 1

# PROJECT

## PROPOSED COMMERCIAL RESIDENTIAL BUILDING

119-125 MERRIMACK STREET, HAVERHILL MA 01830

OWNER: DAVINCI MINI APTS-JONY PEREZ

DRAWN BY: GILBERTO JIMENEZ

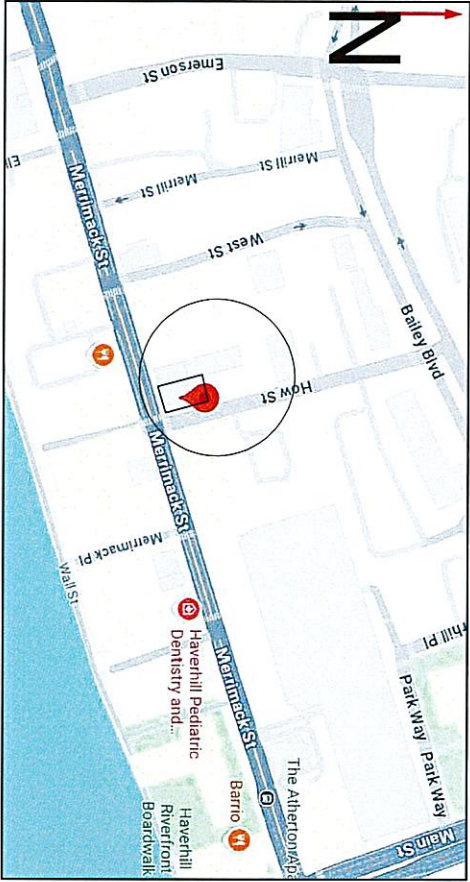
GJ DESIGN GROUP LLC

Assoc. AIA

Professional Designer

118 WOODLAND ST LAWRENCE MA 01841

TEL: 978-601-2644 E.M: lach.07812@gmail.com Fax: 978-208-1335



LOCUS MAP



119-125 MERRIMACK ST.

### APARTMENTS SCHEDULED:

SECOND FLOOR : 4 APARTMENTS	THIRD FLOOR : 4 APARTMENTS	FOURTH FLOOR : 4 APARTMENTS	OPTION A FOURTH FLOOR : 4 APARTMENTS
APARTMENT 201 1 BEDROOM 1 BATH 415.00 S.F.	APARTMENT 301 1 BEDROOM 1 BATH 415.00 S.F.	APARTMENT 401 1 BEDROOM 1 BATH 460.00 S.F.	APARTMENT 401 1 BEDROOM 1 BATH 460.00 S.F.
APARTMENT 202 1 BEDROOM 1 BATH 574.00 S.F.	APARTMENT 302 1 BEDROOM 1 BATH 574.00 S.F.	APARTMENT 402 1 BEDROOM 1 BATH 403.00 S.F.	APARTMENT 402 1 BEDROOM 1 BATH 403.00 S.F.
APARTMENT 203 2 BEDROOM 1 BATH 532.00 S.F.	APARTMENT 303 2 BEDROOM 1 BATH 532.00 S.F.	APARTMENT 403 2 BEDROOM 1 BATH 520.00 S.F.	APARTMENT 403 2 BEDROOM 1 BATH 520.00 S.F.
APARTMENT 204 1 BEDROOM 2 BATH 550.00 S.F.	APARTMENT 304 1 BEDROOM 2 BATH 550.00 S.F.	APARTMENT 404 1 BEDROOM 2 BATH 524.00 S.F.	APARTMENT 404 2 BEDROOM 2 BATH 524.00 S.F.
AREA: 2,071.00 S.F.	AREA: 2,071.00 S.F.	AREA: 1,907.00 S.F.	AREA: 1,907.00 S.F.

### GENERAL NOTES:

1. ALL WORK SHALL COMPLY WITH STATE AND LOCAL BUILDING CODES AND REGULATIONS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, INSURANCE, AND HOURLY FEES.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF THE PROJECT, INCLUDING BUT NOT LIMITED TO: ADAPTABLE SCHEDULING AND HAVING TO ENSURE SUCH SAFETY.
4. ALL DIMENSIONS AND SITE CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF HAVERHILL.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF HAVERHILL.
6. ALL DETAILS, SECTIONS, NOTES, OR REFERENCES TO OTHER DRAWINGS ARE REFERRED TO BE TYPICAL.
7. DURING CONSTRUCTION, AND PRIOR TO THE ENCLOSURE OF ANY CHANGES, REVISIONS, MODIFICATIONS OR DEVIATIONS TO THE ATTACHED CONTRACT DOCUMENTS, THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE BUILDING INSPECTOR AND ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF HAVERHILL.
8. SPECIFIC NOTES AND DETAILS SHALL BE PROVIDED TO THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF HAVERHILL.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF HAVERHILL.

### SCHEDULED GROSS AREA:

FIRST FLOOR PLAN COMMERCIAL	2,773.00 S.F.
SECOND FLOOR PLAN APARTMENTS	2,859.00 S.F.
THIRD FLOOR PLAN APARTMENTS	2,859.00 S.F.
FOURTH FLOOR PLAN APARTMENTS	2,653.00 S.F.
BASEMENT FLOOR PLAN	2,176.00 S.F.
TOTAL AREA:	13,320.00 S.F.

GENERAL SYMBOLS	
	ROOM
	ROOM TAG
	BREAK LINE
	WINDOW
	DOOR
	OBJECT ABOVE OR BELOW



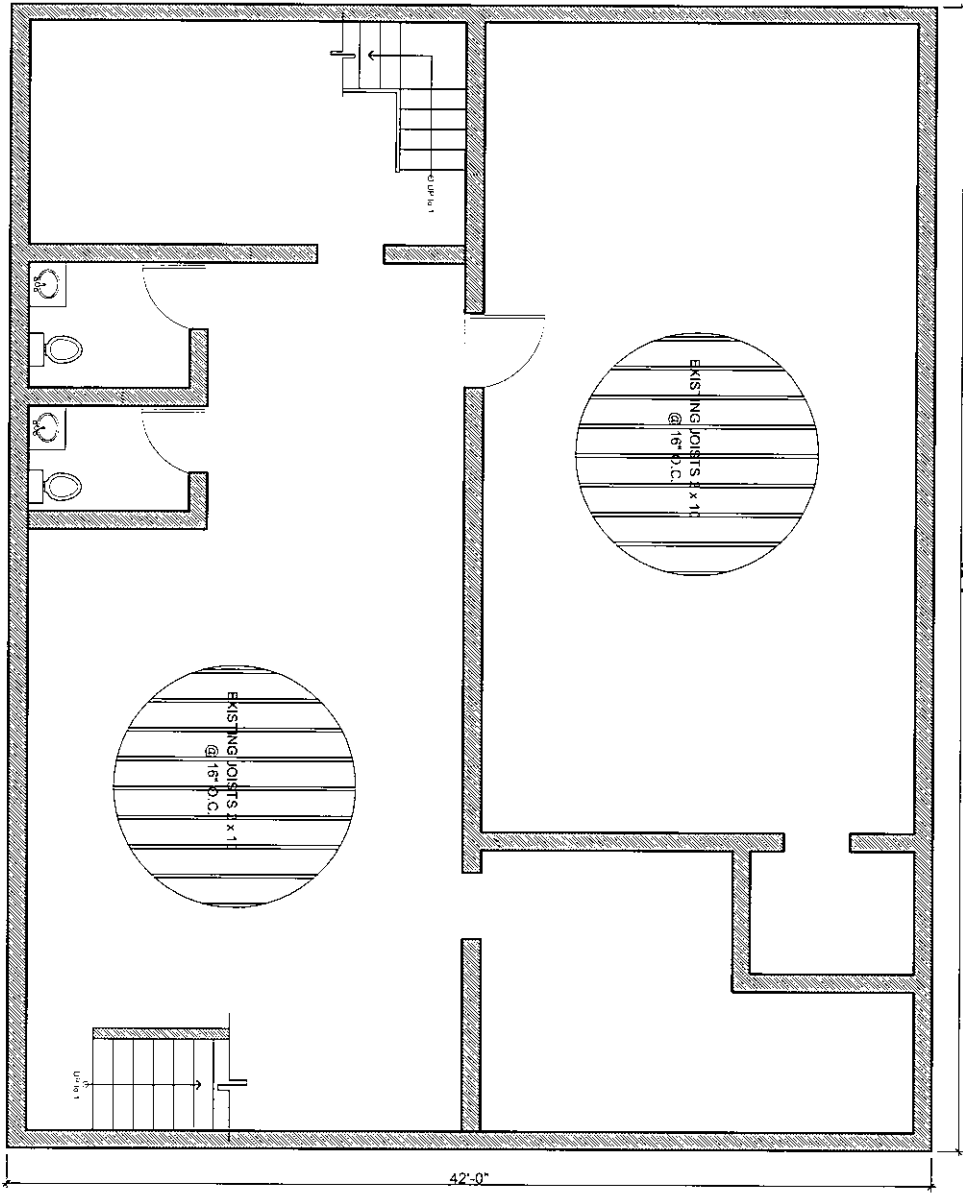
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Professional Designer

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PROJECT: COMMERCIAL RESIDENTIAL BUILDING  
ADDRESS: 125 MERRIMACK ST. HAVERHILL MA 01830  
OWNER: DAVINCI MINI APTS-JONY PEREZ  
PETITIONER: DAVINCI MINI APTS-JONY PEREZ

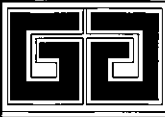
REVISED BY:  
APPROVED BY:  
DRAWN BY: GILBERTO JIMENEZ  
DATE: 7/28/2025

COVER SHEET  
SHEET 1 OF 41



**EXISTING BASEMENT FLOOR PLAN**

SCALE: 1/4"=1'-0"  
GROSS AREA = 2,180 S.F.



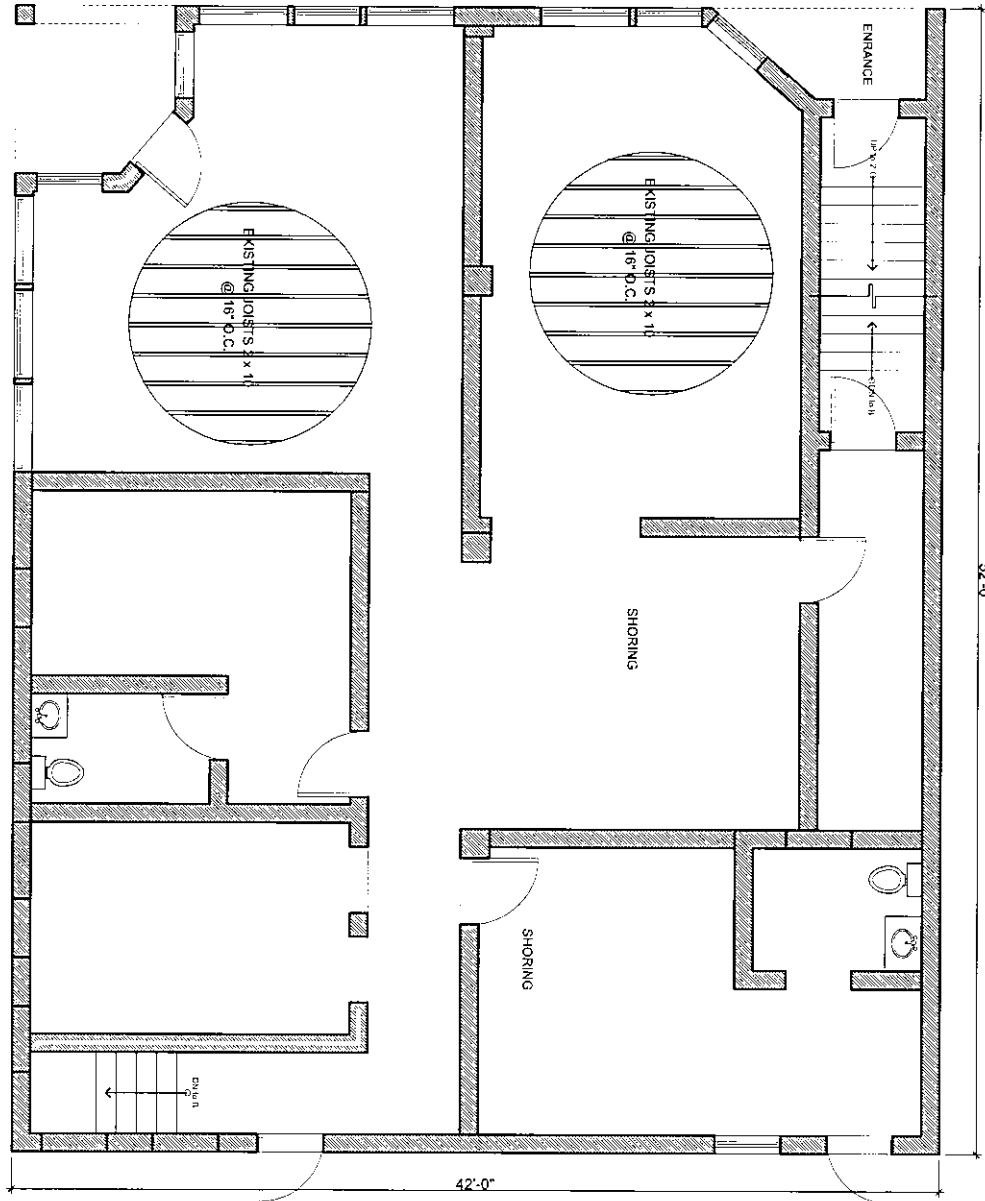
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ADDRESS: 125 MERRIMACK ST. HAVERHILL MA 01830  
OWNER: DAVINCI MINI APTS-JONY PEREZ  
PETITIONER: DAVINCI MINI APTS-JONY PEREZ

REVISED BY:  
APPROVED BY:  
DRAWN BY: GILBERTO JIMENEZ  
DATE: 7/28/2025

FLOOR PLAN	
SHEET 1	2 / 41



**EXISTING FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"  
GROSS AREA = 2,180 S.F.



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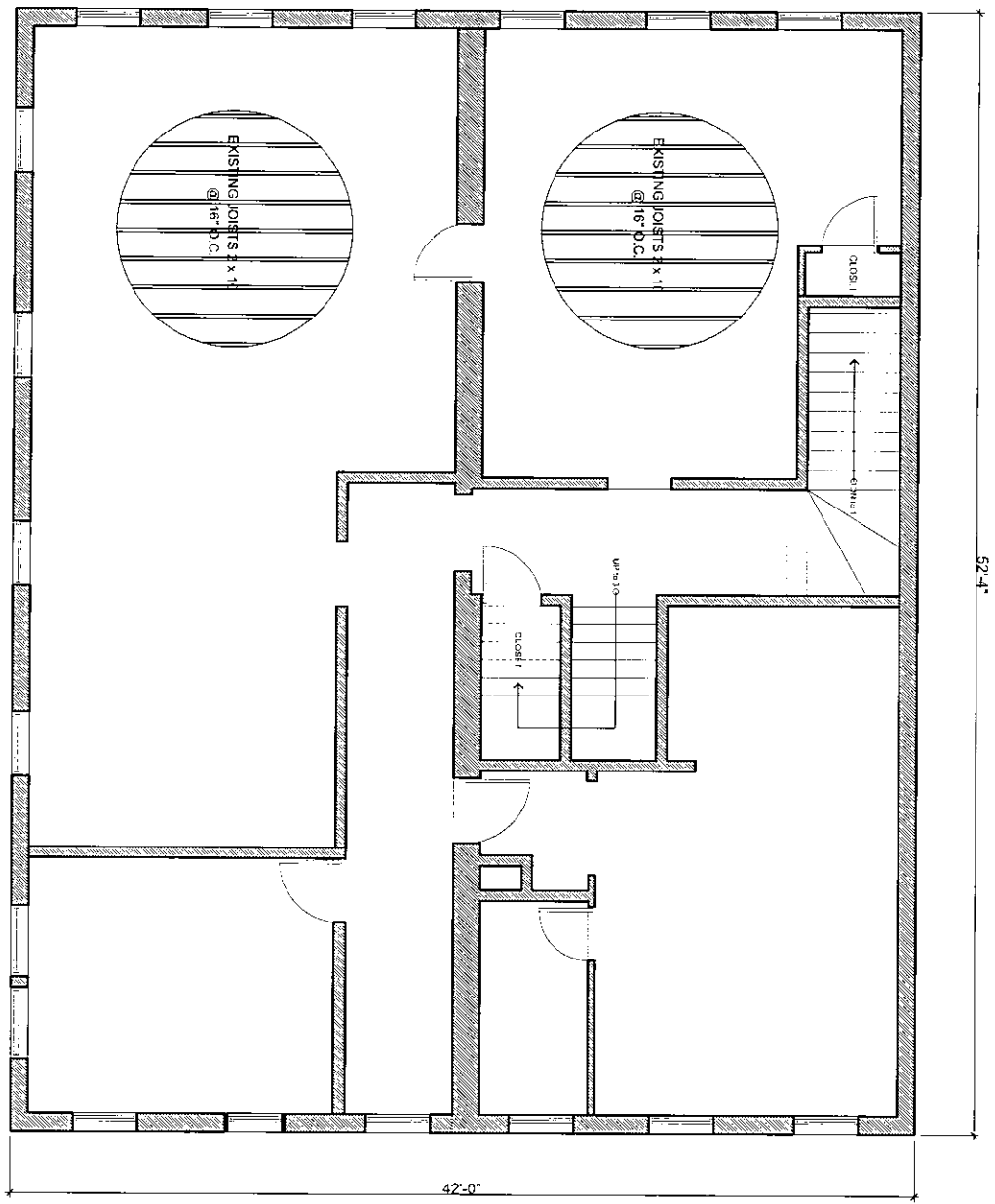
PROJECT: COMMERCIAL RESIDENTIAL BUILDING  
ADDRESS: 125 MERRIMACK ST. HAVERHILL MA 01830  
OWNER: DAVINCI MINI APTS-JONY PEREZ  
PETITIONER: DAVINCI MINI APTS-JONY PEREZ

REVISED BY:  
APPROVED BY:  
DRAWN BY: GILBERTO JIMENEZ  
DATE: 7/28/2025

FLOOR PLAN  
SHEET 1  
3  
41


**EXISTING SECOND FLOOR PLAN**

GROSS AREA = 2,180 S.F.



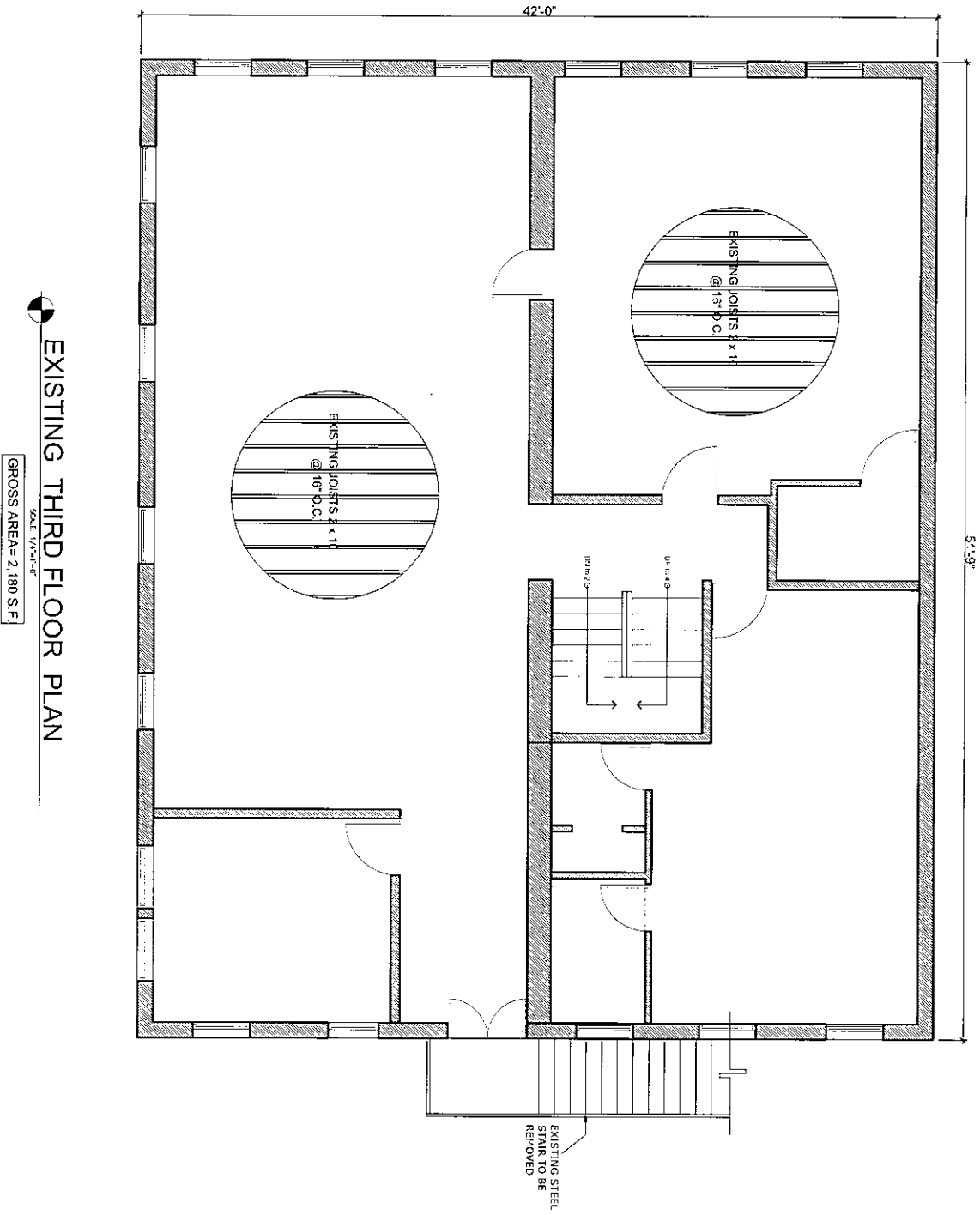
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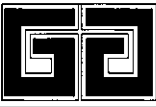
PROJECT: COMMERCIAL RESIDENTIAL BUILDING  
 ADDRESS: 125 MERRIMACK ST. HAVERHILL MA 01830  
 OWNER: DAVINCI MINI APTS-JONY PEREZ  
 PETITIONER: DAVINCI MINI APTS-JONY PEREZ

REVISED BY:  
 APPROVED BY:  
 DRAWN BY: GILBERTO JIMENEZ  
 DATE: 7/28/2025

FLOOR PLAN	
SHEET 1	4 / 41



EXISTING THIRD FLOOR PLAN  
 SCALE: 1/4"=1'-0"  
 GROSS AREA = 2,180 S.F.



**GJ**  
**DESIGN GROUP LLC**  
 Assoc. AIA  
 Professional Designer

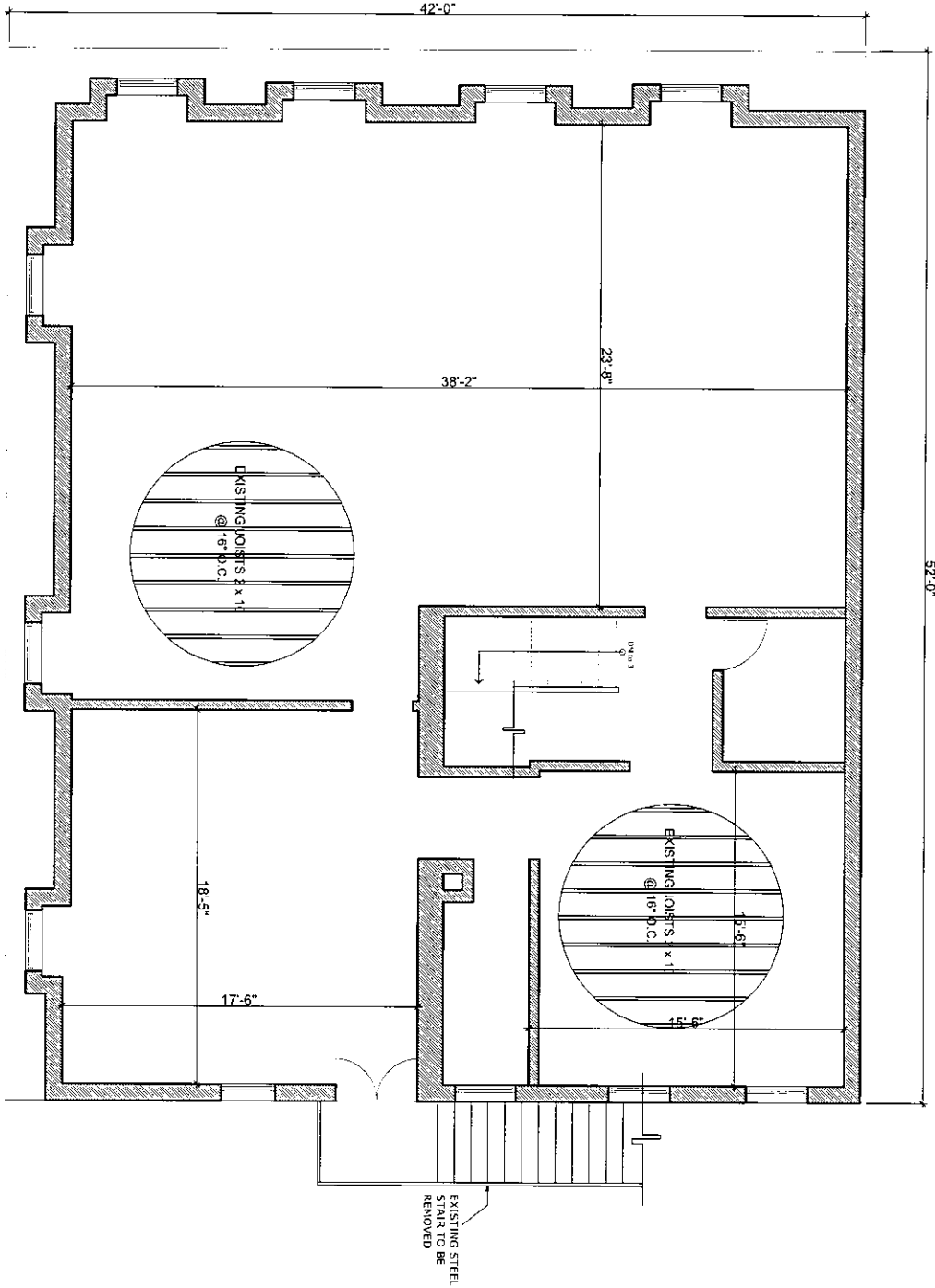
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PROJECT: COMMERCIAL RESIDENTIAL BUILDING  
 ADDRESS: 125 MERRIMACK ST. HAVERHILL, MA 01830  
 OWNER: DAVINCI MINI APTS-JONY PEREZ  
 PETITIONER: DAVINCI MINI APTS-JONY PEREZ

REVISED BY:  
 APPROVED BY:  
 DRAWN BY: GILBERTO JIMENEZ  
 DATE: 7/28/2025

FLOOR PLAN  
 SHEET 1  
 5  
 41


**EXISTING FOURTH FLOOR PLAN**  
SCALE: 1/4" = 1'-0"  
**GROSS AREA = 2,000 S.F.**



  
**G J**  
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 Professional Designer

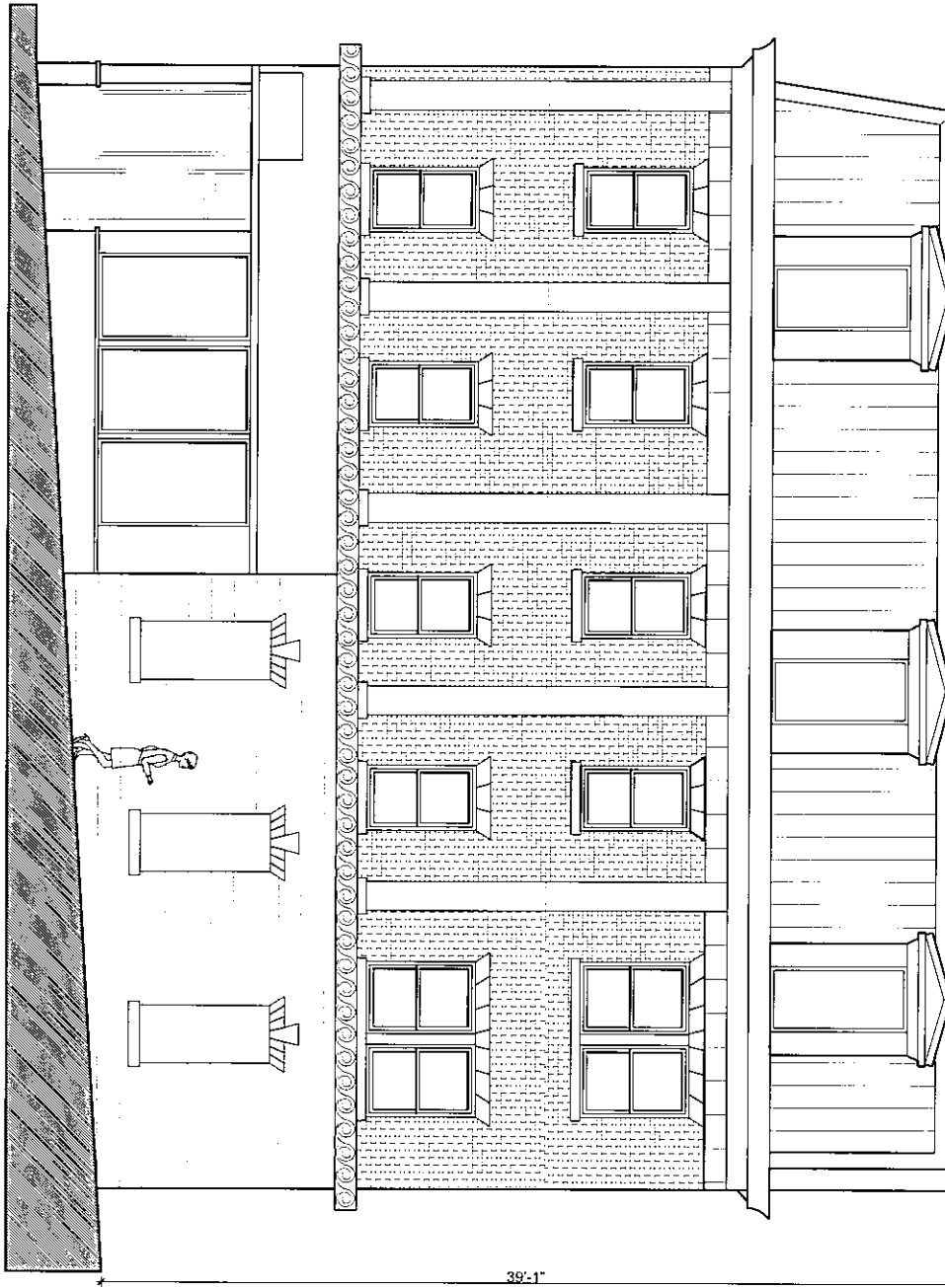
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 OWNER: DAVINCI MINI APTS-JONY PEREZ  
 PETITIONER: DAVINCI MINI APTS-JONY PEREZ

REVISED BY:  
 APPROVED BY:  
 DRAWN BY: GILBERTO JIMENEZ  
 DATE: 7/28/2025

FLOOR PLAN	
SHEET 1	6 41

EXISTING RIGHT SIDE ELEVATION  
SCALE: 1/4"=1'-0"



39'-1"



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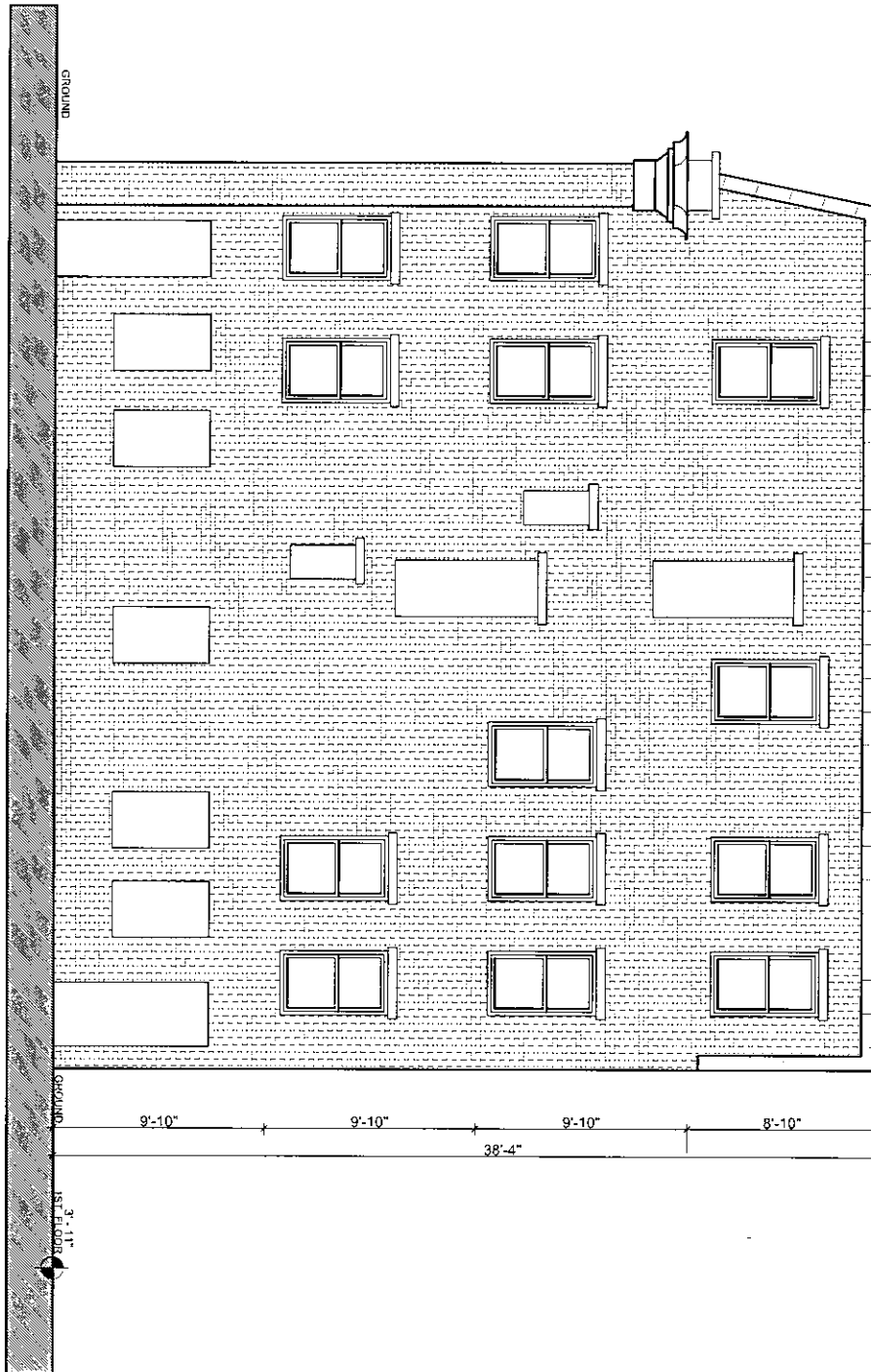
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ELEVATION  
SHEET 1 / 7 / 41

EXISTING REAR ELEVATION  
SCALE 1/4" = 1'-0"



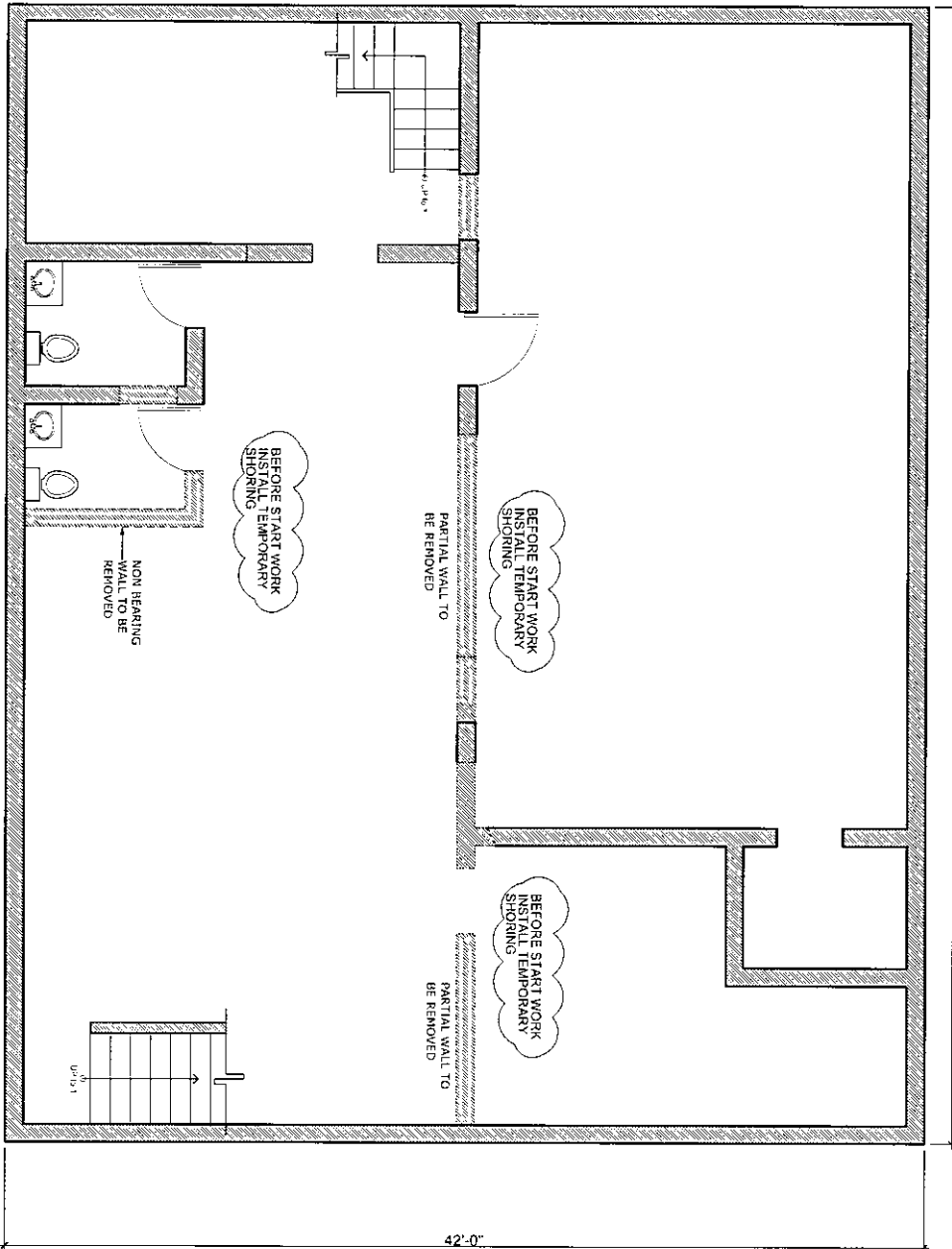
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ELEVATION  
SHEET 1  
8  
41



LEGEND	
	EXISTING WALL TO REMAIN
	PROPOSED NEW WALL
	DEMOL. WALL

BASEMENT  
DEMO PLAN  
SCALE: 1/8"=1'-0"



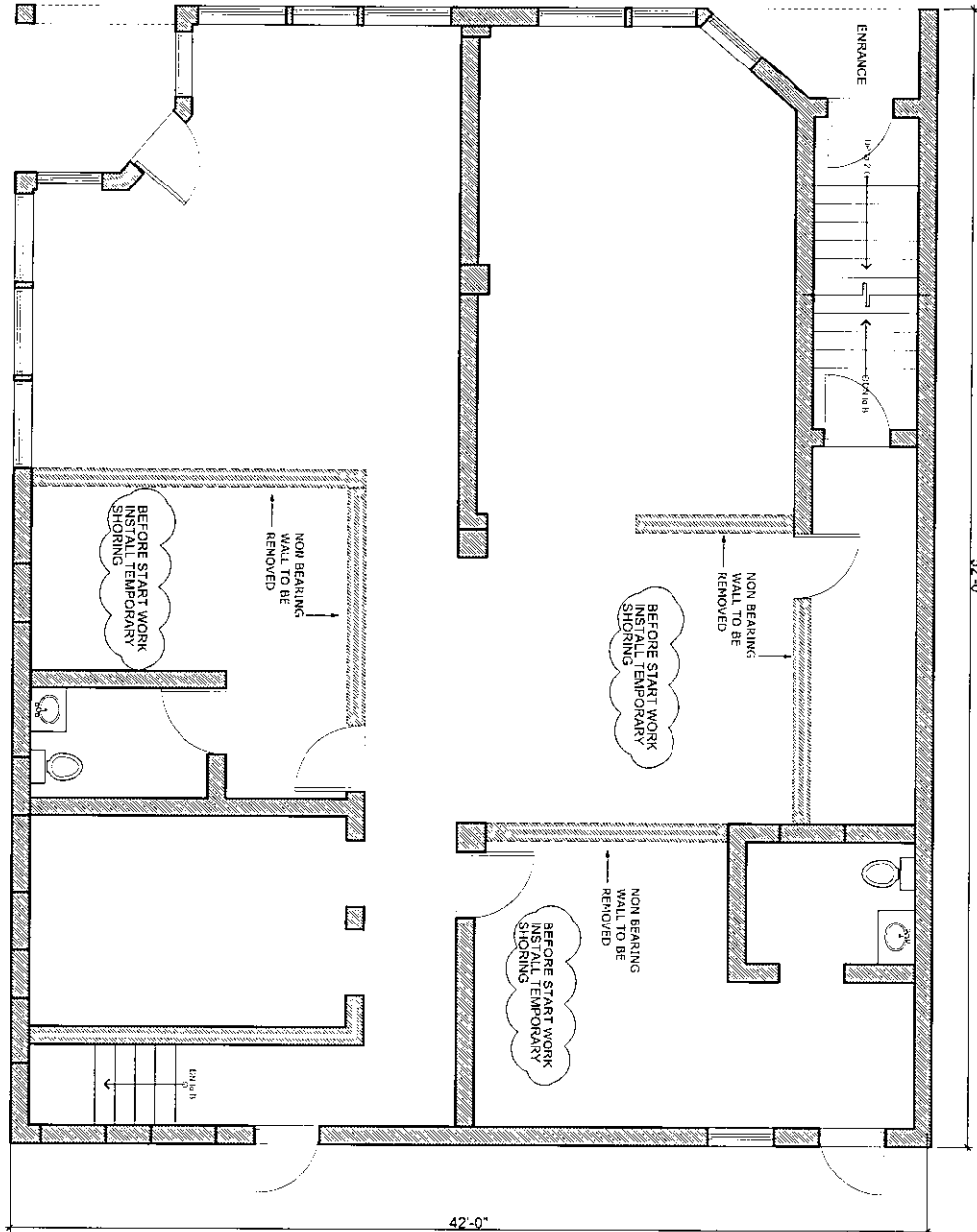
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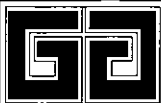
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FLOOR PLAN	
SHEET	9
1	41



FIRST FLOOR  
**DEMO PLAN**  
 SCALE: 1/8" = 1'-0"



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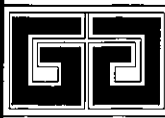
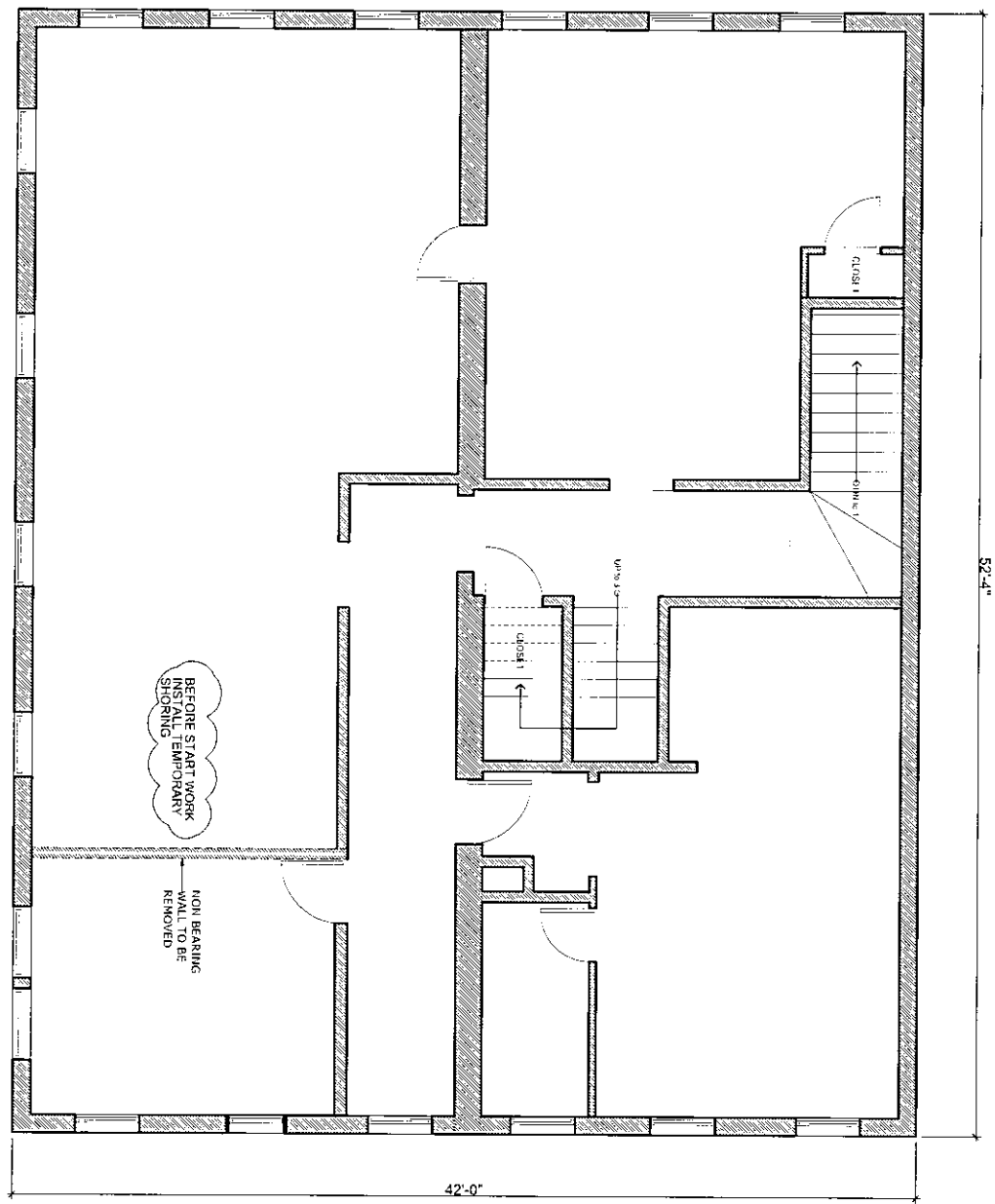
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FLOOR PLAN  
 SHEET 1  
 10  
 41

SECOND FLOOR  
**DEMO PLAN**  
 SCALE: 1/4" = 1'-0"



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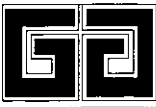
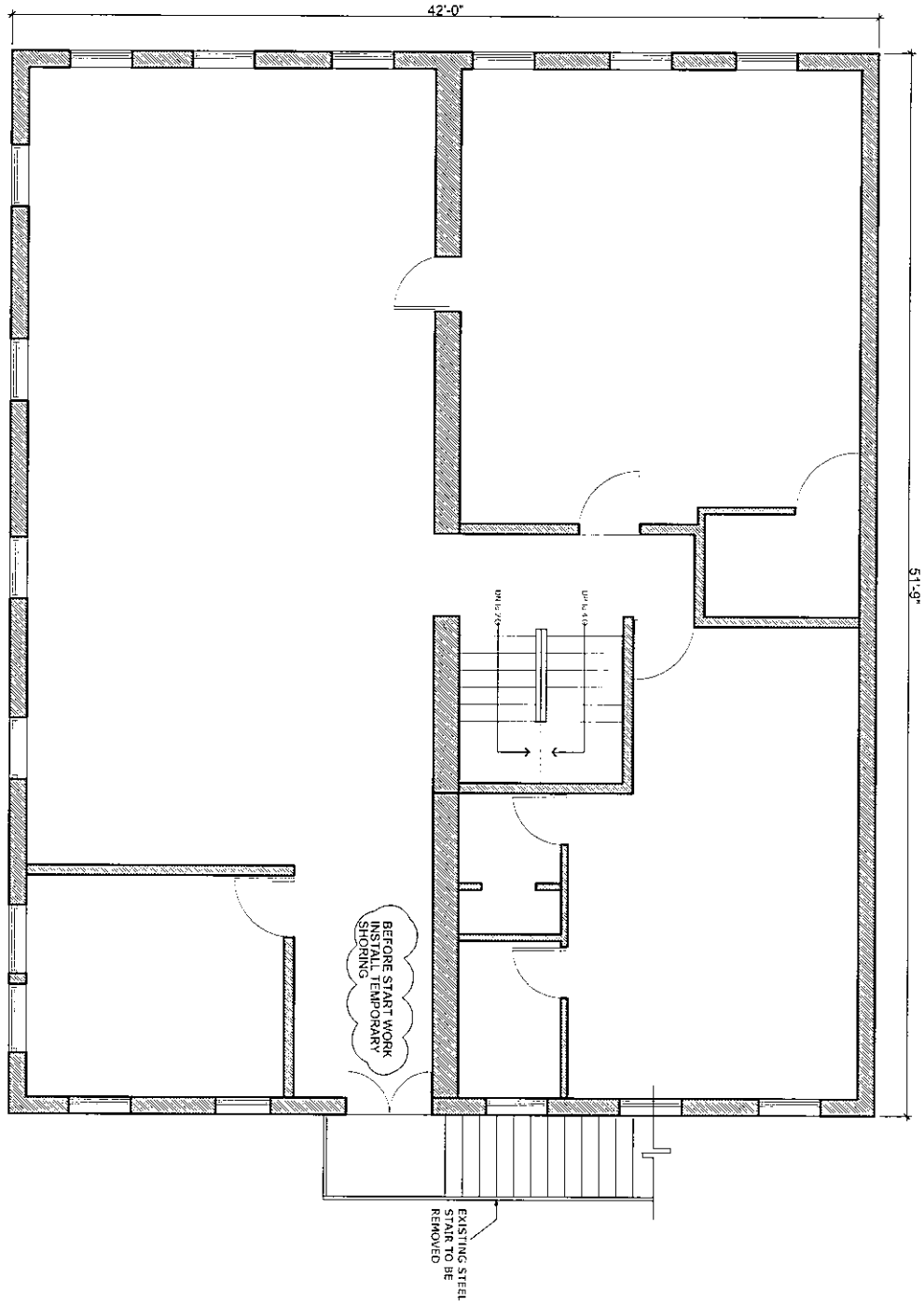
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FLOOR PLAN	
SHEET 1	11 41

THIRD FLOOR  
DEMO PLAN  
SCALE 1/4"=1'-0"



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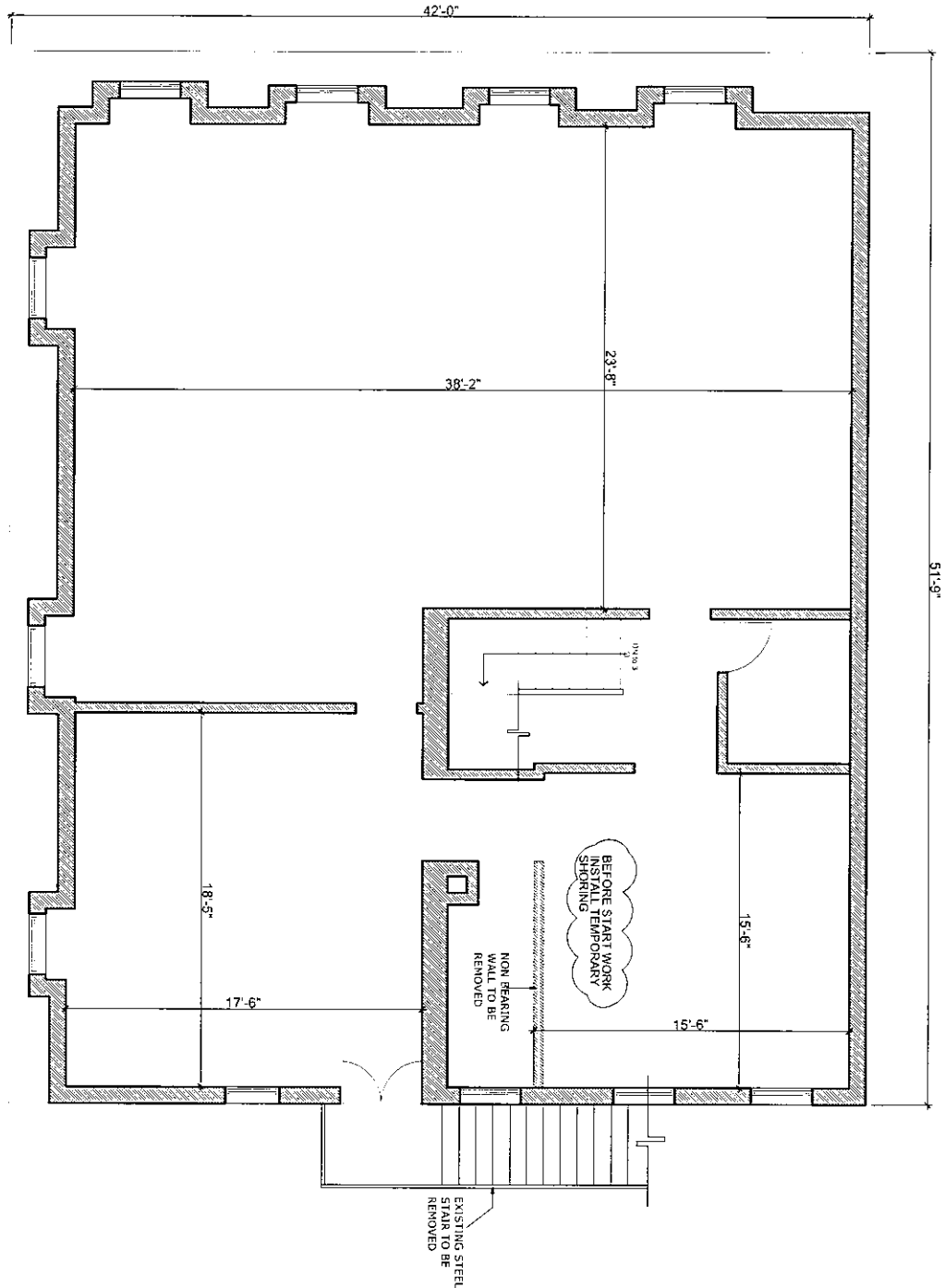
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FLOOR PLAN  
SHEET 1  
12  
41

FOURTH FLOOR  
DEMO PLAN  
SCALE: 1/8"=1'-0"



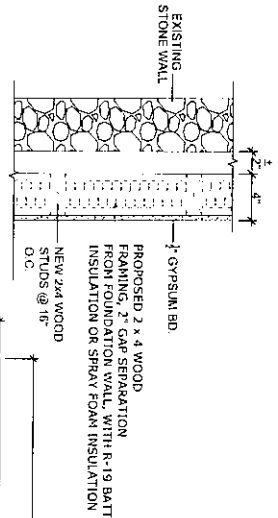
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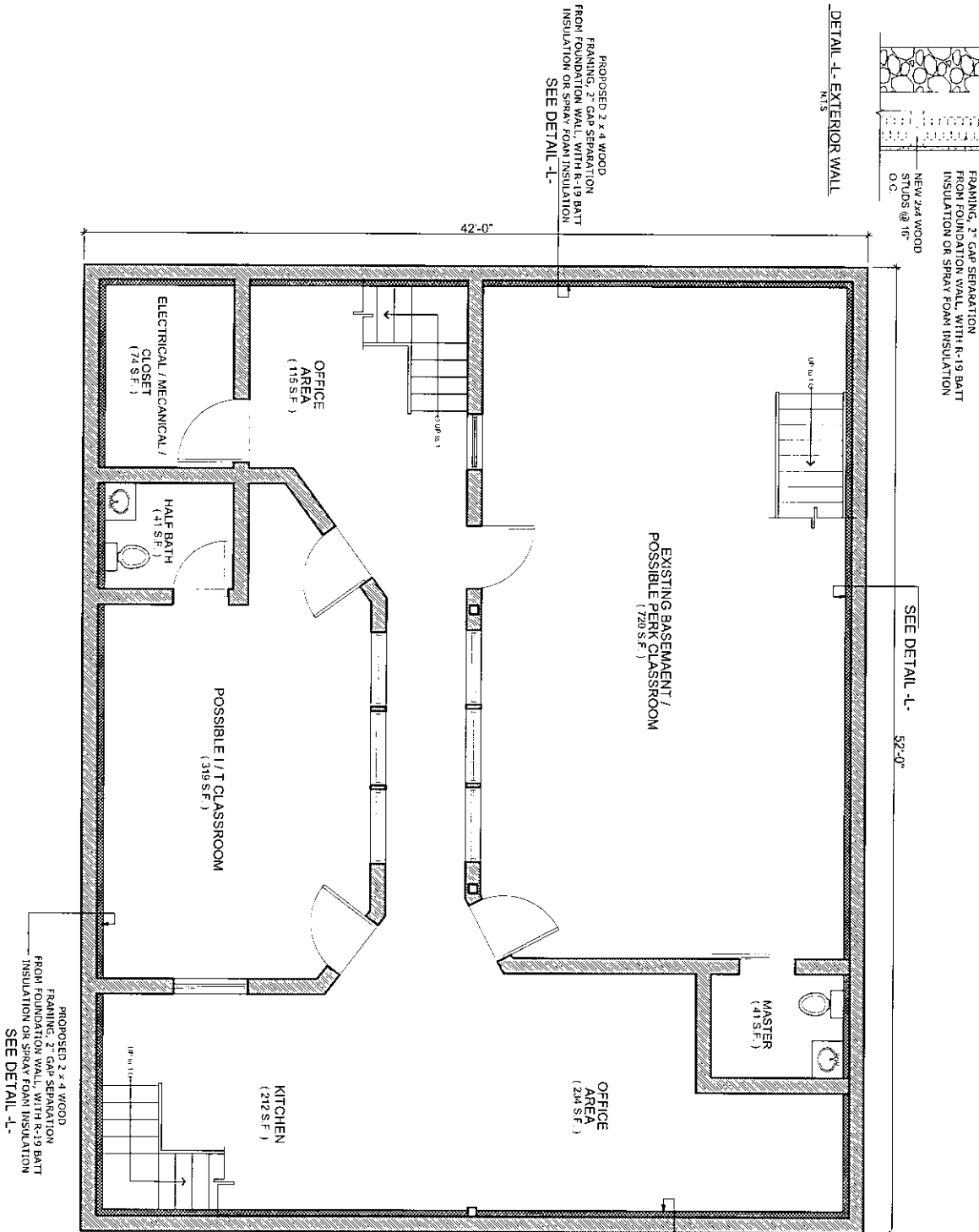
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FLOOR PLAN  
SHEET 1  
13  
41



**NOTE:**  
 CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (10TH EDITION OF THE MISC. 780 CMR.) (202) IBC AND THE COMMONWEALTH OF MASSACHUSETTS AMENDMENT TO THE INTERNATIONAL COMMERCIAL CODE 2021) AND THE CITY OF HAVERHILL ORDINANCES.



**PROPOSED BASEMENT FLOOR PLAN**

SCALE: 1/4" = 1'-0"  
 INTERIOR AREA = 2,027 S.F.



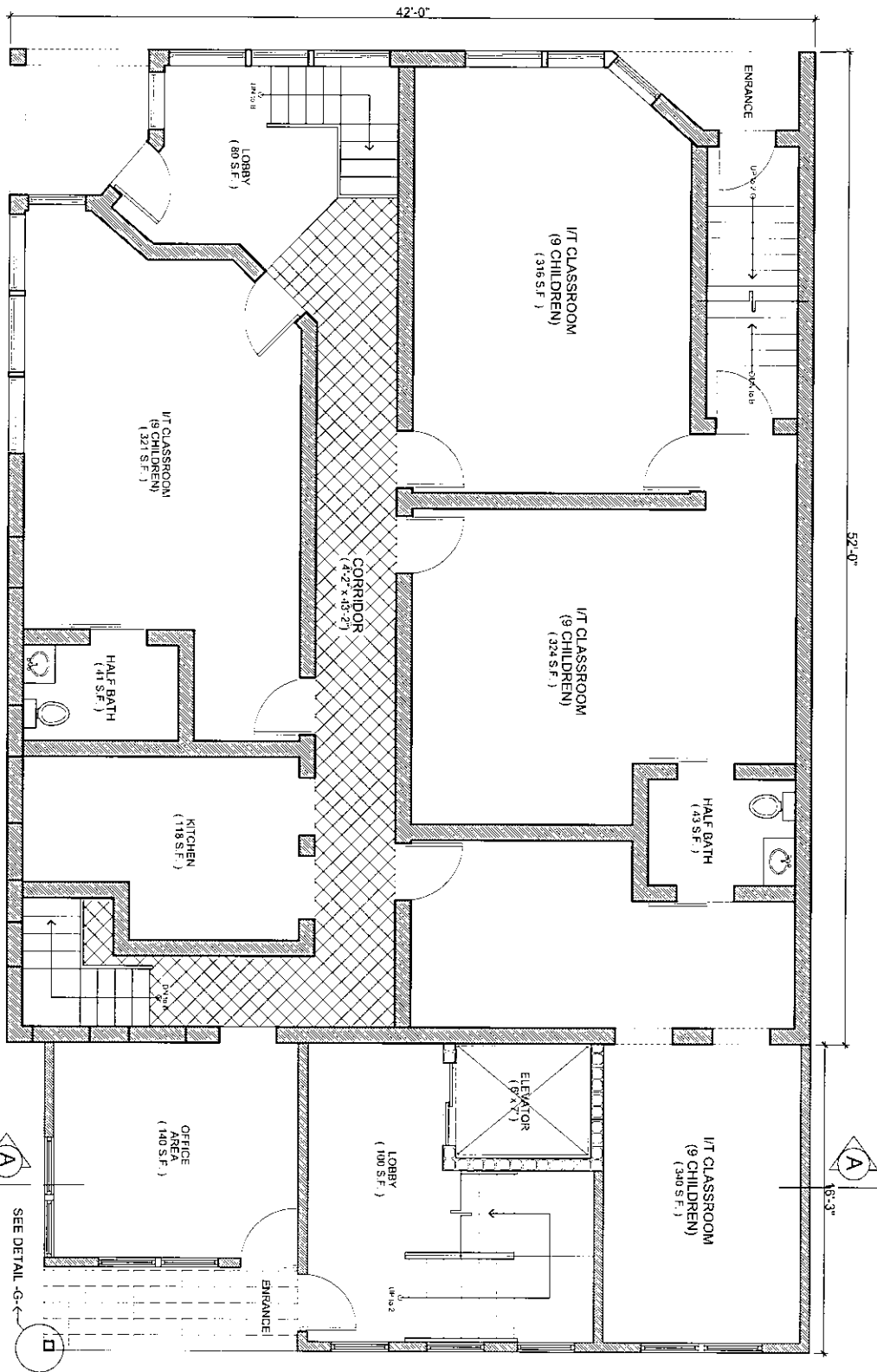
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 APPROVED BY: GILBERTO JIMENEZ  
 DRAWN BY: GILBERTO JIMENEZ  
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FLOOR PLAN  
 SHEET 14 OF 41



**PROPOSED FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

INTERIOR AREA = 2,500 S.F.



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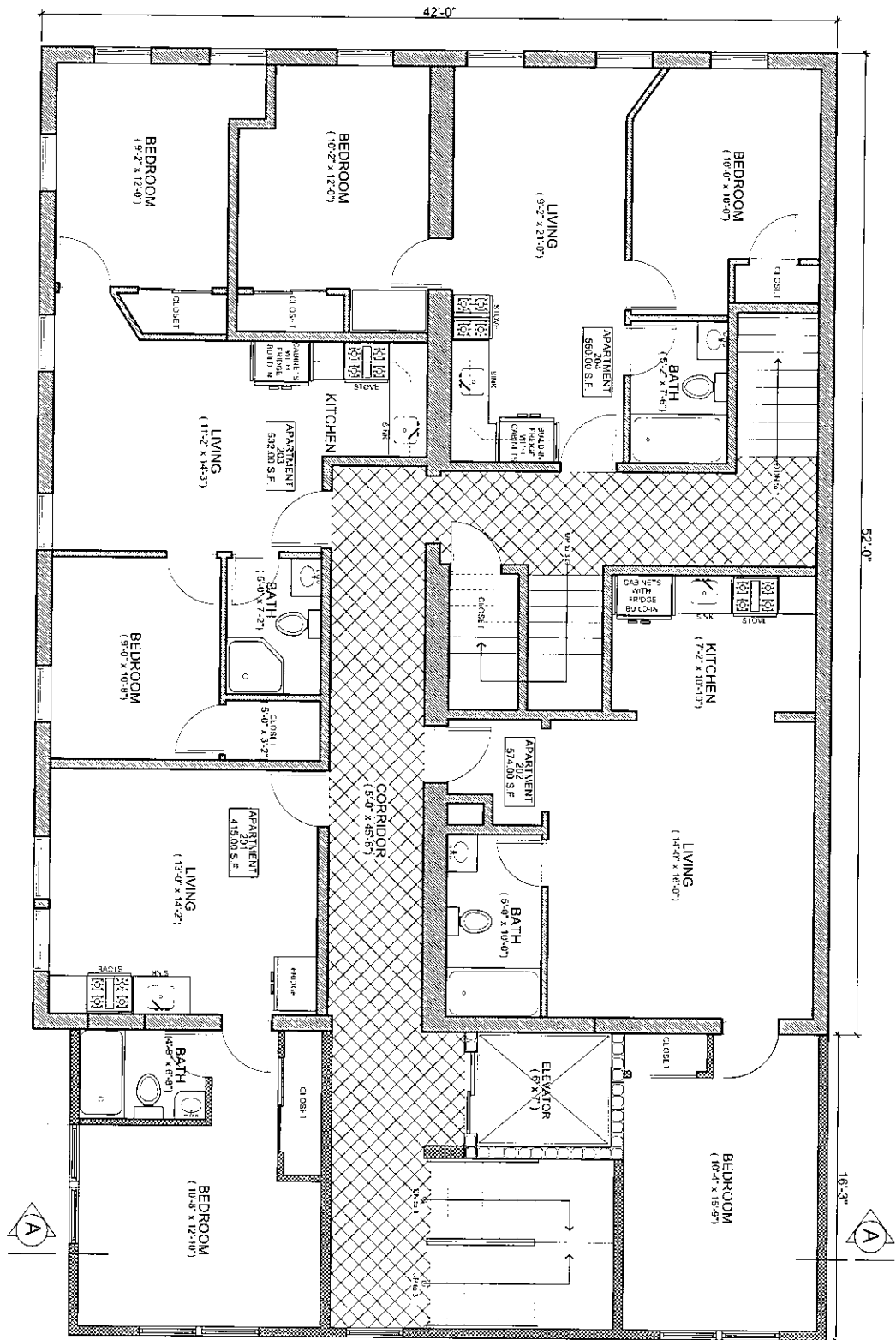
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FLOOR PLAN  
 SHEET 1  
 15 / 41

**PROPOSED SECOND FLOOR PLAN**  
 SCALE: 1/8"=1'-0"  
 INTERIOR AREA= 2,500 S.F.



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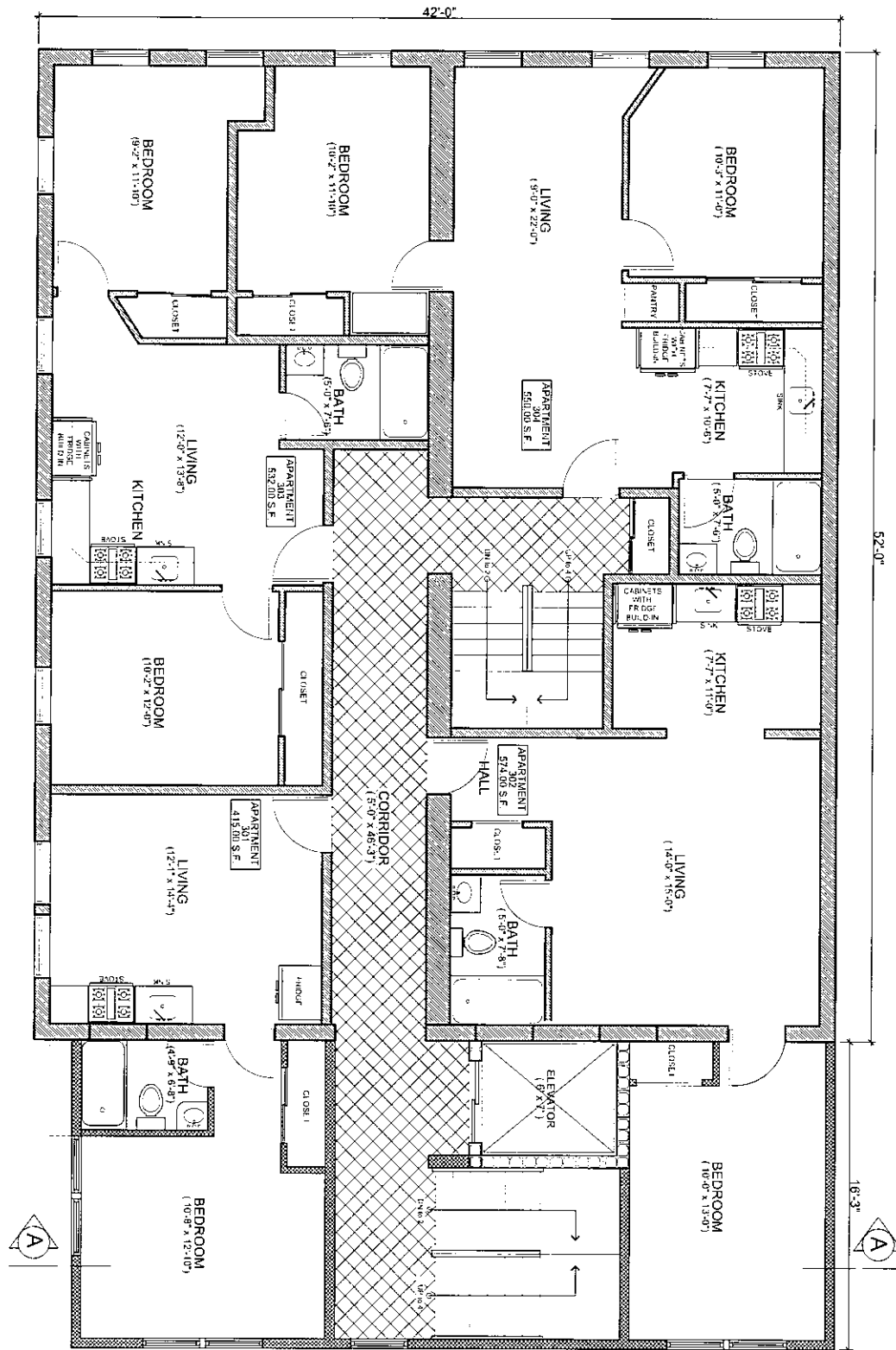
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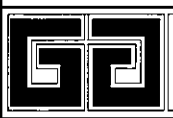
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FLOOR PLAN  
 SHEET 1 OF 16  
 41



**PROPOSED THIRD FLOOR PLAN**

SCALE: 1/4" = 1'-0"  
 INTERIOR AREA = 2,500 S.F.



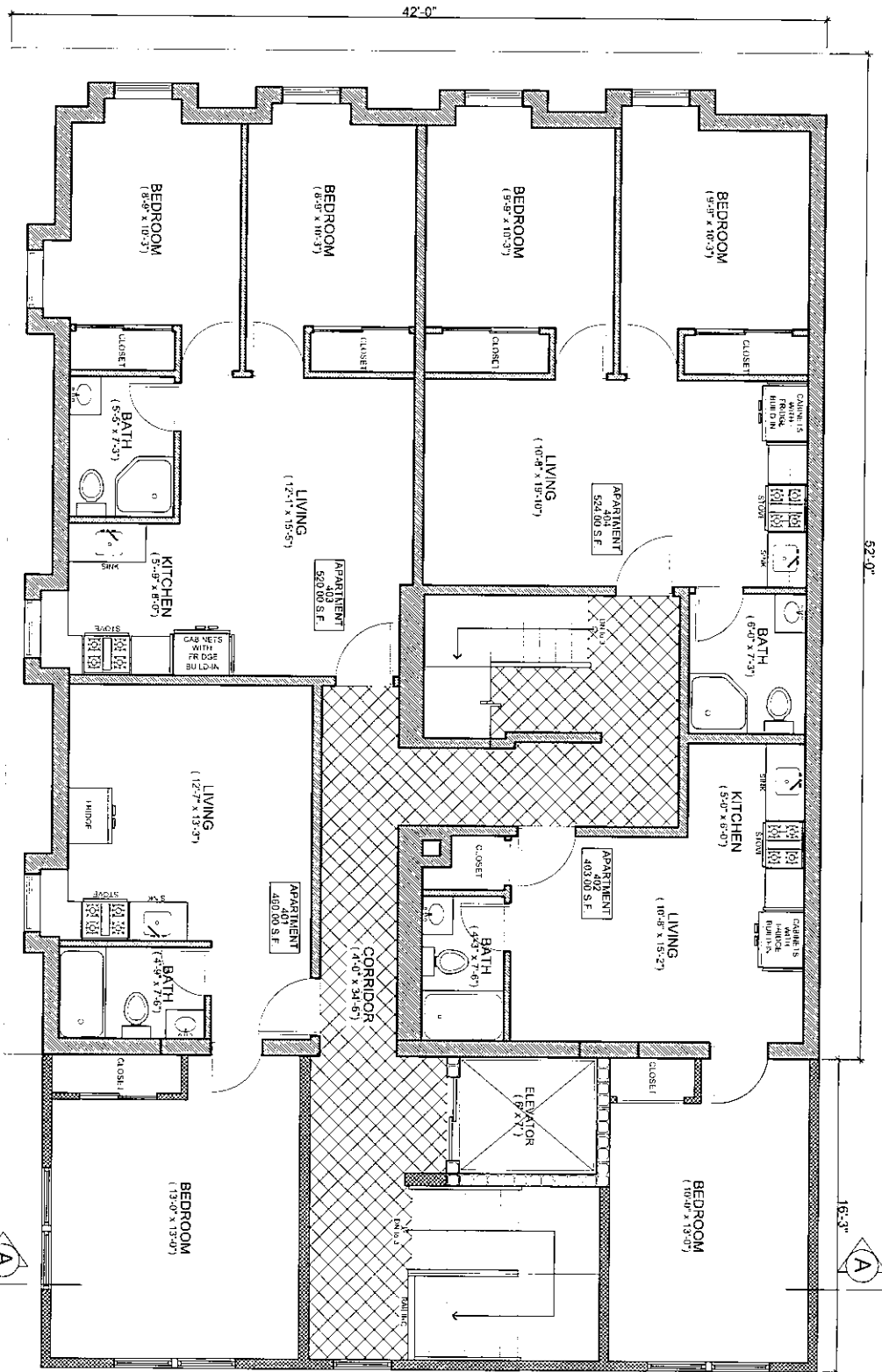
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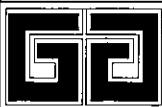
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FLOOR PLAN	
SHEET 1	17/41



**PROPOSED FOURTH FLOOR PLAN**

SCALE: 1/8"=1'-0"  
 INTERIOR AREA= 2,500 S.F.



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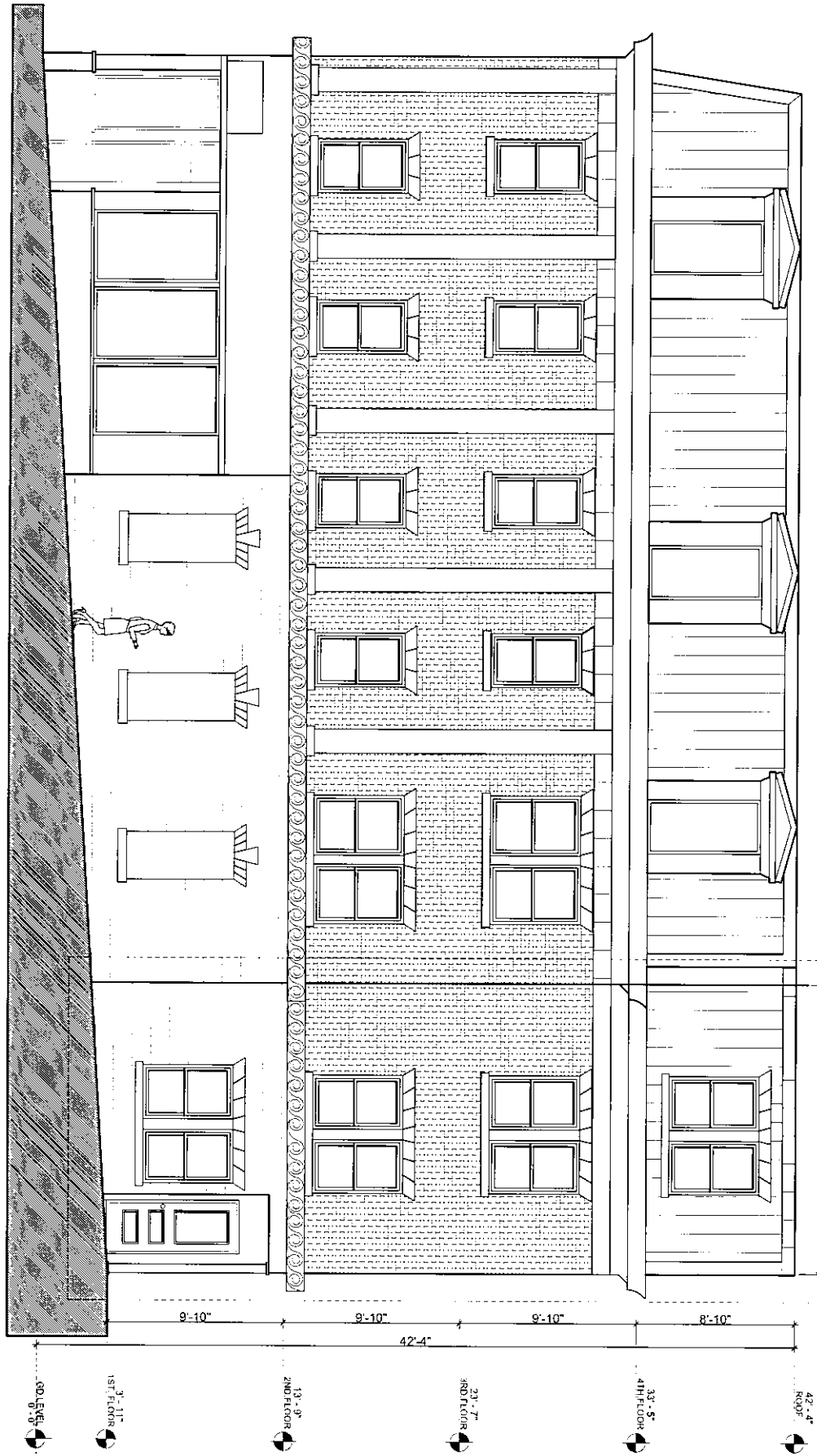
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FLOOR PLAN	
SHEET 1	18
	41

PROPOSED RIGHT SIDE ELEVATION

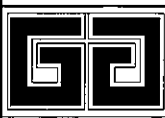
SCALE 1/4" = 1'-0"



9'-10" 9'-10" 42'-4" 9'-10" 8'-10"

00'-0" ELEV  
3'-11" 1ST FLOOR  
13'-9" 2ND FLOOR  
23'-7" 3RD FLOOR  
33'-5" 4TH FLOOR  
43'-4" ROOF

ADDITION PROPOSED



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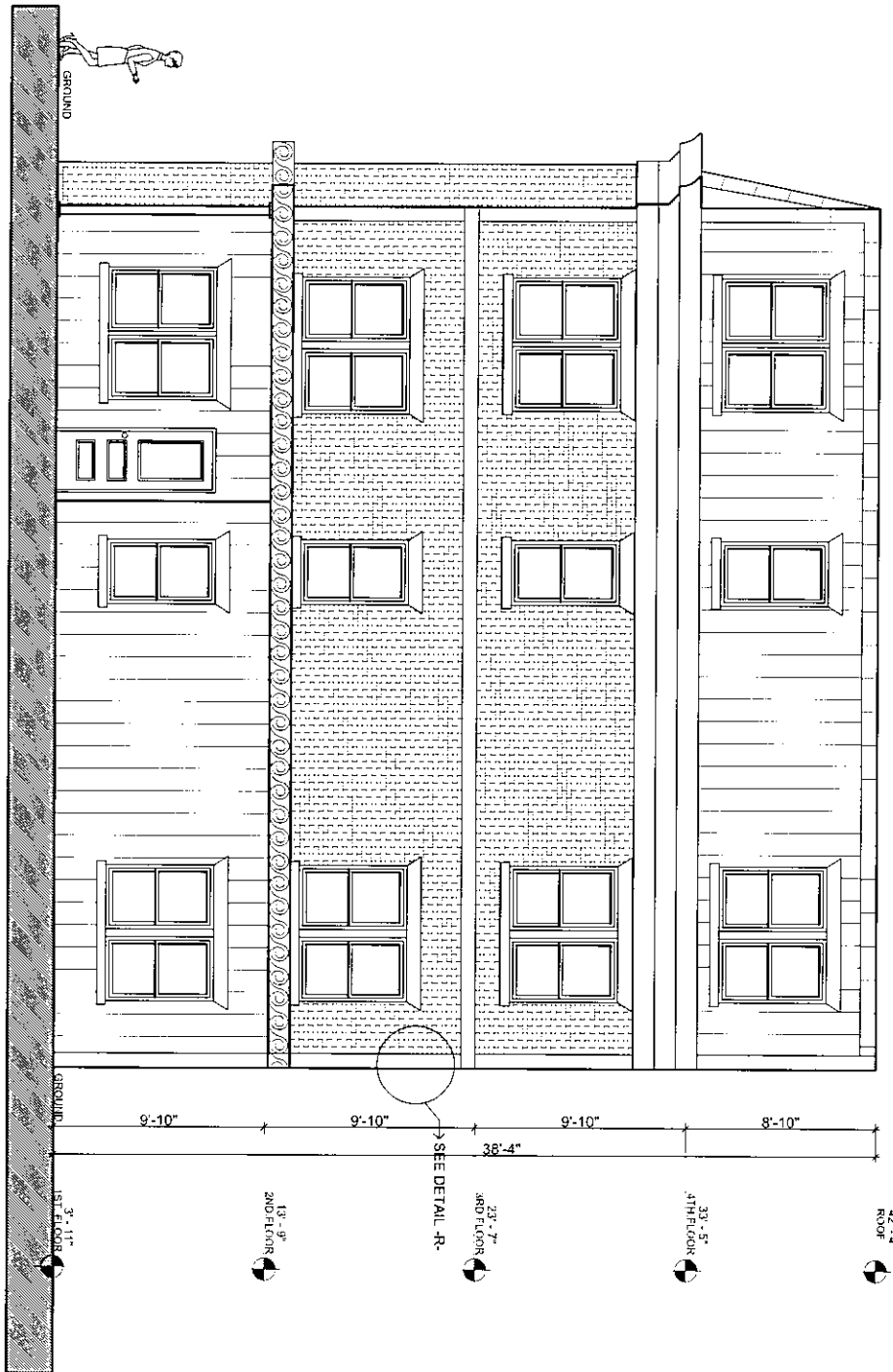
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ELEVATION	
SHEET 1	19/41

REAR ELEVATION  
SCALE 1/4" = 1'-0"



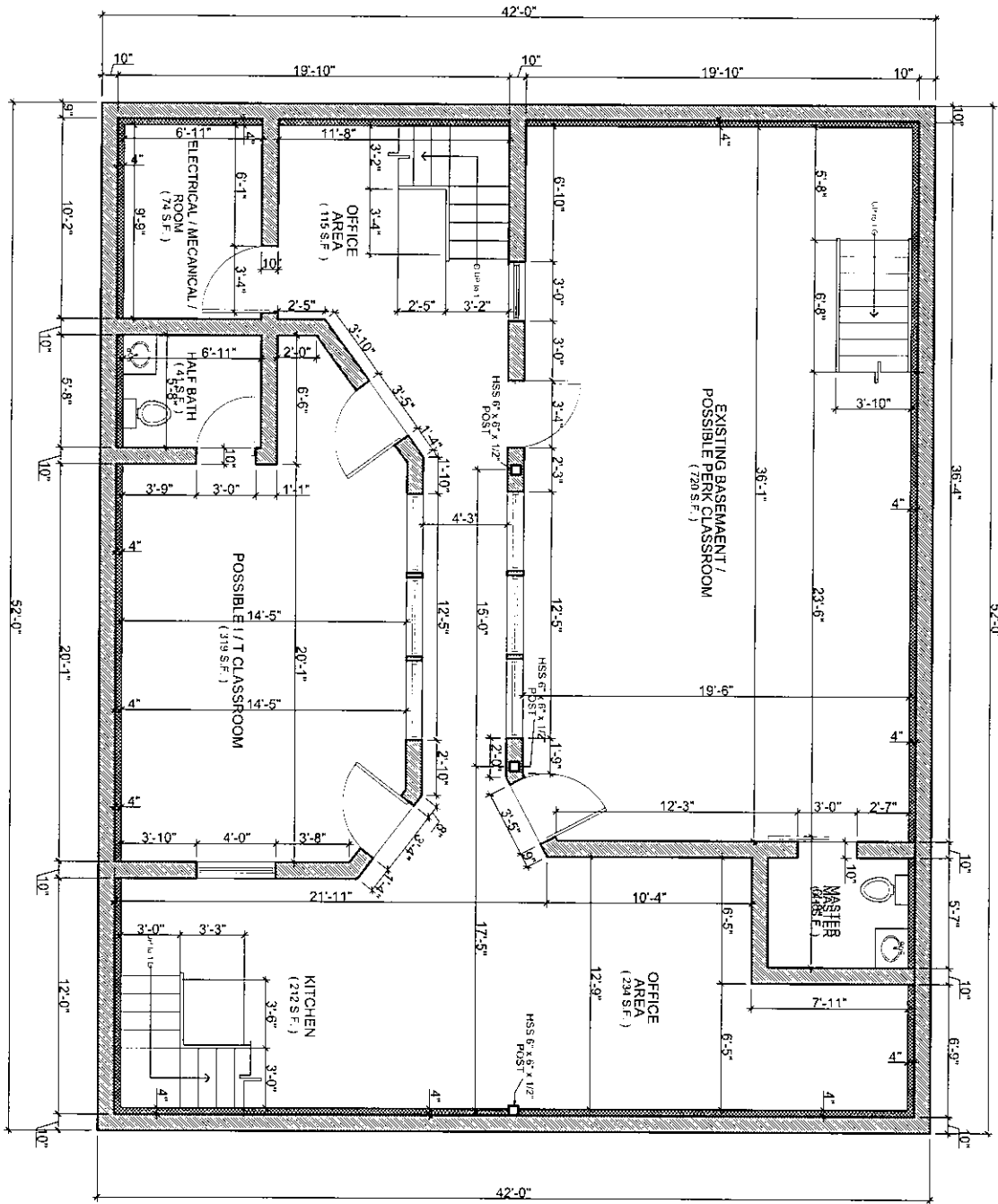
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ELEVATION  
 SHEET 1 / 20 / 41



(DIMENSIONED)  
**PROPOSED BASEMENT FLOOR PLAN**

SCALE: 1/4"=1'-0"  
 INTERIOR AREA= 2,027 S.F.



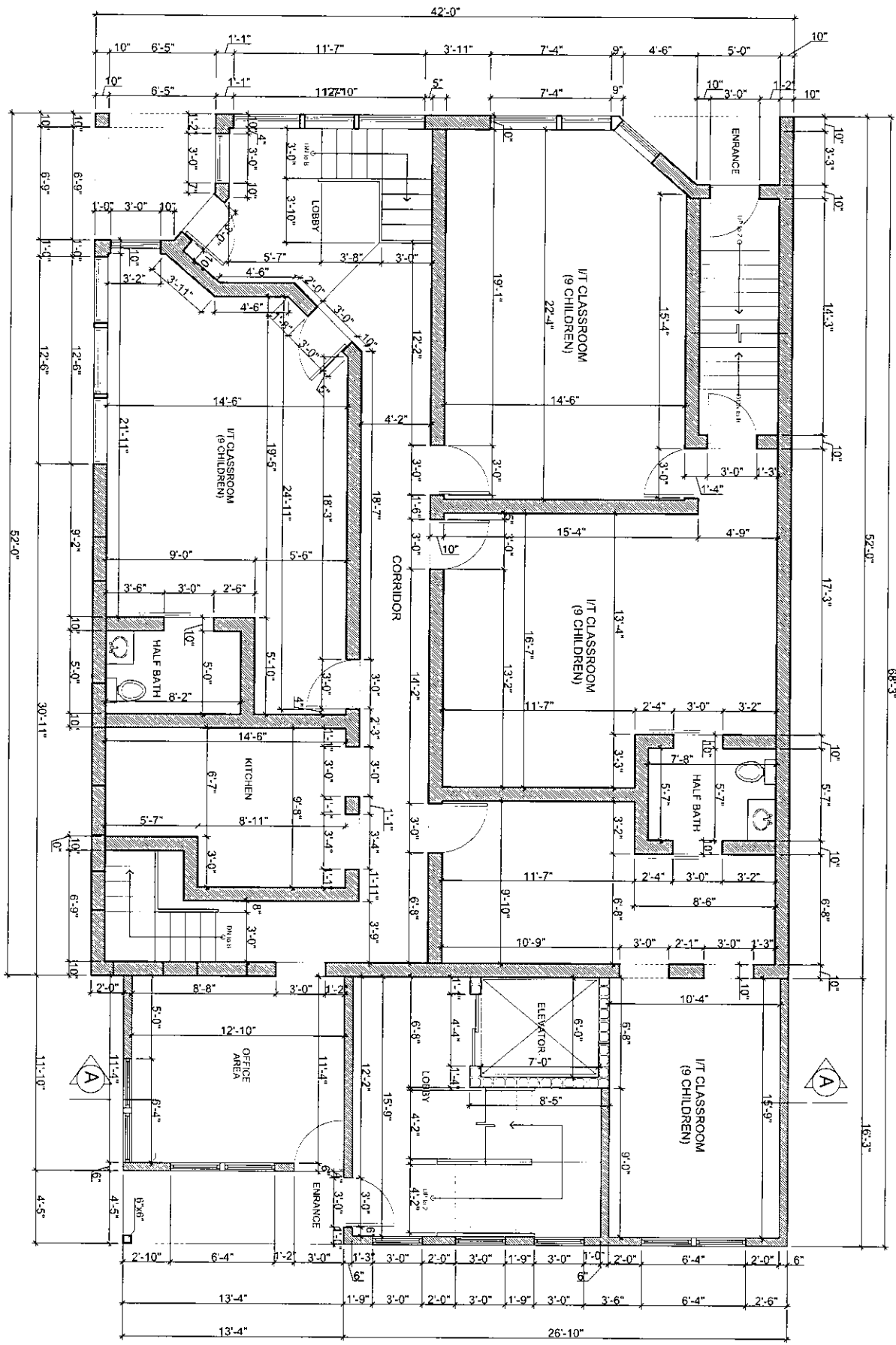
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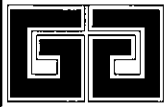
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FLOOR PLAN  
 SHEET 1  
 21  
 41



**(DIMENSIONED)**  
**PROPOSED FIRST FLOOR PLAN**  
SCALE: 1/8"=1'-0"  
**INTERIOR AREA= 2,500 S.F.**



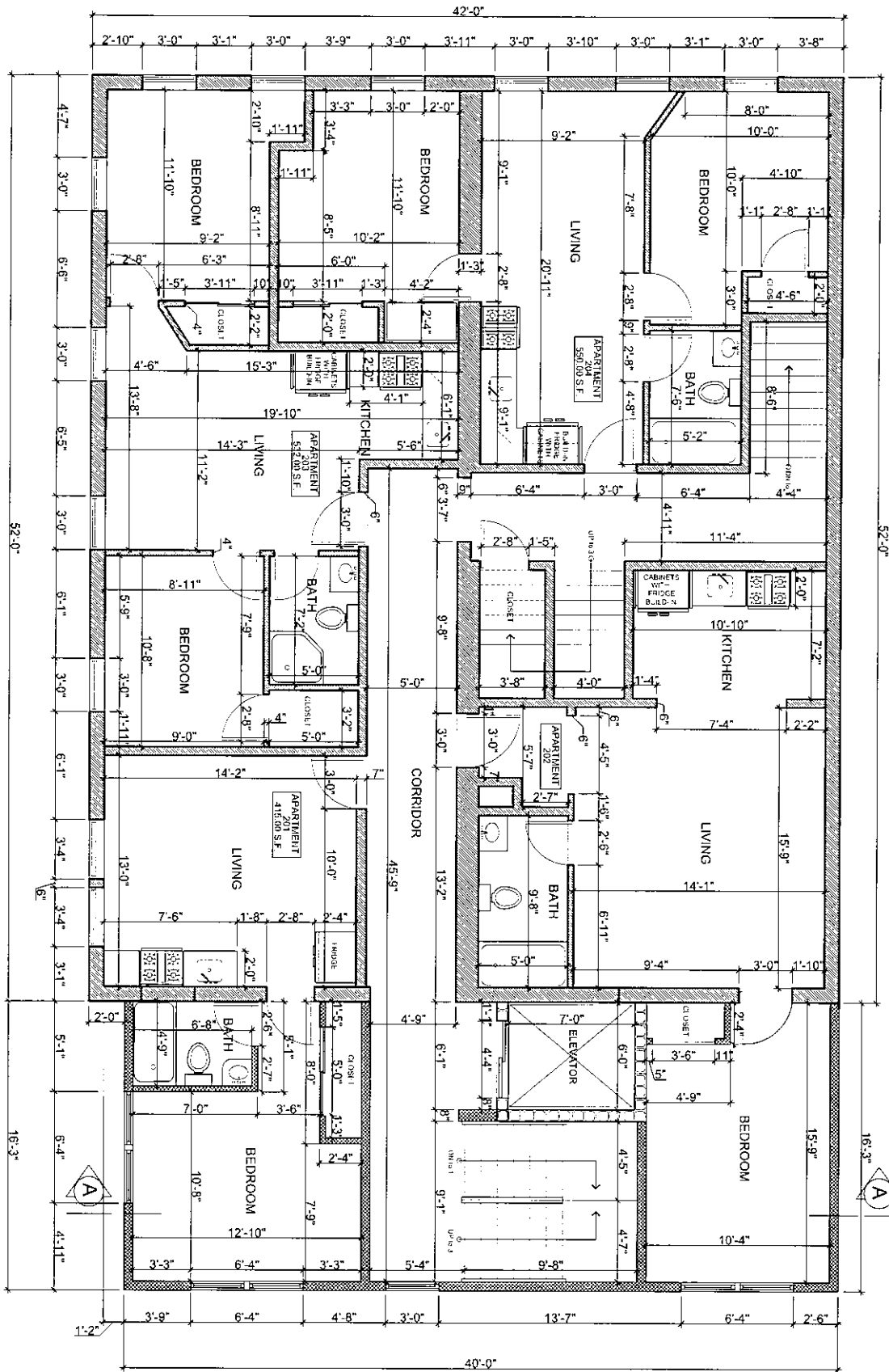
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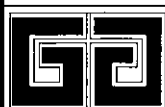
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**DATE:** 7/28/2025

**FLOOR PLAN**  
 SHEET 1 / 22 / 41




**PROPOSED SECOND FLOOR PLAN**  
 (DIMENSIONED)  
 SCALE: 1/4"=1'-0"  
 INTERIOR AREA= 2,500 S.F.



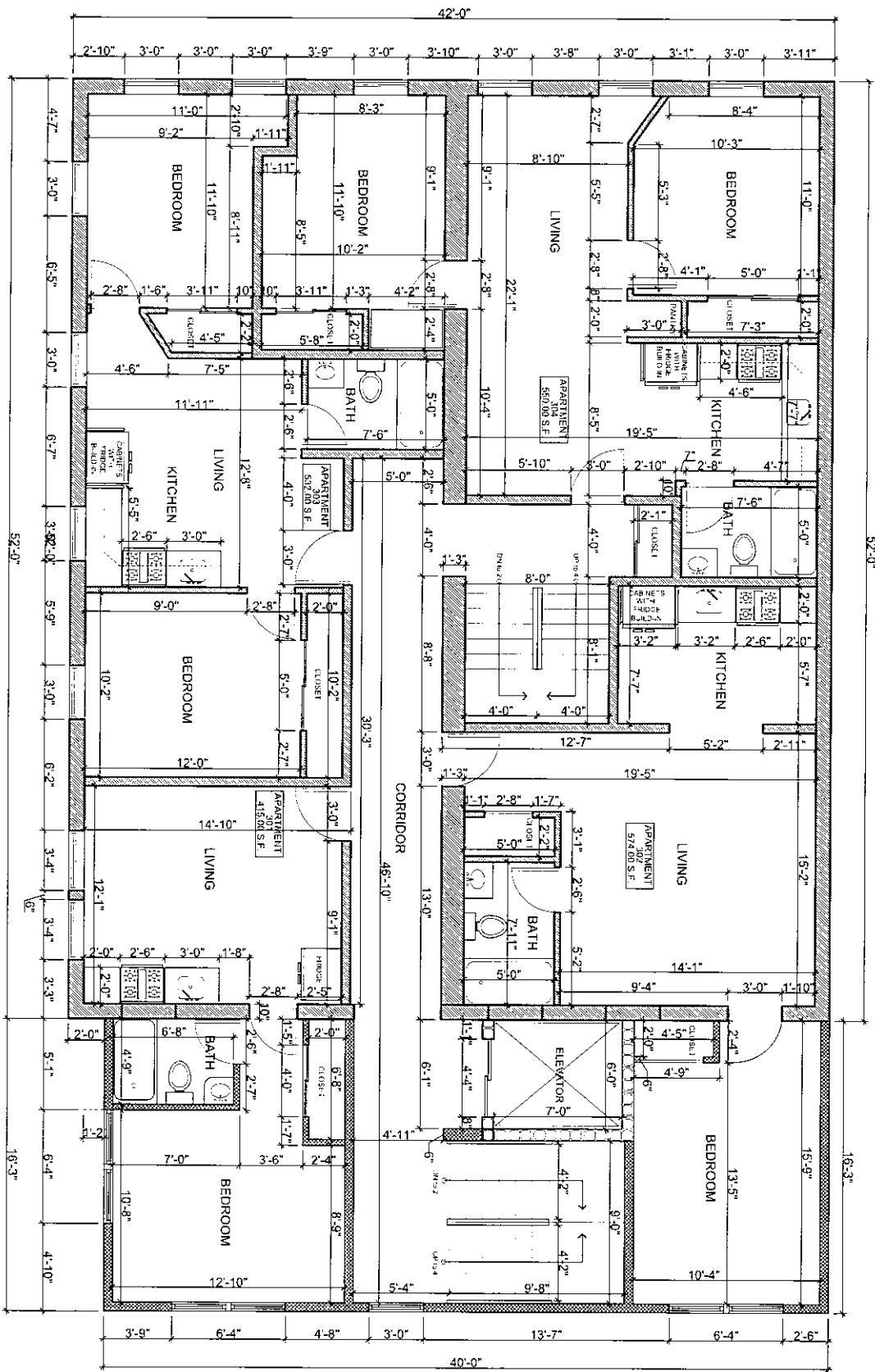
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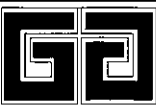
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FLOOR PLAN	
SHEET 5	23 / 41



(DIMENSIONED)  
**PROPOSED THIRD FLOOR PLAN**  
 SCALE: 1/8"=1'-0"  
 INTERIOR AREA = 2,500 S.F.



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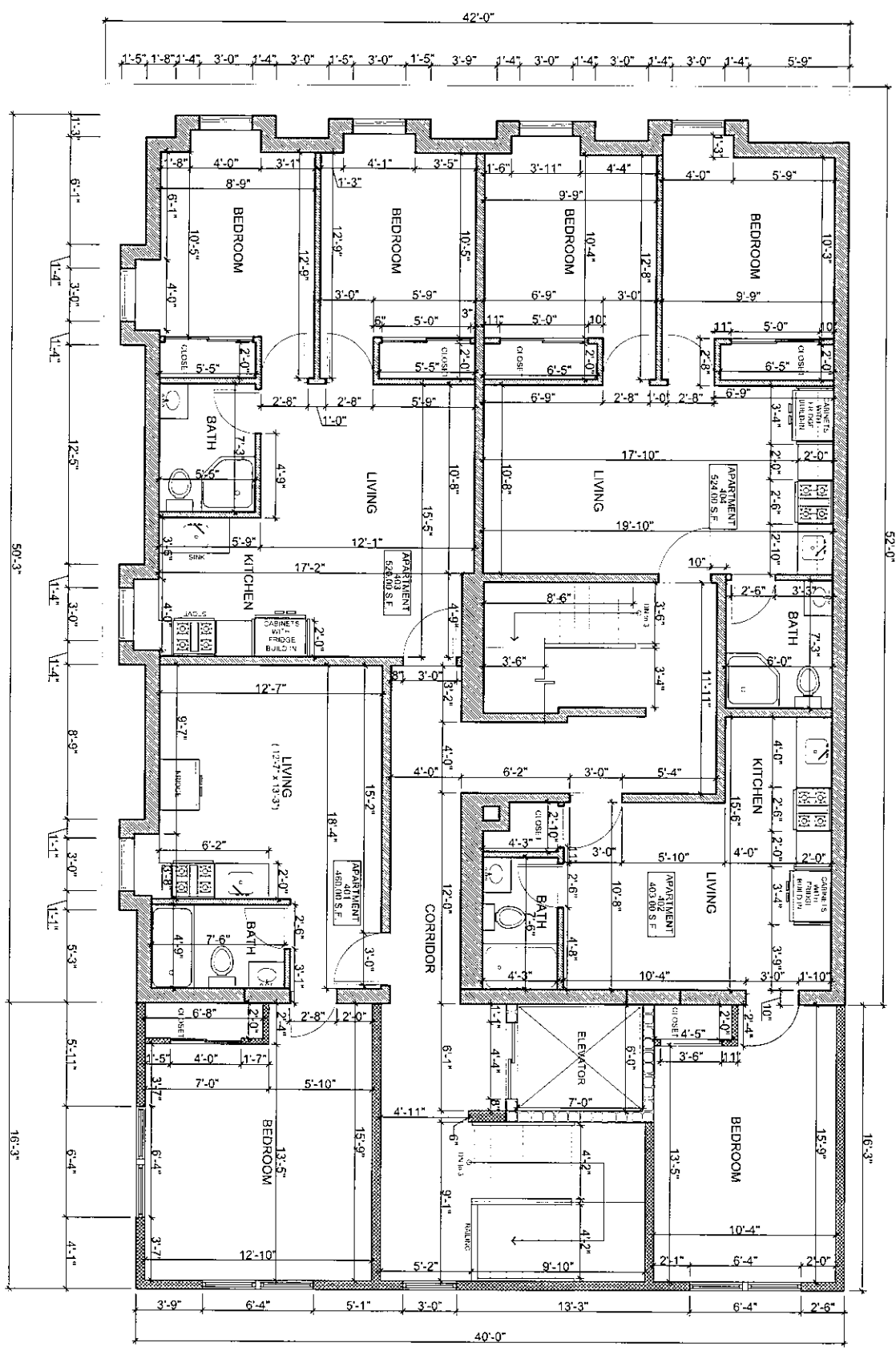
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 ADDRESS: 125 MERRIMACK ST. HAVERHILL MA 01830  
 OWNER: DAVINCI MINI APTS-JONY PEREZ  
 PETITIONER: DAVINCI MINI APTS-JONY PEREZ

REVISED BY:  
 APPROVED BY:  
 DRAWN BY: GILBERTO JIMENEZ  
 DATE: 7/28/2025

FLOOR PLAN	
SHEET 1	24
	41

(DIMENSIONED)  
**PROPOSED FOURTH FLOOR PLAN**  
SCALE: 1/4"=1'-0"  
**INTERIOR AREA= 2,500 S.F.**



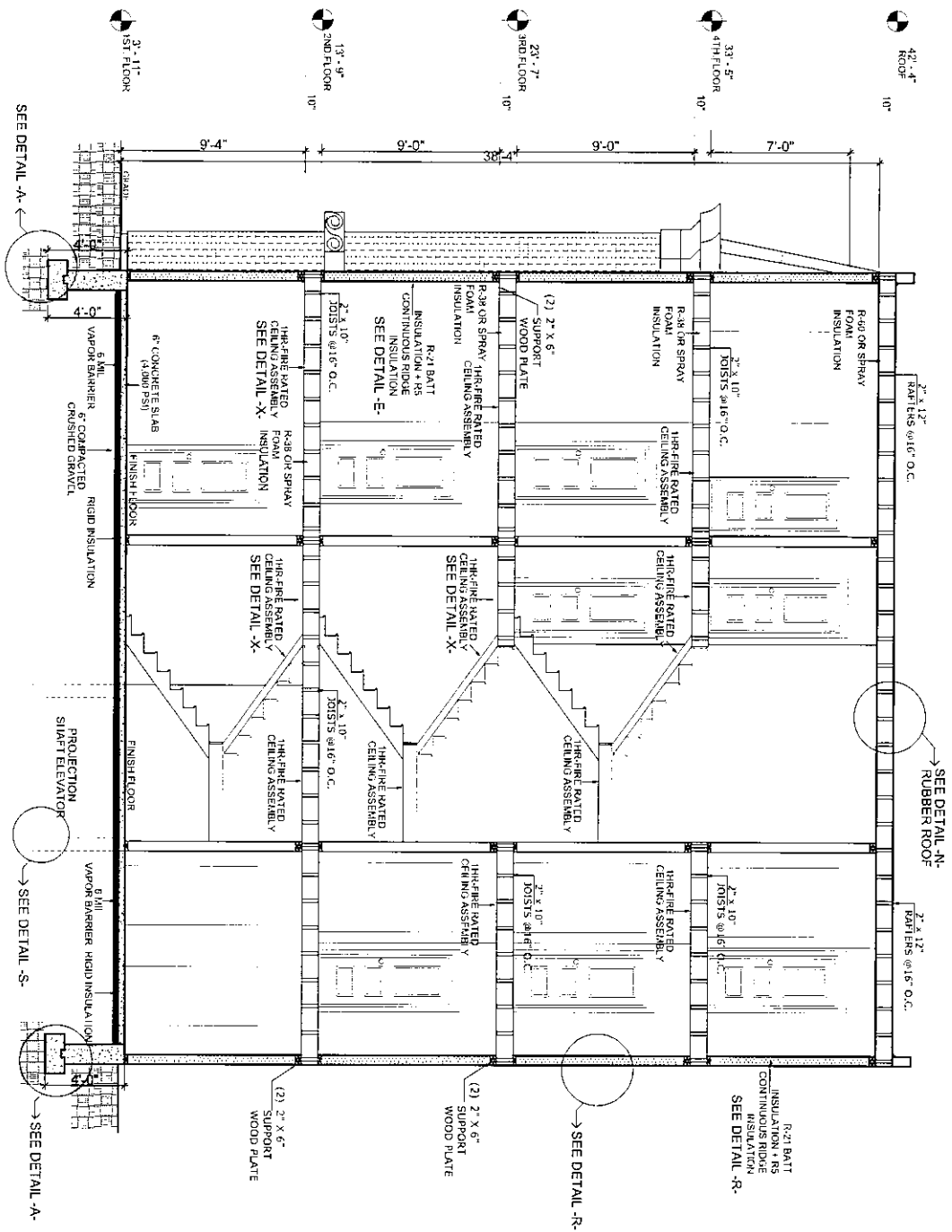
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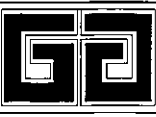
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FLOOR PLAN	
SHEET 1	25 / 41



**SECTION A-A**  
SCALE: 1/8" = 1'-0"



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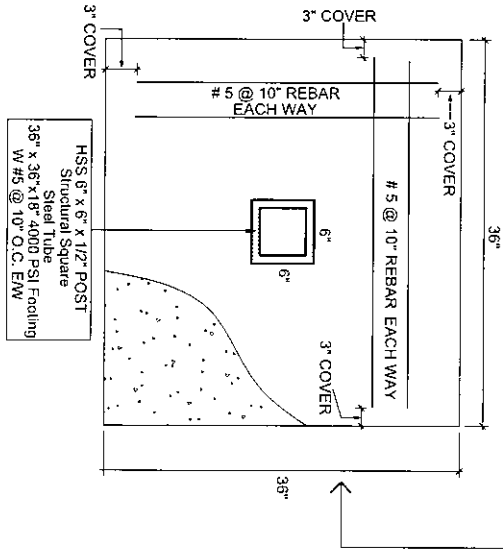
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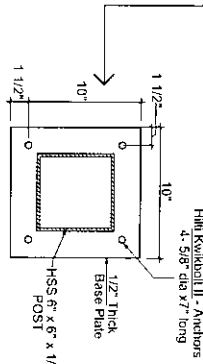
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FLOOR PLAN	
SHEET 1	26
	41

**COLUMN FOOTING  
DETAIL -C-**

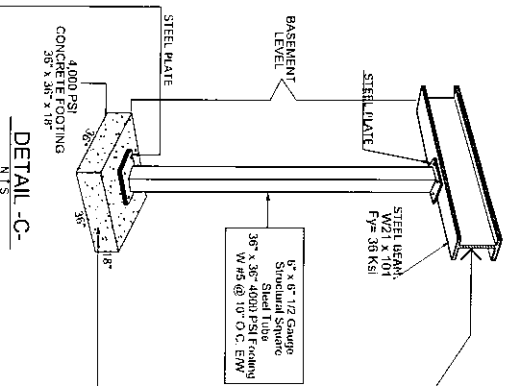


**BASE PLATE**

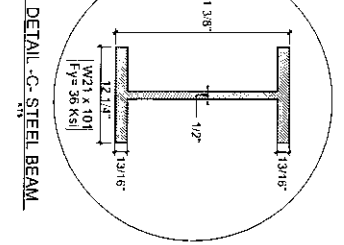


**DETAIL -C-**

N.T.S.

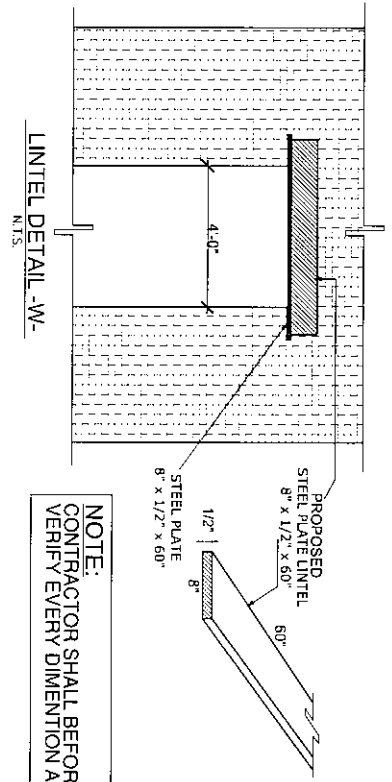


**DETAIL -C- STEEL BEAM**

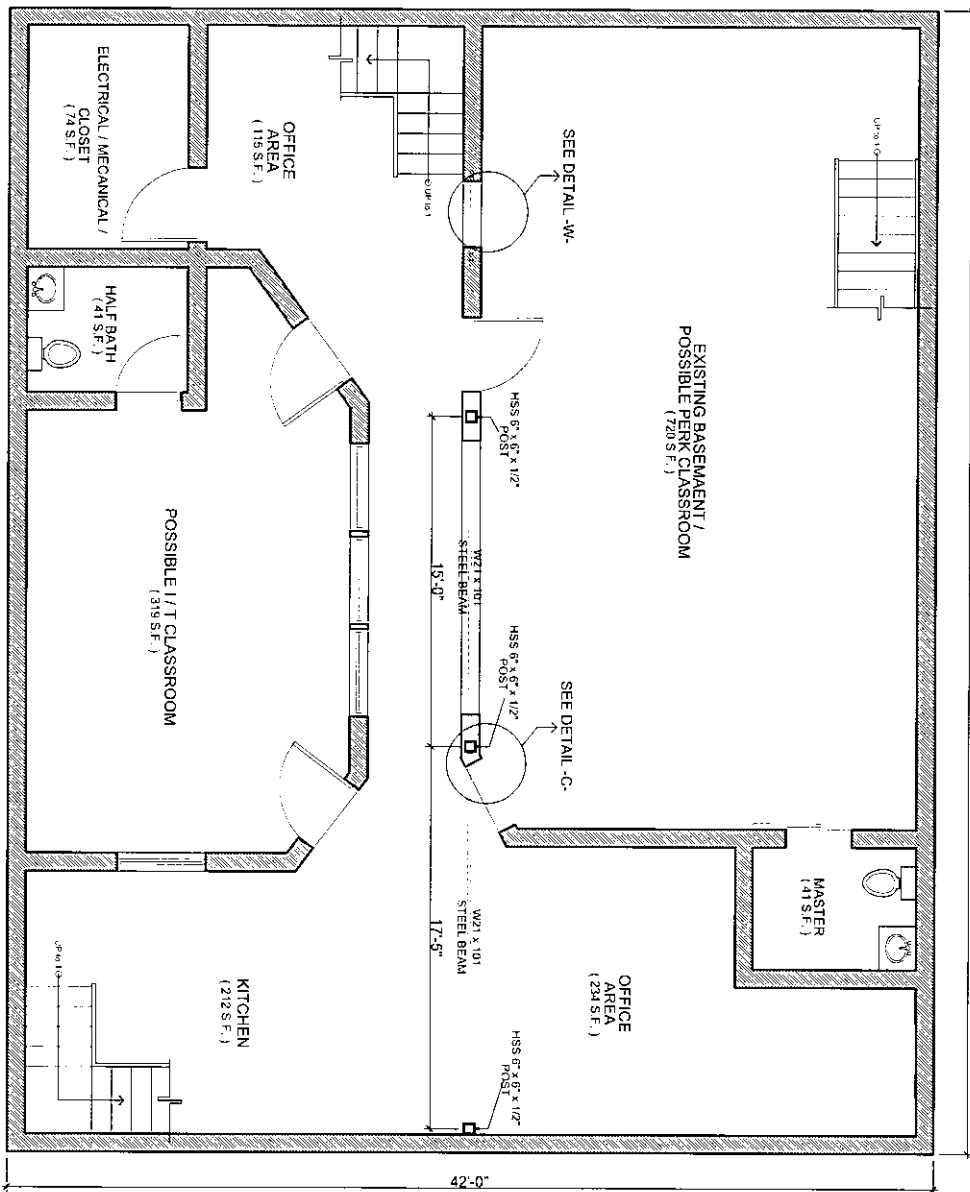


**INTEL DETAIL -W-**

N.T.S.



**NOTE:**  
CONTRACTOR SHALL BEFORE START WORK,  
VERIFY EVERY DIMENSION AND HEIGHT



**(STRUCTURAL)  
BASEMENT FLOOR PLAN**

SCALE: 1/4\"/>



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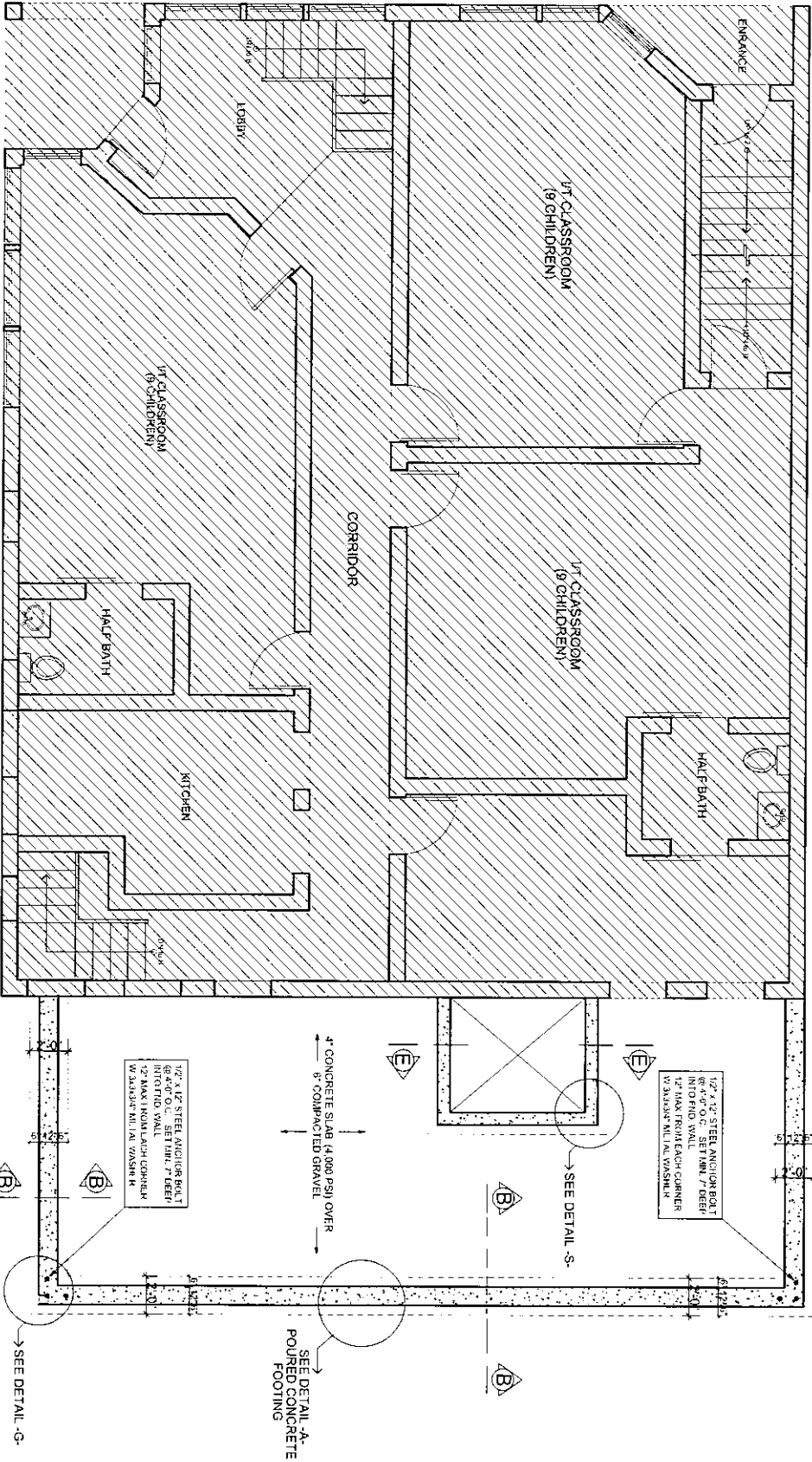
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DATE: 7/28/2025

FLOOR PLAN	
SHEET 1	27
	41

**GENERAL NOTES :**

- 1-CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (10 TH EDITION OF THE IBCS, 780 CMR) AND THE CITY OF HAVERHILL ORDINANCES.
- 2-CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND PROCEDURES.
- 3-CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS DURING BUILDING CONSTRUCTION AND SHALL PROVIDE ADEQUATE SHORING AND BRACING TO ENSURE SAFETY.
- 4-ALL DIMENSIONS AND SITE CONDITIONS SHALL BE FIELD VERIFIED AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR NOTIFY THE OWNER OR DESIGNER OF ANY DISCREPANCY BEFORE STARTING WORK.
- 5-IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES AND TO PROTECT THEM FROM DAMAGE.
- 6- ALL DETAILS, SECTIONS, NOTES OR REFERENCE TO OTHER DRAWINGS ARE INTENDED TO BE TYPICAL.
- 7-DURING CONSTRUCTION AND BEFORE ANY CHANGES, REVISIONS, MODIFICATIONS OR DEVIATION FROM THE CONSTRUCTION DOCUMENT, CONTRACTOR SHALL BRING TO THE ATTENTION OF THE OWNER OR DESIGNER AND OBTAIN APPROVAL FROM THE BUILDING DEPARTMENT BEFORE PROCEEDING WITH THE WORK.
- 8-SPECIFIC NOTES AND DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS WHERE THE DRAWINGS DO NOT SHOW DETAILS. CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.



**NOTE:**  
CONTRACTOR SHALL BEFORE START WORK  
VERIFY EVERY DIMENSION AND HEIGHT

**NOTE:**  
CONTRACTOR MUST CALL DIG SAFE  
BEFORE PERFORMING ANY EXCAVATION

**FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"



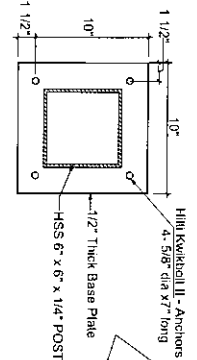
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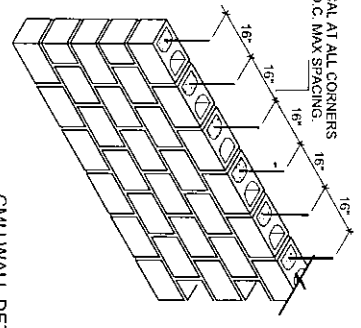
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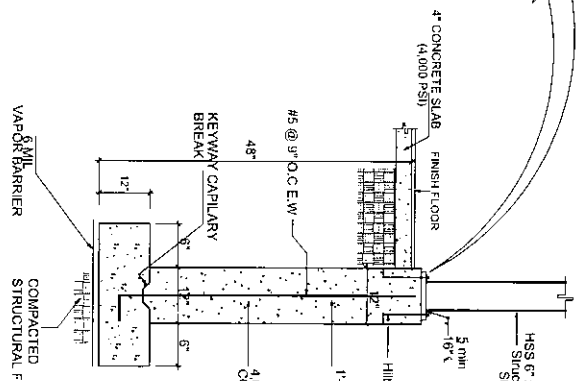
FOUNDATION PLAN	
1	28
	41



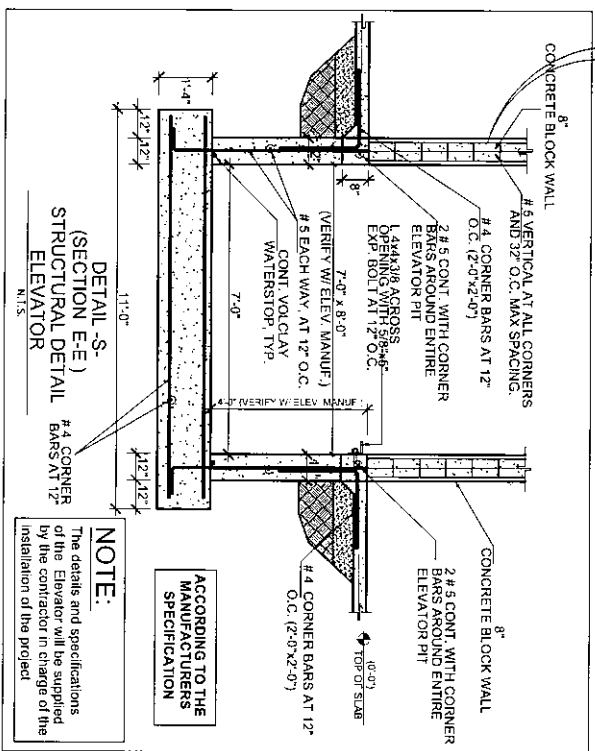
BASE PLATE



CMU WALL DETAIL



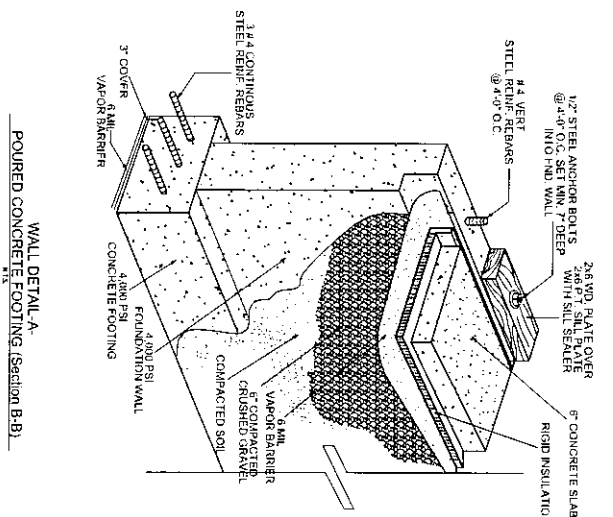
DETAIL -G- COLUMN FOOTING



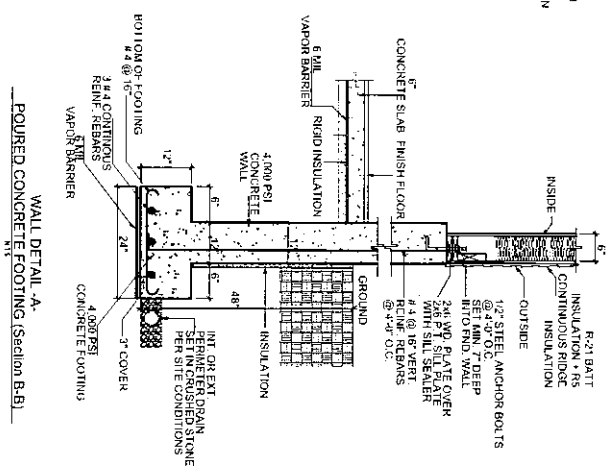
DETAIL -S- (SECTION E-E) STRUCTURAL DETAIL ELEVATOR

**NOTE:**  
The details and specifications of the Elevator will be supplied by the contractor in charge of the installation of the project.

ACCORDING TO THE MANUFACTURERS SPECIFICATION



WALL DETAIL -A- POURING CONCRETE FOOTING (Section B-B)



WALL DETAIL -A- POURING CONCRETE FOOTING (Section B-B)

**CONCRETE NOTES**

1. ALL CONCRETE TO BE 4,000 PSI @ 28 DAYS AND PLACED IN ACCORDANCE WITH INDUSTRY STANDARDS. DO NOT STRIKE FORMS FOR 72 HOURS.
2. FOOTINGS TO BE PLACED ON UNDISTURBED NATIVE SOILS. NOTIFY ARCHITECT IN THE EVENT OF ANY OVER-EXCAVATION BEFORE PROCEEDING WITH WORK.
3. ALL STEEL REINFORCING TO BE NEW AND PLACED IN ACCORDANCE WITH INDUSTRY STANDARDS, AND FREE OF RUST, SCALE, DIRT OR OTHER DEBRIS.
4. CONCRETE CONTRACTOR TO VERIFY LOCATIONS OF ALL HOLD-DOWNS WITH FRAMING CONTRACTOR.
5. COORDINATE LOCATION OF ALL BONDOUTS FOR WATER, SEWER, ELECTRICAL AND OTHER UNDERGROUND UTILITIES.
6. IN AREAS WHERE FOUNDATION WALLS ARE TO BE LEFT EXPOSED TO VIEW, GRIND SMOOTH ALL FORM JOINTS AND FILL ALL THE HOLES BEFORE APPLYING PARPING.

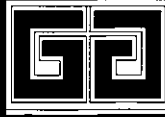
**FOUNDATION WALL TYPICAL NOTE:**

- 12\"/>

**COLUMN FOOTING THICKENED SLAB SCHEDULE:**

- OVER FOUNDATION CONCRETE WALL

**STRUCTURAL DETAILS**



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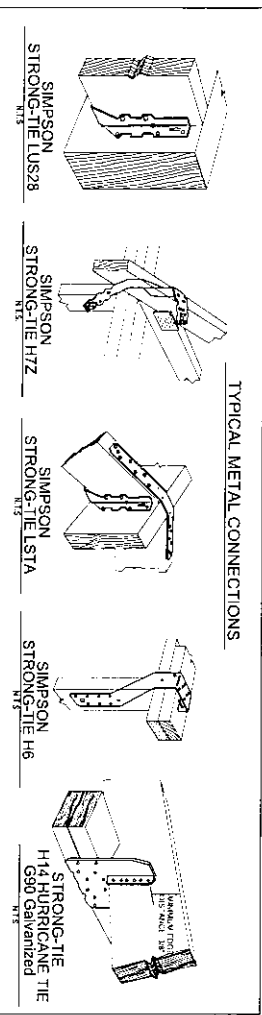
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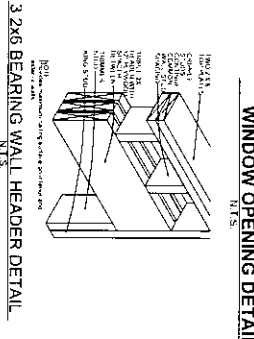
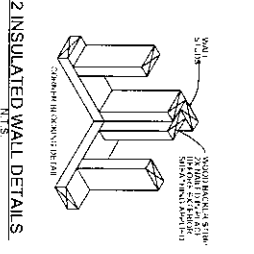
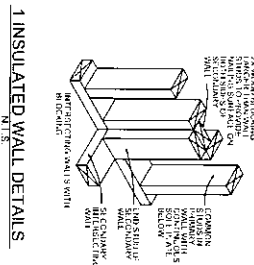
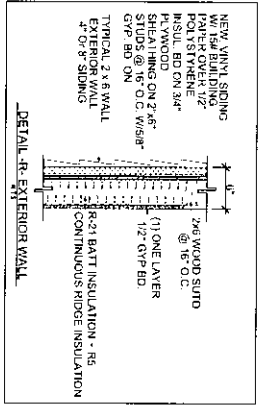
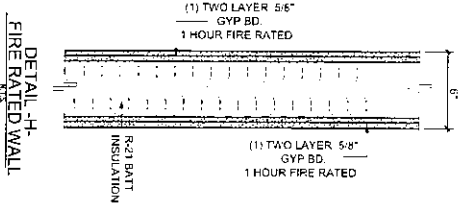
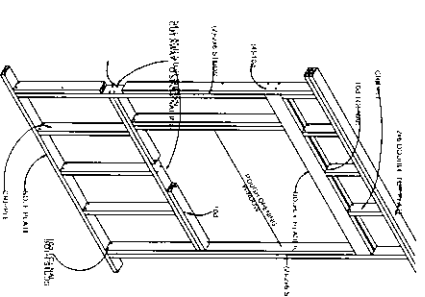
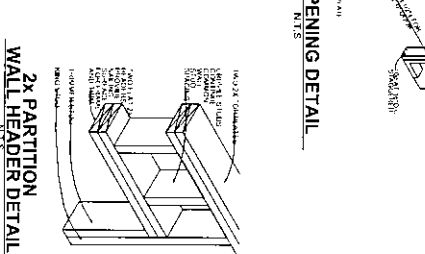
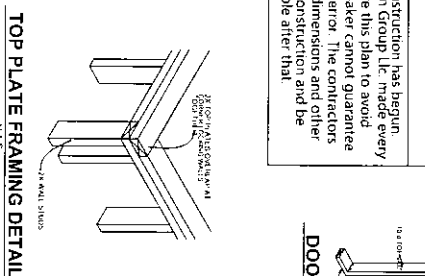
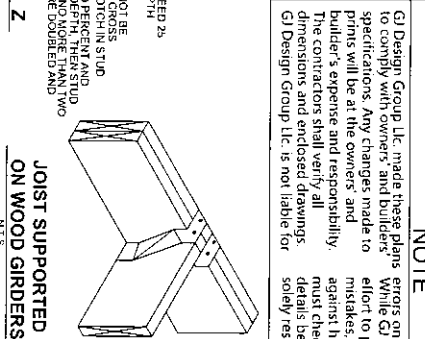
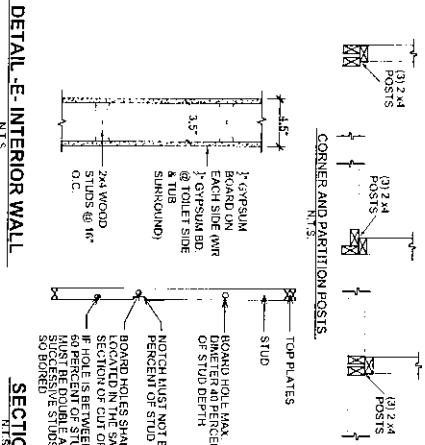
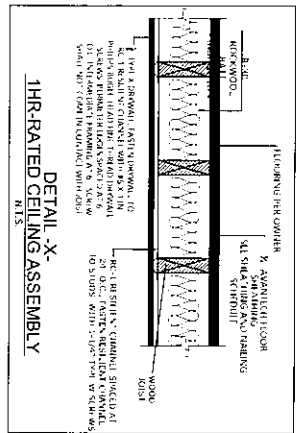
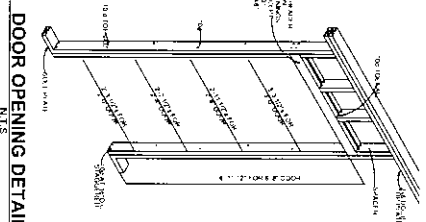
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STRUCTURAL DETAILS	
29	41

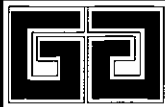
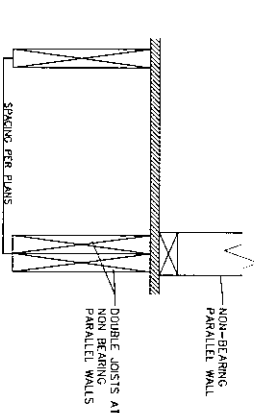
TYPICAL METAL CONNECTIONS



**NOTE**  
GJ Design Group, LLC made these plans errors once construction has begun to comply with owners' and builders' specifications. While GJ Design Group, LLC made every effort to prepare this plan to avoid mistakes, the maker cannot guarantee builder's expertise and responsibility against human error. The contractors must check all dimensions and other details before construction and be solely responsible after that.



**NOTE:**  
1. WITH SPRINKLER SYSTEM  
2x6" STUDS @ 16" O.C. W/ ONE LAYER 5/8" SHEETROCK FIRE CODE EACH SIDE (1 HR. FIRE-RATED).  
2. WITHOUT SPRINKLER SYSTEM  
2x6" STUDS @ 16" O.C. W/ TWO LAYER 5/8" SHEETROCK FIRE-CODE EACH SIDE (2 HR. FIRE-RATED).



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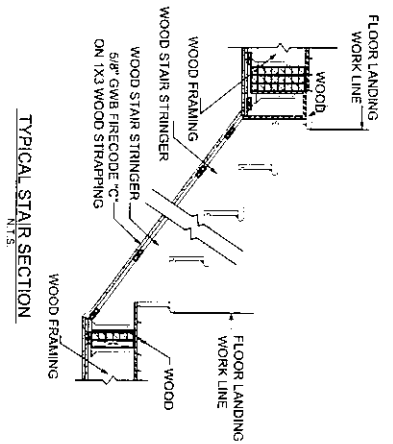
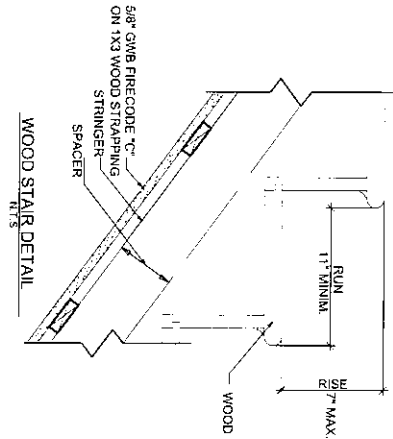
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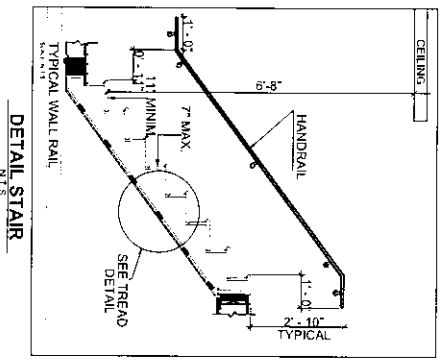
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STRUCTURAL DETAILS  
SHEET 1 OF 30  
41

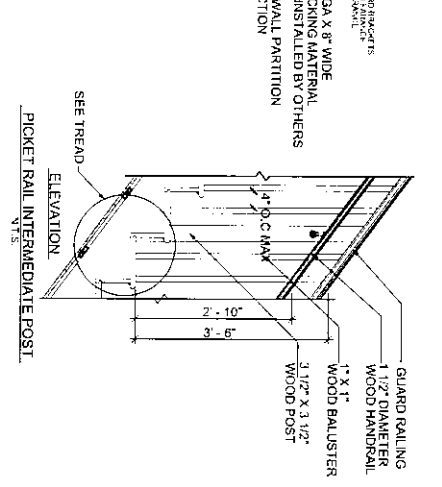
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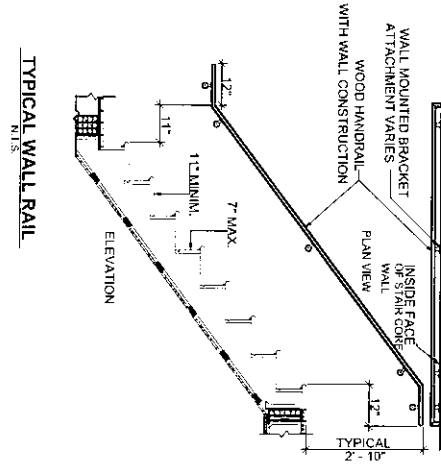
**DETAILS STAIR**  
 N.T.S.



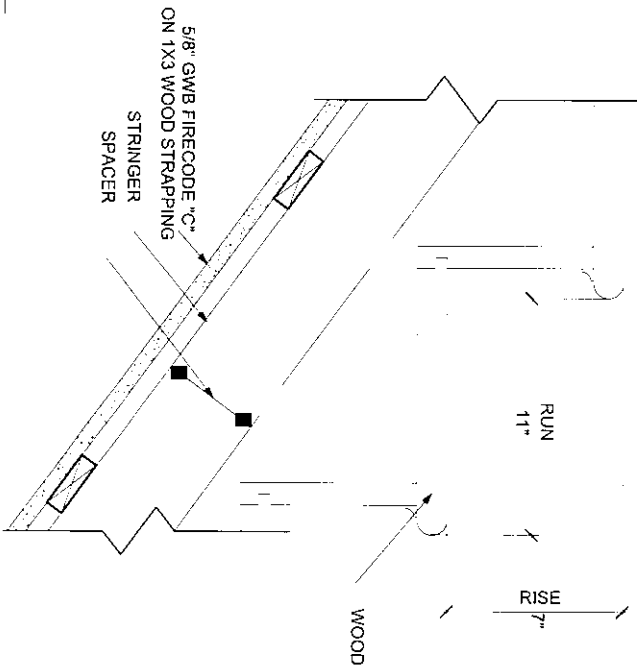
**WALL HANDRAIL BRACKET MOUNTING DETAIL**  
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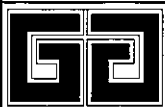
**NOTE:**  
 CONTRACTOR/INSTALLER TO COORDINATE HANDRAIL ATTACHMENT & BLOCKING WITH RESILIENT CHANNELS ON DEMISING WALL



**TYPICAL DETAILS STAIR**  
 N.T.S.



**PICKET RAIL INTERMEDIATE POST**  
 N.T.S.



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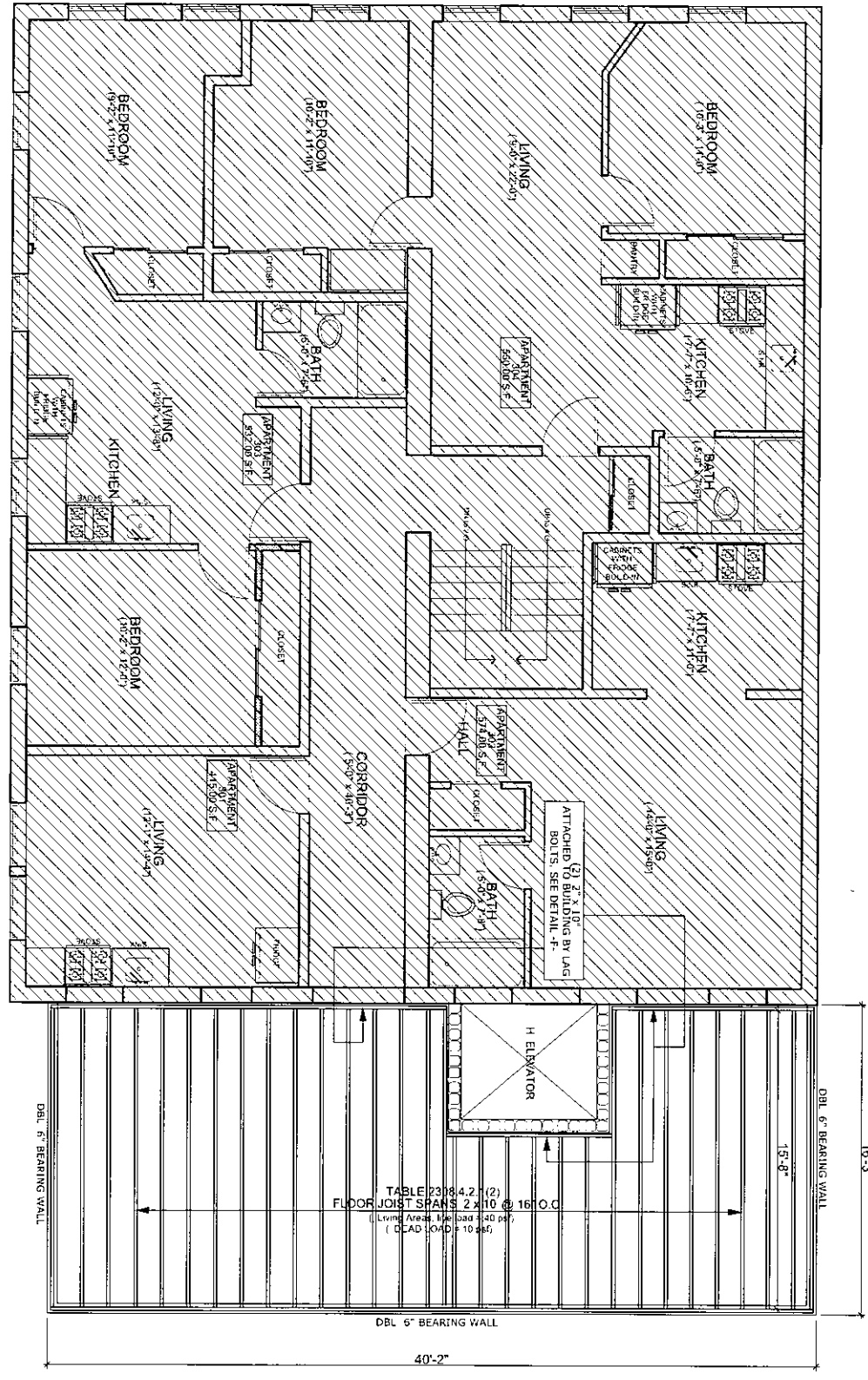
TYPICAL DETAILS	31
SHEET	41



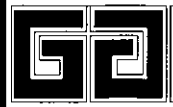
**NOTE**  
 MDI Incorporated made these plans to comply with owners and builders specifications. Any changes made to print will be at the owners and builder's expense and responsibility. The contractors shall verify all dimensions and enclosed drawings MDI Incorporated is not liable for.

**NOTE:**  
 CONTRACTOR SHALL BEFORE START WORK VERIFY EVERY DIMENSION AND HEIGHT

**FRAMING NOTES:**  
 1. ALL HANGERS ARE BY SIMPSON STRONG TIE  
 2. FASTEN RAFTERS TO EXTERIOR WALL DOUBLE TOP PLATE WITH SIMPSON STRONG TIE 2x4 HURRICANE TIES  
 3. HOT DIP GALVANIZED HANGERS EXPOSED TO WEATHER  
 4. SCREWS AND NAILS TO BE STAINLESS WHEN EXPOSED TO WEATHER  
 5. FOR A SINGLE 2x6 OR 2x8 USE LUS26, FOR DOUBLE 2x6 OR DOUBLE 2x8 USE LUS26-2 FOR A SINGLE 2x10 USE LUS28, FOR A DOUBLE 2x10 USE LUS28-2



**2ND FLOOR FRAMING PLAN**  
 SCALE 1/4" = 1'-0"



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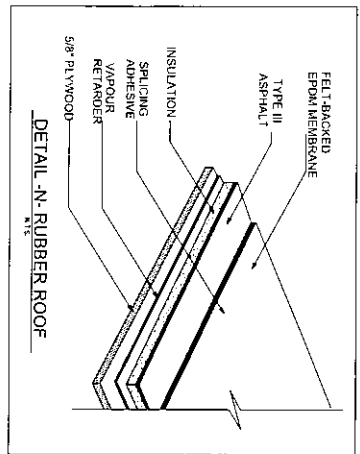
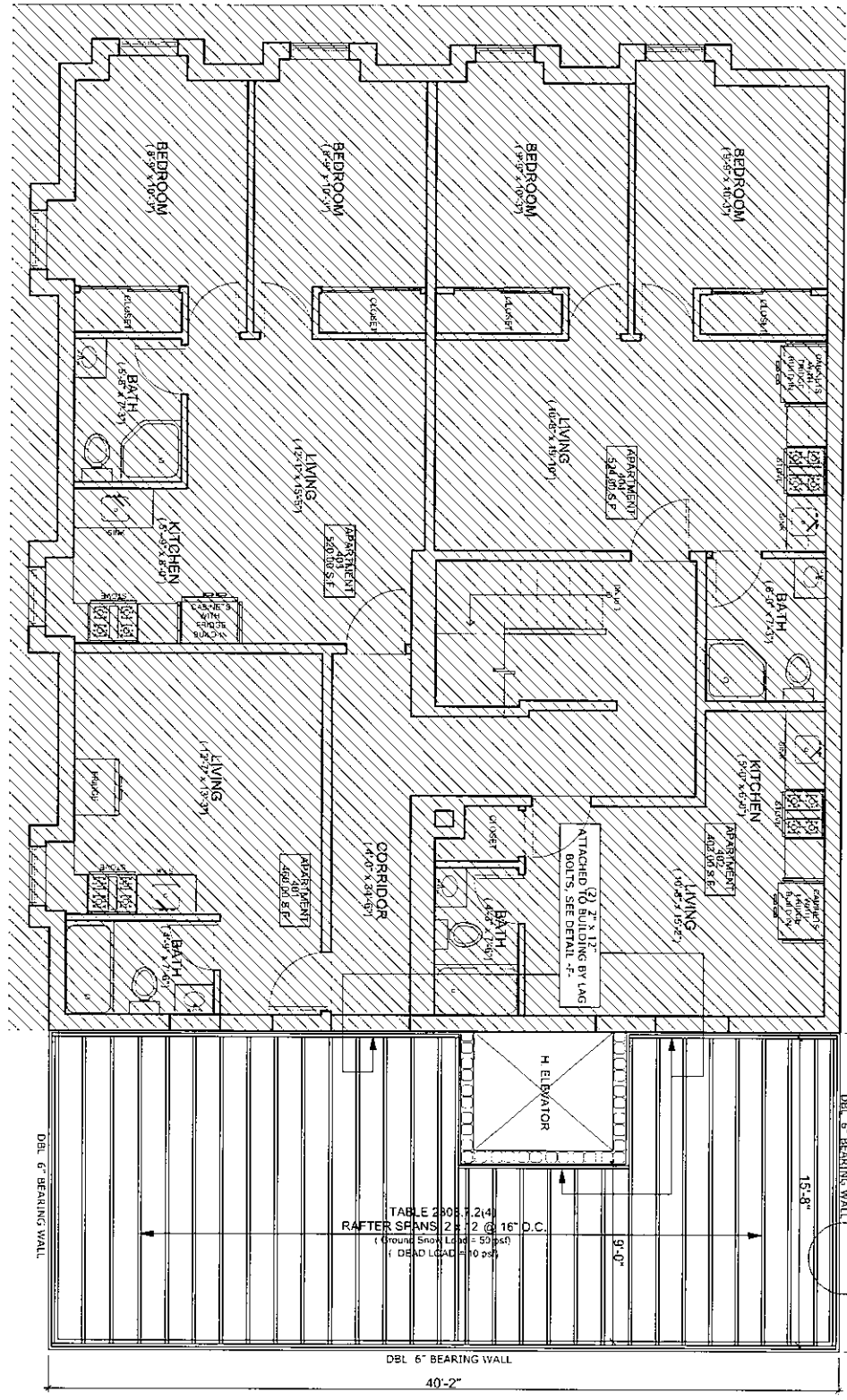
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 APPROVED BY:  
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FRAMING PLAN  
 SHEET 1  
 33  
 41

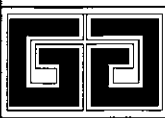


**ROOF FRAMING PLAN**  
SCALE: 1/8"=1'-0"



**NOTE:**  
CONTRACTOR SHALL BEFORE START WORK  
VERIFY EVERY DIMENSION AND HEIGHT

**FRAMING NOTES:**  
1. ALL FRAMERS ARE BY SIMPSON STRONG TIE  
2. FASTEN PARTS TO EXTERIOR WALL DOUBLE TOP  
3. PLATE WITH SIMPSON STRONG TIE 5M HURRICANE TIES  
3.40 DBL 6" AND VAN 3" O BE STAINLESS WHEN EXPOSED TO WEATHER  
4. FOR A SINGLE EXPOSED USE LUS2R OR DOUBLE 2X6 OR DOUBLE 2X4  
5. FOR A SINGLE EXPOSED USE LUS2R FOR A DOUBLE 2X10 USE LUS2R-2



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Professional Designer

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DESIGN WITHOUT THE AUTHORIZATION OF THE AUTHOR

PROJECT: COMMERCIAL RESIDENTIAL BUILDING  
ADDRESS: 125 MERRIMACK ST. HAVERHILL MA 01830  
OWNER: DAVINCI MINI APTS-JONY PEREZ  
PETITIONER: DAVINCI MINI APTS-JONY PEREZ

REVISED BY:  
APPROVED BY:  
DRAWN BY: GILBERTO JIMENEZ  
DATE: 7/28/2025

FRAMING PLAN  
SHEET 1 35 41

**JOIST HANGER SCHEDULE**

JOISTS	HANGER	FACE NAILS	TOP FLANGE NAILS	JOIST NAILS
(SINGLE) 2x6 OR 2x8	LUS26	(4) 10d	N/A	(4) 10d
(DOUBLE) 2x6 OR 2x8	LUS26-2	(4) 16d	N/A	(4) 16d
(SINGLE) 2x10 OR 2x12	LUS210	(8) 10d	N/A	(4) 10d
(DOUBLE) 2x10 OR 2x12	LUS210-2	(8) 16d x 3"	N/A	(8) 16d x 3"
RAFTERS 2x10	LSSR210Z	(14) 10d x 2 1/2"	N/A	(10) 10d x 2 1/2"
RAFTERS 2x12	LSSR210Z	(14) 10d x 2 1/2"	N/A	(10) 10d x 2 1/2"
(2) 1/2" x 1 1/2" LVL	MCU3-63-SDS	(2) 1/2" x 2 1/2" SDS	N/A	(16) 1/2" x 2 1/2" SDS

**SHEATHING/NAILING SCHEDULE**

LOCATION	APA RATED/CGO APPROVED SHEATHING	MIN. PLYWOOD THICKNESS	BLOCKED PANEL EDGES REQ.	COMMON NAIL SIZE	NAIL SPACING			NOTES
					PERIMETER PANEL EDGES & DIAPHRAM BOUNDARIES	OTHER PANEL EDGES	INTERMEDIATE FRAMING MEMBER	
FLOOR	AVANTECH SHEATHING	3/4"	NO	8	6" O.C.	N/A	12" O.C.	
SHEAR WALL	ZIP SYSTEM SHEATHING	3/4"	YES	8	6" O.C.	N/A	12" O.C.	
ROOF	ZIP SYSTEM ROOF SHEATHING	3/4"	NO	8	6" O.C.	N/A	12" O.C.	

**STRUCTURAL NOTES**

- GENERAL NOTES
  - ALL WORK SHALL CONFORM TO THE FOLLOWING STANDARDS
    - MASSACHUSETTS COMMERCIAL CODE 780 CMR
    - NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION AFRP-ND5-2005
    - NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION - AFRP-ND5-2005.
  - ALL CONTRACTORS SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, COORDINATION OF OTHER TRADES, AND THE TECHNIQUES TO PRODUCE A SOUND AND QUALITY PROJECT. SHOPPING IS THE RESPONSIBILITY OF THE CONTRACTOR.
  - ALL CONTRACTORS SHALL VERIFY AND COORDINATE ALL DIMENSIONS AND DETAILS RELATED TO THIS PROJECT. CONTRACTORS MUST INFORM ALL DISCHARGES BEFORE PROCEEDING.
  - ALL DETAILS AND NOTES SHOWN ON THE CONTRACT DOCUMENTS ARE TYPICAL FOR ALL SIMILAR CONDITIONS EXCEPT WHERE SPECIFICALLY REQUIRED OTHERWISE.
  - NO MAIN FRAMING OR STRUCTURAL MEMBERS ARE TO BE MODIFIED, ALTERED, OR CUT WITHOUT THE APPROVAL.
  - ALL CONTRACTORS SHALL BE RESPONSIBLE FOR ALL JOB SAFETY DURING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO SHEETING, SHOPPING, AND GUNNING STRUCTURES, BARRIERS, AND SIGNAGE.
- STRUCTURAL LOADS
  - PER MASSACHUSETTS STATE BUILDING CODE - 10TH EDITION
  - DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES - ASCE 7-05
  - EXPOSURE ..... B
  - GROUND SNOW LOAD ..... 50 PSF
  - UNBALANCED SNOW LOAD ..... 50 PSF
  - ADDITIONAL ALLOWANCES FOR DRIFTING AND SLIDING SNOW) LIVE LOADS-LIVING SPACE ..... 40 PSF
  - FORMWORK - ACI 307-05
  - SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS ACI 301-05
  - COLD WEATHER CONCRETING ACI 306
  - DETAILING AND REINFORCING STEEL ACI 315-05
  - BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE ACI 318-11.
  - BUILDING CODE REQUIREMENTS FOR PLAIN CONCRETE ACI 322-05.

**WOOD FRAMING**

- ALL WOOD FRAMING SHALL CONFORM TO THE FOLLOWING STANDARDS
  - MASSACHUSETTS COMMERCIAL CODE 780 CMR
  - INTERNATIONAL BUILDING CODE 2006 EDITION
  - NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION AFRP-ND5-2005
- ALL FRAMING MEMBERS SHALL BE NO. 1 / NO. 2 OR BETTER WITH ALL MAXIMUM MOISTURE CONTENT OF 6% UNLESS NOTED OTHERWISE. DESIGN VALUES SHALL BE:
  - Fb = 875PSI, Fc = 70 PSI, E = 1,400,000PSI
- ENGINEERED LUMBER PRODUCTS SHALL HAVE THE FOLLOWING DESIGN VALUES OR BETTER:
  - COL UMS, GRADE 3100 FB, SP, Fb=3,100 PSI, Fc11=1,000 PSI, E=1,800,000PSI
  - BEAMS GRADE 3100 FB, SP, Fb=3,100 PSI, Fc=285 PSI, E=2,000,000PSI
- ALL LUMBER AND PLYWOOD SHALL BE GRADE STAMPED BY THE APPROPRIATE MANUFACTURER'S ASSOCIATION FOR THE APPROPRIATE USE:
  - ROOF 19x27 SQUARE EDGE PLYWOOD WITH FRAMING CLIPS
  - FLOORS 23x27 TONGUE & GROOVE PLYWOOD
  - WALLS 15x27 PLYWOOD
- ROOF AND WALL SHEATHING SHALL COMPLY WITH THE FOLLOWING:
  - APA RATED SHEATHING EXPOSURE 1 OR 2
  - ROOF SHEATHING SHALL HAVE A 40/20 SPAN RATING
  - ROOF SHEATHING SHALL HAVE ONE PANEL EDGE CLIP BETWEEN EACH SUPPORT
  - LEAVE A 1/8" EXPANSION GAP BETWEEN ALL PANELS AS REQUIRED BY APA
  - INSTALL SHEETS WITH FACE GRAIN PERPENDICULAR TO SUPPORTING MEMBERS
- ALL WOOD THAT CONTACTS CONCRETE, MASONRY, OR EARTH SHALL BE PRESSURE TREATED (PT) WITH A CCA-C 0.40 PROCESS SEE MANUFACTURER'S RECOMMENDATIONS FOR FASTENING TO PT WOOD.
- ALL FRAMING SHALL BE PLUMB, TRUE, AND ADEQUATELY BRACED SUCH THAT THE STRUCTURE IS RIGID AND BEARS FULLY WITHOUT THE USE OF SHIMS.
- BUILD UP ALL FRAMING MEMBERS WITH 16D NAILS AT 16" O.C. MAXIMUM UNLESS NOTED OTHERWISE. PROVIDE PLYWOOD FILTERS BETWEEN MEMBERS TO MATCH WALL THICKNESS.
- PROVIDE SOLID BLOCKING UNDER ALL CONCENTRATED LOADS. PROVIDE CONTINUITY TO TOP OF FOUNDATION OR FOOTING.
- PROVIDE A DOUBLE TOP PLATE FOR ALL EXTERIOR WALLS W/ SPLICES STAGGERED BY 4 FEET MIN.
- FASTENERS SHALL COMPLY WITH THE FOLLOWING:
  - NAILS SHALL BE COMMON WIRE NAILS GALVANIZED @ EXPOSED FRAMING
  - BOLTS, NUTS, AND WASHER SHALL BE ASTM A-307, HOT DIP GALVANIZED AT EXTERIOR EXPOSED FRAMING CONFORMING TO ASTM A153
  - ALL WOOD MEMBERS TO BE NAILED PER THE MASSACHUSETTS RESIDENTIAL CODE 780 CMR 51.00
  - PLYWOOD SHALL BE NAILED AT 6" O.C. AT ALL JOINTS AND EDGES & AT 16" O.C. AT OTHER SUPPORTS. GLUE PLYWOOD SUB-FLOORS TO JOISTS BEFORE NAILING WITH CONSTRUCTION ADHESIVE.
  - PROVIDE DOUBLE JOISTS UNDER PARALLEL PARTITION WALLS AT ALL FLOORS UNLESS OTHERWISE NOTED



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DATE: 7/28/2025

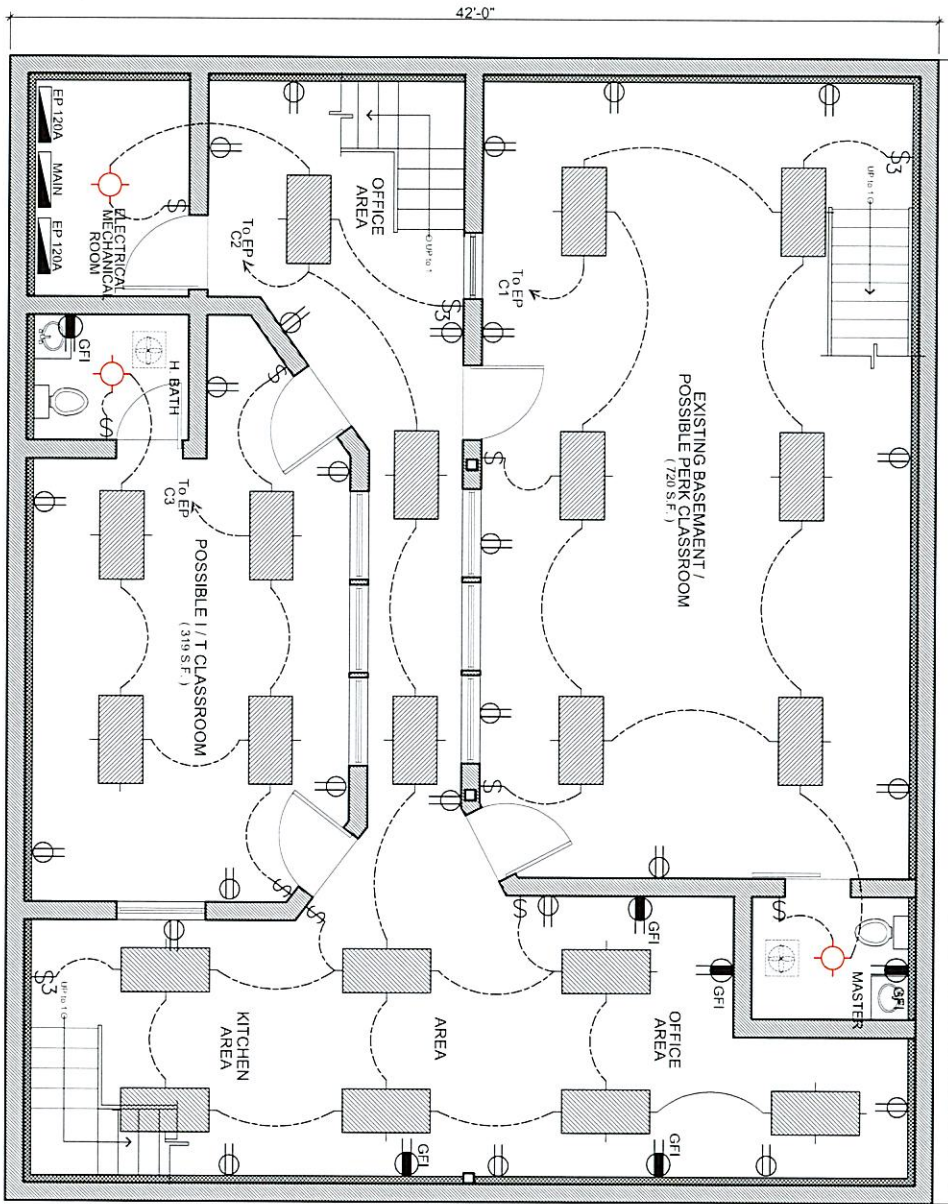
STRUCTURAL NOTES  
SHEET 1  
36  
41

**ELECTRICAL SPECIFICATIONS:**

1. THE ESTIMATE FOR THE ELECTRICAL WILL NOT INCLUDE ANY CHARGES FROM THE UTILITY COMPANY RELATED TO THE INSTALLATION OF THE MAIN ELECTRICAL SERVICE AND/OR OVERHEAD SERVICE RUNNING TO THE BUILDING(S).
2. ALL BRANCH CIRCUITS, SUB-PANELS, FEEDERS TO SUB-PANELS, ETC. WILL BE SIZED ACCORDING TO LOAD CALCULATIONS AS SPECIFIED BY THE NATIONAL ELECTRICAL CODE (NEC).
3. SUB-FEEDERS AS WELL AS MAIN FEEDER WIRE WILL BE ALUMINUM AND SIZED ACCORDING TO NEC STANDARDS.
4. WE WILL PROVIDE THE POWER WIRING ONLY FOR THE HVAC EQUIPMENT (CONTROL WIRING THE RESPONSIBILITY OF OTHERS).
5. THE FINAL FIRE ALARM COST WILL BE DETERMINED ONCE THE PLANS ARE APPROVED BY THE HAVERHILL FIRE DEPARTMENT.
6. ALL LIGHTING FIXTURES USED WILL BE THE RESPONSIBILITY OF THE OWNER.
7. WE WILL SUBMIT A SET OF FINAL ELECTRICAL PLANS OUTLINING WHAT WE WILL DO INCOMPLETING THE ELECTRICAL WORK FOR THE PROJECT.

**LEGEND:**

	DUPLEX RECEPTACLE		ELECTRICAL BREAKER PANEL
	DEDICATED RECEPTACLE		CEILING OUTLET LIGHTING
	GFI DUPLEX RECEPTACLE		2' x 4' LAMP OUTLET LIGHTING
	240V RECEPTACLE		WALL MOUNTED LIGHTS
	SAFETY DISCONNECT SWITCH		BATHROOM EXHAUST FAN 7 1/4" X 7 1/2" X 3 5/8" 50 CFM, 0.90 AMPS
	LIGHTING SWITCH @ 48"		MONOXIDE DETECTOR
	3WAY LIGHTING SWITCH @ 48"		
	SMOKE DETECTOR		
	COMBO MONOXIDE/CARBON DETECTOR		



**PROPOSED BASEMENT FLOOR PLAN**  
(ELECTRICAL)  
SCALE: 1/4"=1'-0"

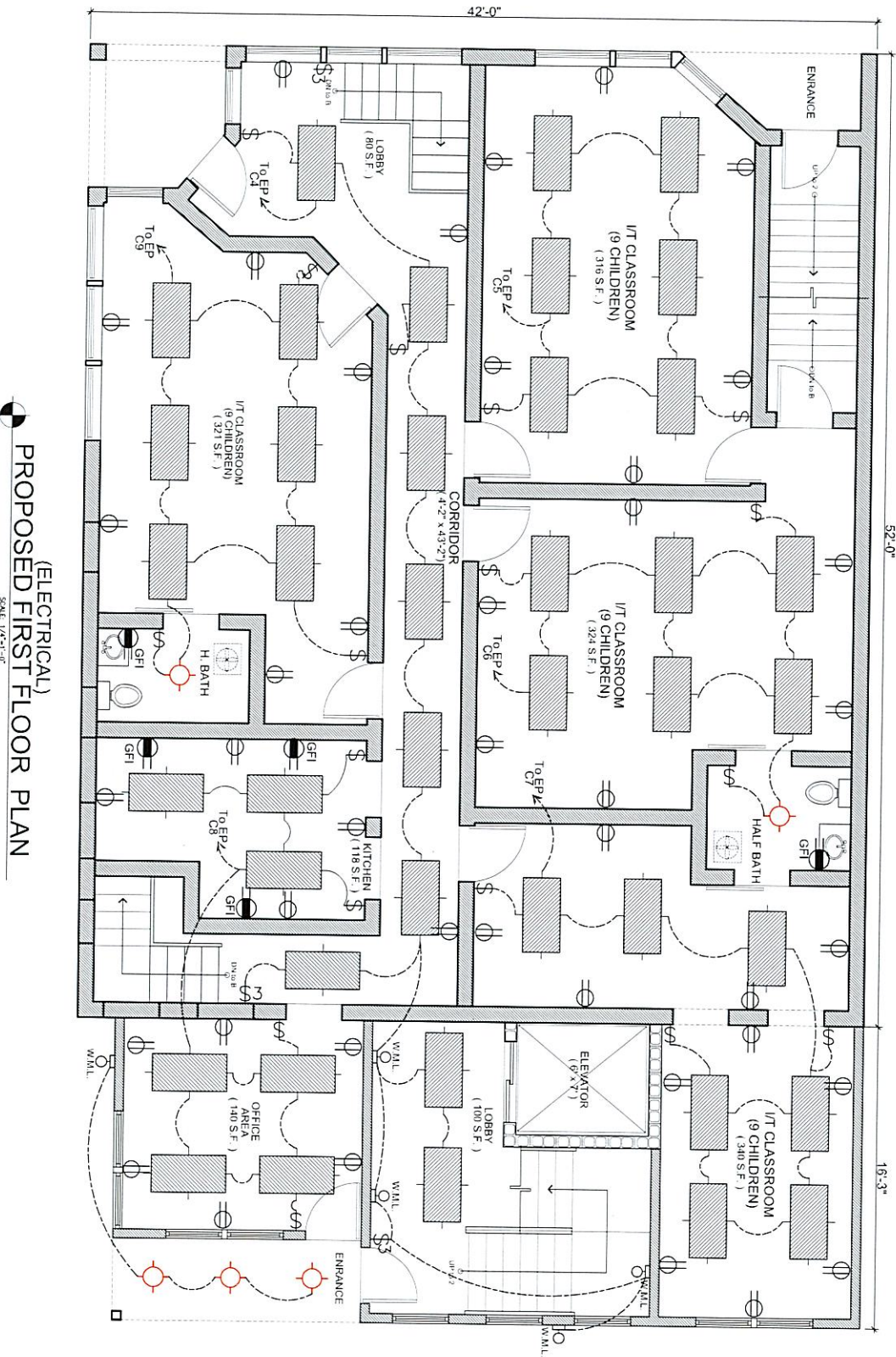


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PETITIONER: DAVINCI MINI APTS-JONY PEREZ

REVISED BY:  
APPROVED BY:  
DRAWN BY: GILBERTO JIMENEZ  
DATE: 7/28/2025



(ELECTRICAL)  
**PROPOSED FIRST FLOOR PLAN**  
 SCALE: 1/4"=1'-0"

- GENERAL NOTES:**
- 1- ALL WORK SHALL COMPLY WITH STATE AND LOCAL BUILDING CODES AND REGULATIONS.
  - 2- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND PROCEDURES.
  - 3- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS DURING BUILDING CONSTRUCTION AND SHALL PROVIDE ADEQUATE SHORING AND BRACING TO ENSURE SUCH SAFETY.
  - 4- ALL DIMENSIONS AND SITE CONDITIONS SHALL BE FIELD VERIFIED AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTIFY THE OWNER OR DESIGNER OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF WORK.
  - 5- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, AND TO PROTECT THEM FROM DAMAGE.
  - 6- ALL DETAILS, SECTIONS, NOTES, OR REFERENCE TO OTHER DRAWINGS ARE INTENDED TO BE TYPICAL.
  - 7- DURING CONSTRUCTION, AND PRIOR TO THE INCORPORATION OF ANY CHANGES, REVISIONS, MODIFICATIONS OR DEVIATION FROM THE CONSTRUCTION DOCUMENT, CONTRACTOR SHALL BRING TO THE ATTENTION OF THE OWNER OR DESIGNER AND OBTAIN APPROVAL FROM THE BUILDING INSPECTOR BEFORE PROCEEDING WITH THE WORK.
  - 8- SPECIFIC NOTES AND DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS, WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.
  - 9- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION.
  - 10- CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (10TH EDITION OF THE MBSG/780 C/M) (2021 IBC AND THE COMMONWEALTH OF MASSACHUSETTS AMENDMENT TO THE INTERNATIONAL COMMERCIAL CODE 2021) AND THE CITY OF HAVERHILL ORDINANCES.



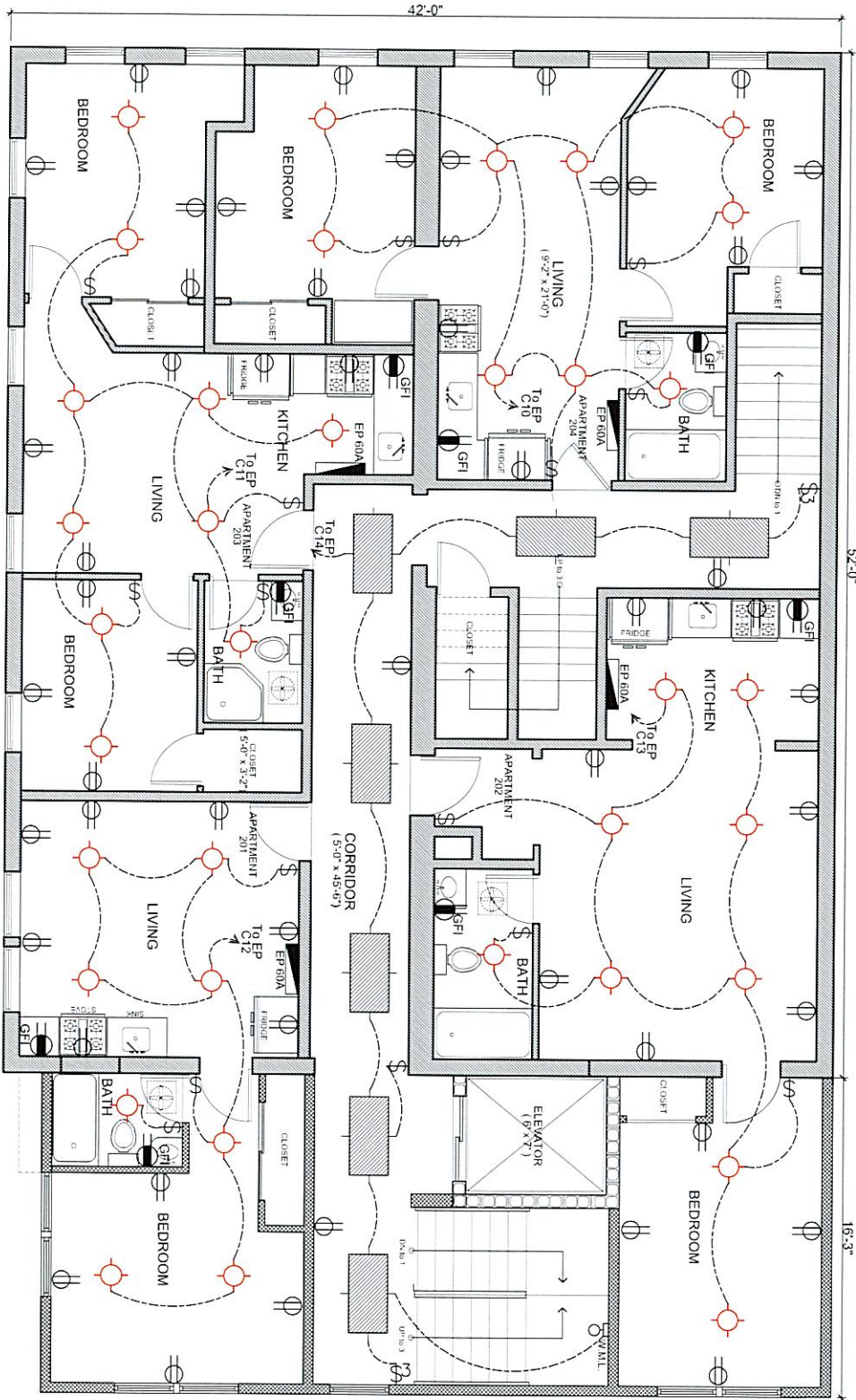
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REVISED BY:  
 APPROVED BY:  
 DRAWN BY: GILBERTO JIMENEZ  
 DATE: 7/28/2025

ELECTRICAL PLAN  
 SHEET 1  
 38  
 41



(ELECTRICAL)  
**PROPOSED SECOND FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

**ELECTRICAL SPECIFICATIONS:**

1. THE ESTIMATE FOR THE ELECTRICAL WILL NOT INCLUDE ANY CHARGES FROM THE UTILITY COMPANY RELATED TO THE INSTALLATION OF THE MAIN ELECTRICAL SERVICE. THE MAIN ELECTRICAL SERVICE WILL BE A 400 AMP, THREE-PHASE, FOUR-WIRE OVERHEAD SERVICE RUNNING TO THE BUILDING(S).
2. ALL BRANCH CIRCUITS, SUB-PANELS, FEEDERS TO SUB-PANELS, ETC. WILL BE SIZED ACCORDING TO LOAD CALCULATIONS AS SPECIFIED BY THE NATIONAL ELECTRICAL CODE (NEC).
3. SUB-FEEDERS AS WELL AS MAIN FEEDER WIRE WILL BE ALUMINUM AND SIZED ACCORDING TO NEC STANDARDS.
4. WE WILL PROVIDE THE POWER WIRING ONLY FOR THE HVAC EQUIPMENT (CONTROL WIRING THE RESPONSIBILITY OF OTHERS).
5. THE FINAL FIRE ALARM COST WILL BE DETERMINED ONCE THE PLANS ARE APPROVED BY THE HAVERHILL FIRE DEPARTMENT.
6. ALL LIGHTING FIXTURES USED WILL BE THE RESPONSIBILITY OF THE OWNER.
7. WE WILL SUBMIT A SET OF FINAL ELECTRICAL PLANS OUTLINING WHAT WE WILL DO IN COMPLETING THE ELECTRICAL WORK FOR THE PROJECT.

**ELECTRICAL NOTES:**

1. CONTRACTOR SHALL FURNISH ALL LABOR MATERIALS AND EQUIPMENT FOR COMPLETE ELECTRICAL INSTALLATION IN ACCORDANCE WITH THESE DRAWINGS.
2. COMPLY WITH THE NEC AND THE MASSACHUSETTS BUILDING CODE.
3. OBTAIN ALL PERMITS FOR WORK UNDER THIS CONTRACT.
4. NO APPLIANCE OUTLETS SHALL BE INSTALLED BELOW FLOOD ELEV. ARCHITECTURAL FEATURES.
5. CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS.
6. A/C COMPRESSOR SHALL BE INSTALLED ABOVE BASE FLOOD ELEV.
7. MINIMUM COVER SHALL BE 24".
8. ALL MOUNTING HARDWARE SHALL BE BY CONTRACTOR.
9. ELECTRICAL OUTLETS BELOW BASE ELEV. SHALL BE INSTALLED AT THE HIGHEST PERMITTED ELEV AND SHALL BE INSTALLED (SEPARATE) AS INDEPENDANT CIRCUITS FROM THOSE IN THE HABITABLE AREAS.
11. MAIN CIRCUIT BRK PANELS SHALL BE LOCATED ABOVE BASE FLOOD ELEV.



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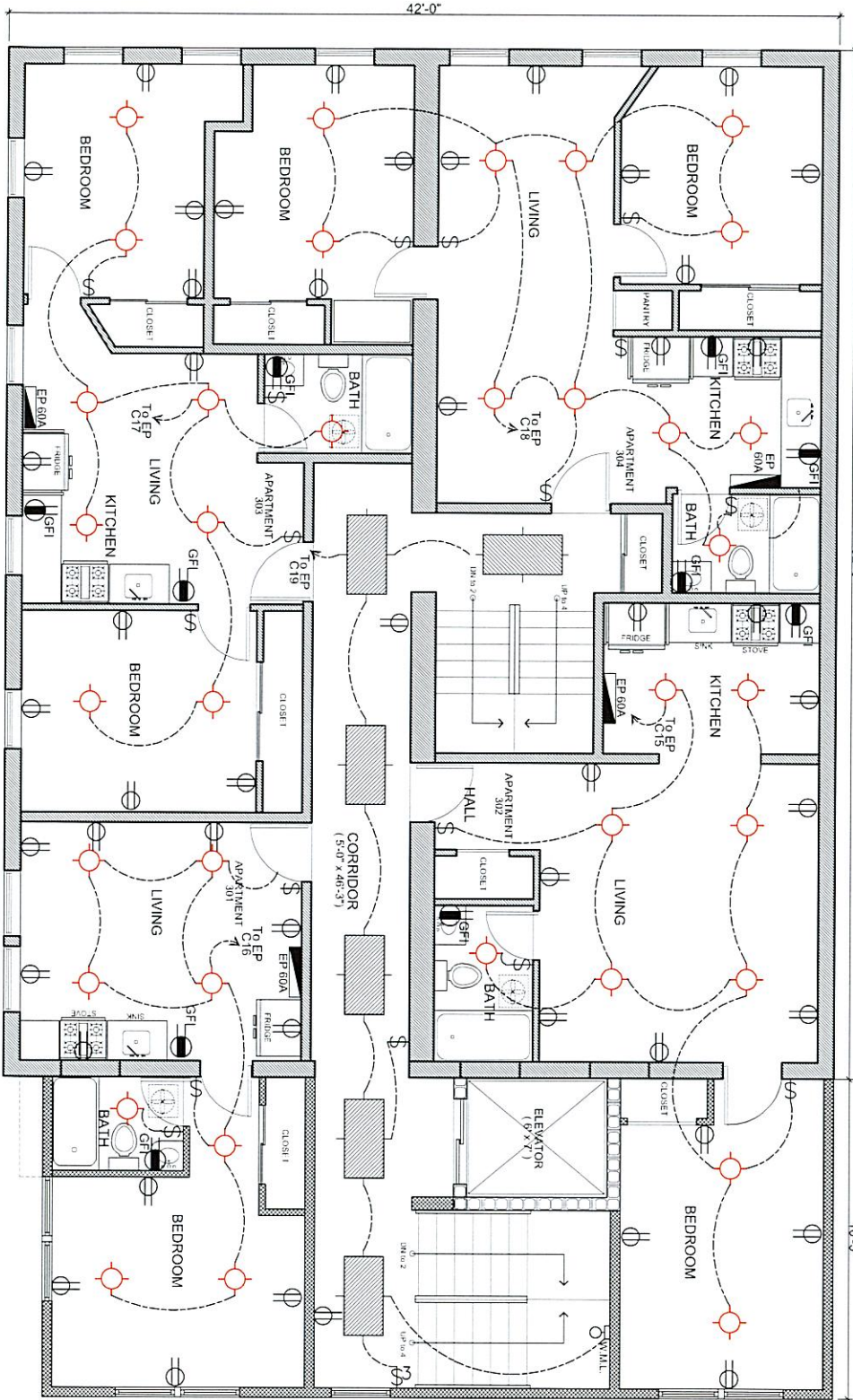
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REVISED BY:  
 APPROVED BY:  
 DRAWN BY: GILBERTO JIMENEZ  
 DATE: 7/28/2025

ELECTRICAL PLAN	
1 SHEETS	39 OF 41

**ELECTRICAL SPECIFICATIONS:**

1. THE ESTIMATE FOR THE ELECTRICAL WILL NOT INCLUDE ANY CHARGES FROM THE UTILITY COMPANY RELATED TO THE INSTALLATION OF THE MAIN ELECTRICAL SERVICE. (THE MAIN ELECTRICAL SERVICE WILL BE A 400 AMP, THREE-PHASE, FOUR-WIRE OVERHEAD SERVICE RUNNING TO THE BUILDING.)
2. ALL BRANCH CIRCUITS, SUB-PANELS, FEEDERS TO SUB-PANELS, ETC. WILL BE SIZED ACCORDING TO LOAD CALCULATIONS AS SPECIFIED BY THE NATIONAL ELECTRICAL CODE (NEC).
3. SUB-FEEDERS, AS WELL AS MAIN FEEDER WIRE WILL BE ALUMINUM AND SIZED ACCORDING TO NEC STANDARDS.
4. WE WILL PROVIDE THE POWER WIRING ONLY FOR THE HVAC EQUIPMENT (CONTROL WIRING THE RESPONSIBILITY OF OTHERS).
5. THE FINAL FIRE ALARM COST WILL BE DETERMINED ONCE THE PLANS ARE APPROVED BY THE HAVERHILL FIRE DEPARTMENT.
6. ALL LIGHTING FIXTURES USED WILL BE THE RESPONSIBILITY OF THE OWNER.
7. WE WILL SUBMIT A SET OF FINAL ELECTRICAL PLANS OUTLINING WHAT WE WILL DO IN COMPLETING THE ELECTRICAL WORK FOR THE PROJECT.



**LEGEND:**

	DUPLEX RECEPTACLE		ELECTRICAL BREAKER PANEL
	DEDICATED RECEPTACLE		CEILING OUTLET LIGHTING
	GFI DUPLEX RECEPTACLE		2 x 4' LAMP OUTLET LIGHTING
	240V RECEPTACLE		WALL MOUNTED LIGHTS
	SAFETY DISCONNECT SWITCH		BATHROOM EXHAUST FAN 7 1/4" x 7 1/2" x 3 5/8" 50 CFM @ 0.50 AMP
	LIGHTING SWITCH @ 48"		CEILING/WALL MOUNTED
	3WAY LIGHTING SWITCH @ 48"		
	SMOKE DETECTOR		
	COMBO MONOXIDE/CARBON DETECTOR		MONOXIDE DETECTOR

**PROPOSED THIRD FLOOR PLAN**  
(ELECTRICAL)  
SCALE: 1/4" = 1'-0"



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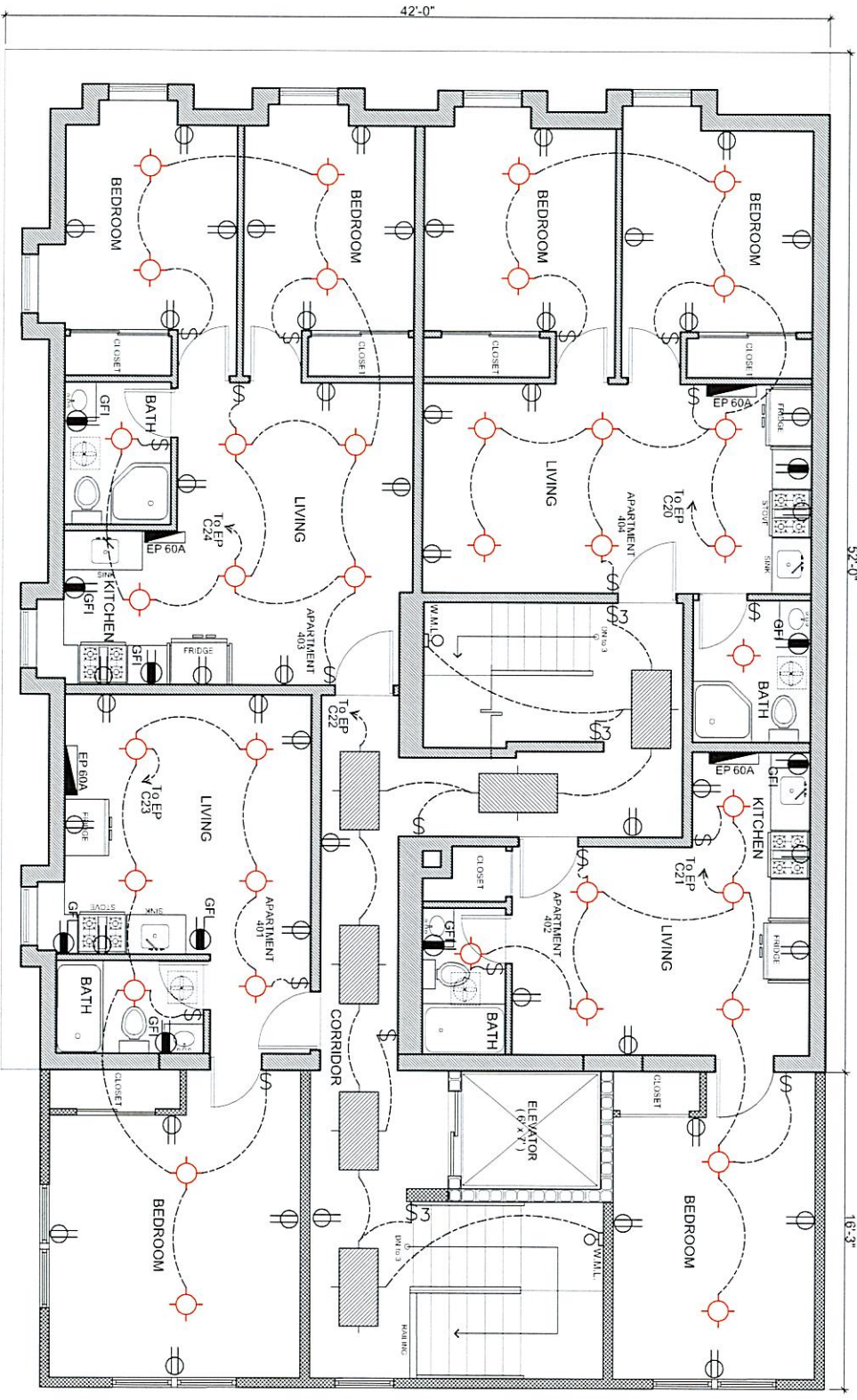
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REVISED BY:  
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DRAWN BY: GILBERTO JIMENEZ  
DATE: 7/28/2025

ELECTRICAL PLAN	
1 SHEETS	40
	41

- 1- ALL WORK SHALL COMPLY WITH STATE AND LOCAL BUILDING CODES AND REGULATIONS.
- 2- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND PROCEDURES.
- 3- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF THE CONSTRUCTION AND SHALL PROVIDE ADEQUATE SHORING AND BRACING TO ENSURE SUCH SAFETY.
- 4- ALL DIMENSIONS AND SITE CONDITIONS SHALL BE FIELD VERIFIED AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTIFY THE OWNER OR DESIGNER OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF WORK.
- 5- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, AND TO PROTECT THEM FROM DAMAGE.
- 6- ALL DETAILS, SECTIONS, NOTES OR REFERENCE TO OTHER DRAWINGS ARE INTENDED TO BE TYPICAL.
- 7- DURING CONSTRUCTION, AND PRIOR TO THE INCORPORATION OF ANY CHANGES, REVISIONS, MODIFICATIONS OR DEVIATION FROM THE CONSTRUCTION DOCUMENT, CONTRACTOR SHALL BRING TO THE ATTENTION OF THE OWNER OR DESIGNER AND OBTAIN APPROVAL FROM THE BUILDING INSPECTOR BEFORE PROCEEDING WITH THE WORK.
- 8- SPECIFIC NOTES AND DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS, WHERE NO DETAILS ARE SHOWN CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.
- 9- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION.
- 10- CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (2021 IBC AND THE COMMONWEALTH OF MASSACHUSETTS AMENDMENT TO THE INTERNATIONAL COMMERCIAL CODE 2021) AND THE CITY OF HAVERHILL ORDINANCES.

GENERAL NOTES :



(ELECTRICAL)  
**PROPOSED FOURTH FLOOR PLAN**  
 SCALE: 1/4"=1'-0"



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ELECTRICAL PLAN  
 SHEET 1 / 41



Jony M Perez, MBA  
Chief Executive, Davinci Mini Apts  
125 Merrimack Street  
Haverhill, MA 01830  
Tel.: (978) 375 – 0639  
EMAIL.: [jony\\_perez@hotmail.com](mailto:jony_perez@hotmail.com)

January 28, 2026

City Council  
City of Haverhill  
4 Summer Street  
Haverhill, MA 01830

**Special Permit Application**  
**119-125 Merrimack Street, Haverhill, MA**  
**City Council Rules and Regulations for Special Permits Information Required**

**General Criteria: General Special Permit Criteria**

1. As required by the Special Permit criteria section of the Zoning Ordinance (Section 10.4.2), in order to grant a Special Permit, a Special Permit Granting Authority must make a written determination "that the proposed use or structure(s) shall not cause substantial detriment to the neighborhood or the City, taking into account the characteristics of the site and of the proposal in relation to that site." Under Section 10.4.2, "[i]n addition to any specific factors that may be set forth in th[e] [zoning] chapter, such determination shall include consideration of each of the following:
2. Community needs served by the proposal.
3. Traffic and pedestrian flow and safety, including parking and loading.
4. Adequacy of utilities and other public services
5. Neighborhood character and social structures
6. Impacts on the natural environment, and
7. Potential fiscal impact, including impact on City services, tax base, and employment.

**Specific Findings Under Zoning Ordinance Section 10.4.2**

**8: Community needs served by the proposal.**

9: We are redeveloping a vacant brick building in downtown Haverhill. Previous use was a dentist office on the first floor; stories above have been vacant for many decades.

Zoning District: Waterfront District C (WD-C) District  
Permitted Uses: Mixed-use development is permitted with residential above and first floor commercial

Redevelopment of apartments units, modernizations and upgrades. The proposal is to increase the footprint of the building by ~600 square feet, add common space, add an elevator, and develop the following:

**Bottom Floors:** Davinci Child Center - 56 children EEC licensed high quality childcare program. The children served consists of 36 slots for infants and toddlers (from birth to 2.9 years old) and a PreK classroom of up to 20 children (from 2.9 to 5 years old). This new facility will employ 18-20 fulltime teachers, cooks, maintenance and administrative personnel.

**Top 3 Floors:** 12 - Units Lofts-Apartments (6x 2 Bedrooms, 6x 1 Bedroom). This will be high end, energy efficient spaces.

10: Traffic and pedestrian flow and Safety, including parking and loading.

11: Careful attention has been given to traffic flow and pedestrian safety in this development plan. The Haverhill Police Department has outlined several concerns typical with this type of institution, specifically during children drop-off and pick-up. We have modified the original plans to satisfy their concerns. This arrangement will also satisfy the requirement of no parking on How Street. Currently the site plans include parking for 10 vehicles: 5 parking spaces are allocated to drop-off and pickup of children and the other 5 parking spaces for tenants. These details of assigned parking spaces are outlined in the provided site plan filed with this Application.

To meet the parking requirements set by the city of ordinance our institution will have a contract to lease 7-10 parking spaces from the parking garage located on the corner of Merrimack and Main Streets. The mentioned garage is within 700 feet walking distance.

12: Adequacy of utilities and other public services.

13: The existing building is already connected to domestic water, fire service, and city sanitary systems, so no major utility extensions are required for this project. The proposed site plan fully complies with Section 6.3.3(8) concerning utilities, security, and emergency systems, ensuring all new connections meet city standards without the need for special approvals. City Departments have raised no concerns about utility availability currently. The project team will continue to collaborate closely with development services to confirm that all utility connections align with the city's expectations and requirements.

14: Neighborhood character and social structures.

15: The building will look amazing once it is cleaned up and the project is completed. The proposed addition is consistent with neighborhood character and social structures, as it will match the existing building in materials. The new annex addition will marginally increase the percentage of footprint on the site.

The children's playground will remove asphalt and replace it with grass and landscaping will improve sightlines of existing site. The dilapidated chain link fence will be replaced with a new black aluminum fence. Unsightly elements such as dumpsters will be shielded to the interior of the site and not visible from the street.

16: Impact on natural environment.

17: There are no expected impacts to the natural environment because of this project. The new annex addition will marginally increase the percentage of footprint on the site and the replacement of asphalt with grass and landscaping will increase permeable areas, allowing for improved natural rainwater infiltration.

18: Potential fiscal impact, including impact on City services, tax base, and employment.

19: This project will have no impact on city services. It is believed that this project will increase the tax base. No impact on schools. This project will create 18-20 fulltime employment opportunities for both teachers and non-teaching staff.

**Specific Criteria: Specific Findings Under Zoning Ordinance Section 6.3.3**

20. *[These standards apply to special permit applications for development review under*

21. Section 10.1.4 for multifamily, nonresidential or mixed use - omit this section if not applicable]

22. Zoning Ordinance Section 6.3.4 provides exemptions for the following: (a) emergency responses performed by a private entity or a public agency and fire or burglar alarms; (b) municipal uses and structures, including schools; and (c) parades, fairs, or outdoor entertainment between the hours of 7:00 a.m. and 11:00 p.m. so long as the City Council has granted a permit for not more than 10 days. Here, the proposed use [is/is not] exempt for the following reasons:

23. The City Council makes the following findings with respect to the standards set forth in Zoning Ordinance

Section 6.3.3 regarding lighting, noise, landscaping, stormwater management, site development standards, pedestrian and vehicular access, traffic management, aesthetics, utilities, and the City's general standards:

**Lighting:** The proposed lighting for this project will comply with city standard 6.3.3(1). The existing lot lighting will remain largely unchanged. The exterior of the building will include up-down lights to accentuate the brick façade, and the parking lot will have a light installed for safety and security.

**Noise:** The project will comply with city standard 6.3.3(2) as it pertains to noise. Construction will abide by the restrictions set forth in Chapter 182 of the Haverhill Code and 310 CMR 7.10 of the Department of Environmental Protection's regulations.

**Landscaping:** 6.3.3 (3) The children's playground will remove asphalt and replace it with grass and landscaping will improve sightlines of existing site. The dilapidated chain link fence will be replaced with a new 4' black aluminum fence. Four evergreen plants will be planted along the fence.

**Stormwater Management:** The existing on-site storm line will accommodate the new addition while maintaining its current outfall to the city sewer beneath How Street as per city standard 6.3.3(4). Additionally, the replacement of asphalt with grass and landscaping will increase permeable areas, allowing for improved natural rainwater infiltration.

**Site Development Standards:** The proposed development plan complies with all site development standards outlined in Section 6.3.3(5). The area of disturbance has been carefully minimized to accommodate the building addition, ensuring the new footprint aligns seamlessly with the existing building.

**Pedestrian and Vehicular Access/Traffic Management:** Careful attention has been given to traffic flow and pedestrian safety in this development plan ensuring adherence to Section 6.3.3(6). Pedestrian entrances are available in the building's front entrance and the back entrance to the parking lot area. The Haverhill Police Department has outlined several concerns typical with this type of institution, specifically during children drop-off and pick-up. We have modified the original plans to satisfy their concerns. This arrangement will also satisfy the local requirement of no parking on How Street. Currently the site plans include parking for 10 vehicles: 5 parking spaces are allocated to drop-off and pickup of children and the other 5 parking spaces for tenants. This arrangement of designated drop-off solves all issues traffic issues and provides a more secured interaction during drop-off and pickup.

**Aesthetics:** The proposed design of the building addition complies with the neighborhood compatibility requirement outlined in Section 6.3.3(7). The building addition will closely match the front façade of the existing building.

**Utilities/Security/Emergency Systems:** The existing building is already connected to domestic water, fire service, and city sanitary systems, so no utility extensions are required for this project. City development services have raised no concerns about utility availability currently. The project team will continue to collaborate closely with development services to confirm that all utility connections align with the city's expectations and requirements.

**Other General Standards:** The proposed project will cause no substantive change in the current facility's compliance with Section 6.3.3(9). The expansion will not be conducted in a manner as to emit any dangerous, noxious, injurious or otherwise objectionable fire, explosion, radioactive or other hazard; noise or vibration, smoke, dust, odor or other form of environmental pollution; electrical or other disturbance; glare; liquid or solid, refuse or wastes; conditions conducive to the breeding of insects, rodents or other substance, conditions or element in an amount as to affect adversely the surrounding environment. All operations shall be conducted in such a manner to comply with the laws of the Commonwealth of Massachusetts regulating air pollution.

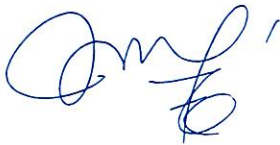
Based upon all the above as well as all the plans and other documents filed with this Application, we believe this Petition meets all the following requirements under Chapter 255 Section 10.4.2 for a Special Permit:

- A. The proposed addition will enhance downtown Haverhill's offerings. The project does not cause substantial detriment to the neighborhood or the City. The Site has an existing structure/use, and the additional will enhance the neighborhood. No objections to this project were received during Pre-development Review.
- B. Community needs for additional affordable apartments and high-quality childcare center are served by this proposal.
- C. Traffic and pedestrian flow and safety have been addressed and the required additional parking for the project is being contracted to the nearby garage.

- D. Adequate utilities and other public services are all supplied for this project. Property is on city water and sewer.
- E. The neighborhood character and structures have been addressed in the architectural designs of this project. The addition fits this lot and will fit in the neighborhood.
- F. There will be no impact to natural environment.
- G. The project will increase the city's tax base, create 18-20 fulltime jobs, provide 12 beautiful apartments and has no adverse impact on City services or City Schools.

Wherefore, the Petitioner would request that the Council approve this Special Permit.

Respectfully submitted.

A handwritten signature in blue ink, appearing to read 'Jony M Perez'.

Jony M Perez, MBA  
Chief Executive, Davinci Mini Apts

# 119-125 Merrimack Street Haverhill, MA



## PROJECT EXECUTIVE SUMMARY

**Project Name:** 125 Lofts Merrimack Street

**Location:** 119-125 Merrimack Street, Haverhill, MA 01830

**Property Type:** Vacant brick building in downtown Haverhill. Previous use was a dentist office (until summer of 2025) on the first floor; stories above have been vacant for many decades.

Zoning District: Waterfront District C (WD-C) District  
Permitted Uses: Mixed-use development is permitted with residential above and first floor commercial

**Construction Overview:** Significant value-add through redevelopment of apartments units, modernizations and upgrades. The proposal is to increase the footprint of the building by ~ 600 square feet, add common space, add an elevator, and build the following:

First Floor: Davinci Child Center - 56 children EEC licensed high quality childcare program. The children served consists of 36 slots for

infants and toddlers (from birth to 2.9 years old) and a PreK classroom of up to 20 children (from 2.9 to 5 years old). This new facility will employ 18-20 fulltime teachers, cooks, maintenance and administrative personnel.

Top 3 Floors: 12 - Units Lofts-Apartments (6x 2 Bedrooms, 6x 1 Bedroom). This will be high end, energy efficient spaces and prices will be influenced by local trends. Also, our team will work to provide 25% of units to low-moderate income through Haverhill's housing authority clients.

In addition, the site plan allows for a children playground of 1000 sq. feet and parking for 10-vehicles (12-vehicles parking is required per city ordinance. The additional 2 parking spaces will be leased from existing city parking lot nearby.)

#### **Project Plan:**

1. **Phase 1 (Months 1-8):** Complete all Plans, Permitting and Interior Walls-In Demo.
2. **Phase 2 (Months 8-11):** Complete all rough construction and inspections as per City of Haverhill building code.
3. **Phase 3 (Months 11-13):** Complete all construction, finishes, and permitting.

#### **Key Strengths:**

- Strong submarket fundamentals (job growth, low vacancy).
- Proven value-add strategy with strong track record.
- Experienced management team.

#### **Management Team:**

Jony M Perez, MBA  
CEO of Davinci Mini Apartments LLC and Davinci Child Center LLC  
(978) 375 – 0639; [jony\\_perez@hotmail.com](mailto:jony_perez@hotmail.com)

Cesar D. Perez, MM  
Site Project Manager Davinci Mini Apartments LLC  
(978) 420 – 8674; [cesardavidpz@yahoo.com](mailto:cesardavidpz@yahoo.com)

**Construction Funding:** \$500K from Jony Perez and secured \$1.5M debt from Reading Cooperative Bank.

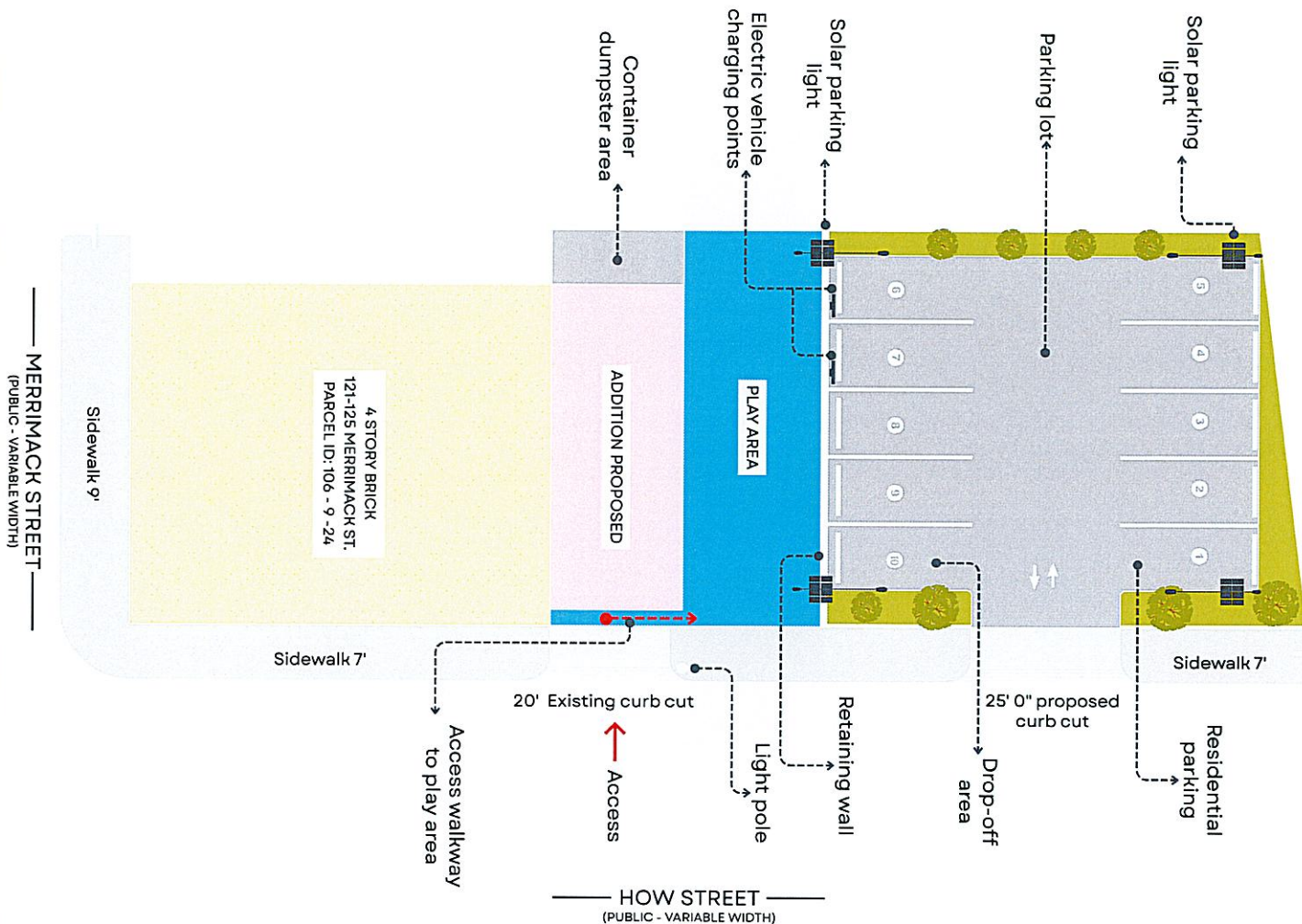
## **DAVINCI CHILD CENTER, LLC**

Davinci Child Center was founded in 2005 by Jony Perez. Davinci Child Center has developed and operates 2 programs in Lawrence, Massachusetts: Parkside Children Academy on Jackson Street and Davinci Child Center on Avon Street. Our programs work with EEC's vouchers to provide high quality childcare to low-income families and is now serving ~200 children with ~50 full-time employees.

Davinci Child Center provides high-quality early childhood education and development programs that focus on health, safety and development of the whole child. Our administration, teachers, and assistants are dedicated to the growth and welfare of your child. We are committed to making our center the best choice for your child.

## **DAVINCI MINI APARTMENTS, LLC**

Davinci Mini Apartments was started in 2014 to develop beautiful, energy efficient, and cost-effective environments where Davinci Child Center can operate. Davinci Mini Apartments has developed two building that were slated for demolition in Lawrence. Currently, these buildings provide the city of Lawrence with beautiful environments. Our company finances and provides maintenance to these facilities.



MERRIMACK STREET  
(PUBLIC - VARIABLE WIDTH)

HOW STREET  
(PUBLIC - VARIABLE WIDTH)

**GJ**  
DESIGN GROUP LLC  
Assoc. AIA  
Professional Designer

118 WOODLAND ST LAWRENCE MA 01841  
978-601-2844 FAX 978-208-1335  
E. MAIL lach.o7812@gmail.com  
NOTE: THIS DESIGN IS THE INTELLECTUAL PROPERTY OF GILBERTO JIMENEZ GROUP. THEREFORE IT IS PROHIBITED COPY PARTIALLY OR COMPLETELY THIS DESIGN WITHOUT THE AUTHORIZATION OF THE AUTHOR.

PROJECT: COMMERCIAL RESIDENTIAL BUILDING  
ADDRESS: 125 MERRIMACK ST. HAVERHILL MA 01830  
OWNER: DAVINCI MINI APTS-JONY PEREZ  
PETITIONER: DAVINCI MINI APTS-JONY PEREZ

REVISED BY:  
APPROVED BY:  
DRAWN BY: GILBERTO JIMENEZ  
DATE: 1/30/2026

FLOOR PLAN  
SHEET 1 9 9



Jony M Perez, MBA  
Chief Executive, Davinci Mini Apts  
121 Merrimack Street  
Haverhill, MA 01830  
Tel.: (978) 375 – 0639  
EMAIL.: [jony\\_perez@hotmail.com](mailto:jony_perez@hotmail.com)

February 20, 2026

City Council  
City of Haverhill  
4 Summer Street  
Haverhill, MA 01830

### **Special Permit Application Children Drop-Off and Pick-up Operations**

The following document will address concerns regarding the proposed drop-off and pick-up operations for this facility as per the police department and will answer the following concerns:

*The applicant is requested to provide a detailed written traffic management plan addressing the following:*

- 1. How vehicle flow will be managed during peak drop-off and pick-up times.*
- 2. How the facility will ensure that vehicles do not queue or line up on How Street.*
- 3. What contingency measures will be implemented if vehicle stacking or congestion occurs.*
- 4. How staff parking will be accommodated so as not to interfere with parent drop-off and pick-up operations.*

*Additionally, with upcoming construction anticipated in the area, there is concern that roadway limitations and temporary disruptions may further complicate traffic flow. The applicant should address how construction impacts will be mitigated within the proposed traffic management plan.*

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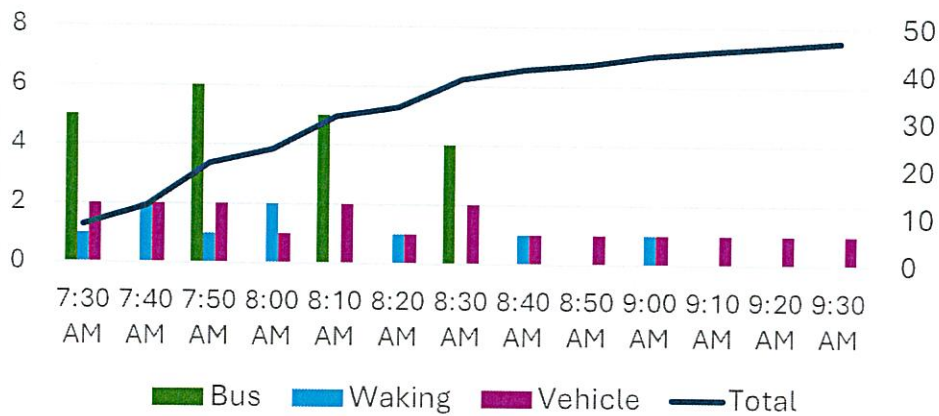
To ensure that our program has smooth children's arrivals and departures and to address concerns by the police department, we have put together a plan for arrival and departures for the proposed childcare program.

The following graphs have a projected arrival and departure schedule based on data from other programs. Note, that the asked capacity for the program is 56 children's slots, however, we anticipate that 80% of children attend on a given day on average.

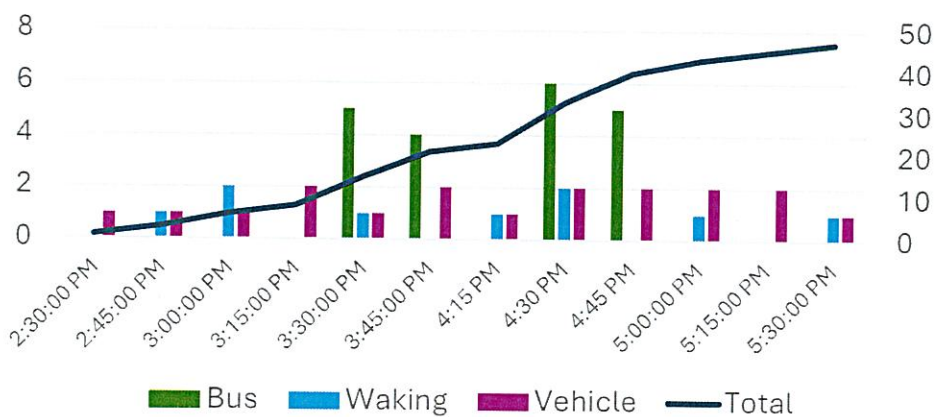
There are three methods of children arriving to the program:

- Buses (~50 %), 3-4 trips of 7D buses
- Walking (~15 %, we anticipate this number to increase in Downtown Haverhill)
- Vehicle (~35 %)

Davinci (121 Merrimack Street)  
Projected Arrival Distribution



Davinci (121 Merrimack Street)  
Projected Departure Distribution



We do not anticipate issues given the projected distribution arrivals and departures. First, one or two 7D buses will service the childcare program. The buses are scheduled

so that there is at least a :15 minutes time difference between arrivals. This ensures that only one parking slot is used for the buses. There are 4 designated parking spaces for buses and vehicles for the daycare program. So, the other three available spaces are available to parents that arrive by vehicles.

An administrative staff member is on duty working the arrivals and departures of children. And together with at least another teacher, this arrangement assists in a smoother and quicker transition and has proven invaluable in our other programs. Loading and unloading a 7D school bus generally is done in less than 5 minutes. Parent drop-off are also done in less than five minutes. Parents that want to meet the teachers and discuss children's progress are asked to come at a different time than drop-off or pickups.

In addition, our program will monitor the drop-off and pick-up times to ensure that in case were an inconvenience is noticed in the morning or afternoon the issue is addressed immediately, In case where continued issues are not resolved, our management will petition the City of Haverhill to designate a spot for drop-off and pick-up from 7:30AM to 9:30AM and from 2:30PM to 5:30PM in front of the building on Merrimack Street.

When fully operational, we anticipate that 5-7 parking spaces will be required for staff parking. These staff parking spaces are another issue that we are addressing by providing a long-term lease with the parking garage located on Merrimack Street.

Another concern is the EV charging stations for the tenants on the top three floors of the facility. These 2 charging stations will be in parking spaces designated for tenants only and will not be part of the drop-off spaces.

*As with the upcoming construction anticipated in the area, there is concern that roadway limitations and temporary disruptions may further complicate traffic flow.*


- In case where Merrimack Street is closed and not accessible, parents will be notified and asked to only use the How Street entrance. An administrative staff member and least another teacher will assist parents to minimize drop-off delays.
- In case were How Street is closed and not accessible, parents will be asked to properly park on Merrimack Street and hand off the children to our staff at the door to minimize traffic issues.

- In case both Merrimack and How Streets are closed to all traffic, parents will be notified that only walking's will be allowed for the duration of the street closures.

This Arrival and Departure plan not only addresses the concerns by the police department but also ensures that drop-off and pick-up times are quick and smooth.

Please advise if any additional concerns need addressing.

Respectfully submitted.

A handwritten signature in blue ink, appearing to read 'Jony M Perez'.

Jony M Perez, MBA  
Chief Executive, Davinci Mini Apts



## Storm Water Review

Record No. CCSP-26-1

Status Active

Became Active February 2, 2026

Type Approval

Due Date None

Assignee Robert Moore

## Record No: CCSP-26-1

City Council Special Permit

Status: Active

Submitted On: 1/9/2026

### Applicant



Jony Perez



978-375-0639



jony\_perez@hotmail.com



121 Merrimack Street

Haverhill, MA 01830

## Messages

**Robert Moore**

February 2, 2026 at 4:14 pm

1. Please provide civil site plan for actual proposed conditions.
2. The Plan of Land prepared by MES shows a CB in the parking lot, just off the NW building corner is connected to the Sanitary Sewer in How Street. Site plan must show the disconnection of this system from the sanitary.
3. Show new parking lot drainage system. New system must meet today's BMP design standards.
4. Design should include stormwater management improvements, such as the collection and recharge of roof runoff through an infiltration gallery. Standard is to design the system to accommodate the 1/2" rain event, with overflow then connecting to the drain main.
5. Site plan must include erosion and sediment control measures for any land disturbance that might be needed, i.e. protection of drainage system during any necessary parking lot reconstruction.
6. Submittal includes a general landscape plan (by G J Design Group, 1-30-26). Additional detail should be added to this sheet to demonstrate compliance with the landscaping requirements under C. 255-6.3. Please add such items as plant species, sizes, seed mixes, playground surface treatment...

@Shaun Burrier

**Jony Perez**

February 20, 2026 at 12:05 pm

Hi Robert, We are updating the site plan to address these concerns. New site plan should be uploaded next week. Thank you!

**Kaitlin Wright**  Internal

March 18, 2026 at 10:33 am

@Robert Moore please provide any updates to your review by close of business tomorrow 3/19 as this is coming before council next week.

**Robert Moore**

March 18, 2026 at 5:12 pm

@Kaitlin Wright @Shaun Burrier I understand this matter is slated for hearing at the March 24th Council meeting. We have not yet received the revised plan that Jony mentions on February 20th. The plan should not only address the departmental comments within this record, but should also demonstrate how the project will comply with the Performance Standards found within the Zoning Code under C. 255, s. 6.3. Should the Council look to move on this application Tuesday night, I would request any motion to

approve be conditioned to require the applicant to address all departmental comments to the satisfaction of the individual departments during the Development Review procedure.

**Kaitlin Wright**

March 19, 2026 at 8:49 am

@Robert Moore Would you recommend the matter be continued until the applicant provides the requested documents? It would seem that the application is not complete based off the requirements to draft another plan from the in person meeting. @Jacki Byerley can you weigh in?

**Jacki Byerley**

March 20, 2026 at 10:08 am

I would recommend the Council open the hearing and continue it to a later date until they file for the Site Plan of Section 10.8 and satisfy the comments received.

## DPW Review

Record No. CCSP-26-1

Status Active

Became Active February 2, 2026

Type Approval

Due Date None

Assignee Robert Ward

## Record No: CCSP-26-1


City Council Special Permit


Status: Active

Submitted On: 1/9/2026

### Applicant

 Jony Perez

 978-375-0639

 jony\_perez@hotmail.com

 121 Merrimack Street

Haverhill, MA 01830

## Messages

Kaitlin Wright

March 18, 2026 at 10:32 am

@Robert Ward @Robert Kimball Please review as this is coming before Council on March 24th.



## Police Department Review

Record No. CCSP-26-1

Status Active

Became Active February 2, 2026

Type Approval

Due Date None

Assignee Kevin Lynch

## Record No: CCSP-26-1

City Council Special Permit

Status: Active

Submitted On: 1/9/2026

### Applicant



Jony Perez



978-375-0639



jony\_perez@hotmail.com



121 Merrimack Street

Haverhill, MA 01830

## Messages

**Kevin Lynch**

February 16, 2026 at 12:57 am

The Police Department has concerns regarding the proposed drop-off and pick-up operations for this facility.

The applicant has indicated plans to operate 36 slots for infants and toddlers (birth to 2.9 years old) and one Pre-K classroom serving up to 20 children (2.9 to 5 years old). The facility will employ approximately 18–20 full-time staff members. Based on these numbers, there is concern that the available on-site parking will be insufficient to accommodate the anticipated traffic volume.

The current site plan reflects five designated parking spaces for drop-off and pick-up. However, it appears that the EV charging stations may be located within the same designated drop-off/pick-up area, which could further reduce usable short-term parking availability.

How Street is currently posted "No Parking," and Merrimack Street reflects only one handicap parking space in front of the building. This area is already heavily congested. The Department is concerned about the potential for excessive vehicle stacking and traffic congestion on How Street during peak drop-off (7:45 AM – 8:45 AM) and pick-up hours (4:30 PM – 6:00 PM).

The applicant is requested to provide a detailed written traffic management plan addressing the following:


1. How vehicle flow will be managed during peak drop-off and pick-up times.
2. How the facility will ensure that vehicles do not queue or line up on How Street.
3. What contingency measures will be implemented if vehicle stacking or congestion occurs.
4. How staff parking will be accommodated so as not to interfere with parent drop-off and pick-up operations.

Additionally, with upcoming construction anticipated in the area, there is concern that roadway limitations and temporary disruptions may further complicate traffic flow. The applicant should address how construction impacts will be mitigated within the proposed traffic management plan.

**Jony Perez**

February 20, 2026 at 11:59 am

Hi Kevin, we just uploaded a plan to address the concerns by the police department. Please advice. Thank you!

Kaitlin Wright  Internal

March 18, 2026 at 10:32 am

@Kevin Lynch please provide any updates to your review by close of business tomorrow 3/19 as this is coming before council next week.



## Water/Wastewater Review

Record No. CCSP-26-1

Status Active

Became Active February 2, 2026

Type Approval

Due Date None

Assignee Shaun Burrier

### Record No: CCSP-26-1

City Council Special Permit

Status: Active

Submitted On: 1/9/2026

### Applicant



Jony Perez



978-375-0639



jony\_perez@hotmail.com



121 Merrimack Street

Haverhill, MA 01830

## Messages

**Shaun Burrier**

February 3, 2026 at 8:17 am


Please provide updated civil site plan showing sewer connection details including location, size of connection, materials, and slope.

Please submit water service application to include all fixture counts and any and all fire suppression requirements.

**Jony Perez**

February 20, 2026 at 12:05 pm

Hi Shaun, We are updating the site plan to address these concerns. New site plan should be uploaded next week. Thank you!

**Kaitlin Wright**  Internal

March 18, 2026 at 10:33 am

@Shaun Burrier please provide any updates to your review by close of business tomorrow 3/19 as this is coming before council next week.



## Building Inspector Review

Record No. CCSP-26-1

Status Active

Became Active February 2, 2026

Type Approval

Due Date None

Assignee Tom Bridgewater

### Record No: CCSP-26-1

City Council Special Permit

Status: Active

Submitted On: 1/9/2026

### Applicant



Jony Perez



978-375-0639



jony\_perez@hotmail.com



121 Merrimack Street

Haverhill, MA 01830

### Messages

Kaitlin Wright

March 18, 2026 at 10:33 am

@Tom Bridgewater @Richard MacDonald Please review as this is coming before Council on March 24th.

**Document # 21-B**

Ordinance: re: Amend Chapter 255 Zoning Ordinance and Zoning Map – Battery Energy Storage Systems Overlay District (BESS)– by inserting a new section 7.9 Battery Energy Storage Systems, amending section 3.1.3 Table of Use and Parking regulations by allowing a Tier 1, Tier 2 and Tier 3 BESS and amending the Zoning Map to include the BESS Overlay District. The overlay district will be creating regulations for the installation and use of free-standing battery energy storage systems (“BESS”), adding to the table the overlay district with the allowed Tiers and updating the zoning map to include the BESS Overlay District, or take any other action related to

**IN CITY COUNCIL: March 24, 2026**

**File for 14 Days + Council hearing for May 19th**

**9 YEAS, 0 NAYS, 1 ABSENT, 1 ABSTENTATION**

Attest: Kaitlin M. Wright  
Kaitlin M. Wright, CMC  
City Clerk

IN CITY COUNCIL: MAY 19, 2026  
10 YEAS, 0 NAYS, 1 ABSENT  
CONTINUE TO JULY 14th  
SEND TO PLANNING AND DEVELOPMENT COMMITTEE

ATTEST: Kaitlin M. Wright  
KAITLIN M. WRIGHT, CMC  
CITY CLERK

102

**Kaitlin Wright**

---

**From:** John A Michitson <michitson@mitre.org>  
**Sent:** Thursday, July 9, 2026 12:51 PM  
**To:** Kaitlin Wright Esposito  
**Cc:** Lori Robertson  
**Subject:** RE: Social Consumption CC withdrawal.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

JUL 9 PM1:58  
HAVCITYCLERK

**Warning! External Email. Exercise caution when opening attachments or clicking on any links.**

Understood. It will be continued to the 2<sup>nd</sup> Council meeting in August. P&D committee needs another meeting in August (likely August 3<sup>rd</sup>) to compare candidate sites versus siting criteria. (Does this work for you?)

**From:** Kaitlin Wright Esposito <kwright@haverhillma.gov>  
**Sent:** Thursday, July 9, 2026 12:40 PM  
**To:** John A Michitson <michitson@mitre.org>  
**Cc:** Lori Robertson <lrobertson@haverhillma.gov>  
**Subject:** [EXT] RE: Social Consumption CC withdrawal.pdf

Hi John,

I understand, but the zoning ordinance for BESS was originally scheduled to be heard by Council on May 19<sup>th</sup> and at that time was referred to P&D for July 7<sup>th</sup> and the hearing was voted to be continued to July 14<sup>th</sup>, with the anticipation that P&D would have completed their review. Since that has not happened, I need something in writing indicating that it is not ready to be heard on July 14<sup>th</sup> and needs to be continued again.

Please provide a City Council meeting date that you would like to continue the hearing to pending P&D review. Perhaps, August 11<sup>th</sup> or 25<sup>th</sup>?

Hope that makes sense.

All my best,

Kaitlin

**Kaitlin M. Wright Esposito, CMC**

*City Clerk*

4 Summer Street, Room 118

Office: (978) 374-2312

Fax: (978) 373-8490

[kwright@haverhillma.gov](mailto:kwright@haverhillma.gov)



Mead, Talerman & Costa, LLC  
Attorneys at Law

30 Green Street  
Newburyport, MA 01950  
978.463.7700  
www.mtclawyers.com

10.2

March 16, 2026

MAR 20 AM 9:10  
HVCITYCLERK

By Electronic Delivery

Tim Jordan  
City Council President  
Haverhill City Council  
4 Summer Street,  
Room 204  
Haverhill, MA 01830

Re: Zoning Amendment / Battery Energy Storage Systems ("BESS")

Dear Mr. Jordan:

Reference is made to the above captioned matter. In that connection, on January 7, 2025 the former Economic Development Director submitted a Battery Energy Storage System Ordinance to the Council for your consideration. Since that time, the Mayor's office along with the Planning Director and myself have revised the 2025 submission. Additionally, the Department of Energy Resources has further issued guidance on BESS Zoning Ordinances. Finally, the Mayor has received comments from a potential developer of a BESS facility in the City.

I have attached for your advertisement and consideration a revised BESS Zoning Ordinance. I would ask that you table indefinitely the January 2025 Ordinance at the opening of the public hearing on this revised Ordinance, Further, I ask that the Council refer this Ordinance to the Planning Board for a public hearing and thereafter schedule a public hearing for the Council as well.

The Planning Director and I look forward to addressing questions you might have at the time of the public hearing.

Sincerely,

Atty. Lisa Mead, City Solicitor

Enclosure(s)

cc: Melinda E. Barrett, Mayor  
Jacki Byerly, Planning Director

New Bedford Office  
227 Union Street  
New Bedford, MA 02740  
Phone 774.206.6857

Millis Office  
730 Main Street, Suite 1F  
Millis, MA 02054  
Phone 508.376.8400

10.3.1

10.2.1

**MUNICIPAL ORDINANCE    CHAPTER 255 Zoning**

**AN ORDINANCE RELATING TO AMENDING CHAPTER 255, ZONING BY ADDING A NEW SECTION 7.9 BATTERY ENERGY STORAGE SYSTEMS**

**BE IT ORDAINED** by the City Council of the City of Haverhill that Chapter 255, Zoning, of the Code of the City of Haverhill, as amended, being and is hereby further amended as follows by inserting the following new section 7.9 entitled “Battery Energy Storage Systems”;

§7.9 BATTERY ENERGY STORAGE SYSTEMS

§7.9.1. Purpose.

The purpose of this Section is to advance and protect the public health, safety, welfare, and quality of life by creating regulations for the installation and use of free-standing battery energy storage systems (“BESS”), with the following objectives:

- A. To provide a regulatory scheme for the location, construction and operation of free-standing BESS consistent with best practices and safety protocols;
- B. To ensure compatible land uses in the vicinity of the areas affected by BESS and to mitigate any potential impacts on abutting and nearby properties; and
- C. To mitigate the impacts of BESS on environmental resources such as agricultural lands, forests, wildlife, wetlands and other natural resources.

This Section shall be construed to be consistent with state law, including but not limited to the provisions of General Laws chapter 40A, section 3, and state regulations, including but not limited to the provisions of the State Building Code, State Fire Code, and State Electrical Code. In the event of any conflict between the provisions of this section and the provisions of state law or regulations, the state law and regulations shall prevail.

§7.9.2. Establishment of the BESS Overlay District

The BESS Overlay District is an overlay district superimposed over the underlying district set forth in this Zoning Ordinance. Within the BESS, the requirements of the underlying district continue to apply, except when the following uses are proposed then the following provisions of this section 7.9 shall apply:

Tier 1 BESS

Tier 2 BESS and

Tier 3 BESS

§7.9.3 Applicability.

A. The requirements of this ordinance shall apply to BESS permitted, installed, decommissioned or modified after the effective date of this ordinance, excluding general maintenance and repair. BESS subject to this ordinance are only those that exceed the following capacities:

- Lead-acid with a capacity of greater than 70 kW
- Nickel with a capacity of greater than 70 kW
- Lithium-ion with a capacity of greater than 30 kW
- Sodium nickel chloride with a capacity of greater than 20 kW
- Flow with a capacity of greater than 20 kW
- Other battery technologies with a capacity of greater than 20 kW

B. Only BESS that meet the criteria herein shall be permitted under this ordinance. BESS permitted under and subject to this ordinance shall be classified either as a Tier 1, Tier 2 or Tier 3 BESS as set forth herein. All sizes noted in this section shall include the total capacity of the proposed facility and not refer solely as a limitation on total export. For avoidance of doubt, a proposed system which has an export capacity of 50 MW but has a total storage or redundancy capacity of 100 MW shall be treated as a 100 MW system.

1. Tier 1 BESS have an aggregate energy capacity less than or equal to 500 kWh, derive 51% or more of their power from Solar Energy Systems as defined herein, and, if in a room or enclosed area, consist of only a single energy storage system technology.
2. Tier 2 BESS consist of those which meet one or more of the following criteria;
  - a. have an aggregate energy capacity greater than 500kWh and less than 10 MWh, but no greater than 10 MWh;
  - b. are comprised of more than one storage battery facility in a room or enclosed area;
  - c. derive less than 51% of their power from Solar Energy Systems as defined herein.
3. Tier 3 BESS consist of those which meet one or more of the following criteria;
  - a. have an aggregate energy capacity greater than 10 MWh, but no greater than 350MWh;
  - b. are comprised of more than one storage battery facility in a room or enclosed area;

- c. derive less than 51% of their power from Solar Energy Systems as defined herein.

#### § 7.9.4. General Requirements

- A. All permits required by state codes, including but not limited to building permit, an electrical permit, and a fire department permit shall be required for installation of all BESS.
- B. All BESS, all Dedicated Use Buildings, and all other buildings or structures that (a) contain or are otherwise associated with a battery energy storage system; and (b) subject to the requirements of the State Building Code, shall be designed, erected, and installed in accordance with all applicable provisions of the State Building Code 780 CMR, State Fire Code 527 CMR 1.00, and State Electrical Code 527 CMR 12.00. All BESS shall comply with NFPA 855, Standard for the Installation of Stationary Energy Storage Systems or subsequent standard.
- C. Energy storage system capacities, including array capacity and separation, are limited to the thresholds contained in NFPA 855 or subsequent standard.

#### § 7.9.5. Permitting Requirements for Tier 1 BESS

Tier 1 BESS are allowed by right in all zoning districts, including the BESS Overlay District, subject to applicable provisions of the State Building Code, Electrical Code, Fire Code, and other applicable codes, and are subject to site plan review in accordance with section 10.8 hereof and such provisions of this ordinance as are applicable.

Tier 1 BESS and appurtenances shall be prohibited in the Zone A and Zone 1 public water supply protection areas.

§ 7.9.6. Permitting Requirements for, Tier 2 and Tier 3 BESS shall be permitted by Special Permit in the BESS Overlay District in accordance with the requirements below.

§ 7.9.6.1 Special Permit Required. Tier 2 and Tier 3 BESS subject to this ordinance require the issuance of a Special Permit in the BESS Overlay District and are subject to Major Site Plan Review pursuant to Section 10.8. Tier 2 and Tier 3 BESS shall comply with the applicable requirements set forth in this ordinance including the General Special Permit Criteria set forth in section 10.4.2, as well as this Section 7.9, and the Haverhill General Ordinances. The City Council shall be the Special Permit Granting Authority ("SPGA"). The Applicant shall be required to submit all materials required in accordance with the SPGA Rules and Regulations, in addition to any other materials necessary or as may be required in order to support that the Application meets the Design Requirements set forth in section 7.9.6.2 herein.

§ 7.9.6.1.1 Development Review Required As Part of Hearing Process: For the purpose of a Special Permit filed hereunder, the Applicant shall be required to submit a complete application for a Special Permit in accordance with the Requirements hereunder. Following the opening of the Public Hearing by the SPGA, the Application shall be referred to the Development Review Committee as set forth in

§10.1.4 hereof. The Development Review Committee shall meet with the Applicant who shall be required to provide any additional information as the Committee may reasonably request and the Development Review Committee shall provide the SPGA with its recommendations within ninety (90) days of the date upon which the application was thereto referred.

§ 7.9.6.1.2 Prohibitions: Notwithstanding the foregoing, Tier 2 and Tier 3 BESS and appurtenances shall be prohibited in the Zone A and Zone I public water supply protection areas.

§ 7.9.6.2 Design Requirements. The following requirements apply to all BESS subject to this ordinance, except where it is specifically noted to apply only to Tier 2 or Tier 3 BESS:

- A. Site Plan Drawings. The Applicant shall provide a full set of Site Drawings stamped by a Massachusetts Registered Professional Engineer inclusive of items set forth in section 7.9.7.K.1 hereof.
- B. Utility Lines and Electrical Circuitry. All on-site utility lines shall be placed underground to the extent feasible and as permitted by the serving utility, with the exception of the main service connection at the utility company right-of-way and any new interconnection equipment, including without limitation any poles.
- C. Signage. Signage shall comply with the requirements of Section 6.2 of this Zoning Ordinance and the following additional requirements; in the event of a conflict between the provisions of Section 6.2 and this section, the requirements of this section shall control.
  1. The signage shall be in compliance with ANSI Z535 and shall include the type of technology associated with the BESS, any special hazards associated, the type of suppression system installed in the area of BESS, and 24-hour emergency contact information, including reach-back phone number.
  2. As required by the state electrical code, disconnect and other emergency shutoff information shall be clearly displayed on a light reflective surface. A clearly visible warning sign concerning voltage shall be placed at the base of all pad-mounted transformers and substations.
  3. Signage compliant with ANSI Z535 shall be provided on doors to rooms, entrances to BESS facilities, and on BESS outdoor containers.
- D. Lighting. Lighting of the BESS shall be limited to that minimally required for safety, security and operational purposes, shall be shielded from abutting properties, shall be directed downward, shall incorporate full cut-off fixtures to reduce light pollution and shall otherwise be consistent with local, state and federal law. A photometric plan shall be required.
- E. Vegetation and tree cutting. Areas within ten feet on each side of Tier 2 and Tier 3 BESS shall be cleared of combustible vegetation and other combustible growth. Single specimens of trees, shrubbery, or cultivated ground cover such as green grass, ivy, succulents, or similar plants used as ground covers shall be permitted provided that they do not form a means of readily transmitting fire. Removal of trees should be minimized to the extent possible. No tree or vegetation clearing shall be permitted within the Setbacks as noted below except for the

purposes of the area of ingress and egress to the site. Vegetation control in the Water Supply Protection Overlay District (WSPOD) shall be by mowing or other mechanical means. The use of synthetic pesticides, herbicides, and fertilizers shall be prohibited for BESS facilities within the WSPOD.

- F. **Setbacks.** Tier 2 and Tier 3 BESS shall be set back a minimum of 150 feet from all side, rear, and front lot lines; except that Tier 2 and Tier 3 BESS shall be set back a minimum of 300 feet from side, rear, and front lot lines that abut or are across a street from residential zoning districts or existing single, two-family, or multi-family structures. The minimum setback areas shall include a Buffer Area at least fifty feet wide along all property lines. Access drives and parking are allowed in the setback areas, except emergency access as noted below, but shall not intrude into the required setback areas except where necessary to provide access or egress to the property. In addition, a minimum of 50 feet must be maintained between BESS components and all buildings, stored combustible materials, hazardous materials, high-piled storage, personnel means of egress, and other exposure hazards not associated with electrical grid infrastructure. The Special Permit Granting Authority may waive these setback requirements so long as the approved setbacks protect the health and safety of nearby abutters.
- G. **Emergency Access:** There shall be a 60-foot-wide paved emergency access road around the complete perimeter of the facility but inside the required setback area which may not exceed a 7% grade at any time. Ongoing maintenance of the access road including snow removal after 3 inches of snow shall be included as part of the Operations and Maintenance Plan required herein.
- H. **Lot Size.** The minimum lot size for Tier 1 BESS shall not be less than 1 acre. The minimum lot size for a Tier 2 BESS shall be not less than 10 acres and the minimum lot size for a Tier 3 BESS shall be no less than 20.
- I. **Dimensional.** All BESS shall comply with the dimensional limitations for principal structures of the underlying zoning district as provided in Appendix B, Table 2, of this Zoning Ordinance, unless otherwise provided in this ordinance. No BESS shall exceed 15 feet in height and there shall be no vertical stacking of BESS units.
- J. **Fencing Requirements.** Tier 2 and Tier 3 BESS, including all mechanical equipment, shall be enclosed by a minimum eight-foot high fence with a self-locking gate to prevent unauthorized access unless housed in a dedicated-use building. All gates shall accommodate a knock box or other accessible means to allow access to public safety personnel. Security barriers, fences, landscaping, and other enclosures must not inhibit required air flow to or exhaust from the BESS and components. Electrical equipment greater than 1,000V require a separate and additional means to restrict access. NFPA 855 requires specialty safety systems to be provided based on the BESS chemistry and installed location.
- K. **Screening and Visibility.** Tier 2 and Tier 3 BESS shall have views minimized from adjacent properties to the extent reasonably practicable using architectural features, earth berms, landscaping, or other screening methods that will harmonize with the character of the property and surrounding area. Such features may not inhibit required air flow to or exhaust from the BESS and components and must comply with the setbacks established in paragraph G above.
- L. **Failure Protection.** All Tier 2 and Tier 3 BESS shall include an impenetrable layer beneath the

surface and no closer than four (4) feet to the closest water table which will cause any discharge to flow into a basin located on site which will then capture and/or treat any runoff as a result of a failed battery or fire or other destruction. The Application shall include details of the proposed catchment system along with a detailed stormwater report and stamped detailed engineering plans from a Massachusetts Registered Professional Engineer depicting the stormwater system. All BESS facilities located within the WSPOD shall have full containment to capture all releases, either intentionally from maintenance or accidental in nature. Release and runoff shall not be allowed.

- M. Batteries. Failed battery cells and modules shall not be stored on the site and shall be removed no later than 30 days after deemed failed by the BESS operator or cell/module manufacturer. The operator shall notify the Haverhill Fire Chief in advance if the type of battery or batteries used onsite is to be changed. All failed battery cells and modules shall not be stored outdoors and must be protected from further damage and potential release of contaminants to the environment.
- N. Storage. No equipment or hazardous materials, in liquid, dry, or gas form, shall be stored onsite of the BESS other than those items in quantities necessary for the proper operation of the facility. Any storage for materials deemed necessary shall be properly labeled, covered and contained to protect from release to the environment.
- O. Acoustical Impacts. No system shall cause an increase in acoustical levels over ambient at the Property line. An acoustical study prepared by a Massachusetts Registered Acoustical Engineer shall be provided.
- P. Water Source. A municipal water source shall be provided including a FDC within 100 feet before the entrance to the Hazard Area on the Property. The Applicant shall present evidence including a hydraulic analysis in accordance to the City standard to support that there is adequate volume and pressure for fire suppression on the Property and not have a detrimental impact on the surrounding neighborhood. The applicant shall be required to make any related offsite improvement to achieve the required standard to alleviate any impact on the adjacent users.
- Q. Stormwater Management. The applicant shall submit a stormwater management plan consistent with the Massachusetts Stormwater Management Policy.
- R. Decommissioning Plan. The applicant shall submit with its application a decommissioning plan for all BESS to be implemented upon abandonment and/or in conjunction with removal of the facility. The owner or operator of the BESS shall notify the Building Commissioner in writing at least twenty days prior to when a BESS will be decommissioned. Decommissioning of an abandoned or discontinued BESS shall be completed within six months after the facility ceases operation. The decommissioning plan shall include:
  - 1. A narrative description of the activities to be accomplished, including who will perform that activity and at what point in time, for complete physical removal of all BESS components, structures, equipment, security barriers, and transmission lines from the site;
  - 2. Disposal of all solid and hazardous waste in accordance with local, state, and

federal waste disposal regulations;

3. The anticipated life of the BESS;
  4. The estimated decommissioning costs and how said estimate was determined, including an allowance for annual cost of living increases or increases due to inflation;
  5. The method of ensuring that funds will be available for decommissioning and restoration;
  6. The method by which the decommissioning cost will be kept current;
  7. The manner in which the site will be restored, including a description of how any changes to the surrounding areas and other systems adjacent to the BESS, such as, but not limited to, structural elements, building penetrations, means of egress, and required fire detection suppression systems, will be protected during decommissioning and confirmed as being acceptable after the system is removed; and
  8. A listing of any contingencies for removing an intact operational energy storage system from service, and for removing an energy storage system from service that has been damaged by a fire or other event.
- S. Decommissioning Fund. The owner and/or operator of the energy storage system, shall continuously maintain a fund or other surety acceptable to the City, in a form approved by the City Council and City Solicitor, for the removal of the BESS, in an amount to be determined by the City, and which includes the City as loss payee, for the period of the life of the facility. All costs of the financial security shall be borne by the Applicant.
- T. Proof of Liability Insurance. The applicant or property owner shall provide evidence of commercial liability insurance in an amount and type generally acceptable in the industry and approved by the Planning Board prior to the issuance of a building permit, and shall continue such insurance in effect until such facility has been decommissioned, removed, and the site restored in accordance with this ordinance.

§ 7.9.6.3 Special Permit Criteria. In addition to the general Special Permit criteria set forth in section 10.4.2 of this Ordinance, an application for Tier 2 or Tier 3 BESS shall meet the following criteria:

A. The project protects the ground water and surrounding properties from catastrophic failure of one or more of the batteries or cells by implementing appropriate catchment and filtration systems for water run off or run off from the system.

B. The project appropriately attenuates sound intrusion beyond the property lines onto adjacent properties so that there is no change in ambient sound after construction and during operations of the system.

C. The project includes only dark sky compliant down lighting which does not intrude beyond the property lines onto adjacent properties.

D. The project is secure and addresses possible trespass or other intrusion by individuals not affiliated with the project.

E. The project meets the public safety needs of the City.

F. The project minimizes visual impacts from utility infrastructure for interconnection.

F. The project is minimally visible from adjacent properties.

#### § 7.9.7. Site Plan application.

For all BESS the Site Plan application shall include the following information, in addition to that required by Section 10.8 of this Zoning Ordinance and the applicable Planning Board requirements governing Site Plan Applications:

##### A. Utility Infrastructure information requirements:

1. A one- or three-line electrical diagram detailing the BESS layout, associated components, and electrical interconnection methods, with all State Electrical Code compliant disconnects and over current devices.
2. The Applicant shall provide certified verification that there is a fully executed Interconnection Services Agreement (“ISA”) with the local utility distribution company. Said certification shall include the cover and signature pages of the ISA.
3. If the ISA has not been issued, the Applicant shall be required to provide a full copy of the Application for Interconnection filed with the local utility distribution company.

B. Preliminary equipment specification sheets that document the proposed BESS components, inverters and associated electrical equipment that are to be installed. A final equipment specification sheet shall be submitted prior to the issuance of building permit.

C. Name, address, and contact information of proposed or potential system installer and the owner and/or operator of the BESS. Such information of the final system installer shall be submitted prior to the issuance of building permit.

D. Large-scale fire test data, evaluation information, and calculations, and modeling data. For any of the following, UL 9540A fire test data must be made available to the Planning Board for review:

- BESS systems with a capacity of greater than 50 kW
- BESS systems with spacing between arrays of less than 3 feet

E. Commissioning Plan. The system installer or commissioning agent shall prepare a commissioning plan prior to the start of commissioning. Such plan shall be compliant with NFPA 855 and document and verify that the system and its associated controls and safety

systems are in proper working condition per requirements set forth in applicable state codes. Where commissioning is required by the Building Code, BESS commissioning shall be conducted by a Massachusetts Licensed Professional Engineer after the installation is complete but prior to final inspection and approval. A corrective action plan shall be developed for any open or continuing issues that are allowed to be continued after commissioning. A report describing the results of the system commissioning and including the results of the initial acceptance testing required by applicable state codes shall be provided to Zoning Enforcement Officer prior to final inspection and approval and maintained at an approved on-site location.

- F. Fire Safety Compliance Plan. Such plan shall document and verify that the system and its associated controls and safety systems are in compliance with state codes, including documentation that BESS components comply with the safety standards set forth in subsection 7.9.9. Such plan shall also include a detailed training plan for public safety personnel.
- G. Operation and Maintenance Manual. Such plan shall describe continuing BESS maintenance and property upkeep, as well as design, construction, installation, testing and commissioning information and shall meet all requirements set forth state codes and NFPA 855. Maintenance provisions will be driven by manufacturer requirements for the specific listed system. It shall address maintenance of the access and perimeter roadways, perimeter fencing, and shall include a snow removal plan and 24 hours access requirements by public safety officials. There shall be an annual; acoustical review to assure ongoing compliance with the requirement of no change from ambient at the property line and fire department inspection.
- H. Depending on the location of the BESS in relation to and its interaction with the electrical grid, interconnection will be completed per 527 CMR 12.00. System interconnections into utility grids shall be in accordance with NFPA 855 and the local distribution company standards for interconnection of distributed energy resources. An accessible disconnect is required per 527 CMR 12.00.
- I. Prior to the issuance of the building permit, As Built engineering documents must be signed and sealed by a Massachusetts Licensed Professional Engineer and provided to the Building Commissioner and Planning Department .
- J. Emergency Operations Plan. An Emergency Operations Plan compliant with NFPA 855 is required. A copy of the approved Emergency Operations Plan shall be given to the system operator, the local fire department, local fire code official and police department. For so long as the BESS is operational, the operator shall provide the Fire Department, Police Department, Building Commissioner, and Mayor's office with contact information for personnel that can be reached 24 hours per day every day, and this contact information shall be updated by the operator whenever there is a change in the information. The operator shall also be required to have an official representative be present onsite not later than two hours after notification by the Fire Chief, Police Chief, or their designee. A permanent copy shall also be placed in an approved location to be accessible to facility personnel, fire code officials, and emergency responders. The emergency operations plan shall include the following information:

1. Procedures for safe shutdown, de-energizing, or isolation of equipment and systems under emergency conditions to reduce the risk of fire, electric shock, and personal injuries, and for safe start-up following cessation of emergency conditions.
2. Procedures for inspection and testing of associated alarms, interlocks, and controls, including time intervals for inspection and testing.
3. Procedures to be followed in response to notifications from the Battery Energy Storage Management System, when provided, that could signify potentially dangerous conditions, including shutting down equipment, summoning service and repair personnel, and providing agreed upon notification to fire department personnel for potentially hazardous conditions in the event of a system failure.
4. Emergency procedures to be followed in case of fire, explosion, release of liquids or vapors, damage to critical moving parts, or other potentially dangerous conditions. Procedures can include sounding the alarm, notifying the fire department, evacuating personnel, de-energizing equipment, and controlling and extinguishing the fire.
5. Response considerations similar to a safety data sheet (SDS) that will address response safety concerns and extinguishment when an SDS is not required.
6. Procedures for safe disposal of BESS equipment damaged in a fire or other emergency event, including maintaining contact information for personnel qualified to safely remove damaged BESS equipment from the facility.
7. Other procedures as determined necessary by the City to provide for the safety of occupants, neighboring properties, and emergency responders.
8. Procedures and schedules for conducting drills of these procedures and for training local first responders on the contents of the plan and appropriate response procedures.

K. Each Application shall be accompanied by the following information:

1. A certified plot plan at a minimum scale of one inch equals 40 feet and a maximum scale of one inch equals 20 feet. The site plan shall contain:
  - a. Date of site plan with all revisions noted and dated. Title of development, North arrow, scale, map and lot number, name and address of record owner, name and address of person preparing the site plan.
  - b. The names of all owners of record of adjacent properties, and the map and lot number of the properties and all buildings.
  - c. Zoning district boundaries and flood zone boundaries shall be shown as they affect the property including limits of the WSPOD and public water supply Zone A and Zone I on the overall site plan.
  - d. Boundaries of the property and lines of existing street, lots, easements and

- areas dedicated to public use, including rights of way.
- e. A locus map showing the location of the property with reference to surrounding area.
  - f. A table indicating all calculations necessary to determine conformance to Bylaw regulations including current required and proposed regulations.
  - g. Square footage of property to the nearest 10 square feet.
2. All plans must include the location of existing and proposed buildings, walls, fences, culverts, parking areas, loading areas, walkways and driveways.
- a. Location and dimensions of utilities, gas, telephone, electrical, communications, water drainage, sewer and other waste disposal.
  - b. Location, type and dimensions of landscaping and screening.
  - c. Location of existing rock outcroppings, high points, vistas, ponds, depressions, wetlands, major trees (twelve-inch caliper and over) and any other significant existing features.
  - d. Two-foot contours where slopes are less than 15% and five-foot contours when 15% or more. Existing contours shall be indicated by dashed line. Proposed contours shall be indicated by solid line.
  - e. Dimensioned schematic drawings of all proposed buildings. Scale shall not exceed  $\frac{1}{4}$  inch equals one foot nor less than  $\frac{1}{8}$  inch equals one foot.
  - f. A narrative describing the proposal and addressing the foregoing requirements.
  - g. Location of street numbers indicated on the schematic drawings and/or site plan.
  - h. Surface and water pollution. A report on the impact of Stormwater runoff on adjacent and downstream surface water bodies, subsurface groundwater and the water table.
  - i. Soils. The potential dangers of erosion and sedimentation caused by the operation and maintenance of the proposed development.
  - j. General environmental impact. A report on the relationship of the proposed development of the major botanical, zoological, geological and hydrological resources of the site, and compatibility of the proposed development with adjacent or surrounding land uses and neighborhoods.
  - k. Traffic impact. A report on existing street capacities, estimated average

daily traffic generation, composition, peak hour levels and directional flows resulting from the proposed development, proposed methods to mitigate the estimated traffic impact and methodology and sources used to derive existing data and estimations.

1. Renderings showing the proposed project in relationship to its surroundings.

#### § 7.9.8. Ownership Changes.

If the owner of the BESS changes or the owner of the property changes, the Special Permit shall remain in effect, provided that the successor owner or operator assumes in writing all of the obligations of the Special Permit, Site Plan approval, and decommissioning plan. A new owner or operator of the BESS shall notify the Building Commissioner of such change in ownership or operator within 14 days of the ownership change. A new owner or operator must provide such notification to the Building Commissioner in writing.

#### § 7.9.9. Safety

System Certification. BESS and equipment shall be listed by a Nationally Recognized Testing Laboratory to UL 9540 (Standard for BESS and Equipment) or approved equivalent, with subcomponents meeting each of the following standards as applicable:

- A. UL 1973 (Standard for Batteries for Use in Stationary, Vehicle Auxiliary Power and Light Electric Rail Applications),
- B. UL 1642 (Standard for Lithium Batteries),
- C. UL 1741 or UL 62109 (Inverters and Power Converters),
- D. Certified under the applicable electrical, building, and fire prevention codes as required.
- E. Alternatively, field evaluation by an approved testing laboratory for compliance with UL 9540 (or approved equivalent) and applicable codes, regulations and safety standards may be used to meet system certification requirements.

Site Access. BESS shall be maintained in good working order and in accordance with industry standards. Site access shall be maintained, including snow removal at a level acceptable to the local fire department.

BESS, components, and associated ancillary equipment shall have required working space clearances, and electrical circuitry shall be within weatherproof enclosures marked with the environmental rating suitable for the type of exposure in compliance with NFPA 70.

#### § 7.9.11. Abandonment

The BESS shall be considered abandoned when it ceases to operate consistently for more than one year. If the owner and/or operator fails to comply with decommissioning upon any abandonment, the City may, after compliance with any applicable state and federal constitutional requirements, enter the property and utilize the available bond and/or security for the removal of any BESS and restoration of the site in accordance with the decommissioning plan.

**And further add the following new definition to § 11.1 of Chapter 255**

**§ 11.1**

**AGGREGATE ENERGY CAPACITY:** Total amount of energy stored that can be stored in all batteries that are a part of the BESS measured in kilowatt-hours (kWh) or megawatt-hours (MWh).

**BATTERY or BATTERIES:** A single cell or group of cells connected electrically in series, in parallel, or combination of both, which can charge, discharge and store energy electrochemically. For the purpose of this Ordinance, batteries utilized in consumer products are excluded from these requirements.

**BATTERY ENERGY STORAGE SYSTEM (“BESS”)** – A system containing one or more battery modules for storing electrical energy, any equipment needed to support the safe and proper function or usage of the battery modules, and one or more physical container(s) providing secondary containment to any of the above. It may be a primary use or an Accessory Use to a solar generating facility, power generation facility, electrical substation, or other similar uses. For the purposes of this bylaw, BESS are comprised of three (3) types as further described in § 7.9.3.B. of this bylaw; Tier 1 BESS, Tier 2 BESS and Tier 3 BESS.

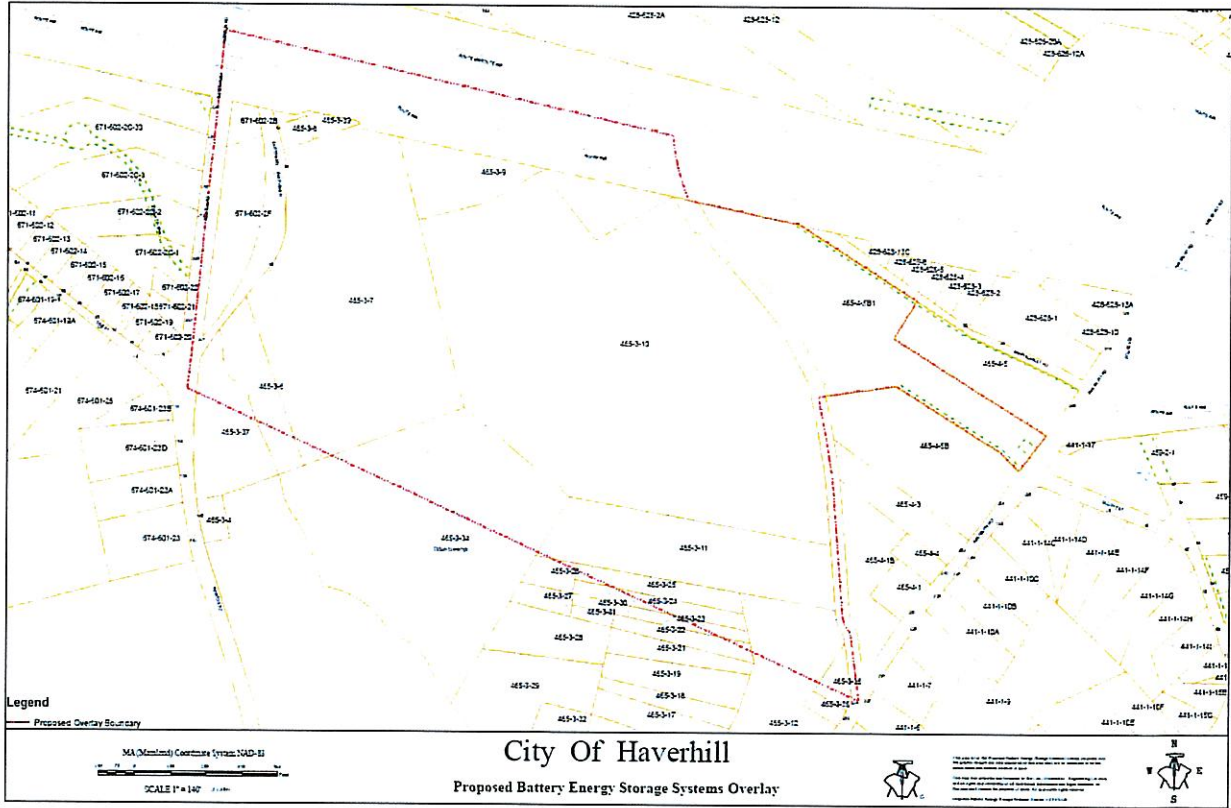
**And further to amend section 3.1.3, Table of Use and Parking regulations by allowing Tier 1, Tier 2 and Tier 3 BESS in the districts as follows:**

**BESS Overlay District - OD**

	RS	RR	RL	RM	RH	RU	CN	CH	CG	CC	CM	OP	BG	BP	BESS OD	PC
<b>I. MISCELLANEOUS COMMERCIAL USES (cont'd)</b>																
22. Kennel or veterinary hospital in which all animals, fowl or other forms of life are completely enclosed in pens or other structures	BA	BA	N	N	N	N	N	BA	N	N	N	N	N	N		D
23. Commercial communications and/or television tower, provided that it shall be at least 500 feet from any R District	BA	N	N	N	N	N	N	BA	BA	BA	N	BA	BA	BA		None
<b>24. Battery Energy Storage Systems: Tier 1</b>	<b>Y</b>	<b>Y</b>	<b>Y</b>	<b>Y</b>	<b>Y</b>	<b>Y</b>	<b>Y</b>	<b>Y</b>	<b>Y</b>	<b>Y</b>	<b>Y</b>	<b>N</b>	<b>Y</b>	<b>Y</b>	<b>Y</b>	<b>None</b>

<b>25. Battery Energy Storage Systems: Tier 2</b>	N	N	N	N	N	N	N	N	N	N	N	N	N	N	CC	None
<b>26. Battery Energy Storage Systems: Tier 3</b>	N	N	N	N	N	N	N	N	N	N	N	N	N	N	CC	None

And further to amend the City of Haverhill Zoning Map to include the BESS Overlay District as set forth below:





DOCUMENT

**CITY OF HAVERHILL**

In Municipal Council

ORDERED:

Municipal Ordinance

Chapter 255

An Ordinance Relating to Amend Chapter 255 Zoning Ordinance and Zoning Map

Ordinance: re: Amend Chapter 255 Zoning Ordinance and Zoning Map – Battery Energy Storage Systems Overlay District (BESS)– by inserting a new section 7.9 Battery Energy Storage Systems, amending section 3.1.3 Table of Use and Parking regulations by allowing a Tier 1, Tier 2 and Tier 3 BESS and amending the Zoning Map to include the BESS Overlay District. The overlay district will be creating regulations for the installation and use of free-standing battery energy storage systems (“BESS”), adding to the table the overlay district with the allowed Tiers and updating the zoning map to include the BESS Overlay District, or take any other action related to.

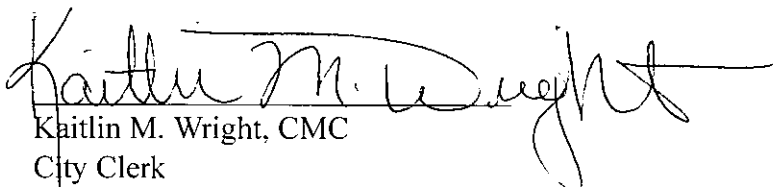
Since this Ordinance exceeds in length eight octavo pages of ordinary book print, in lieu of advertising, it is published by the City Council in a municipal bulletin, placed on file in the City Clerk’s Office, and posted on the municipal bulletin in City Hall.

PLACED ON FILE for at least 14 days

Advertise in Gazette:

Thursday April 16<sup>th</sup> and Thursday April 23<sup>rd</sup>

Attest:

  
Kaitlin M. Wright, CMC  
City Clerk

## Kaitlin Wright

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**From:** North of Boston <noreply@wave2adportal.com>  
**Sent:** Monday, March 23, 2026 10:49 AM  
**To:** CityClerk  
**Cc:** cmacdonald@northofboston.com; Kaitlin Wright; Natalia Hernandez  
**Subject:** Thank you for placing your order with us.

**Warning! External Email. Exercise caution when opening attachments or clicking on any links.  
THANK YOU for your notice submission!**

This is your confirmation that your order has been submitted. Below are the details of your transaction. Please save this confirmation for your records.

### Job Details

Order Number:  
**W0142797**  
Business Type:  
All Other Public Notices  
Notice Size:  
Public Notices  
Notice Estimate:  
\$196.16  
Referral Code:  
Amend Chapter 255 Zoning Ord

### Account Details

Haverhill Clerk  
4 SUMMER ST STE 118  
HAVERHILL, MA □ 01830  
978-374-2312  
cityclerk@cityofhaverhill.com  
HAVERHILL CITY CLERK

### Schedule for notice number W01427970

**Thu Apr 16, 2026**  
**Haverhill Gazette Public Notices**  
All Zones  
**Thu Apr 23, 2026**  
**Haverhill Gazette Public Notices**  
All Zones

#### **CITY OF HAVERHILL In Municipal Council**

**ORDERED:**  
**Municipal Ordinance Chapter 255**  
An Ordinance Relating to Amend  
Chapter 255 Zoning Ordinance and  
Zoning Map

Ordinance: re: Amend Chapter 255  
Zoning Ordinance and Zoning Map  
- Battery Energy Storage Systems  
Overlay District (BESS)-by inserting  
anew section 7.9 Battery Energy  
Storage Systems, amending section  
3.1.3 Table of Use and Parking reg-  
ulations by allowing a Tier 1, Tier 2  
and Tier 3 BESS and amending the  
Zoning Map to include the BESS  
Overlay District. The overlay district  
will be creating regulations for the  
installation and use of free-stand-  
ing battery energy storage systems  
("BESS"), adding to the table the  
overlay district with the allowed Tiers  
and updating the zoning map to in-  
clude the BESS Overlay District, or  
take any other action related to.

Since this Ordinance exceeds in  
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cil in a municipal bulletin, placed  
on file in the City Clerk's Office, and  
posted on the municipal bulletin in  
City Hall.

PLACED ON FILE for at least 14  
days

Attest: Kaitlin M. Wright, CMC  
City Clerk  
HG - Publication Dates

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**MUNICIPAL ORDINANCE    CHAPTER 255 Zoning**

**AN ORDINANCE RELATING TO AMENDING CHAPTER 255, ZONING BY ADDING A NEW SECTION 7.9 BATTERY ENERGY STORAGE SYSTEMS**

**BE IT ORDAINED** by the City Council of the City of Haverhill that Chapter 255, Zoning, of the Code of the City of Haverhill, as amended, being and is hereby further amended as follows by inserting the following new section 7.9 entitled “Battery Energy Storage Systems”;

§7.9 BATTERY ENERGY STORAGE SYSTEMS

§7.9.1. Purpose.

The purpose of this Section is to advance and protect the public health, safety, welfare, and quality of life by creating regulations for the installation and use of free-standing battery energy storage systems (“BESS”), with the following objectives:

- A. To provide a regulatory scheme for the location, construction and operation of free-standing BESS consistent with best practices and safety protocols;
- B. To ensure compatible land uses in the vicinity of the areas affected by BESS and to mitigate any potential impacts on abutting and nearby properties; and
- C. To mitigate the impacts of BESS on environmental resources such as agricultural lands, forests, wildlife, wetlands and other natural resources.

This Section shall be construed to be consistent with state law, including but not limited to the provisions of General Laws chapter 40A, section 3, and state regulations, including but not limited to the provisions of the State Building Code, State Fire Code, and State Electrical Code. In the event of any conflict between the provisions of this section and the provisions of state law or regulations, the state law and regulations shall prevail.

§7.9.2. Establishment of the BESS Overlay District

The BESS Overlay District is an overlay district superimposed over the underlying district set forth in this Zoning Ordinance. Within the BESS, the requirements of the underlying district continue to apply, except when the following uses are proposed then the following provisions of this section 7.9 shall apply:

Tier 1 BESS

Tier 2 BESS and

Tier 3 BESS

§7.9.3 Applicability.

A. The requirements of this ordinance shall apply to BESS permitted, installed, decommissioned or modified after the effective date of this ordinance, excluding general maintenance and repair. BESS subject to this ordinance are only those that exceed the following capacities:

- Lead-acid with a capacity of greater than 70 kW
- Nickel with a capacity of greater than 70 kW
- Lithium-ion with a capacity of greater than 30 kW
- Sodium nickel chloride with a capacity of greater than 20 kW
- Flow with a capacity of greater than 20 kW
- Other battery technologies with a capacity of greater than 20 kW

B. Only BESS that meet the criteria herein shall be permitted under this ordinance. BESS permitted under and subject to this ordinance shall be classified either as a Tier 1, Tier 2 or Tier 3 BESS as set forth herein. All sizes noted in this section shall include the total capacity of the proposed facility and not refer solely as a limitation on total export. For avoidance of doubt, a proposed system which has an export capacity of 50 MW but has a total storage or redundancy capacity of 100 MW shall be treated as a 100 MW system.

1. Tier 1 BESS have an aggregate energy capacity less than or equal to 500 kWh, derive 51% or more of their power from Solar Energy Systems as defined herein, and, if in a room or enclosed area, consist of only a single energy storage system technology.
2. Tier 2 BESS consist of those which meet one or more of the following criteria;
  - a. have an aggregate energy capacity greater than 500kWh and less than 10 MWh, but no greater than 10 MWh;
  - b. are comprised of more than one storage battery facility in a room or enclosed area;
  - c. derive less than 51% of their power from Solar Energy Systems as defined herein.
3. Tier 3 BESS consist of those which meet one or more of the following criteria;
  - a. have an aggregate energy capacity greater than 10 MWh, but no greater than 350MWh;
  - b. are comprised of more than one storage battery facility in a room or enclosed area;

- c. derive less than 51% of their power from Solar Energy Systems as defined herein.

#### § 7.9.4. General Requirements

- A. All permits required by state codes, including but not limited to building permit, an electrical permit, and a fire department permit shall be required for installation of all BESS.
- B. All BESS, all Dedicated Use Buildings, and all other buildings or structures that (a) contain or are otherwise associated with a battery energy storage system; and (b) subject to the requirements of the State Building Code, shall be designed, erected, and installed in accordance with all applicable provisions of the State Building Code 780 CMR, State Fire Code 527 CMR 1.00, and State Electrical Code 527 CMR 12.00. All BESS shall comply with NFPA 855, Standard for the Installation of Stationary Energy Storage Systems or subsequent standard.
- C. Energy storage system capacities, including array capacity and separation, are limited to the thresholds contained in NFPA 855 or subsequent standard.

#### § 7.9.5. Permitting Requirements for Tier 1 BESS

Tier 1 BESS are allowed by right in all zoning districts, including the BESS Overlay District, subject to applicable provisions of the State Building Code, Electrical Code, Fire Code, and other applicable codes, and are subject to site plan review in accordance with section 10.8 hereof and such provisions of this ordinance as are applicable.

Tier 1 BESS and appurtenances shall be prohibited in the Zone A and Zone 1 public water supply protection areas.

#### § 7.9.6. Permitting Requirements for, Tier 2 and Tier 3 BESS shall be permitted by Special Permit in the BESS Overlay District in accordance with the requirements below.

§ 7.9.6.1 Special Permit Required. Tier 2 and Tier 3 BESS subject to this ordinance require the issuance of a Special Permit in the BESS Overlay District and are subject to Major Site Plan Review pursuant to Section 10.8. Tier 2 and Tier 3 BESS shall comply with the applicable requirements set forth in this ordinance including the General Special Permit Criteria set forth in section 10.4.2, as well as this Section 7.9 , and the Haverhill General Ordinances. The City Council shall be the Special Permit Granting Authority (“SPGA”). The Applicant shall be required to submit all materials required in accordance with the SPGA Rules and Regulations, in addition to any other materials necessary or as may be required in order to support that the Application meets the Design Requirements set forth in section 7.9.6.2 herein.

§ 7.9.6.1.1 Development Review Required As Part of Hearing Process: For the purpose of a Special Permit filed hereunder, the Applicant shall be required to submit a complete application for a Special Permit in accordance with the Requirements hereunder. Following the opening of the Public Hearing by the SPGA, the Application shall be referred to the Development Review Committee as set forth in

§10.1.4 hereof. The Development Review Committee shall meet with the Applicant who shall be required to provide any additional information as the Committee may reasonably request and the Development Review Committee shall provide the SPGA with its recommendations within ninety (90) days of the date upon which the application was thereto referred.

§ 7.9.6.1.2 Prohibitions: Notwithstanding the foregoing, Tier 2 and Tier 3 BESS and appurtenances shall be prohibited in the Zone A and Zone I public water supply protection areas.

§ 7.9.6.2 Design Requirements. The following requirements apply to all BESS subject to this ordinance, except where it is specifically noted to apply only to Tier 2 or Tier 3 BESS:

- A. **Site Plan Drawings.** The Applicant shall provide a full set of Site Drawings stamped by a Massachusetts Registered Professional Engineer inclusive of items set forth in section 7.9.7.K.1 hereof.
- B. **Utility Lines and Electrical Circuitry.** All on-site utility lines shall be placed underground to the extent feasible and as permitted by the serving utility, with the exception of the main service connection at the utility company right-of-way and any new interconnection equipment, including without limitation any poles.
- C. **Signage.** Signage shall comply with the requirements of Section 6.2 of this Zoning Ordinance and the following additional requirements; in the event of a conflict between the provisions of Section 6.2 and this section, the requirements of this section shall control.
  1. The signage shall be in compliance with ANSI Z535 and shall include the type of technology associated with the BESS, any special hazards associated, the type of suppression system installed in the area of BESS, and 24-hour emergency contact information, including reach-back phone number.
  2. As required by the state electrical code, disconnect and other emergency shutoff information shall be clearly displayed on a light reflective surface. A clearly visible warning sign concerning voltage shall be placed at the base of all pad-mounted transformers and substations.
  3. Signage compliant with ANSI Z535 shall be provided on doors to rooms, entrances to BESS facilities, and on BESS outdoor containers.
- D. **Lighting.** Lighting of the BESS shall be limited to that minimally required for safety, security and operational purposes, shall be shielded from abutting properties, shall be directed downward, shall incorporate full cut-off fixtures to reduce light pollution and shall otherwise be consistent with local, state and federal law. A photometric plan shall be required.
- E. **Vegetation and tree cutting.** Areas within ten feet on each side of Tier 2 and Tier 3 BESS shall be cleared of combustible vegetation and other combustible growth. Single specimens of trees, shrubbery, or cultivated ground cover such as green grass, ivy, succulents, or similar plants used as ground covers shall be permitted provided that they do not form a means of readily transmitting fire. Removal of trees should be minimized to the extent possible. No tree or vegetation clearing shall be permitted within the Setbacks as noted below except for the

purposes of the area of ingress and egress to the site. Vegetation control in the Water Supply Protection Overlay District (WSPOD) shall be by mowing or other mechanical means. The use of synthetic pesticides, herbicides, and fertilizers shall be prohibited for BESS facilities within the WSPOD.

- F. **Setbacks.** Tier 2 and Tier 3 BESS shall be set back a minimum of 150 feet from all side, rear, and front lot lines; except that Tier 2 and Tier 3 BESS shall be set back a minimum of 300 feet from side, rear, and front lot lines that abut or are across a street from residential zoning districts or existing single, two-family, or multi-family structures. The minimum setback areas shall include a Buffer Area at least fifty feet wide along all property lines. Access drives and parking are allowed in the setback areas, except emergency access as noted below, but shall not intrude into the required setback areas except where necessary to provide access or egress to the property. In addition, a minimum of 50 feet must be maintained between BESS components and all buildings, stored combustible materials, hazardous materials, high-piled storage, personnel means of egress, and other exposure hazards not associated with electrical grid infrastructure. The Special Permit Granting Authority may waive these setback requirements so long as the approved setbacks protect the health and safety of nearby abutters.
- G. **Emergency Access:** There shall be a 60-foot-wide paved emergency access road around the complete perimeter of the facility but inside the required setback area which may not exceed a 7% grade at any time. Ongoing maintenance of the access road including snow removal after 3 inches of snow shall be included as part of the Operations and Maintenance Plan required herein.
- H. **Lot Size.** The minimum lot size for Tier 1 BESS shall not be less than 1 acre. The minimum lot size for a Tier 2 BESS shall be not less than 10 acres and the minimum lot size for a Tier 3 BESS shall be no less than 20.
- I. **Dimensional.** All BESS shall comply with the dimensional limitations for principal structures of the underlying zoning district as provided in Appendix B, Table 2, of this Zoning Ordinance, unless otherwise provided in this ordinance. No BESS shall exceed 15 feet in height and there shall be no vertical stacking of BESS units.
- J. **Fencing Requirements.** Tier 2 and Tier 3 BESS, including all mechanical equipment, shall be enclosed by a minimum eight-foot high fence with a self-locking gate to prevent unauthorized access unless housed in a dedicated-use building. All gates shall accommodate a knock box or other accessible means to allow access to public safety personnel. Security barriers, fences, landscaping, and other enclosures must not inhibit required air flow to or exhaust from the BESS and components. Electrical equipment greater than 1,000V require a separate and additional means to restrict access. NFPA 855 requires specialty safety systems to be provided based on the BESS chemistry and installed location.
- K. **Screening and Visibility.** Tier 2 and Tier 3 BESS shall have views minimized from adjacent properties to the extent reasonably practicable using architectural features, earth berms, landscaping, or other screening methods that will harmonize with the character of the property and surrounding area. Such features may not inhibit required air flow to or exhaust from the BESS and components and must comply with the setbacks established in paragraph G above.
- L. **Failure Protection.** All Tier 2 and Tier 3 BESS shall include an impenetrable layer beneath the

surface and no closer than four (4) feet to the closest water table which will cause any discharge to flow into a basin located on site which will then capture and/or treat any runoff as a result of a failed battery or fire or other destruction. The Application shall include details of the proposed catchment system along with a detailed stormwater report and stamped detailed engineering plans from a Massachusetts Registered Professional Engineer depicting the stormwater system. All BESS facilities located within the WSPOD shall have full containment to capture all releases, either intentionally from maintenance or accidental in nature. Release and runoff shall not be allowed.

- M. Batteries. Failed battery cells and modules shall not be stored on the site and shall be removed no later than 30 days after deemed failed by the BESS operator or cell/module manufacturer. The operator shall notify the Haverhill Fire Chief in advance if the type of battery or batteries used onsite is to be changed. All failed battery cells and modules shall not be stored outdoors and must be protected from further damage and potential release of contaminants to the environment.
- N. Storage. No equipment or hazardous materials, in liquid, dry, or gas form, shall be stored onsite of the BESS other than those items in quantities necessary for the proper operation of the facility. Any storage for materials deemed necessary shall be properly labeled, covered and contained to protect from release to the environment.
- O. Acoustical Impacts. No system shall cause an increase in acoustical levels over ambient at the Property line. An acoustical study prepared by a Massachusetts Registered Acoustical Engineer shall be provided.
- P. Water Source. A municipal water source shall be provided including a FDC within 100 feet before the entrance to the Hazard Area on the Property. The Applicant shall present evidence including a hydraulic analysis in accordance to the City standard to support that there is adequate volume and pressure for fire suppression on the Property and not have a detrimental impact on the surrounding neighborhood. The applicant shall be required to make any related offsite improvement to achieve the required standard to alleviate any impact on the adjacent users.
- Q. Stormwater Management. The applicant shall submit a stormwater management plan consistent with the Massachusetts Stormwater Management Policy.
- R. Decommissioning Plan. The applicant shall submit with its application a decommissioning plan for all BESS to be implemented upon abandonment and/or in conjunction with removal of the facility. The owner or operator of the BESS shall notify the Building Commissioner in writing at least twenty days prior to when a BESS will be decommissioned. Decommissioning of an abandoned or discontinued BESS shall be completed within six months after the facility ceases operation. The decommissioning plan shall include:
  - 1. A narrative description of the activities to be accomplished, including who will perform that activity and at what point in time, for complete physical removal of all BESS components, structures, equipment, security barriers, and transmission lines from the site;
  - 2. Disposal of all solid and hazardous waste in accordance with local, state, and

federal waste disposal regulations;

3. The anticipated life of the BESS;
4. The estimated decommissioning costs and how said estimate was determined, including an allowance for annual cost of living increases or increases due to inflation;
5. The method of ensuring that funds will be available for decommissioning and restoration;
6. The method by which the decommissioning cost will be kept current;
7. The manner in which the site will be restored, including a description of how any changes to the surrounding areas and other systems adjacent to the BESS, such as, but not limited to, structural elements, building penetrations, means of egress, and required fire detection suppression systems, will be protected during decommissioning and confirmed as being acceptable after the system is removed; and
8. A listing of any contingencies for removing an intact operational energy storage system from service, and for removing an energy storage system from service that has been damaged by a fire or other event.

S. Decommissioning Fund. The owner and/or operator of the energy storage system, shall continuously maintain a fund or other surety acceptable to the City, in a form approved by the City Council and City Solicitor, for the removal of the BESS, in an amount to be determined by the City, and which includes the City as loss payee, for the period of the life of the facility. All costs of the financial security shall be borne by the Applicant.

T. Proof of Liability Insurance. The applicant or property owner shall provide evidence of commercial liability insurance in an amount and type generally acceptable in the industry and approved by the Planning Board prior to the issuance of a building permit, and shall continue such insurance in effect until such facility has been decommissioned, removed, and the site restored in accordance with this ordinance.

§ 7.9.6.3 Special Permit Criteria. In addition to the general Special Permit criteria set forth in section 10.4.2 of this Ordinance, an application for Tier 2 or Tier 3 BESS shall meet the following criteria:

A. The project protects the ground water and surrounding properties from catastrophic failure of one or more of the batteries or cells by implementing appropriate catchment and filtration systems for water run off or run off from the system.

B. The project appropriately attenuates sound intrusion beyond the property lines onto adjacent properties so that there is no change in ambient sound after construction and during operations of the system.

C. The project includes only dark sky compliant down lighting which does not intrude beyond the property lines onto adjacent properties.

D. The project is secure and addresses possible trespass or other intrusion by individuals not affiliated with the project.

E. The project meets the public safety needs of the City.

F. The project minimizes visual impacts from utility infrastructure for interconnection.

F. The project is minimally visible from adjacent properties.

#### § 7.9.7. Site Plan application.

For all BESS the Site Plan application shall include the following information, in addition to that required by Section 10.8 of this Zoning Ordinance and the applicable Planning Board requirements governing Site Plan Applications:

A. Utility Infrastructure information requirements:

1. A one- or three-line electrical diagram detailing the BESS layout, associated components, and electrical interconnection methods, with all State Electrical Code compliant disconnects and over current devices.
2. The Applicant shall provide certified verification that there is a fully executed Interconnection Services Agreement (“ISA”) with the local utility distribution company. Said certification shall include the cover and signature pages of the ISA.
3. If the ISA has not been issued, the Applicant shall be required to provide a full copy of the Application for Interconnection filed with the local utility distribution company.

B. Preliminary equipment specification sheets that document the proposed BESS components, inverters and associated electrical equipment that are to be installed. A final equipment specification sheet shall be submitted prior to the issuance of building permit.

C. Name, address, and contact information of proposed or potential system installer and the owner and/or operator of the BESS. Such information of the final system installer shall be submitted prior to the issuance of building permit.

D. Large-scale fire test data, evaluation information, and calculations, and modeling data. For any of the following, UL 9540A fire test data must be made available to the Planning Board for review:

- BESS systems with a capacity of greater than 50 kW
- BESS systems with spacing between arrays of less than 3 feet

E. Commissioning Plan. The system installer or commissioning agent shall prepare a commissioning plan prior to the start of commissioning. Such plan shall be compliant with NFPA 855 and document and verify that the system and its associated controls and safety

systems are in proper working condition per requirements set forth in applicable state codes. Where commissioning is required by the Building Code, BESS commissioning shall be conducted by a Massachusetts Licensed Professional Engineer after the installation is complete but prior to final inspection and approval. A corrective action plan shall be developed for any open or continuing issues that are allowed to be continued after commissioning. A report describing the results of the system commissioning and including the results of the initial acceptance testing required by applicable state codes shall be provided to Zoning Enforcement Officer prior to final inspection and approval and maintained at an approved on-site location.

- F. Fire Safety Compliance Plan. Such plan shall document and verify that the system and its associated controls and safety systems are in compliance with state codes, including documentation that BESS components comply with the safety standards set forth in subsection 7.9.9. Such plan shall also include a detailed training plan for public safety personnel.
- G. Operation and Maintenance Manual. Such plan shall describe continuing BESS maintenance and property upkeep, as well as design, construction, installation, testing and commissioning information and shall meet all requirements set forth state codes and NFPA 855. Maintenance provisions will be driven by manufacturer requirements for the specific listed system. It shall address maintenance of the access and perimeter roadways, perimeter fencing, and shall include a snow removal plan and 24 hours access requirements by public safety officials. There shall be an annual; acoustical review to assure ongoing compliance with the requirement of no change from ambient at the property line and fire department inspection.
- H. Depending on the location of the BESS in relation to and its interaction with the electrical grid, interconnection will be completed per 527 CMR 12.00. System interconnections into utility grids shall be in accordance with NFPA 855 and the local distribution company standards for interconnection of distributed energy resources. An accessible disconnect is required per 527 CMR 12.00.
- I. Prior to the issuance of the building permit, As Built engineering documents must be signed and sealed by a Massachusetts Licensed Professional Engineer and provided to the Building Commissioner and Planning Department .
- J. Emergency Operations Plan. An Emergency Operations Plan compliant with NFPA 855 is required. A copy of the approved Emergency Operations Plan shall be given to the system operator, the local fire department, local fire code official and police department. For so long as the BESS is operational, the operator shall provide the Fire Department, Police Department, Building Commissioner, and Mayor's office with contact information for personnel that can be reached 24 hours per day every day, and this contact information shall be updated by the operator whenever there is a change in the information. The operator shall also be required to have an official representative be present onsite not later than two hours after notification by the Fire Chief, Police Chief, or their designee. A permanent copy shall also be placed in an approved location to be accessible to facility personnel, fire code officials, and emergency responders. The emergency operations plan shall include the following information:

1. Procedures for safe shutdown, de-energizing, or isolation of equipment and systems under emergency conditions to reduce the risk of fire, electric shock, and personal injuries, and for safe start-up following cessation of emergency conditions.
2. Procedures for inspection and testing of associated alarms, interlocks, and controls, including time intervals for inspection and testing.
3. Procedures to be followed in response to notifications from the Battery Energy Storage Management System, when provided, that could signify potentially dangerous conditions, including shutting down equipment, summoning service and repair personnel, and providing agreed upon notification to fire department personnel for potentially hazardous conditions in the event of a system failure.
4. Emergency procedures to be followed in case of fire, explosion, release of liquids or vapors, damage to critical moving parts, or other potentially dangerous conditions. Procedures can include sounding the alarm, notifying the fire department, evacuating personnel, de-energizing equipment, and controlling and extinguishing the fire.
5. Response considerations similar to a safety data sheet (SDS) that will address response safety concerns and extinguishment when an SDS is not required.
6. Procedures for safe disposal of BESS equipment damaged in a fire or other emergency event, including maintaining contact information for personnel qualified to safely remove damaged BESS equipment from the facility.
7. Other procedures as determined necessary by the City to provide for the safety of occupants, neighboring properties, and emergency responders.
8. Procedures and schedules for conducting drills of these procedures and for training local first responders on the contents of the plan and appropriate response procedures.

K. Each Application shall be accompanied by the following information:

1. A certified plot plan at a minimum scale of one inch equals 40 feet and a maximum scale of one inch equals 20 feet. The site plan shall contain:
  - a. Date of site plan with all revisions noted and dated. Title of development, North arrow, scale, map and lot number, name and address of record owner, name and address of person preparing the site plan.
  - b. The names of all owners of record of adjacent properties, and the map and lot number of the properties and all buildings.
  - c. Zoning district boundaries and flood zone boundaries shall be shown as they affect the property including limits of the WSPOD and public water supply Zone A and Zone I on the overall site plan.
  - d. Boundaries of the property and lines of existing street, lots, easements and

- areas dedicated to public use, including rights of way.
- e. A locus map showing the location of the property with reference to surrounding area.
  - f. A table indicating all calculations necessary to determine conformance to Bylaw regulations including current required and proposed regulations.
  - g. Square footage of property to the nearest 10 square feet.
2. All plans must include the location of existing and proposed buildings, walls, fences, culverts, parking areas, loading areas, walkways and driveways.
- a. Location and dimensions of utilities, gas, telephone, electrical, communications, water drainage, sewer and other waste disposal.
  - b. Location, type and dimensions of landscaping and screening.
  - c. Location of existing rock outcroppings, high points, vistas, ponds, depressions, wetlands, major trees (twelve-inch caliper and over) and any other significant existing features.
  - d. Two-foot contours where slopes are less than 15% and five-foot contours when 15% or more. Existing contours shall be indicated by dashed line. Proposed contours shall be indicated by solid line.
  - e. Dimensioned schematic drawings of all proposed buildings. Scale shall not exceed ¼ inch equals one foot nor less than 1/8 inch equals one foot.
  - f. A narrative describing the proposal and addressing the foregoing requirements.
  - g. Location of street numbers indicated on the schematic drawings and/or site plan.
  - h. Surface and water pollution. A report on the impact of Stormwater runoff on adjacent and downstream surface water bodies, subsurface groundwater and the water table.
  - i. Soils. The potential dangers of erosion and sedimentation caused by the operation and maintenance of the proposed development.
  - j. General environmental impact. A report on the relationship of the proposed development of the major botanical, zoological, geological and hydrological resources of the site, and compatibility of the proposed development with adjacent or surrounding land uses and neighborhoods.
  - k. Traffic impact. A report on existing street capacities, estimated average

daily traffic generation, composition, peak hour levels and directional flows resulting from the proposed development, proposed methods to mitigate the estimated traffic impact and methodology and sources used to derive existing data and estimations.

1. Renderings showing the proposed project in relationship to its surroundings.

#### § 7.9.8. Ownership Changes.

If the owner of the BESS changes or the owner of the property changes, the Special Permit shall remain in effect, provided that the successor owner or operator assumes in writing all of the obligations of the Special Permit, Site Plan approval, and decommissioning plan. A new owner or operator of the BESS shall notify the Building Commissioner of such change in ownership or operator within 14 days of the ownership change. A new owner or operator must provide such notification to the Building Commissioner in writing.

#### § 7.9.9. Safety

**System Certification.** BESS and equipment shall be listed by a Nationally Recognized Testing Laboratory to UL 9540 (Standard for BESS and Equipment) or approved equivalent, with subcomponents meeting each of the following standards as applicable:

- A. UL 1973 (Standard for Batteries for Use in Stationary, Vehicle Auxiliary Power and Light Electric Rail Applications),
- B. UL 1642 (Standard for Lithium Batteries),
- C. UL 1741 or UL 62109 (Inverters and Power Converters),
- D. Certified under the applicable electrical, building, and fire prevention codes as required.
- E. Alternatively, field evaluation by an approved testing laboratory for compliance with UL 9540 (or approved equivalent) and applicable codes, regulations and safety standards may be used to meet system certification requirements.

**Site Access.** BESS shall be maintained in good working order and in accordance with industry standards. Site access shall be maintained, including snow removal at a level acceptable to the local fire department.

BESS, components, and associated ancillary equipment shall have required working space clearances, and electrical circuitry shall be within weatherproof enclosures marked with the environmental rating suitable for the type of exposure in compliance with NFPA 70.

#### § 7.9.11. Abandonment

The BESS shall be considered abandoned when it ceases to operate consistently for more than one year. If the owner and/or operator fails to comply with decommissioning upon any abandonment, the City may, after compliance with any applicable state and federal constitutional requirements, enter the property and utilize the available bond and/or security for the removal of any BESS and restoration of the site in accordance with the decommissioning plan.

**And further add the following new definition to § 11.1 of Chapter 255**

**§ 11.1**

**AGGREGATE ENERGY CAPACITY:** Total amount of energy stored that can be stored in all batteries that are a part of the BESS measured in kilowatt-hours (kWh) or megawatt-hours (MWh).

**BATTERY or BATTERIES:** A single cell or group of cells connected electrically in series, in parallel, or combination of both, which can charge, discharge and store energy electrochemically. For the purpose of this Ordinance, batteries utilized in consumer products are excluded from these requirements.

**BATTERY ENERGY STORAGE SYSTEM (“BESS”)** – A system containing one or more battery modules for storing electrical energy, any equipment needed to support the safe and proper function or usage of the battery modules, and one or more physical container(s) providing secondary containment to any of the above. It may be a primary use or an Accessory Use to a solar generating facility, power generation facility, electrical substation, or other similar uses. For the purposes of this bylaw, BESS are comprised of three (3) types as further described in § 7.9.3.B. of this bylaw; Tier 1 BESS, Tier 2 BESS and Tier 3 BESS.

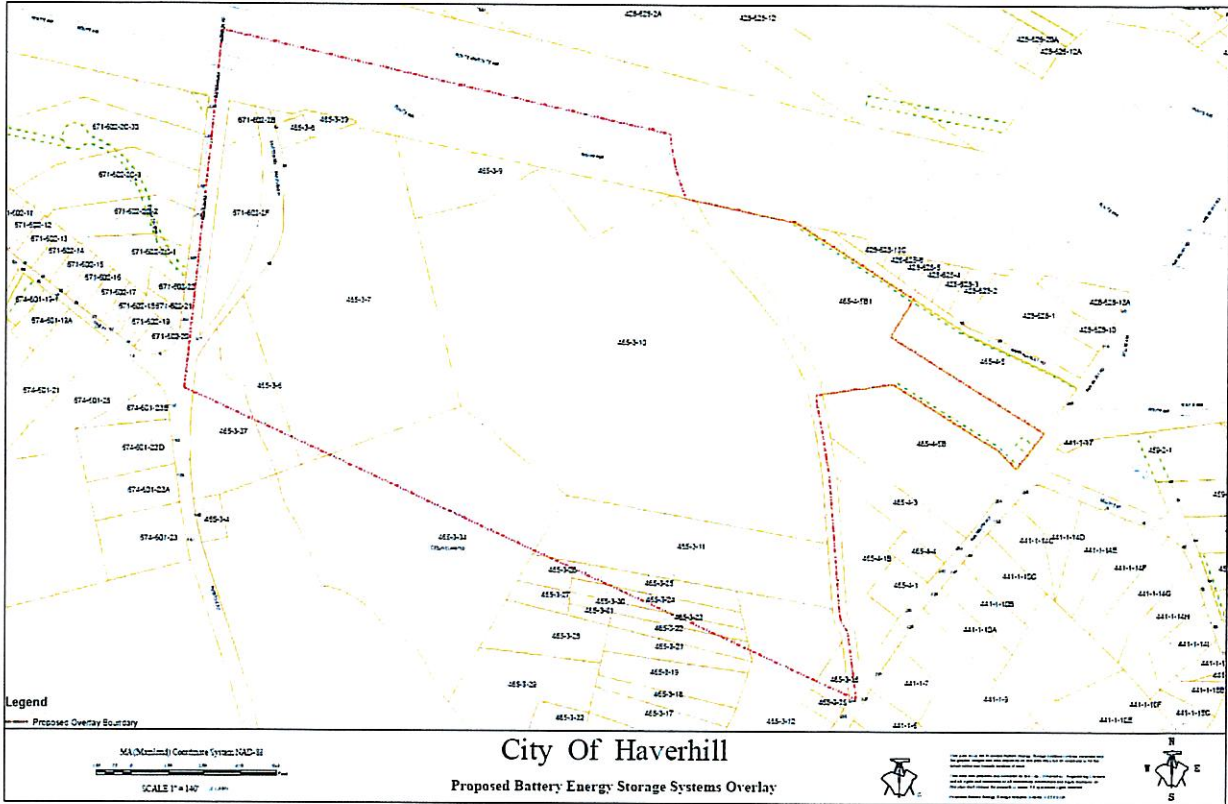
**And further to amend section 3.1.3, Table of Use and Parking regulations by allowing Tier 1, Tier 2 and Tier 3 BESS in the districts as follows:**

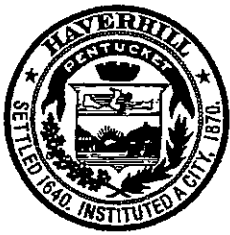
**BESS Overlay District - OD**

	RS	RR	RL	RM	RH	RU	CN	CH	CG	CC	CM	OP	BG	BP	BESS OD	PC
<b>I. MISCELLANEOUS COMMERCIAL USES (cont'd)</b>																
22. Kennel or veterinary hospital in which all animals, fowl or other forms of life are completely enclosed in pens or other structures	BA	BA	N	N	N	N	N	BA	N	N	N	N	N	N		D
23. Commercial communications and/or television tower, provided that it shall be at least 500 feet from any R District	BA	N	N	N	N	N	N	BA	BA	BA	N	BA	BA	BA		None
<b>24. Battery Energy Storage Systems: Tier 1</b>	<b>Y</b>	<b>Y</b>	<b>Y</b>	<b>Y</b>	<b>Y</b>	<b>Y</b>	<b>Y</b>	<b>Y</b>	<b>Y</b>	<b>Y</b>	<b>Y</b>	<b>N</b>	<b>Y</b>	<b>Y</b>	<b>Y</b>	<b>None</b>

<b>25. Battery Energy Storage Systems: Tier 2</b>	N	N	N	N	N	N	N	N	N	N	N	N	N	N	CC	None
<b>26. Battery Energy Storage Systems: Tier 3</b>	N	N	N	N	N	N	N	N	N	N	N	N	N	N	CC	None

And further to amend the City of Haverhill Zoning Map to include the BESS Overlay District as set forth below:





DOCUMENT

**CITY OF HAVERHILL**

In Municipal Council

ORDERED:

Municipal Ordinance

Chapter 116

An Ordinance Relating to Amendment to Chapter 116 of the Haverhill City Ordinances

Since this Ordinance exceeds in length eight octavo pages of ordinary book print, in lieu of advertising, it is published by the City Council in a municipal bulletin, placed on file in the City Clerk's Office, and posted on the municipal bulletin in City Hall.

PLACED ON FILE for at least 10 days

Advertise in Gazette:

Thursday March 26, 2026

Attest:

  
Kaitlin M. Wright, CMC  
City Clerk

## Kaitlin Wright

---

**From:** North of Boston <noreply@wave2adportal.com>  
**Sent:** Monday, March 23, 2026 10:53 AM  
**To:** CityClerk  
**Cc:** cmacdonald@northofboston.com; Kaitlin Wright; Natalia Hernandez  
**Subject:** Thank you for placing your order with us.

**Warning! External Email. Exercise caution when opening attachments or clicking on any links.**  
**THANK YOU for your notice submission!**

This is your confirmation that your order has been submitted. Below are the details of your transaction. Please save this confirmation for your records.

<p><b>Job Details</b> Order Number: <b>W0142798</b> Business Type: All Other Public Notices Notice Size: Public Notices Notice Estimate: \$51.92 Referral Code: <b>Amend Ch. 116 Ord.</b></p> <p><b>Account Details</b> Haverhill Clerk 4 SUMMER ST STE 118 HAVERHILL, MA □ 01830 978-374-2312 cityclerk@cityofhaverhill.com HAVERHILL CITY CLERK</p>	<p><b>Schedule for notice number W01427980</b> <b>Thu Mar 26, 2026</b> <b>Haverhill Gazette Public Notices</b> <i>All Zones</i></p> <p><b>CITY OF HAVERHILL</b> <b>In Municipal Council</b> <b>ORDERED:</b> Municipal Ordinance Chapter 116 An Ordinance Relating to Amend- ment to Chapter 116 of the Haverhill City Ordinances Since this Ordinance exceeds in length eight octavo pages of ordi- nary book print, in lieu of advertis- ing, it is published by the City Coun- cil in a municipal bulletin, placed on file in the City Clerk's Office, and posted on the municipal bulletin in City Hall. PLACED ON FILE for at least 10 days Kaitlin M. Wright, CMC City Clerk HG - Publication Dates</p>
-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

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# Haverhill

Economic Development and Planning  
Jacki Byerley, Planning Director  
[jbyerley@haverhillma.gov](mailto:jbyerley@haverhillma.gov)  
Phone: 978-374-2330

MAY 14 AM 9:24  
HAVCITYCLERK

To: City Council

From: Jacki Byerley, AICP, Planning Director *JB*

Re: Zoning Ordinance and Map amendment - Battery Energy Storage Systems

Date: May 14, 2026

Following review of the proposed amendment to Chapter 255 of the City of Haverhill Zoning Ordinance to add a new Section 7.9 entitled "Battery Energy Storage Systems" ("BESS"), the Planning Board forwards a favorable recommendation to the City Council for adoption of the ordinance as drafted.

The proposed ordinance establishes a comprehensive local regulatory framework governing the siting, permitting, construction, operation, maintenance, and decommissioning of Battery Energy Storage System facilities within the City. The ordinance is intended to address emerging energy infrastructure technologies while ensuring that appropriate public safety, environmental and land use protections are in place.

The ordinance appropriately distinguishes between small-scale accessory systems and larger utility-scale facilities through the establishment of Tier 1, Tier 2, and Tier 3 classifications based on system capacity and operational characteristics. Smaller Tier 1 systems are permitted by right subject to Site Plan Review and applicable code requirements, while larger Tier 2 and Tier 3 facilities require a Special Permit and are limited to the proposed BESS Overlay District.

The Planning Board finds that the ordinance incorporates significant public safety standards consistent with current industry practices and guidance issued by the Massachusetts Department of Energy Resources ("DOER"). The ordinance requires compliance with all applicable building, fire and electrical codes.

The ordinance further provides the City Council, acting as the Special Permit Granting Authority, with the ability to review larger-scale proposals on a case-by-case basis through the Special Permit and Development Review process to ensure that impacts to surrounding properties and neighborhoods are appropriately addressed.

Accordingly, the Planning Board respectfully recommends that the City Council vote to adopt the proposed Battery Energy Storage Systems Ordinance and Overlay District as drafted.



Mead, Talerman & Costa, LLC  
Attorneys at Law

30 Green Street  
Newburyport, MA 01950  
Phone 978.463.7700  
Fax 978.463.7747  
www.mtclawyers.com

TO: Pres. Jordan and Members of the Council  
FR: Lisa L. Mead, City Solicitor  
CC: Mayor Barrett  
Jacki Byerly, Planning Director  
RE: BESS Zoning amendment  
DA: May 12, 2026

MAY 14 PM2:19  
HAYCITYCLERK

Reference is made to the above captioned matter. In that connection, the Council has before it 2 proposed amendments to the Zoning Ordinance related to Battery Energy Storage Systems ("BESS"). I request that you receive and file the proposed ordinance from January 2025. I request that the Council act on the Ordinance filed last month. The Planning Board has held their public hearing and voted to recommend that the Council adopt the Ordinance.

### Why a BESS Zoning Ordinance?

The City currently has no Zoning Ordinance regulating the location and use of a BESS facility or any size. In the case of Duxbury Energy Storage, LLC v. the Town of Duxbury Zoning Board of Appeals, Land Court Misc. 000643 (2025) the Land Court decided that the exemption set forth in G. L. c. 40A sec. 3 par. 9 for solar facilities applied to BESS as well. Noting that the Supreme Judicial Court in the case of Tracer Lane II Realty, LLC v. Waltham, 489 Mass 781 determined that Waltham's zoning code violates the Solar Energy Provision, concluding that "[a]n outright ban ... restricts rather than promotes the legislative goal of promoting solar energy. In the absence of a reasonable basis grounded in public health, safety, or welfare, such a prohibition is impermissible under the provision." *Id.* at 782. Further the Court in Duxbury provided that "...evaluating a bylaw's validity under G.L. c. 40A, § 3 requires balancing "the interest that the ordinance or bylaw advances and the impact on the protected use." *Id.* at 781. This requires assessing whether a restriction genuinely furthers a legitimate municipal interest and is rationally related to it, or if it impermissibly restricts the establishment of uses protected by the provision, and so is unreasonable. *Id.*, citing *Rogers v. Norfolk*, 432 Mass. 374, 379 (2000).(at 15). It is with this background that the Duxbury court determined that the exemption under G.L. c. 40A sec. 3 par. 9 applies to BESS facilities. Specifically, they said;

The Solar Energy Provision specifically protects "***the building of structures*** that facilitate the collection of solar energy" (emphasis added). This means any aspects of a project that involve building qualifying structures gain the statute's protection.<sup>13</sup> This interpretation aligns with how appellate courts have construed other provisions of the Dover Amendment. For instance, in *Watros v. Greater Lynn Mental Health & Retardation Assoc., Inc.*, 421 Mass. 106, 114 (1995), the Supreme Judicial Court held that where G.L. c. 40A, § 3, second par. explicitly exempted "land or structures" from certain zoning regulations, an accessory structure intended for

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730 Main Street, Suite 1F  
Millis, MA 02054  
Phone/Fax 508.376.8400

#### New Bedford Office

227 Union Street, Suite 606  
New Bedford, MA 02740

educational use qualified for protection, even though it shared a lot with other unprotected residential structures. Thus, even if only the battery cabinets are considered structures – a point the Board 19 concedes and cannot reasonably dispute – building such structures at the Project site would be protected from prohibition or unreasonable regulation, provided they "facilitate the collection of solar energy. Id 18-19.

As a result and based upon the determination in Tracer Lane and its application to BESS facilities in Duxbury, the City should have an Ordinance reasonably regulating BESS facilities on a reasonable amount of land area. Otherwise the City would be at the will of someone who wants to locate one of these facilities anywhere in the City it so chooses given the uses exemption under G.L. c. 40A sec. 3 par. 9.

Further, over the past year, the Department of Energy Resource ("DOER") has promulgated new consolidated permitting regulations related to Solar and BESS facilities, among other energy generating facilities, with which the City must comply by October of this year. The intent of the Act is to streamline and expedite the permitting of such facilities by allowing permit applicants to submit a single, Consolidated Local Permit Application. Municipalities will still handle all local permitting required for "small" projects, which are generally generation projects up to 25MW, battery storage projects up to 100 MWh, transmission or distribution infrastructure in existing rights of way less than 10 miles in length, or a new right of way of less than 1 mile. The state Energy Facilities Siting Board will handle all state and local permitting needed for "large" projects which exceed these thresholds.

Municipal implementation of the consolidated permitting program is anticipated to begin on July 1, 2026, and municipalities must accept consolidated permitting applications by **October 1, 2026**. Under the proposed framework, Applicants will initiate the consolidated permitting process by filing a Notice of Intent with the designated local government representative, identifying basic project features and describing community outreach efforts. The process includes meetings with municipal officials to review project details, identify required permits, and discuss stakeholder engagement. Applicants will conduct a preliminary site suitability assessment to be reviewed and approved by DOER, submit the same for review and feedback from the municipality on potential project modifications prior and as a requirement of filing a complete application. This process must be completed not more than 60 days prior to filing with the municipality, or the application shall be denied without prejudice. Applicants will file a pre-filing checklist with the municipality which must be reviewed by the municipality within 10 days of submission for completeness. If the pre-filing requirements are not complete, the applicant will have an additional 30 days to complete the required items on the checklist, subject to an additional 30-day extension by the municipality. A determination that the pre-filing requirements has not been completed may be contested by the applicant. A single consolidated application will be used statewide and will encompass all approvals required for small clean energy facility projects. Municipalities will designate a permitting authority or coordinating official responsible for serving as a gatekeeper and managing the review process and ensuring coordination among local boards and departments. The municipality must issue a determination regarding completeness within 30 days of receiving an application or within 30 days of receiving any additional materials provided in response to a determination that the application is incomplete.

Notwithstanding the consolidated application process, municipal boards and departments will continue to apply existing state statutes and local bylaws, including but not limited to zoning, wetlands protection, historic preservation, and health regulations. Decisions of individual boards

under any such locally administered processes will be incorporated into a single consolidated local permit decision issued by the municipality.

Under the DOER framework, upon determination by the municipality's designated gatekeeper, that the application is complete, the municipality must issue a final decision under any local permitting scheme within twelve (12) months, absent extensions authorized by statute or regulation, or as may be agreed to by the Applicant. The Planning Director and I will be providing to the Council in the near future, any changes required to the Ordinance to reflect the requirements of the consolidated permitting required by DOER.

### **Proposed Zoning Ordinance**

As a result of the foregoing, without yet providing the Council with a proposed Ordinance related to the Consolidated Permitting, but in light of the fact that there is a developer of BESS examining the possibility of coming into Haverhill, we proposed the attached Ordinance. It should be noted that the Mayor, City staff, Fire, Building, Health, Conservation, Planning, and many more have been intimately involved in the development of this ordinance.

Overall, the proposed ordinance establishes a comprehensive local regulatory framework governing the siting, permitting, construction, operation, maintenance, and decommissioning of Battery Energy Storage System facilities within the City, as noted in the Planning Board report. The ordinance provides for a permitting framework for various sizes of BESS facilities, Tier 1, Tier 2, and Tier 3 classifications, which are defined based upon the size or capacity of the system. Importantly, and in compliance with Tracer Lane as well as the litany of cases governing the exemptions under G.L. c. 40A sec. 3, smaller Tier 1 systems are permitted by right subject to Site Plan Review and applicable code requirements, while larger Tier 2 and Tier 3 facilities require a Special Permit and are limited to the proposed BESS Overlay District.

There is a noted change in the permitting process, different from that which the Council has followed in the past. In the proposed ordinance, an Applicant must file with the Council for a Special Permit after it has been determined that a complete application has been filed. The Council will then schedule and open its public hearing. Following an overview of the application, the public hearing will be continued and the application referred to the Development Review Committee which must thereafter provide to the Council its recommendations on the Applications within 90 days of referral to the Committee. By incorporating the Development Review Committee process into the Special Permit process, any conditions or changes recommended by the Committee will then, if the Council determines they are appropriate or desired, be included in the final decision.

All Tier 2 and Tier 3 BESS are subject to both Special Permit and Major Site Plan Review. The Applicants are required to comply with the Ordinance general special permit criteria as well as the specific Special Permit criteria of the BESS section.

It should be noted that the design requirements, lighting, vegetation, setbacks, emergency access, lot size and other dimensional requirements, fencing and screening, safety requirements and the like were all well vetted by the Fire, Police, Building, Electrical and other code professionals. The decommissioning plan, fund and insurance were modeled after previously approved and enacted ordinances and bylaws and best practices as well.

I look forward to discussing this with you next week.

10.3

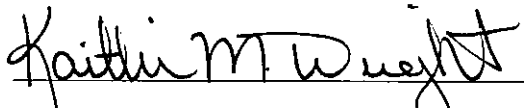
**Document # 13-B**

Zoning hearing request from Attorney Paul Magliochetti on behalf of client, *Haverhill STEM, LLC (Haverhill STEM)* for a zoning change to allow the licensing and operation of Marijuana Social Consumption Establishments

**IN CITY COUNCIL:** April 14, 2026

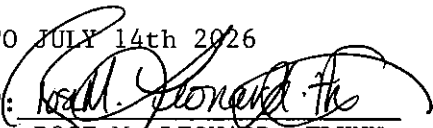
**Refer to Planning Board + Solicitor's Office**

**11 YEAS, 0 NAYS**

Attest:   
Kaitlin M. Wright, CMC  
City Clerk

IN CITY COUNCIL: JUNE 2 2026

CONT'D TO JULY 14th 2026

ATTEST:   
ROSE M. LEONARD- FLYNN  
ASSISTANT CITY CLERK

# MacMILLAN LAW OFFICES

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www.macmillanlawoffices.com

Joy P. MacMillan  
Office Administrator

June 26, 2026

Timothy J. Jordan, President  
Haverhill City Council  
City of Haverhill  
4 Summer Street, Room 204  
Haverhill, MA 01830

Re: Stem Haverhill, LLC  
Zoning Amendment Proposal  
Request to Withdraw Submission

JUN 30 AM 11:41  
HAVCITYCLERK

Dear President Jordan and Members of the City Council.

Please consider this follow-up in connection with the above-captioned matter. Moving forward, I will be representing Haverhill Stem in this matter. In that regard, in light of the City Solicitors letter dated May 19, 2026, kindly consider this a request to withdraw consideration of the Zoning Amendment Proposal currently before this council. We appreciate the council's attention and courtesies extended on the matter through this date. Should you require anything further at this time, kindly advise.

Best Regards

*Thomas K. MacMillan*

Thomas K. MacMillan

TKM:jpm

cc: Stem Haverhill, LLC  
Planning Board  
Planning Director

# MacMILLAN LAW OFFICES

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Joy P. MacMillan  
Office Administrator

June 30, 2026

Paul Howard, Chairman  
Planning Board  
City of Haverhill  
4 Summer Street, Room 201  
Haverhill, MA 01830

Re: Stem Haverhill, LLC  
Zoning Amendment Proposal  
Request to Withdraw Submission

Dear Chairmen Howard and Members of the Planning Board

Please consider this follow-up in connection with the above-captioned matter. Moving forward, I will be representing Haverhill Stem in this matter. In that regard, in light of the City Solicitors letter dated May 19, 2026, kindly consider this a request to withdraw consideration of the Zoning Amendment Proposal currently before this board. We appreciate the board's attention and courtesies extended on the matter through this date. Should you require anything further at this time, kindly advise.

Best Regards

*Thomas K. MacMillan*

Thomas K. MacMillan

TKM:jpm

cc: Stem Haverhill, LLC  
Planning Director  
City Council



10.3

# Haverhill

Economic Development and Planning

Phone: 978-374-2330

JUL 9 PM 1:58  
HAVCITYCLERK

To: City Council  
From: Jacki Byerley, AICP, Planning Director  
Re: Proposed Marijuana Social Consumption Ordinance  
Date: July 9, 2026

In April, the Planning Board received a proposed Marijuana Social Consumption Ordinance. The Board opened the public hearing on May 13; at the request of the applicant's representative the matter was continued without discussion to July's Planning Board meeting. Since that time, the applicant's representative has requested to withdraw the proposed ordinance. At the meeting of July 8<sup>th</sup> the Planning Board voted to allow the withdrawal. It is recommended that the City Council also allow the withdrawal of the Proposed Marijuana Social Consumption Ordinance submitted in April 2026 by Haverhill Stem LLC.

SHEEHAN, SCHIAVONI, JUTRAS & MAGLIOCCHETTI, LLP  
ATTORNEYS AT LAW



RICHARD J. SHEEHAN, JR.  
TIMOTHY J. SCHIAVONI  
ROBERT A. JUTRAS  
PAUL A. MAGLIOCCHETTI  
SONJA STARINS  
THOMAS C. TRETTER  
WILLIAM D. CHASE

---

OF COUNSEL  
KRISTIN M. YASENKA  
JOSHUA S. ENGLAND, LLM

May 28, 2026

Timothy Jordan  
City Council President  
2 Summer Street  
Haverhill, MA 01830

RE: Haverhill STEM, LLC  
Proposed Ordinance: Marijuana Social Consumption Establishments  
Request for a Continuance

MAY 29 AM 8:20  
HAVCITYCLERK

Dear President Jordan,

Haverhill STEM, LLC respectfully requests that the hearing on this matter be continued until July 14, 2026. The reason for the request is that the Planning Board hearing has been continued until July 8<sup>th</sup> to allow time to resolve issues raised by the City Solicitor, and therefore additional time is required to get you the recommendation you requested.

Very Truly Yours,

*Paul A. Magliocchetti*

Paul A. Magliocchetti  
pmagliocchetti@ssjmattorneys.com

Enclosures: Planning Director Letter

Cc: Client

Planning Director



# Haverhill

Economic Development and Planning  
Jacki Byerley, Planning Director  
[jbyerley@haverhillma.gov](mailto:jbyerley@haverhillma.gov)  
Phone: 978-374-2330

May 28, 2026

MAY 28 AM 9:06  
HAVCITYCLERK

City Council President Timothy Jordan  
& City Councilors  
City of Haverhill

RE: Proposed Social Consumption Ordinance

Dear Council President Jordan and Members of the City Council:

Please be advised that the Planning Board is unable to provide a recommendation on the proposed social consumption ordinance at this time.

The applicant requested a continuance of the public hearing related to the proposed ordinance. The Planning Board voted to grant the continuance and the matter has been rescheduled for further discussion and consideration at the Board's July 8, 2026 meeting.

As a result, the Planning Board has not completed its review or taken action to issue a recommendation to the City Council. Following the continued hearing and further deliberation, the Planning Board will forward its recommendation to the City Council for consideration.

Please feel free to contact the Planning Department with any questions.

Respectfully submitted,

Jacki Byerley, AICP  
Planning Director

Cc: Mayor Barrett  
Lisa Mead, City Solicitor  
Kaitlin Wright, City Clerk

SHEEHAN, SCHIAVONI, JUTRAS & MAGLIOCCHETTI, LLP  
ATTORNEYS AT LAW



RICHARD J. SHEEHAN, JR.  
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ROBERT A. JUTRAS  
PAUL A. MAGLIOCCHETTI  
SONJA STARINS  
THOMAS C. TRETTER  
WILLIAM D. CHASE  
JULIE C. MAGLIOCCHETTI  
MATTHEW W. SIMULIS

OF COUNSEL  
KRISTIN M. YASENKA  
JOSHUA S. ENGLAND, LL.M.

VIA EMAIL

May 27, 2026

Planning Board  
City of Haverhill  
Haverhill City Hall  
4 Summer Street  
Haverhill, MA 01830

**RE: STEM Haverhill, LLC  
Zoning Amendment  
Request for continuance**

Dear Chairman and Members of the Planning Board:

The applicant, Haverhill STEM LLC, requests that the hearing on the above captioned matter be continued until your next scheduled meeting in June.

Very truly yours,

*Paul A. Magliocchetti*

Paul A. Magliocchetti

Cc: Planning Director  
City Council  
Client

SHEEHAN, SCHIAVONI, JUTRAS & MAGLIOCCHETTI, LLP  
ATTORNEYS AT LAW



RICHARD J. SHEEHAN, JR.  
TIMOTHY J. SCHIAVONI  
ROBERT A. JUTRAS  
PAUL A. MAGLIOCCHETTI  
SONJA STARINS  
THOMAS C. TRETTER  
WILLIAM D. CHASE

OF COUNSEL  
KRISTIN M. YASENKA  
JOSHUA S. ENGLAND, LLM

April 10, 2026

12.2

Timothy Jordan  
City Council President  
2 Summer Street  
Haverhill, MA 01830

APR 10 AM 11:29  
HAVERHILL CITY CLERK

RE: Haverhill STEM, LLC  
Proposed Ordinance: Marijuana Social Consumption Establishments

Dear President Jordan,

Please be advised that I represent Haverhill Stem, LLC of 124 Washington Street, Haverhill, MA 01830 a Licensed Marijuana Establishment/Cannabis Dispensary, and Carambola, LLC, the owner of 124 Washington Street, Haverhill, MA.

On behalf of Haverhill STEM, LLC (Haverhill STEM), I am writing to formally request that the City Council initiate the process to amend the Haverhill City Ordinances to allow for the licensing and operation of Marijuana Social Consumption Establishments. As you are aware, on January 2, 2026, the Massachusetts Cannabis Control Commission officially promulgated new regulations authorizing on-site consumption at licensed venues. Under G.L. c. 94G, § 3(b), municipalities must affirmatively opt-in to this program via local ordinance or referendum to enable these new business models within their borders.

Since opening in 2020, Stem Haverhill has been a proud partner in the economic revitalization of downtown Haverhill. As a woman-owned Economic Empowerment business, we have prioritized community investment, generously contributing thousands of dollars annually to local nonprofits. We believe that social consumption represents the next critical evolution for our industry and our city.

By amending our local ordinances to permit these establishments, Haverhill can realize several key benefits:

- Economic Opportunity: Social consumption sites will create new jobs and generate additional local tax revenue for the City of Haverhill.

SHEEHAN, SCHIAVONI, JUTRAS & MAGLIOCCHETTI, LLP  
ATTORNEYS AT LAW

- Public Safety: Regulated lounges provide a safe, controlled, and age-gated (21+) environment for consumption, moving it away from public spaces where it remains prohibited.
- Responsible Service: These licenses require rigorous safeguards, including mandatory Responsible Vendor Training for staff to recognize impairment and the implementation of comprehensive transportation strategies to prevent impaired driving.
- Tourism & Hospitality: As the first state in New England to allow social consumption, Massachusetts—and specifically Haverhill—stands to benefit from increased tourism.

Haverhill STEM is already preparing to invest in this future by transforming our historic property at 124 Washington Street into a state-of-the-art social consumption and education center. We are committed to working closely with the Mayor, the City Council, the Haverhill Police Department, and local stakeholders to ensure that any local ordinance includes the highest standards for security, ventilation, and public safety.

We respectfully request a hearing to discuss the attached draft ordinance and how we can work together to ensure the values and safety of our community are addressed while embracing this new economic reality.

Thank you for your time and continued dedication to the City of Haverhill.

Very Truly Yours,

*Paul A. Magliocchetti*

Paul A. Magliocchetti  
pmagliocchetti@ssjmattoorneys.com

Enclosures: Draft Ordinance: Marijuana Social Consumption Establishments

Cc: Client

## **Draft Ordinance: Marijuana Social Consumption Establishments**

### **Section 1: Purpose and Authority**

The purpose of this ordinance is to allow for the operation of Social Consumption Establishments in the City of Haverhill in accordance with G.L. c. 94G, § 3(b) and CCC regulations. This ordinance aims to provide safe, regulated spaces for adult-use cannabis consumption while protecting public health and safety.

### **Section 2: Definitions**

**Social Consumption Establishment:** Shall have the meaning set forth in 935 CMR 500.002, as amended from time to time, and includes the license types established thereunder.

**Marijuana Establishment:** Shall have the meaning set forth in 935 CMR 500.002, as amended from time to time.

### **Section 3: Opt-In and Licensing**

**Local Approval:** No Social Consumption Establishment shall operate without a valid license from the CCC and a local Special Permit issued by the Haverhill City Council.

**Host Community Agreement (HCA):** Every operator must execute an HCA with the City of Haverhill prior to commencing operations. Where an operator already holds a valid HCA with the City for a licensed Marijuana Establishment, no new HCA shall be required and the operator shall instead obtain a simple amendment to the existing HCA to reflect the addition of the Social Consumption Establishment license.

**Equity Exclusivity:** The City of Haverhill shall recognize and enforce the exclusivity period established under M.G.L. c. 94G and 935 CMR 500.000, as amended from time to time, during which Social Consumption Establishment licenses are reserved on an exclusive basis for Social Equity Program Participants, Economic Empowerment Priority Applicants, Microbusinesses, and Craft Marijuana Cooperatives. The City shall not accept, process, or approve any local application from a non-qualifying applicant during the period in which such applicants are excluded under state law and CCC regulation.

### **Section 4: Operational Requirements**

**Age Restriction:** Entry is strictly limited to individuals 21 years of age or older.

**Product Sourcing:** Customers are prohibited from bringing their own cannabis products ("BYOC").

**Alcohol and Tobacco:** The sale or consumption of alcohol and tobacco is strictly prohibited within the licensed consumption area.

Hours of Operation: Pursuant to the authority granted to municipalities under 935 CMR 500.141, the City of Haverhill hereby expressly authorizes Social Consumption Establishments to sell marijuana products until 12:00 AM. Sales of marijuana products must cease at least 30 minutes before the establishment closes.

**Food Service:** Establishments may sell pre-packaged, shelf-stable food and may seek additional local permits for prepared food service.

### **Section 5: Health and Safety Standards**

All Social Consumption Establishments shall comply with the health and safety requirements established under M.G.L. c. 94G and 935 CMR 500.141, as amended from time to time, including without limitation, requirements governing ventilation and smoke control, transportation assistance for impaired consumers, and dose education and overconsumption prevention. To the extent practicable, health and safety standards applicable to Social Consumption Establishments shall be governed by state law and CCC regulation, which the City of Haverhill recognizes as establishing a comprehensive regulatory framework for such establishments.

### **Section 6: Zoning and Location**

Social Consumption Establishments are permitted by Special Permit in the WD-A Zoning District.

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**Section 7: Signage**

All signage shall comply with the requirements established under M.G.L. c. 94G and 935 CMR 500.000, as amended from time to time. An establishment that posts signage templates required and approved by the CCC shall be deemed in full compliance with the signage requirements of this ordinance. No additional or supplemental signage shall be required of any operator who has posted the applicable CCC-approved templates.



# Haverhill

City Clerk's Office, Room 118  
Phone: 978-374-2312 Fax: 978-373-8490  
[cityclerk@haverhillma.gov](mailto:cityclerk@haverhillma.gov)

May 11, 2026

## PUBLIC HEARING

City Council Chambers, City Hall, Room 202, 4 Summer St

Notice is hereby given that a hearing will be held for all parties interested, in a hybrid meeting (in person/virtual), on Tuesday June 2, 2026 at 7:00 PM on the request of Haverhill STEM LLC of 124 Washington Street to amend the City's Ordinances to allow for the licensing and operation of Marijuana Social Consumption Establishments. The draft ordinance includes purposes and authority, definitions, opt-in and licensing, operational requirements, health and safety standards, zoning and location and signage. Complete text of the proposed ordinance can be obtained in the City Clerk's office.

*(Residents who are interested in commenting on this item can either (1) Attend in person (Council Chambers, Room 202) or (2) Attend remotely using the link provided on the public meeting calendar on the City's website.)*

Advertise: May 14 and May 21, 2026  
Haverhill Gazette

Kaitlin M. Wright, CMC  
City Clerk

## Kaitlin Wright

---

**From:** North of Boston <noreply@wave2adportal.com>  
**Sent:** Monday, April 27, 2026 10:21 AM  
**To:** CityClerk  
**Cc:** cmacdonald@northofboston.com; Kaitlin Wright; Natalia Hernandez  
**Subject:** Thank you for placing your order with us.

**Warning! External Email. Exercise caution when opening attachments or clicking on any links.  
THANK YOU for your notice submission!**

This is your confirmation that your order has been submitted. Below are the details of your transaction. Please save this confirmation for your records.

### Job Details

Order Number:  
**W0143840**  
Business Type:  
All Other Public Notices  
Notice Size:  
Public Notices  
Notice Estimate:  
\$150.00  
Referral Code:  
**STEM Social Consumption Ord.**

### Account Details

Haverhill Clerk  
4 SUMMER ST STE 118  
HAVERHILL, MA □ 01830  
978-374-2312  
cityclerk@cityofhaverhill.com  
HAVERHILL CITY CLERK

### Schedule for notice number W01438400

**Thu May 14, 2026**

**Haverhill Gazette Public Notices**  
All Zones

**Thu May 21, 2026**

**Haverhill Gazette Public Notices**  
All Zones

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Kaitlin M. Wright, CMC  
City Clerk  
HG - Publication Dates

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*The North of Boston Media Group reserves the right to alter, edit and omit any notice to meet our editorial guidelines. Any additional charges or credits as a result of this process will be the responsibility of the individual or company submitting the notice.*

*This is an automated message, please do not reply to this e-mail. If you have any questions or concerns you may contact us toll-free at 800-681-6248.*



Mead, Talerman & Costa, LLC  
Attorneys at Law

227 Union Street  
Suite 606  
New Bedford, MA 02740  
www.mtclawyers.com

*Newburyport Office*  
30 Green Street  
Newburyport, MA 01950

*Millis Office*  
730 Main Street, Suite 1F  
Millis, MA 02054  
Phone 508.376.8400

HAV CITY CLRK MAY26/26 10:55

**ADVISORY OPINION**

**TO: TIMOTHY JORDAN, PRESIDENT, CITY COUNCIL**

**FR: LISA L. MEAD AND ELIZABETH LYDON, CITY SOLICITORS**

**CC: MELINDA BARRETT, MAYOR**

**RE: PROPOSED SOCIAL CONSUMPTION ORDINANCE**

**DA: MAY 25, 2026**

---

Reference is made to the above captioned matter. In that connection, below is a legal opinion regarding the impacts of the social consumption ordinance proposed by Haverhill Stem LLC on the City’s marijuana regulatory framework and in particular its existing Zoning Ordinances. For the reasons stated below, we do not recommend adoption of the proposed ordinance. I have attached the proposal for your convenience.

The proposed ordinance would allow for marijuana social consumption establishments that are licensed by the Cannabis Control Commission to operate in the WD-A Zoning District and allow existing permitted marijuana establishments to engage in social consumption without amending their existing permit.

First, the City’s Zoning Ordinance under Section 9.7.8(7) and its Board of Health Regulation Prohibiting Smoking in Workplaces and Public Places which applies to non-tobacco products, prohibit public consumption of marijuana and social consumption establishments within the City’s borders. The proposed ordinance does not consider these existing prohibitions or provide suggested amendments to accommodate the new use. Therefore, the proposed use cannot be implemented without removal of the existing prohibition.

Further, any proposed amendment to the City’s Ordinances, and Zoning Ordinance in particular, should be compared against and incorporated into the existing Code of Ordinances, and any change to the allowed uses under Chapter 255 Zoning should be incorporated into that section. The City currently has an Overlay District for Marijuana Establishments under Section 9.7, Licensed Marijuana Establishment Overlay Zone. Since the proposal does not address the existing Zoning Ordinance, it would create redundancies and conflicting provisions within Chapter 255 if adopted. There has been no effort on the part of the proponent to recognize the existing Zoning Ordinance or integrate the proposal into the existing regulatory framework.

The ordinance is proposed as a separate standalone section, and it is unclear where in the Code of Ordinances it is intended to be inserted. The definitions proposed under the ordinance conflict with those definitions already found in Chapter 255. For example, social consumption establishment and marijuana establishment. The proposed location under Section 6 of the proposed ordinance does not reference the existing overlay district but another district entirely. The proposed location for the use not only conflicts with where marijuana establishments are currently allowed under Chapter 255, but that inconsistency could inadvertently prevent current operators of marijuana establishments from adding a

social consumption license to their existing permits. The proposed location also creates conflicts with the proposed language allowing social consumption to be added to existing establishments without a new special permit because the proposed ordinance does allow social consumption as a use in the existing Overlay District. This language also conflicts with Section 9.7.6 which specifically requires a Special Permit when adding another license to an existing establishment and would prevent City oversight of the location and design of social consumption establishments when those establishments are added by right.

The remainder of the proposed ordinance is redundant as a recitation of existing laws and regulations and should not be included in the City's ordinances as it would need to be updated every time the law changes.

In summary, adoption of the proposed ordinance would lead to redundancies and conflicts with the City's existing Ordinances and Board of Health Regulation and is not recommended.

## **Attachment A – Draft Ordinance**

### **Draft Ordinance: Marijuana Social Consumption Establishments**

#### **Section 1: Purpose and Authority**

The purpose of this ordinance is to allow for the operation of Social Consumption Establishments in the City of Haverhill in accordance with G.L. c. 94G, § 3(b) and CCC regulations. This ordinance aims to provide safe, regulated spaces for adult-use cannabis consumption while protecting public health and safety.

#### **Section 2: Definitions**

**Social Consumption Establishment:** Shall have the meaning set forth in 935 CMR 500.002, as amended from time to time, and includes the license types established thereunder.

**Marijuana Establishment:** Shall have the meaning set forth in 935 CMR 500.002, as amended from time to time.

#### **Section 3: Opt-In and Licensing**

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## Kaitlin Wright

---

**From:** City Council  
**Sent:** Tuesday, June 9, 2026 8:14 AM  
**To:** Tim Jordan; Tim Jordan  
**Cc:** Kaitlin Wright  
**Subject:** FW: Time Machine Letter of Support for Stem Consumption

Hi!

**\*sent to each councilor separately\***

Best regards,  
Lori

*Lori A. Robertson*

Administrative Assistant  
Haverhill City Council  
4 Summer Street- Room #204  
Haverhill, MA 01830  
978-374-2328 phone  
978-374-2329-fax  
[lrobertson@haverhillma.gov](mailto:lrobertson@haverhillma.gov)  
[citycouncil@haverhillma.gov](mailto:citycouncil@haverhillma.gov)

---

**From:** Amy Ferrandini <amy@thetimemachine.fun>  
**Sent:** Monday, June 8, 2026 7:29 PM  
**To:** Mayor <mayor@haverhillma.gov>  
**Subject:** Time Machine Letter of Support for Stem Consumption

**Warning! External Email. Exercise caution when opening attachments or clicking on any links.**

I am writing today as a local business owner to express my support for Stem's application to open a cannabis consumption site in downtown Haverhill. As the owner of The Time Machine, a gift store located in the heart of our downtown district, I see firsthand the immense potential of our neighborhood—but also the critical challenges we face.

To be direct, my business economically suffers from a current lack of consistent foot traffic and tourism. While downtown Haverhill has great character, retail shops like mine rely heavily on vibrant, active streets to survive. Right now, there simply are not enough regional draws bringing new faces past our storefronts on a daily basis.

The addition of a cannabis consumption site at Stem is precisely the type of innovative catalyst we need to change this trajectory. It is not just a win for their business; it is a necessary lifeline for the economic vitality of the entire downtown community.

To sustain our local economy, Haverhill needs unique, modern attractions that draw visitors from both the local Merrimack Valley and the broader region. A professionally managed, compliant consumption site will make Haverhill a premier destination, attracting tourists who are looking for safe, legal, and social experiences.

Stem has already proven itself to be a responsible, community-oriented, professional, and compliant cannabis business in Haverhill. I have the utmost confidence that they will manage this consumption site with the exact same high standards of safety, regulatory compliance, and respect for neighboring businesses.

For downtown retail to survive and flourish in the modern economy, we must embrace forward-thinking concepts that drive real foot traffic. Stem's proposed consumption site does exactly that. I strongly urge the City to approve their application and help us unlock the next wave of tourism and economic growth for downtown Haverhill.

Thank you for your time, leadership, and continued dedication to supporting our local business owners.

Sincerely,

Amy Ferrandini

The Time Machine  
41 Washington St.  
Haverhill, MA 01832  
978-822-8463

**City Council Special Permit**

**Primary Location**

**CCSP-26-5**

16 MARGIN ST  
Haverhill, MA 01832

12.1

Submitted On: May 29, 2026

JUL 9 PM4:31  
HAVCITYCLERK

**Important: Please Read Before Starting Your Application**

**Applicant Information**

**What is Your Role in This Process?**

Owner

**Applicant Business/Firm Name**

Bevi Builds II

**Applicant Business/Firm Phone**

978-479-2216

**Applicant Business/Firm Address**

143 Essex St

**Applicant Business/Firm City**

Haverhill

**Applicant Business/Firm State**

MA

**Applicant Business/Firm Zip**

01832

**New Field**

--

**Property Information**

**Proposed Housing Plan Name**

16 Margin St Triplex

**Proposed Street Name(s)**

Margin St

**How Long Owned by Current Owner?**

Just purchased

**Type of Dwelling(s) Planned in Project**

Multi-Family

**Lot Dimension(s)**

100' x 140'

**Registry Plat Number, Block & Lot**

505-248-3

**Zoning District Where Property Located**

RU - Residential Urban Density

**Deed Recorded in Essex South Registry: Block Number**

43394

**Deed Recorded in Essex South Registry: Page**

448

**Does the Property Have Multiple Lots?**

No

**Thoroughly Describe the Reason(s) for thre Special Permit**

The Applicant requests a Special Permit to permit a three-family dwelling at 16 Margin Street in the RU Zoning District. A three-family residential use is an allowed use within the RU District subject to Special Permit approval by the City Council acting as the Special Permit Granting Authority.

The proposed use is consistent with the intent and purpose of the RU District, is compatible with the surrounding residential neighborhood, and constitutes an appropriate and efficient use of the property. The project will be served by existing public utilities and infrastructure and is not expected to result in any detrimental impacts to the neighborhood or the public welfare.

The Applicant therefore respectfully requests approval of the Special Permit.

**Property Description**

The property is currently occupied by an aging single-family dwelling that is in poor condition and has suffered from substantial deferred maintenance. The proposed redevelopment will eliminate a deteriorated structure, improve the appearance and functionality of the site, and replace it with a well-maintained residential building that contributes positively to the neighborhood and the City's housing stock.

**Current Property Use**

Residential Housing

**TOTAL Number of Units Planned**

3

**TOTAL Number of Parking Spaces Planned**

6

**Planned Lot Use****Lot Number**

Lot 3

**Lot Plat Number, Block, Lot**

505-248-3

**Lot Dimensions**

100' x 140'

**Number of Existing Buildings on Lot**

1

**Size of Existing Building(s) on Lot**

57' x 30'

**Number of Buildings Planned for Lot**

1

**Size of Proposed Building(s)**

77.25' x 43'

**Number of Families to be Accommodated**

3

**Extent of Proposed Alterations**

New Construction: Residential

**IF OTHER ALTERATIONS, Please Describe**

Demo of existing building

**Types of Units Planned on Lot**

Condominiums (for sale)

**Number of Units Planned on Lot**

3

**Special Circumstances****Building Coverage**

--

**Dimensional Variance**

--

**Front Yard Setback**

--

**Side Yard Setback**

--

**Rear Yard Setback**

--

**Lot Frontage**

--

**Lot Depth**

--

**Lot Area**

--

**Building Height**

--

**Floor Area Ratio**

--

**Open Space**

--

**Parking**

--

**Sign Size**

--

**Use**

true

**Other**

--

**Hearing Waiver**

**Agrees**

Yes

**Agreement & Signature**

**Agrees**

true

**PLEASE READ**

**City Council Special Permit**

**Applicant**

**Primary Location**

**CCSP-26-2**

Philip Rice  
978-372-8734  
rbelect1@outlook.com

125 RIVER ST  
Haverhill, MA 01832

Submitted On: Jan 21, 2026

12.2

**Important: Please Read Before Starting Your Application**

JUN 30 PM3:00  
HAVERHILL CITY CLERK

**Applicant Information**

**What is Your Role in This Process?**

Owner

**Applicant Business/Firm Name**

Rice & Brouillard

**Applicant Business/Firm Phone**

978-372-8734

**Applicant Business/Firm Address**

37 Stevens st

**Applicant Business/Firm City**

HAVERHILL

**Applicant Business/Firm State**

MA

**Applicant Business/Firm Zip**

01830

**New Field**

--

**Property Information**

**Proposed Housing Plan Name**

RIVER ST PROJECT

**Proposed Street Name(s)**

RIVER ST

**How Long Owned by Current Owner?**

20

**Type of Dwelling(s) Planned in Project**

Multi-Family

**Lot Dimension(s)**

LOT 1 (2,815 SF) LOT 2 (4,083 SF)

**Registry Plat Number, Block & Lot**

501-228-12 & 501-228-11

**Zoning District Where Property Located**

CG - Commercial General

**Deed Recorded in Essex South Registry: Block Number**

41750

**Deed Recorded in Essex South Registry: Page**

40

**Does the Property Have Multiple Lots?**

Yes

**IF YES, How Many Lots?**

2

**IF YES, What Is/Are the Map, Block Lot (MBL) Number(s)?**

501-228-12 & 501-228-11

**IF YES, Provide Additional Addresses if Different Than "Location" (or Enter NONE)**

125-129 RIVER ST ALL ONE AREA

**Thoroughly Describe the Reason(s) for thre Special Permit**

RECONSTRUCTING PRESENT BUILDING INTO A 3 STORY INTO 3-2 BEDROOM UNITS

**Property Description**

PRESENT PROPERTY IS A 2 PARCEL LAND AREA WITH A 1 1/2 STORY BUILDING ON IT, WITH CONCRETE PARKING

**Current Property Use**

Vacant

**TOTAL Number of Units Planned**

3

**TOTAL Number of Parking Spaces Planned**

5

**Planned Lot Use**

**Special Circumstances**

**Building Coverage**

--

**Dimensional Variance**

--

**Front Yard Setback**

--

**Side Yard Setback**

--

**Rear Yard Setback**

--

**Lot Frontage**

--

**Lot Depth**

--

**Lot Area**

--

**Building Height**

--

**Floor Area Ratio**

--

**Open Space**

--

**Parking**

--

**Sign Size**

--

**Use**

false

**Other**

false

**Hearing Waiver**

**Agrees**

Yes

**Agreement & Signature**

**Agrees**

true

**PLEASE READ**



City of Haverhill, MA

12.4.1

July 9, 2026

**Record No: EVNT-26-20**

Event Permit

Status: Active

Submitted On: 6/3/2026

**Primary Location**

436 SALEM ST  
Bradford, MA 01835

**Owner**

SILSBY FARM, LLC  
436 Salem Street Bradford,  
MA 01835

**Applicant**

Cynthia Morgan  
 978-500-2579  
 eidnyc10@yahoo.com  
 22 Tiverton Ave  
Haverhill, MA 01835

JUL 9 PM4:29  
HAVCITYCLERK

**Organization Information**

**Organization\***

Cyndie's Methodical Media

**Organization Phone\***

978-500-2579

**Organization Address\***

22 Tiverton Avenue

**Organization City\***

Bradford

**Organization State\***

MA

**Organization Zip\***

01835

**Is the Organization Tax Exempt?\***

No

**Is the Organization Non-Profit?\***

No

**Is the Organization a House of Worship?\***

No

**Contact Information**

**Contact Name\***

Cynthia Morgan

**Contact Title\***

Event Planner

**Contact Phone\***

978-500-2579

**Contact Email\***

cyndiesmethodicalmedia@yahoo.com

**Contact Address\***

22 Tiverton Avenue

**Contact City\***

Bradford

**Contact State\***

MA

**Contact Zip\***

01835

---

## Property Owner Information

**Property Owner Name\***

Marlene Stasinis

**Property Owner Phone\***

978-994-4315

**Property Owner Address\***

22 South Cross Street

**Property Owner City\***

Bradford

**Property Owner State\***

MA

**Property Owner Zip\***

01835

**Is the Applicant the Property Owner?** 

No

## Event Information

### Description of event\*

Get ready for a tail-wagging day of community, connection, and canine joy! Woofstock 2026 is officially on the calendar, and we're already gearing up for another fun-filled celebration for pups and their people.

Sweet Paws Rescue will be returning with more great dogs to adopt. Learn about fostering, fundraising efforts for their vision and purchase merchandise to support their mission.

You can expect the same fun – with, of course, some new!

Some of the Fun You Can Expect:

- Apple Picking at Chris' Farm Stand
- Shopping at Chris' Farm Stand
- Pet-Centered Vendors
- Live Music
- Great Food
- Dog Demos & Activities
- Pet Costume Contest

This heart-centered event proudly celebrates everything we love about our four-legged best friends and the amazing community of Haverhill, Massachusetts

### Type of Event\*

Festival

### Event Date\*

09/19/2026

### Event Location\*

436 Salem Street, Bradford MA

### is the Event on Bradford Common?\*

No

### Is the Event on City Property?\*

No

### Event Venue\*

Outdoor

Number of Anticipated Attendees\*

1750

Do attendees need to purchase a ticket to attend?

No

Is this event open to the public? Or private?

Public

Event Start Time\*

10:00 am

Event End Time\*

3:00 pm

Will Food Be Served/Sold at the Event?\*

Yes

IF YES TO FOOD, By What Means?\*

Food Trucks

IF YES To FOOD, How Will it be Cooked?\*

Truck Stoves/Grills

Are you planning to serve alcohol?\*

No

Any Helpful Comments about Food

N/A

Special Considerations (i.e. fireworks)\*

N/A

---

## Parking Information

Number of Parking Spaces Onsite\*

2000

Have Off-site Parking Arrangements Been Made?\*

No

Are There Charges/Fees for Parking?\*

No

---

## Sanitation Information

Number of Public Restrooms Available\*

4

Type of Toilets\*

Portable

Please Describe Plans for Solid Waste Disposal & Recycling\*

Rented porta-potties - so the company takes care of that!

IF PORTABLE TOILETS, Who is the Vendor?\*

Throne King

---

## General Release & Indemnity Agreement

Yes\*



## Terms of Understanding

Yes\*





# City Clerk Approval

Record No.EVNT-26-20

Status Completed

Became Active June 3, 2026

Type Approval

Due Date None

Assignee Rose Leonard-Flynn

## Record No: EVNT-26-20

Event Permit

Status: Active

Submitted On: 6/3/2026

### Primary Location

436 SALEM ST  
Bradford, MA 01835

### Owner

SILSBY FARM, LLC  
436 Salem Street Bradford, MA  
01835

### Applicant

 Cynthia Morgan  
 978-500-2579  
 eidnyc10@yahoo.com  
 22 Tiverton Ave  
Haverhill, MA 01835

## Messages

**Kaitlin Wright Esposito**

June 8, 2026 at 12:44 pm

Hi Cyndie, please upload a general release and indemnity agreement to move forward.

**Kaitlin Wright Esposito**

June 8, 2026 at 12:45 pm

It should read like this:

In consideration of a permit granted by the Haverhill City Council as requested herein, \_\_\_\_\_ hereby remises, releases and forever discharges the City of Haverhill, its respective employees, agents and attorneys from all manner of actions, causes of actions, debts, dues, claims and demands both in law and in equity, more especially any and all claims as a result of the issuance of this permit or use of any City Property, including, but not limited to, property damages and personal injuries resulting from the same.

It should be signed by you or a member of your organization that is authorized to sign.

**Cynthia Morgan**

June 26, 2026 at 5:44 pm

Hello, I was just wondering what the date would be to come before City Council?

Thank you,  
Cyndie

**Kaitlin Wright Esposito**

June 26, 2026 at 9:43 pm

Hi Cyndie, we are waiting for the health inspector to review and sign off on your application before it can go to Council. I recommend calling the Health Dept and asking to speak to Mark Tolman to see if he has any questions/can speed up his review.



# Building Inspector Approval

Record No. EVNT-26-20

Status Completed

Became Active June 10, 2026

Type Approval

Due Date None

Assignee Tom Bridgewater

## Record No: EVNT-26-20

Event Permit

Status: Active

Submitted On: 6/3/2026

### Primary Location

436 SALEM ST  
Bradford, MA 01835

### Owner

SILSBY FARM, LLC  
436 Salem Street Bradford, MA  
01835

### Applicant

 Cynthia Morgan  
 978-500-2579  
 eidnyc10@yahoo.com  
 22 Tiverton Ave  
Haverhill, MA 01835

## Messages

No comments yet.



# Fire Inspector Approval

Record No.EVNT-26-20

Status Completed

Became Active June 10, 2026

Type Approval

Due Date None

Assignee Justin Borden

## Record No: EVNT-26-20

Event Permit

Status: Active

Submitted On: 6/3/2026

### Primary Location

436 SALEM ST  
Bradford, MA 01835

### Owner

SILSBY FARM, LLC  
436 Salem Street Bradford, MA  
01835

### Applicant

 Cynthia Morgan  
 978-500-2579  
 eidnyc10@yahoo.com  
 22 Tiverton Ave  
Haverhill, MA 01835

## Messages

**Justin Borden**

June 15, 2026 at 3:18 pm

No outside recreation fires are allowed. Approval is based on information provided on application. Additional permits may be required for storage of propane if necessary.

Any vendor using propane/cooking must have a fire extinguisher. Any vendor carrying more than 42lbs of propane must obtain a permit from the Fire Department. Any questions please contact the office at 978-373-8460.

2 Fire Details will be required for this event. Please contact the office at 978-373-8460 to coordinate ordering of detail.

We would like to see a site map with proposed vendor locations/layout with enough time prior to the event to ensure safe distances.

**Cynthia Morgan**

June 15, 2026 at 3:58 pm

Understood – I had spoken with Captain Brian Ray and we discussed the day and the 2 Fire Detail that will be required. Yes, usually the 4-6 weeks prior the layout will be ready. Thank you, Cyndie



## Health Inspector Approval

Record No. EVNT-26-20

Status Completed

Became Active June 10, 2026

Type Approval

Due Date None

Assignee Mark Tolman

---

### Record No: EVNT-26-20

Event Permit

Status: Active

Submitted On: 6/3/2026

---

#### Primary Location

436 SALEM ST  
Bradford, MA 01835

#### Owner

SILSBY FARM, LLC  
436 Salem Street Bradford, MA  
01835

#### Applicant

 Cynthia Morgan  
 978-500-2579  
 eidnyc10@yahoo.com  
 22 Tiverton Ave  
Haverhill, MA 01835

## Messages

**Kaitlin Wright Esposito**

June 26, 2026 at 9:43 pm

@Mark Tolman please review. Waiting on your sign off before sending to Council.

**Mark Tolman**

July 8, 2026 at 3:26 pm

All temporary food vendors will be applying for food permits.

Porta potties and rubbish storage and disposal will be the same as previous events.



City of Haverhill, MA

July 9, 2026

## Police Department Approval

Record No. EVNT-26-20

Status Completed

Became Active June 10, 2026

Type Approval

Due Date None

Assignee Kevin Lynch

---

### Record No: EVNT-26-20

Event Permit

Status: Active

Submitted On: 6/3/2026

---

#### Primary Location

436 SALEM ST  
Bradford, MA 01835

#### Owner

SILSBY FARM, LLC  
436 Salem Street Bradford, MA  
01835

#### Applicant

 Cynthia Morgan  
 978-500-2579  
 eidnyc10@yahoo.com  
 22 Tiverton Ave  
Haverhill, MA 01835

---

### Messages

Kevin Lynch

June 18, 2026 at 11:36 pm

This event will require 1 police detail. Please call Lt. Powell at 978 722-1512 to schedule the police detail.



# Public Works Director Approval

Record No.EVNT-26-20

Status Completed

Became Active June 10, 2026

Type Approval

Due Date None

Assignee Robert Kimball

## Record No: EVNT-26-20

Event Permit

Status: Active

Submitted On: 6/3/2026

### Primary Location

436 SALEM ST  
Bradford, MA 01835

### Owner

SILSBY FARM, LLC  
436 Salem Street Bradford, MA  
01835

### Applicant

 Cynthia Morgan  
 978-500-2579  
 eidnyc10@yahoo.com  
 22 Tiverton Ave  
Haverhill, MA 01835

## Messages

No comments yet.

# Haverhill's Woofstock 2026

## Vendor Contract

**Event Date:** Saturday, September 19, 2026

**Event Time:** 10:00 a.m. to 3:00 p.m.

**Rain Date:** Sunday, September 20, 2026

**Location:** Chris' Farm Stand, 346 Salem Street, Haverhill, MA



**Event Organizer:**

Cyndie Morgan

Cyndie's Methodical Media / Haverhill's Woofstock

Haverhillswolfstock@gmail.com | 978-500-2579

---

## 1. Vendor Participation and Event Hours

All participating vendors are required to be present, fully set up, and operational for the entire duration of the event, from 10:00 a.m. to 3:00 p.m. This ensures that all attendees have the opportunity to engage with each vendor and supports a consistent event experience.

Vendors agree to conduct business in a professional, safe, and respectful manner. All vendors are responsible for complying with applicable local, state, and federal laws and regulations related to their products and services.

---

## 2. Rain Date Policy

Haverhill's Woofstock is a rain-or-shine event. If weather conditions require activation of the published rain date, vendors are expected to participate on the rain date.

Vendor fees are non-refundable, including in the event a vendor is unable to attend the rain date.

---

### **3. Parking and Unloading**

Vendors may unload vehicles near their assigned booth location during designated setup times only. Once unloading is complete, all vehicles must be moved and parked across the street in the designated field.

Parking near the Farm Stand is strictly reserved for handicap access only. No exceptions.

---

### **4. Booth Space and Display Requirements**

Booth space may not exceed 10 feet by 10 feet. No exceptions.

Each vendor may be asked to provide at least one back wall for their booth. The back wall is required for vendors who are near areas, such as the Llamas to ensure their safety and overall well-being. This will be announced when the event map is completed with booth assignments..

Vendors are responsible for providing their own tents, tables, chairs, signage, and display materials.

If using a canopy, vendors must bring adequate weights. A recommended minimum of 100 pounds total weight is required. All weights must:

- Be secured safely at the base of canopy legs
- Not create tripping hazards
- Remain on the ground at all times
- Not be hung from canopy frames

Only sand-filled, canvas-style canopy weights designed for outdoor use are permitted.

---

### **5. Setup, Breakdown, and Cleanup**

Friday early setup is available from 4:30 p.m. to 6:00 p.m.

Saturday setup is available from 8:00 a.m. to 9:30 a.m. All vendors must be fully set up by 9:30 a.m. No exceptions. - This allows a 30 minute window to shop amongst vendors.

Breakdown may not begin before 3:00 p.m. unless explicitly approved by the Event Organizer.

Vendors are responsible for removing all equipment, merchandise, and trash from their booth area and for leaving the space in the condition in which it was found.

---

## **6. Vendor and Demonstrator Shopping Time**

Vendor and Demonstrator Shopping Time will take place from 9:30 a.m. to 10:00 a.m., prior to the event opening to the public. This time is reserved exclusively for approved vendors and demonstrators.

---

## **7. Electricity**

Electricity is extremely limited and is not guaranteed.

Vendors requiring electricity must contact Cyndie Morgan, Event Organizer, in advance to discuss specific needs. Electrical access will be handled on a case-by-case basis and must be confirmed prior to the event.

Vendors should plan to be self-sufficient unless written approval is provided.

---

## **8. Vendor Fees and Payment**

Vendor participation fees for Haverhill's Woofstock 2026 are as follows:

Returning Vendor: \$65.00

New Vendor: \$75.00

Military/Veteran Vendor: \$60.00 (applies to anyone who has served; active duty not required)

Non-Profit Organization: \$0.00

Vendor fees are charged per business. If two businesses share a booth, each business must register and pay the applicable vendor fee.

Payments may be made via Venmo, PayPal, or through other arrangements approved by Cyndie's Methodical Media.

All vendor fees are non-refundable.

Each applicant will be notified of their acceptance and notification on how to make payment.

---

## **9. Food Vendors – Additional Requirements**

Food vendors must comply with all requirements of the City of Haverhill Health Department and the Commonwealth of Massachusetts.

Food vendors are responsible for:

- Obtaining any required temporary food permits
- Paying all permit and inspection fees
- Providing proof of approval prior to the event
- Maintaining proper food handling, temperature control, sanitation, and labeling procedures
- Managing their own grease, wastewater, and trash in accordance with local regulations

If operating a generator, it must be positioned safely and operated in a manner that minimizes fumes, noise, and hazards.

Food vendors are required to carry appropriate liability insurance and may be required to provide a Certificate of Insurance upon request.

Food vendors pay the applicable vendor fee in addition to any required permits or licensing fees with the City of Haverhill's Health Department.

---

## **10. Vendor Cancellation**

If a vendor is unable to attend due to unforeseen circumstances, the Event Organizer must be notified as soon as possible.

Vendors are not required to secure a replacement.

Vendor fees are non-refundable.

---

## **11. Social Media Promotion**

Vendors agree to follow Haverhill's Woolstock and official event accounts and to support cross-promotion of the event on their platforms when appropriate.

---

## **12. Vendor Communication**

A private Haverhill's Woofstock Facebook Group will be created for accepted vendors. Participation in this group is required for the duration of event planning.

The group is invite-only and access is provided by Cyndie Morgan, Event Organizer. The group link is not to be shared.

If a vendor does not use Facebook, they must notify the Event Organizer upon acceptance to arrange an alternate communication method.

---

## **13. Liability Waiver**

Vendor waives all responsibility and liability to the City of Haverhill, Chris' Farm Stand, located at 346 Salem Street, Haverhill, MA, and Cyndie's Methodical Media (Cynthia Morgan), PO Box 8411, Haverhill, MA, in connection with participation in Haverhill's Woofstock.

---

## **14. Agreement and Acceptance**

By submitting an electronic "Yes" acknowledgment through the official Haverhill's Woofstock Vendor Registration Form, the vendor confirms that they have read, understood, and agreed to all terms of this Vendor Contract.



# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

05/30/2026

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> Foresite Sports LLC DBA: Eventsured 3553 West Chester Pike #418 Newtown Square, PA 19073	<b>CONTACT NAME:</b> Eventsured Customer Service
	<b>PHONE (A/C, No, Ext):</b> 888-882-5902 <b>FAX (A/C, No):</b> <b>E-MAIL ADDRESS:</b> info@eventsured.com
<b>INSURED</b>  Cyndie's Methodical Media Cynthia Morgan 436 Salem Street Bradford, MA 01835	<b>INSURER(S) AFFORDING COVERAGE</b> <b>NAIC #</b>
	<b>INSURER A:</b> Houston Casualty Company      42374
	<b>INSURER B:</b>
	<b>INSURER C:</b>
	<b>INSURER D:</b>
	<b>INSURER E:</b>
	<b>INSURER F:</b>


**COVERAGES**      **CERTIFICATE NUMBER:** TM532532      **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
	<b>GENERAL LIABILITY</b>					
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY					EACH OCCURRENCE \$ 1,000,000
	CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR					DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000
A	<input checked="" type="checkbox"/>	Y Y	H25SE00172/TM532532	09/19/2026 12:01AM	09/21/2026 2:01AM	MED EXP (Any one person) \$ 1,000
	GEN'L AGGREGATE LIMIT APPLIES PER:					PERSONAL & ADV INJURY \$ 1,000,000
	<input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC					GENERAL AGGREGATE \$ 2,000,000
	<b>AUTOMOBILE LIABILITY</b>					PRODUCTS - COMP/OP AGG \$ 1,000,000
	ANY AUTO					DEDUCTIBLE \$ 0
	ALL OWNED AUTOS	<input type="checkbox"/> SCHEDULED AUTOS				COMBINED SINGLE LIMIT (Ea accident) \$
	HIRED AUTOS	<input type="checkbox"/> NON-OWNED AUTOS				BODILY INJURY (Per person) \$
						BODILY INJURY (Per accident) \$
						PROPERTY DAMAGE (Per accident) \$
						\$
	<b>UMBRELLA LIAB</b>	<input type="checkbox"/> OCCUR				EACH OCCURRENCE \$
	<b>EXCESS LIAB</b>	<input type="checkbox"/> CLAIMS-MADE				AGGREGATE \$
	DED	RETENTION \$				\$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b>					WC STATUTORY LIMITS OTHER
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)	<input type="checkbox"/> Y/N <input type="checkbox"/> N/A				E.L. EACH ACCIDENT \$
	If yes, describe under DESCRIPTION OF OPERATIONS below					E.L. DISEASE - EA EMPLOYEE \$
						E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

Additional Insureds must be venue managers or municipalities and are added with respect to our insureds operations only. Waiver of Subrogation (WOS) and Primary & Non-Contributory (PNC) wording applies only when coverage is purchased by the insured, required by written contract and as indicated below. This coverage is with respect to the 4H Fair to be held on 09/19/2026 - 09/20/2026 with 1750 attendees at Haverhill's Woofstock 436 Salem Street Bradford, MA 01835. Additional Insureds include: Haverhill's Woofstock 436 Salem Street Bradford, MA 01835; City of Haverhill Haverhill City Hall 4 Summer Street Haverhill, MA 01830 (WOS selected).

<b>CERTIFICATE HOLDER</b>  City of Haverhill Haverhill City Hall 4 Summer Street Haverhill, MA 01830	<b>CANCELLATION</b>  SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
	AUTHORIZED REPRESENTATIVE  

ACORD 25 (2010/05)

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# PROPERTY USE ACKNOWLEDGMENT

## Haverhill's Woofstock 2026

**Date:** June 3, 2026

I, **Cynthia Morgan**, Owner of **Cyndie's Methodical Media** and Founder of Haverhill's Woofstock, hereby attest that, to the best of my knowledge, **Marlene Stasinios**, Owner of Chris' Farm Stand, has provided verbal authorization for the use of Chris' Farm Stand, located at 436 Salem Street, Haverhill, MA 01835, as the venue for Haverhill's Woofstock 2026.

**Event Date:** Saturday, September 19, 2026

**Rain Date:** Sunday, September 20, 2026

The property owner is aware that Haverhill's Woofstock is a public community event that includes vendors, exhibitors, demonstrations, activities, sponsors, volunteers, entertainment, and attendees throughout the event grounds.

Proof of event insurance has been secured for Haverhill's Woofstock 2026 and will be provided upon request.

For verification of the verbal authorization granted for this event, the property owner may be contacted directly:

**Marlene Stasinios**  
Owner, Chris' Farm Stand  
436 Salem Street  
Haverhill, MA 01835  
Phone: (978) 994-4315

This acknowledgment is submitted as a record of the verbal authorization granted for the use of the property in connection with Haverhill's Woofstock 2026.

### ***Submitted By***

Cynthia Morgan  
Owner, Cyndie's Methodical Media  
Founder, Haverhill's Woofstock  
22 Tiverton Avenue  
Haverhill, MA 01835

June 3, 2026

*This document is submitted in good faith to confirm the verbal authorization provided by the property owner for the use of the event venue identified herein.*

**GENERAL RELEASE AND INDEMNITY AGREEMENT**

**Event: Haverhill's Woofstock**  
**Event Organizer: Cynthia Morgan**  
**Event Location: Chris' Farm Stand, 436 Salem Street, Bradford, MA 01835**  
**Event Date: September 19, 2026**  
**Rain Date: September 20, 2026**

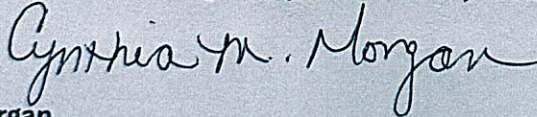
**Purpose:**

Haverhill's Woofstock is a community event celebrating dogs, their people, local businesses, nonprofits, and community organizations through educational demonstrations, entertainment, activities, vendors, and community engagement.

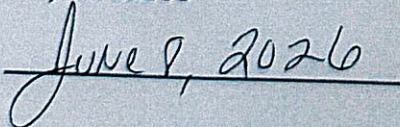
In consideration of a permit granted by the Haverhill City Council as requested herein, Cynthia Morgan, Organizer of Haverhill's Woofstock, hereby remises, releases, and forever discharges the City of Haverhill, its respective employees, agents, attorneys, officials, boards, commissions, and representatives from all manner of actions, causes of action, debts, dues, claims, and demands, both in law and in equity, and more especially any and all claims arising out of or resulting from the issuance of said permit or the use of any City of Haverhill property, including, but not limited to, property damage, personal injury, bodily injury, death, or other losses resulting from the same.

Furthermore, Cynthia Morgan agrees to indemnify, defend, and hold harmless the City of Haverhill, its officials, employees, agents, and representatives from and against any and all claims, liabilities, damages, losses, costs, and expenses, including reasonable attorney's fees, arising from or related to activities conducted pursuant to the permit.

This Release and Indemnity Agreement shall be binding upon the undersigned and their heirs, successors, assigns, representatives, and agents.

**SIGNED:**

Cynthia Morgan  
Organizer, Haverhill's Woofstock  
22 Tiverton Avenue  
Haverhill, MA 01830

**Date:**

120601  
July 10, 2026



City of Haverhill, MA

**Record No: TAGD-26-9**

Tag Day Permit

Status: Active

Submitted On: 5/18/2026

**Primary Location**

34 HILLCREST AVE  
Haverhill, MA 01832

**Owner**

PECCI ANTHONY D ETUX  
SHARON M PECCI  
HILLCREST AVE 34  
HAVERHILL, MA 01832

**Applicant**

Sharon Pecci  
 978-314-2097  
 pechgram@gmail.com  
 34 Hillcrest Ave  
Haverhill, MA 01832

**Organization Information**

JUL 10 AM 10:08  
HAVCITYCLERK

**Organization\***

Haverhill Lions Club

**Organization Phone\***

978-314-2097

**Organization Address\***

34 Hillcrest Ave

**Organization City\***

Haverhill

**Organization State\***

MA

**Organization Zip\***

01832

**Is the Organization Tax Exempt?\***

Yes

**Is the Organization Non-Profit?\***

Yes

**Is your organization affiliated with the Haverhill Public School system?**

No

**Is the Applicant a Haverhill Resident\* ?**

Yes

## Off-Street Locations Information [OFF-STREET LOCATIONS NOT PERMITTED]

How Many Locations Will You Cover?\*

3

Location 1\* 

Market Basket 2 Water St

Location 2\*

Market Basket 285 Lincoln Ave

Location 3\*

Market Basket 400 Lowell Ave

---

## Date Information -MAXIMUM 3 CONSECUTIVE DAYS

How Many Dates Will the Event Include?\*

1

Date #1\*

09/12/2026



June 9, 2026

Sharon Pecci  
Havrhlil Lions Club  
pechgram@gmail.com

Dear Sharon:

This letter is to inform you that your organization has been granted permission to hold a fund-raising event at the store listed below between the hours of 9:00AM – 3:00PM. **However, it is the responsibility of the organization to acquire the appropriate permits if required by the town.** At the request of our customers, we have put into effect the following guidelines your volunteers are required to adhere to. Demoulas Super Markets, Inc. has the right to curtail any fund-raising events we feel necessary.

1. Upon arriving at the store you must check in with the store manager.
2. Children under the age of fourteen are required to have adult supervision with them at all times.
3. There should never be more than two people from your organization at the store at any given time.
4. Fund-raising events should take place outside the store at least 10 feet away from the entrance/exit doors. Do not interrupt the flow of traffic entering and exiting the building.
5. All volunteers representing your organization must be well groomed and properly attired. They should present themselves in a courteous and friendly manner at all times.
6. Volunteers must allow the customer to approach them.
7. The person representing you should be located at the entrance door only.
8. If a table is being set up, discuss with the store manager where it should be located.
9. **Due to the numerous requests we receive to fundraise, if you must reschedule the dates you were approved for you will need to resubmit a new letter with new dates at least 2 weeks in advance.**

If you have any questions pertaining to this notice, please contact Lori Page at (978) 851-8000 or [fundraising@demoulasmaketbasket.com](mailto:fundraising@demoulasmaketbasket.com). We wish you luck in your endeavor!

Demoulas Super Markets, Inc.

STORE LOCATION: Haverhill #9

DATE(S): September 12



June 9, 2026

Sharon Pecci  
Haverhill Lions Club  
pechgram@gmail.com

Dear Sharon:

This letter is to inform you that your organization has been granted permission to hold a fund-raising event at the store listed below between the hours of 9:00AM – 3:00PM. **However, it is the responsibility of the organization to acquire the appropriate permits if required by the town.** At the request of our customers, we have put into effect the following guidelines your volunteers are required to adhere to. Demoulas Super Markets, Inc. has the right to curtail any fund-raising events we feel necessary.

1. Upon arriving at the store you must check in with the store manager.
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If you have any questions pertaining to this notice, please contact Lori Page at (978) 851-8000 or [fundraising@demoulasmaketbasket.com](mailto:fundraising@demoulasmaketbasket.com). We wish you luck in your endeavor!

Demoulas Super Markets, Inc.

STORE LOCATION: Haverhill #15

DATE(S): September 12



June 9, 2026

Sharon Pecci  
Haverhill Lions Club  
pechgram@gmail.com

Dear Sharon:

This letter is to inform you that your organization has been granted permission to hold a fund-raising event at the store listed below between the hours of 9:00AM – 3:00PM. **However, it is the responsibility of the organization to acquire the appropriate permits if required by the town.** At the request of our customers, we have put into effect the following guidelines your volunteers are required to adhere to. Demoulas Super Markets, Inc. has the right to curtail any fund-raising events we feel necessary.

1. Upon arriving at the store you must check in with the store manager.
2. Children under the age of fourteen are required to have adult supervision with them at all times.
3. There should never be more than two people from your organization at the store at any given time.
4. Fund-raising events should take place outside the store at least 10 feet away from the entrance/exit doors. Do not interrupt the flow of traffic entering and exiting the building.
5. All volunteers representing your organization must be well groomed and properly attired. They should present themselves in a courteous and friendly manner at all times.
6. Volunteers must allow the customer to approach them.
7. The person representing you should be located at the entrance door only.
8. If a table is being set up, discuss with the store manager where it should be located.
9. **Due to the numerous requests we receive to fundraise, if you must reschedule the dates you were approved for you will need to resubmit a new letter with new dates at least 2 weeks in advance.**

If you have any questions pertaining to this notice, please contact Lori Page at (978) 851-8000 or [fundraising@demoulasmarketbasket.com](mailto:fundraising@demoulasmarketbasket.com). We wish you luck in your endeavor!

Demoulas Super Markets, Inc.

STORE LOCATION: Haverhill #48

DATE(S): September 12

**Alcohol - One-Day License**

**LCDL-26-15**

Submitted On: Jun 4, 2026

**Applicant**

Joseph LeBlanc  
978-376-6741  
@ homer2140@mac.com

**Primary Location**

70 WASHINGTON ST  
HAVERHILL, MA 01832

12.7.1

**Applicant Information**

**Applicant Role in the Event**

Other

**Birth Date**

03/20/1956

**IF OTHER, Please Specify**

Chair, River Ruckus Steering Committee

**Is the Event Sponsored?**

yes

FILED AND  
RECORDED

**Event Host/Sponsor Information**

**Host/Sponsor Business/Organization Name**

Team Haverhill

**Host/Sponsor Business/Organization Address**

PO Box 5034

**Host/Sponsor Business/Organization City**

Haverhill

**Host/Sponsor Business/Organization State**

MA

**Host/Sponsor Business/Organization Zip**

01835

**Host/Sponsor Business/Organization Phone**

978-376-6741

**Host/Sponsor Financial Status**

Civic Organization

**Host/Sponsor Main Contact**

Joseph LeBlanc

**Main Contact's Name**

Joseph LeBlanc

**Main Contact's Social Security #**

[REDACTED]

**Main Contact's Address**

18 Hawthorne Street

**Main Contact's City**

Haverhill

**Main Contact's State**

MA

**Main Contact's Zip**

01835

**Main Contact's Phone**

978-376-6741

**Main Contact's Email**

homer2140@mac.com

**Event Information**

**Type of License Being Requested**

All Alcohol

**Event Date**

09/12/2026

**Event Start Time**

Noon

**Event End Time**

9 p.m.

**Event Location**

Washington Street Riverfront Parking Lot

**Event Purpose**

Festival

**Will there Be Music or Entertainment?**

Yes

**Will Food be Provided in Another Way?**

Yes

**Expected Number of Children Attending**

250

**Type of Attendees**

Public

**Will the Event be Catered?**

No

**Expected Number of Adults Attending**

5000

**Is an Entrance Fee/Donation Required?**

No

**Will the Event Be on City Property?**

Yes

### **Liquor Information**

**Name of Liquor Wholesaler**

Seaboard Products Company

**Name of Person Serving the Alcohol**

Deb Ingalls, Butlers and Bars

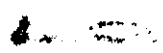
**Is This a Cash Bar?**

Yes

### **Agreement & Signature**

Yes

true





City of Haverhill, MA

July 9, 2026

## Licensing Clerk Review

Record No.LCDL-26-15

Status Completed

Became Active June 4, 2026

Type Approval

Due Date None

Assignee Nicholas Flynn

### Record No: LCDL-26-15

Alcohol - One-Day License

Status: Active

Submitted On: 6/4/2026

#### Primary Location

70 WASHINGTON ST  
HAVERHILL, MA 01832

#### Owner

City of Haverhill  
Washington Street Riverfront  
parking lot 70 Haverhill, MA 01835

#### Applicant

Joseph LeBlanc  
 978-376-6741  
 homer2140@mac.com  
 18 Hawthorne Street  
Haverhill, MA 01835

## Messages

**Nicholas Flynn** June 4, 2026 at 3:04 pm

Hi Joe – the coverage amount for Liquor Liability in MA needs to be minimum \$250,000/\$500,000 per person/occurrence. This COI only shows \$100,00/\$300,000.

**Joseph LeBlanc** June 4, 2026 at 3:13 pm

Nick, I've sent this along to Deb Ingalls and will amend our application when this has been done. – Joe

**Joseph LeBlanc** June 4, 2026 at 4:17 pm

I just sent an image of the amended policy as an attachment. I couldn't see how to replace the old one with the new one. – Joe

**Nicholas Flynn** June 4, 2026 at 4:28 pm

Thanks Joe, all set on my end!

Please have Deb submit additional TIPS certificates for her staff, prior to the event, like she did last year.

**Joseph LeBlanc** June 4, 2026 at 4:31 pm

Great. Let me know when (and if) this is set for the early July agenda.

**Nicholas Flynn** June 4, 2026 at 4:31 pm

The application should be scheduled for the July 2nd agenda.

**Joseph LeBlanc** June 4, 2026 at 4:39 pm

Excellent. I may be out of town that day, so may have to participate remotely.



City of Haverhill, MA

July 9, 2026

## Police Department Approval

Record No.LCDL-26-15

Status Completed

Became Active June 4, 2026

Type Approval

Due Date None

Assignee Kevin Lynch

### Record No: LCDL-26-15

Alcohol - One-Day License

Status: Active

Submitted On: 6/4/2026

#### Primary Location

70 WASHINGTON ST  
HAVERHILL, MA 01832

#### Owner

City of Haverhill  
Washington Street Riverfront  
parking lot 70 Haverhill, MA 01835

#### Applicant

 Joseph LeBlanc  
 978-376-6741  
 homer2140@mac.com  
 18 Hawthorne Street  
Haverhill, MA 01835

## Messages

**Kevin Lynch**

June 9, 2026 at 3:23 am

Alcohol service and consumption shall be restricted to a designated, controlled area within the event grounds. All individuals wishing to consume alcoholic beverages must be at least 21 years of age and wear an event-issued wristband indicating age verification. Event staff shall monitor access points to ensure compliance with alcohol service regulations. One police detail officer will be assigned to the event to assist with security, monitor the designated alcohol area, and address any public safety concerns that may arise.

**Joseph LeBlanc**

June 17, 2026 at 2:16 pm

Thanks for this reminder. I'll share it with our committee members. – Joe LeBlanc



## Recreation Department Approval

Record No.LCDL-26-15

Status Completed

Became Active June 4, 2026

Type Approval

Due Date None

Assignee Ben Delaware

### Record No: LCDL-26-15

Alcohol - One-Day License

Status: Active

Submitted On: 6/4/2026

#### Primary Location

70 WASHINGTON ST  
HAVERHILL, MA 01832

#### Owner

City of Haverhill  
Washington Street Riverfront  
parking lot 70 Haverhill, MA 01835

#### Applicant

 Joseph LeBlanc  
 978-376-6741  
 homer2140@mac.com  
 18 Hawthorne Street  
Haverhill, MA 01835

### Messages

No comments yet.



## License Commission Approval

Record No. LCDL-26-15

Status Completed

Became Active June 9, 2026

Type Approval

Due Date None

Assignee Nicholas Flynn

---

### Record No: LCDL-26-15

Alcohol - One-Day License

Status: Active

Submitted On: 6/4/2026

---

#### Primary Location

70 WASHINGTON ST  
HAVERHILL, MA 01832

#### Owner

City of Haverhill  
Washington Street Riverfront  
parking lot 70 Haverhill, MA 01835

#### Applicant

 Joseph LeBlanc  
 978-376-6741  
 homer2140@mac.com  
 18 Hawthorne Street  
Haverhill, MA 01835

## Messages

**Nicholas Flynn**

June 9, 2026 at 10:29 am

Application will be heard before LLA meeting on July 2nd at 6PM. If you are unable to attend physically, a remote link can be provided one week prior.

**Joseph LeBlanc**

June 26, 2026 at 1:30 pm

Nick, I will be out of town on Thursday, July 2nd. Team Haverhill President Kevin Burke will be representing me at this meeting. Thanks, Joe LeBlanc

**Nicholas Flynn**

June 26, 2026 at 1:42 pm

No worries, thank you Joe!

**Nicholas Flynn**

July 2, 2026 at 7:56 pm

Approved by LLA on 7/2/26, pending City Council & Mayor approvals.



City of Haverhill, MA

July 9, 2026

## Mayor Approval

Record No.LCDL-26-15

Status Completed

Became Active July 8, 2026

Type Approval

Due Date None

Assignee Effie Miscowski

---

### Record No: LCDL-26-15

Alcohol - One-Day License

Status: Active

Submitted On: 6/4/2026

---

#### Primary Location

70 WASHINGTON ST  
HAVERHILL, MA 01832

#### Owner

City of Haverhill  
Washington Street Riverfront  
parking lot 70 Haverhill, MA 01835

#### Applicant

 Joseph LeBlanc  
 978-376-6741  
 homer2140@mac.com  
 18 Hawthorne Street  
Haverhill, MA 01835

---

### Messages

No comments yet.



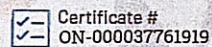
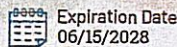
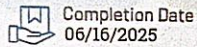
## CERTIFICATE OF COMPLETION

This certifies that

Deborah Ingalls

is awarded this certificate for

**TIPS On-Premise Alcohol Server Training**



Official Signature

THIS CERTIFICATE IS NON-TRANSFERABLE

6504 Bridge Point Parkway, Suite 100 | Austin, TX 78730 | [www.360training.com](http://www.360training.com)

(CUT HERE)

(CUT HERE)

**TIPS** On-Premise **CERTIFIED**

Issued: 06/16/2025 Expires: 06/15/2028  
Certificate #: ON-000037761919

Deborah Ingalls  
199 Oakland Avenue  
Methuen MA 01844

**TIPS** | **360 TRAINING**  
A 360TRAINING COMPANY

Phone: 800-438-8477  
[www.gettips.com](http://www.gettips.com)

This card was issued for successful completion of the TIPS program.

Signature \_\_\_\_\_



**THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.**

**ADDITIONAL INSURED – DESIGNATED PERSON OR ORGANIZATION**

This endorsement modifies insurance provided under the following:

COMMERCIAL GENERAL LIABILITY COVERAGE PART

**Schedule**

**Name of Additional Insured Person(s) or Organization(s):**

City of Haverhill

Information required to complete this Schedule, if not shown above, will be shown in the Declarations.

**A. SECTION II - WHO IS AN INSURED** is amended to include as an Additional Insured the person(s) or organization(s) shown in the Schedule, but only with respect to liability for "bodily injury," "property damage" or "personal and advertising injury" caused, in whole or in part, by your acts or omissions or the acts or omissions of those acting on your behalf:

- 1. in the performance of your ongoing operations; or
- 2. in connection with your premises owned by or rented to you.

However:

- 1. the insurance afforded to such additional insured only applies to the extent permitted by law; and
- 2. if coverage provided to the Additional Insured is required by a contract or agreement, the insurance afforded to such additional insured will not be broader than that which you are required by the contract or agreement to provide for such additional insured.

**B.** With respect to the insurance afforded to these Additional Insureds, the following is added to **SECTION III – LIMITS OF INSURANCE:**

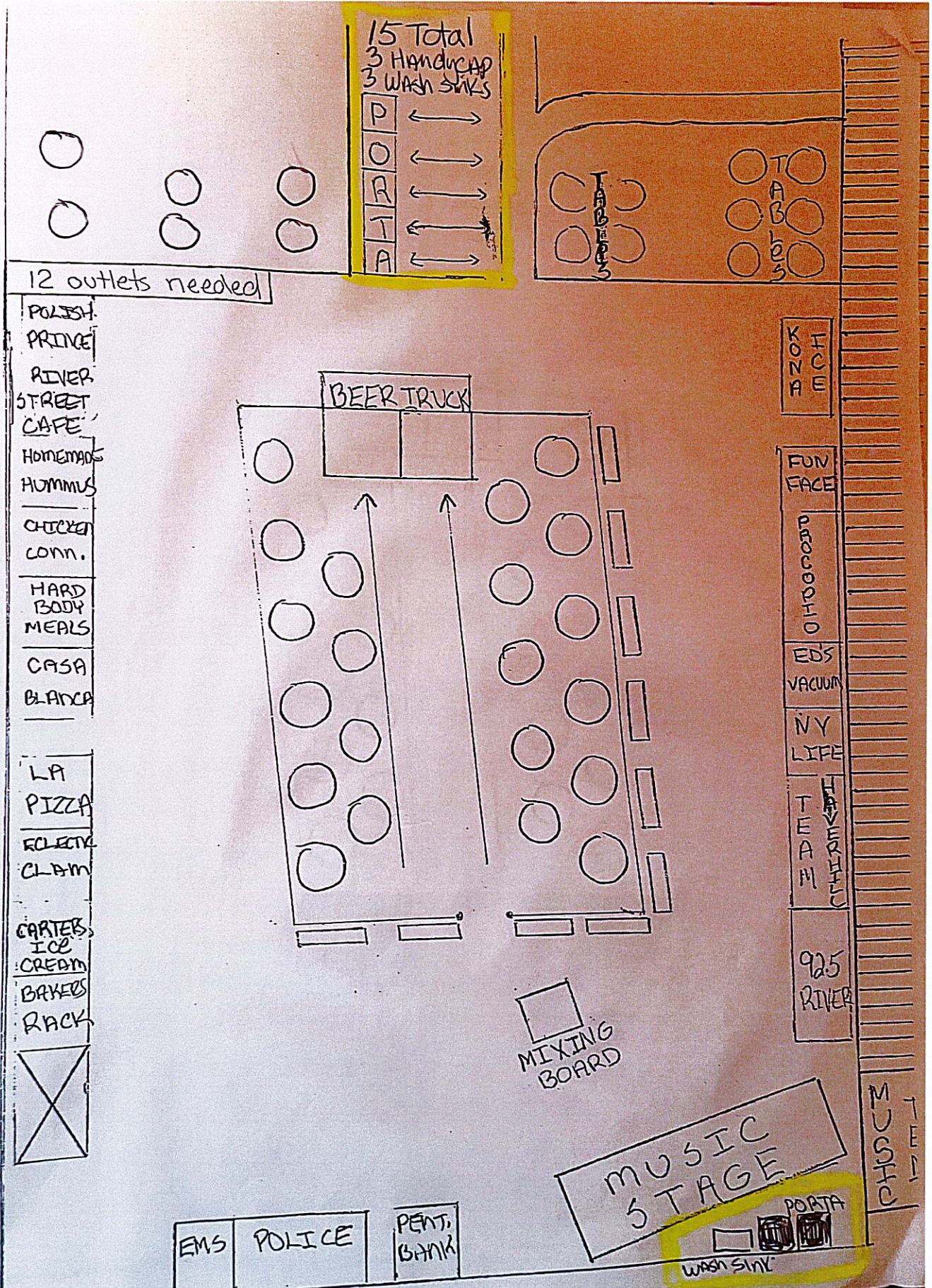
If coverage provided to the Additional Insured is required by a contract or agreement, the most we will pay on behalf of the Additional Insured is the amount of insurance:

- 1. required by the contract or agreement; or
- 2. available under the applicable Limits of Insurance shown in the Declarations;

whichever is less.

This endorsement shall not increase the applicable Limits of Insurance shown in the Declarations.

Copyright, ISO Properties, Inc., 2012





**Taxi/Limousine Business License**

**TLLB-26-2**

Submitted On: Jun 6, 2026

**Applicant**

Victor Gonzalez  
978-314-7522  
newenglandhealthtransportation@gmail.com

**Primary Location**

143 ESSEX ST  
Haverhill, MA 01832

12.8.5.1

**Applicant Information**

**Relationship to Owner**

Owner

JUN 25 AM 11:32  
HAVERHILL CLERK

**Business Information**

**Business Name**

New England Health Transportation Inc

**Business Phone**

9789146272

**Business Address**

143 Essex Street Suite 721

**Business City**

Haverhill

**Business State**

MA

**Business Zip**

01832

**Legal Structure**

Corporation

**Number of Employees**

2

**Business Type**

Taxi

**Total Number of Vehicles**

4

**Number of Taxis**

4

**Number of Limosines**

0

**Vehicle Information**

**Vehicle Make**

Dodge

**Vehicle Model**

Grandcaravan

**Vehicle Year**

2012

**Was Vehicle Purchased New?**

Yes

**Vehicle Color**

Black

**Vehicle License Number**

LV8832

**Vehicle Make**

Dodge

**Vehicle Model**

Grandcaravan

**Vehicle Year**

**Was Vehicle Purchased New?**

2015

Yes

**Vehicle Color**

**Vehicle License Number**

Gray

lv85419

**Vehicle Make**

**Vehicle Model**

Chrysler

Town & Country

**Vehicle Year**

**Was Vehicle Purchased New?**

2015

Yes

**Vehicle Color**

**Vehicle License Number**

Gold

LVA3623

**Vehicle Make**

**Vehicle Model**

Dodge

Grandcaravan

**Vehicle Year**

**Was Vehicle Purchased New?**

2016

Yes

**Vehicle Color**

**Vehicle License Number**

White

LVA3643

**Signature**

**Agree**

true



## City Clerk Approval

Record No. TLLB-26-2

Status Completed

Became Active June 6, 2026

Type Approval

Due Date None

Assignee Kaitlin Wright Esposito

---

## Record No: TLLB-26-2

Taxi/Limousine Business License

Status: Active

Submitted On: 6/6/2026

---

### Primary Location

143 ESSEX ST  
Haverhill, MA 01832

### Owner

SOCIETY FOR THE  
PRESERVATION OF  
NEW ENGLAND  
ANTIQUITIES, INC  
ESSEX ST 151  
HAVERHILL, MA 01832

### Applicant

 Victor Gonzalez  
 978-314-7522  
 newenglandhealthtransportation@gmail.com  
 143 Essex st suite 721  
Haverhill , MA 01832

---

## Messages

**Victor Gonzalez**

June 16, 2026 at 12:05 pm

Thank you.

**Kaitlin Wright Esposito**

June 16, 2026 at 9:03 am

Moving forward for police review.

**Victor Gonzalez**

June 16, 2026 at 7:36 am

Good morning, I am just checking on the renewal status.



## Police Approval

Record No. TLLB-26-2

Status Completed

Became Active June 16, 2026

Type Approval

Due Date None

Assignee Kevin Lynch

### Record No: TLLB-26-2

Taxi/Limousine Business License

Status: Active

Submitted On: 6/6/2026

#### Primary Location

143 ESSEX ST  
Haverhill, MA 01832

#### Owner

SOCIETY FOR THE  
PRESERVATION OF  
NEW ENGLAND  
ANTIQUITIES, INC  
ESSEX ST 151  
HAVERHILL, MA 01832

#### Applicant



Victor Gonzalez



978-314-7522



newenglandhealthtransportation@gmail.com



143 Essex st suite 721

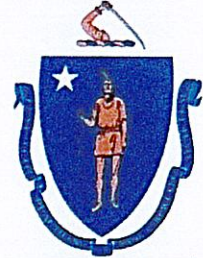
Haverhill, MA 01832

### Messages

No comments yet.



# COMMONWEALTH OF MASSACHUSETTS CITY OF HAVERHILL BUSINESS CERTIFICATE



Issue Date: July 17, 2024  
Expiration Date: July 17, 2028

Certificate Number: BUSC-24-146  
Fee: \$60.00

HAU CITY CLERK JUL 17 24 AM 11:05

**New England Health Transportation INC**

143 Essex St Suite 721 Haverhill, MA 01832

Phone: 9789146272

In conformity with the provisions of Chapter 110, Section 5 of the MGL, as amended, the undersigned hereby declares that a business is conducted under the title of:

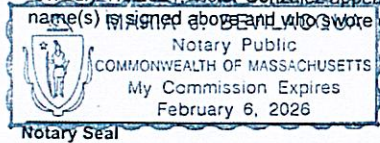
**New England Health Transportation INC at 143 Essex St Suite 721 - Haverhill, 01832 by Victor Gonzalez**

*I/We certify under the penalties of perjury that I/we, to the best of my/our knowledge and belief, have filed all state tax returns and paid all state taxes required under law.*

Signature(s): Victor Gonzalez  
Victor Gonzalez

## COMMONWEALTH OF MASSACHUSETTS

On July 17, 2024, Victor Gonzalez appeared before me and presented satisfactory evidence of identification which was a , proving the person(s) whose name(s) is/are signed above and who swore or affirmed to me that the contents of the document are truthful and accurate to the best of their knowledge and belief.



Maria J. Buralacchio  
Notary Seal Expiration Date  
EXP 2-6-2026

Kaitlin M. Wright  
Kaitlin Wright, Haverhill City Clerk

**THIS DOCUMENT MUST BE SIGNED IN THE PRESENCE OF A NOTARY PUBLIC WHO CAN AFFIX HIS/HER SEAL. IF A NOTARY PUBLIC OTHER THAN THE HAVERHILL CITY CLERK'S OFFICE WITNESSES THE SIGNATURE, THE DOCUMENT MUST BE BROUGHT TO THE HAVERHILL CITY CLERK'S OFFICE.**

In accordance with the provisions of Chapter 337 of the Acts of 1985 and Chapter 110, Section 5 of Massachusetts General Laws, Business Certificates shall be in effect for four (4) years from the date of issue and shall be renewed each four (4) years thereafter. A statement under oath must be filed with the Haverhill City Clerk upon discontinuing, retiring or withdrawing from such business or partnership. Copies of such Certificates shall be available at the address at which such business is conducted and shall be furnished on request during regular business hours to any person who has purchased goods or services from such business. Violations are subject to a fine of not more than three hundred dollars (\$300) for each month during which such violation continues. The aforementioned business owner or agent is required to notify the Haverhill City Clerk in the event that the business is discontinued, changes location, changes the name, changes residence, withdraws from the business or partnership, or is deceased.

**This certificate must be renewed every four (4) years.**

**This Business Certificate does not confer zoning approval for conducting of this business at the above address.**

**Zoning Compliance may only be determined and issued by the Haverhill Building Inspector.**



**CERTIFICATE OF REGISTRATION**  
 M.G.L. Chapter 90 Section 24B makes it a crime to alter this Certificate  
 MASSACHUSETTS DEPARTMENT OF TRANSPORTATION

EXTERNAL CODE <b>LVN</b>		REGISTRATION TYPE <b>Livery Normal</b>		PLATE NUMBER <b>LVA3623</b>	EFFECTIVE DATE <b>07-Nov-2025</b>	TITLE NUMBER	<b>EXPIRES ON</b> <b>31-Mar-2027</b>
MODEL YEAR <b>2015</b>	MAKE <b>CHRY</b>	MODEL <b>TOWN &amp; COUNTRY</b>	MODEL NUMBER	BODY STYLE <b>VAN</b>	COLOR <b>GOLD</b>	VEHICLE IDENTIFICATION NUMBER <b>2C4RC1BG5FR740432</b>	
RESIDENTIAL ADDRESS (IF DIFFERENT THAN MAILING)						TOTAL REGISTERED WEIGHT FOR A COMMERCIAL VEHICLE OR TRAILER	
GARAGE ADDRESS						US DOT NUMBER FOR COMMERCIAL VEHICLE	
<b>143 ESSEX ST STE 721 HAVERHILL MA 01832</b>						INSURANCE COMPANY <b>Arbella Mutual Insurance Company</b>	
NAME(S) OF OWNER(S) AND MAILING ADDRESS <b>NEW ENGLAND HEALTH TRANSPORTATION INC 143 ESSEX ST STE 721 HAVERHILL MA 01832</b>						MAXIMUM SEATING CAPACITY FOR VEHICLES FOR HIRE <b>4</b>	
LESSEE IN CUSTODY OF						<i>Colleen J. O'Connell</i> Registrar of Motor Vehicles	
SPECIAL MESSAGE <b>If this vehicle is newly acquired, it must be inspected within 7 days of registration.</b>					CHANGE OF ADDRESS <input type="checkbox"/> RESIDENTIAL <input type="checkbox"/> MAILING <input type="checkbox"/> GARAGE		

**Important information for vehicle owners**

- **Certificate of Registration:** Every person operating a motor vehicle shall have the Certificate of Registration for the motor vehicle and/or trailer, in the vehicle, in some easily accessible place. The records of the RMV constitute the official status of the vehicle registration.
- **Change of Address:** By law, you must report any change of address to the RMV within 30 days. Visit [Mass.Gov/RMV](http://Mass.Gov/RMV) to change your address. Once you have reported the address change to the RMV, please write corrected address in box provided above.
- **No Insurance Card Required:** Massachusetts law does not require an insurance card. M.G.L. Chapter 90, Section 34, and Chapter 175, Section 113A, requires the vehicle's owner to maintain a compulsory motor vehicle liability insurance policy or bond for bodily injury coverage and property damage insurance. The insurer is required by law to electronically notify the Registry of Motor Vehicles if coverage lapses. The vehicle owner is then notified by the RMV to obtain new insurance within 10 days or the registration will be revoked. Bonds are filed with the State Treasurer's Office.
- **Transferring Your Plates:** Massachusetts General Law (M.G.L. Chapter 90, Section 2) allows you to transfer valid registration plates from this vehicle to a newly acquired new or used motor vehicle or trailer while you obtain insurance and a new registration. See the Transferring a Registration Section on the RMV's website at [Mass.Gov/RMV](http://Mass.Gov/RMV) for more information.
- **Cancel the registration plates if:**
  - The vehicle has been sold or junked and the registration is not going to be transferred to another vehicle.
  - You move to another state and you register the vehicle in that state.
  - The insurance policy is not renewed or is cancelled and there is no plan to obtain a new policy.

Skip the Line, Go Online! Visit [Mass.Gov/RMV](http://Mass.Gov/RMV) for list of available transactions.



# CERTIFICATE OF REGISTRATION

M.G.L. Chapter 90 Section 24B makes it a crime to alter this Certificate  
MASSACHUSETTS DEPARTMENT OF TRANSPORTATION

EXTERNAL CODE LVN	REGISTRATION TYPE Livery Normal	PLATE NUMBER LVA3643	EFFECTIVE DATE 07-Nov-2025	TITLE NUMBER	EXPIRES ON 31-Mar-2027
MODEL YEAR 2016	MAKE DODG	MODEL NUMBER GRAND CARAVAN	COLOR WHITE	VEHICLE IDENTIFICATION NUMBER 2C4RDG6G6GR143789	
RESIDENTIAL ADDRESS (IF DIFFERENT THAN MAILING)					
GARAGE ADDRESS 143 ESSEX ST STE 721 HAVERHILL MA 01832					
NAME(S) OF OWNER(S) AND MAILING ADDRESS NEW ENGLAND HEALTH TRANSPORTATION INC 143 ESSEX ST STE 721 HAVERHILL MA 01832					
INSURANCE COMPANY Arbella Mutual Insurance Company					
US DOT NUMBER FOR COMMERCIAL VEHICLE					
TOTAL REGISTERED WEIGHT FOR A COMMERCIAL VEHICLE OR TRAILER					
MAXIMUM SEATING CAPACITY FOR VEHICLES FOR HIRE 4					
LESSOR'S CUSTODY OF <i>Colleen J. Quinn</i> Registrar of Motor Vehicles					



# CERTIFICATE OF REGISTRATION

M.G.L. Chapter 90 Section 24B makes it a crime to alter this Certificate  
MASSACHUSETTS DEPARTMENT OF TRANSPORTATION

PLATE NUMBER <b>1VN</b> <small>PLATE YEAR</small> 2012 <small>PLATE</small> D000 <small>PLATE</small> G000A01 <small>REGISTRATION</small> 17088382 <small>REGISTRATION</small> VAN <small>COLOR</small> BLACK	REGISTRATION TYPE <b>Every Normal</b> <small>REGISTRATION</small> 01 Mar 2025	LICENSE NUMBER <b>CMA2457</b>	<b>EXPIRES ON</b> 23-Feb-2028
REGISTRATION ADDRESS 1411 NIX X SE STE 721 HAVERTHILL MA 01832 <small>OWNER'S COMPANY AND MAILING ADDRESS</small> NEW ENGLAND HEALTH TRANSPORTATION INC 1411 NIX X SE STE 721 HAVERTHILL MA 01832		LICENSE NUMBER & PLATE NUMBER <b>2CAP000050P229270</b> <small>REGISTRATION WEIGHT CLASSIFICATION</small> 7 <small>REGISTRATION TYPE</small> 7	
CLASSIFIED BY <small>REGISTRATION</small>		INSURANCE COMPANY <b>PROGRESSIVE CASUALTY INSURANCE COMPANY</b> <small>REGISTRATION CAPACITY</small> 7	
CLASSIFIED BY <small>REGISTRATION</small>		REGISTERED BY <i>Colleen J. Cybulski</i> Registrar of Motor Vehicles	
CHANGE OF ADDRESS <input type="checkbox"/> RESIDENTIAL <input type="checkbox"/> MAILING <input type="checkbox"/> GARAGE			

### Important information for vehicle owners

- **Certificate of Registration:** Every person operating a motor vehicle shall have the Certificate of Registration for the motor vehicle and/or trailer, in the vehicle, in some easily accessible place. The records of the RMV constitute the official status of the vehicle registration.
- **Change of Address:** By law, you must report any change of address to the RMV within 30 days. Visit [Mass.Gov/RMV](http://Mass.Gov/RMV) to change your address. Once you have reported the address change to the RMV, please write corrected address in box provided above.
- **No Insurance Card Required:** Massachusetts law does not require an insurance card. M.G.L. Chapter 90, Section 34, and Chapter 175, Section 113A, requires the vehicle's owner to maintain a compulsory motor vehicle liability insurance policy or bond for bodily injury coverage and property damage insurance. The insurer is required by law to electronically notify the Registry of Motor Vehicles if coverage lapses. The vehicle owner is then notified by the RMV to obtain new insurance within 10 days or the registration will be revoked. Bonds are filed with the State Treasurer's Office.
- **Transferring Your Plates:** Massachusetts General Law (M.G.L. Chapter 90, Section 2) allows you to transfer valid registration plates from this vehicle to a newly acquired new or used motor vehicle or trailer while you obtain insurance and a new registration. See the Transferring a Registration Section on the RMV's website at [Mass.Gov/RMV](http://Mass.Gov/RMV) for more information.
- **Cancel the registration plates if:**
  - The vehicle has been sold or junked and the registration is not going to be transferred to another vehicle.
  - You move to another state and you register the vehicle in that state.
  - The insurance policy is not renewed or is cancelled and there is no plan to obtain a new policy.

**Skip the Line, Go Online! Visit [Mass.Gov/RMV](http://Mass.Gov/RMV) for list of available transactions.**



**CERTIFICATE OF REGISTRATION**  
 M.G.L. Chapter 90 Section 24B makes it a crime to alter this Certificate  
 MASSACHUSETTS DEPARTMENT OF TRANSPORTATION

EXTERNAL CODE LVN	REGISTRATION TYPE Livery Normal	PLATE NUMBER LV85419	EFFECTIVE DATE 03-Apr-2026	TITLE NUMBER CA080321	EXPIRES ON 30-Sep-2027
MODEL YEAR 2015	MAKE DODG	MODEL GRACAR	MODEL NUMBER VAN	BODY STYLE VAN	COLOR GREEN
RESIDENTIAL ADDRESS (IF DIFFERENT THAN MAILING)					
GARAGE ADDRESS					
143 ESSEX ST STE 721 HAVERHILL MA 01832					
NAME(S) OF OWNER(S) AND MAILING ADDRESS					
NEW ENGLAND HEALTH TRANSPORTATION INC 143 ESSEX ST STE 721 HAVERHILL MA 01832					
LESSEE/IN CUSTODY OF					
<i>Collins &amp; Spence</i> Registrar of Motor Vehicles					
SPECIAL MESSAGE			CHANGE OF ADDRESS		
If this vehicle is newly acquired, it must be inspected within 7 days of registration.			<input type="checkbox"/> RESIDENTIAL <input type="checkbox"/> MAILING <input type="checkbox"/> GARAGE		

**Important information for vehicle owners**

**Certificate of Registration:** Every person operating a motor vehicle shall have the Certificate of Registration for the motor



Document  
CITY OF HAVERHILL  
In Municipal Council

13.1

JUL 10 AM 8:55  
HAVCITYCLERK

**Ordered:**

That \$953,216 will be transferred from various general fund appropriations to fund FY 2026 operating expenses.

<b>Transfer to: (Budget Deficits)</b>	
Auditing Services / Expenses	\$ 22,500.00
IT Salaries	\$ 14,215.00
Building Maint. Salaries	\$ 3,800.00
Building Maint. Expenses	\$ 4,000.00
Public Health Salaries	\$ 18,565.00
Snow & Ice Salaries	\$ 7,420.00
Snow & Ice Expenses	\$ 369,342.00
Citizens Center Salaries	\$ 3,264.00
Payroll Taxes	\$ 196,183.00
Workers Compensation	\$ 226,014.00
Injured on Duty	\$ 47,448.00
Sick Leave Buyback	\$ 40,001.00
General Liability Insurance	\$ 464.00
	<b>\$ 953,216.00</b>

<b>Transfer from: (Budget Surplus)</b>	
Budget Reserve	\$ 180,000.00
Veterans Expense	\$ 65,000.00
Parks Department Salaries	\$ 40,000.00
Fleet Maintenance Salaries	\$ 85,000.00
Public Works Highway Salaries	\$ 125,000.00
Police Salaries	\$ 300,000.00
Economic Development Salaries	\$ 30,000.00
Inspectional Services Salaries	\$ 25,000.00
City Clerk Salaries	\$ 33,216.00
Constituent Services Salaries	\$ 15,000.00
Treasurer/Collector Salaries	\$ 55,000.00
	<b>\$ 953,216.00</b>

**CITY COUNCIL**

**Timthoy J. Jordan**, *President*  
**John A. Michitson**, *Vice President*  
**Thomas J. Sullivan**  
**Colin F. LePage**  
**Melissa J. Lewandowski**  
**Catherine P. Rogers**  
**Shaun P. Toohey**  
**Michael S. McGonagle**  
**Daniel R. Diodati**  
**Devan Ferreira**  
**Ralph T. Basiliere**



15.1

CITY HALL, ROOM 204  
4 SUMMER STREET  
TELEPHONE: 978-374-2328  
FACSIMILE: 978-374-2329  
[WWW.CITYOFHAVERHILL.GOV](http://WWW.CITYOFHAVERHILL.GOV)  
[CITYCOUNCIL@HAVERHILLMA.GOV](mailto:CITYCOUNCIL@HAVERHILLMA.GOV)

**CITY OF HAVERHILL**

HAVERHILL, MASSACHUSETTS 01830-5843

July 7, 2026

JUL 9 PM8:11  
HAVCITYCLERK

To: President and Members of the City Council

Councilor McGonagle wishes to announce the Public Safety subcommittee meeting on Wednesday, July 29, 2026 at 6PM in Room 202, City Council Chambers.

*Michael S. McGonagle*  
Councilor Michael S. McGonagle

(Meeting: 7.14.26)

**CITY COUNCIL**

**Thomas J. Sullivan**, *President*  
**Timothy J. Jordan**, *Vice President*  
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**CITY OF HAVERHILL**

HAVERHILL, MASSACHUSETTS 01830-5843

**PUBLIC MEETING NOTICE**

July 7, 2026

To: Kaitlin M. Wright, City Clerk  
Re: Public Safety Committee Meeting  
**Wednesday, July 29, 2026, at 6:00 PM**

Dear Ms. Wright:

Please be advised I have scheduled a Public Safety Committee Meeting for Wednesday, July 29, 2026, at 6:00 PM in the City Council Chambers, Room 202, City Hall, 4 Summer Street.

The purpose of the meeting is to discuss the following:

**Doc. 33-F: Motion by Councilor Lewandowski to refer the matter of e-bike safety to committee for further review and discussion**

You can also join the meeting remotely by using the link: <https://meet.google.com/ynp-mrxt-fwx>

Sincerely,

*Michael S. McGonagle*

Michael S. McGonagle, Chairperson  
Public Safety Committee  
Haverhill City Council

MM/lar

c: Public Safety Committee Members, City Council, Mayor Melinda E. Barrett, Christine Lindberg, City Solicitor Lisa Mead, Chief Wayne Tracy, Sgt. Lynch

## Lori Robertson

---

**From:** Erinn Scott <escott@haverhillcommunitytv.org>  
**Sent:** Tuesday, July 7, 2026 8:49 AM  
**To:** Lori Robertson; Matt Belfiore; Dave Shultz; cbowden; cellson; Lindsay Paris; Escott@haverhillcommunitytv.org  
**Subject:** Public Safety Subcommittee Meeting - Wednesday, July 29, 2026, at 6PM (E-Bikes)

Warning! External Email. Exercise caution when opening attachments or clicking on any links. .

~~Warning! External Email. Exercise caution when opening attachments or clicking on any links.~~

Good morning!

**Here is the google link to join the Public Safety Subcommittee on Wednesday, July 29, 2026, at 6PM  
re: E-Bikes.**

<https://meet.google.com/ynp-mrxt-fwx>

Or open Meet and enter this code: ynp-mrxt-fwx

Dial in (audio only): (US) +1 252-986-3362 PIN: 470 779 491#

Erinn E. Scott, Office Manager  
[escott@haverhillcommunitytv.org](mailto:escott@haverhillcommunitytv.org)  
HC Media  
60 Elm St.  
Haverhill, MA 01830  
(978) 372-8070 Ex. 202

# RIDE SAFE.

MADE WITH THE POLICE IN MIND

FOR THE POLICE OFFICERS WHO ENFORCE THE LAWS

OF THE STATE OF MASSACHUSETTS

**KNOW THE LAWS. RIDE RESPONSIBLY. STAY SAFE.**



E-BIKES



MOPEDS



MOTORCYCLES

E-BIKES ARE TREATED AS BICYCLES WITH A MOTOR AND ARE SUBJECT TO THE SAME RULES AS BICYCLES. A LICENSE IS NOT REQUIRED.

MOPEDS AND MOTORIZED BIKES WITH ENGINES UP TO 500CC MAY REQUIRE REGISTRATION AND A VALID LICENSE OR LEARNER'S PERMIT.

MOTORCYCLES WITH LARGER ENGINES MAY REQUIRE MOTORCYCLE REGISTRATION, LICENSE, INSPECTION, AND INSURANCE.

## MASSACHUSETTS LAWS

- 1. E-Bikes must follow the same rules of the road as traditional bicycles.
- 2. Riders must obey all traffic signs and signals.
- 3. Helmets are strongly encouraged and required for riders 16 years of age and under.
- 4. E-Bikes are prohibited from being operated recklessly, on sidewalks in congested areas, or in a manner that endangers pedestrians or motorists.
- 5. Modified or high-speed bikes that exceed legal limits may be considered motor vehicles and subject to registration and licensing requirements.

## MASSACHUSETTS LAWS

- 1. Gas-powered bikes, mopeds, and motorized scooters may require registration depending on engine size (CCs) and vehicle classification.
- 2. Motorized bikes and mopeds with engines up to 50cc generally require registration and a valid driver's license or learner's permit.
- 3. Larger engine sizes may require motorcycle registration, licensing, inspection, and insurance.
- 4. Unregistered or improperly operated motorized vehicles may be subject to enforcement action.

## MASSACHUSETTS LAWS

- 1. Excessive speed.
- 2. Riders failing to obey traffic laws.
- 3. Distracted operation.
- 4. Multiple riders on one bike.
- 5. Operating at night without lights or reflective gear.
- 6. Young operators riding vehicles beyond their legal age limit.

**SERIOUS INJURIES CAN HAPPEN IN SECONDS.**

## SAFETY TIPS

- 1. Always wear a helmet.
- 2. Ride with traffic, not against it.
- 3. Use lights and reflective clothing at night.

- 1. Stay alert and avoid distractions.
- 2. Never assume vehicles can see you.
- 3. Slow down in crowded areas.
- 4. Ensure your bike or scooter is properly registered if required by law.



**LET'S WORK TOGETHER TO KEEP OUR ROADS, SIDEWALKS, AND NEIGHBORHOODS SAFE FOR EVERYONE.**

**RIDE RESPONSIBLY. ARRIVE ALIVE.**

**CITY COUNCIL**

**Timothy J. Jordan**, *President*  
**John A. Michitson**, *Vice President*  
**Thomas J. Sullivan**  
**Colin F. LePage**  
**Melissa J. Lewandowski**  
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**CITY OF HAVERHILL**

HAVERHILL, MASSACHUSETTS 01830-5843

June 23, 2026

JUN 24 AM 10:40  
HVCITYCLERK

To: President and Members of the City Council

Councilors Lewandowski, Toohey, and Vice President Michitson wish to discuss public safety, e-bikes and Governor Healey's Ride Safe Act.

*Melissa J. Lewandowski*  
Councilor Melissa J. Lewandowski (172)

*Shaun P. Toohey*  
Councilor Shaun P. Toohey (172)

*John A. Michitson*  
Vice President John A. Michitson (172)



5.4

MELINDA E. BARRETT  
MAYOR

CITY OF HAVERHILL  
MASSACHUSETTS

CITY HALL, ROOM 100  
FOUR SUMMER STREET  
HAVERHILL, MA 01830  
PHONE 978-374-2300  
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JUN 28 AM 0:35  
HAVERHILL MA

June 26, 2026

To: City Council President Timothy J. Jordan and Members of the Haverhill City Council

From: Mayor Melinda E. Barrett

Re: Mayor on Bill S.3077, *An Act to enhance the safe use of micromobility devices*, otherwise known as the "Ride Safe Act"

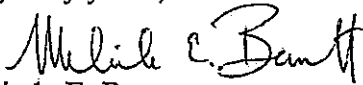
Dear Mr. President and Members of the City Council:

I share your concern about protecting people who use micromobility devices, which have become a common sight on streets and paths across Haverhill and our Commonwealth. We are seeing more accidents in our community, and we have an obligation to keep our roads safe for everyone and prevent tragedies. We have been actively working on an ordinance to regulate emerging transportation technologies in our City, which mirrors Bill S.3077, *An Act to enhance the safe use of micromobility devices*, otherwise known as the Governor's "Ride Safe Act". I plan to present it to council very soon. While our City Solicitor finalizes language, we must act.

I urge you to advocate alongside me for the passage at the state level of the Governor's Ride Safe Act. The bill was filed on May 4, 2026. It builds on recommendations from a statewide commission created under Governor Healey's Mass Leads Act, signed into law in 2024, and responds directly to growing safety concerns on Massachusetts roads, sidewalks and bike lanes. This bill centers safety of vulnerable users while also supporting the use of micromobility as an affordable, convenient transportation option.

Please join me in advocating for the passage of this bill.

Very truly yours,

  
Melinda E. Barret  
Mayor

**SENATE . . . . . No. 3077**

---



OFFICE OF THE GOVERNOR  
**COMMONWEALTH OF MASSACHUSETTS**  
STATE HOUSE · BOSTON, MA 02133  
(617) 725-4000

**MAURAT T. HEALEY**  
GOVERNOR

**KIMBERLEY DRISCOLL**  
LIEUTENANT GOVERNOR

*May 4, 2026*

To the Honorable Senate and House of Representatives,

I am pleased to submit for your consideration An Act to enhance the safe use of micromobility devices (the Ride Safe Act).

On November 20, 2024, I signed into law Chapter 238 of the Acts of 2024, also known as the Mass Leads Act. Section 306 of this law established a special commission to study and recommend ways to regulate micromobility vehicles, including mopeds, electric scooters and e-bikes. The Commission represented legislators and mix of state agencies, advocacy groups, municipalities, business groups and law enforcement. On January 31, 2026, the Commission published and submitted to the Legislature a report detailing a list of recommendations to support and ensure the safe use of micromobility vehicles. The legislation I am filing today builds on the Commission’s approach of centering safety of vulnerable users while also supporting the use of micromobility as an affordable, convenient transportation option.

Micromobility is already part of daily life in Massachusetts for many residents. This legislation provides clear rules to make roads and sidewalks safer, while also reducing traffic, expanding affordable transportation choices, and protecting pedestrians. For example, the bill establishes minimum age requirements for operating certain e-bikes and scooters, requires helmets for specific device categories, and introduces stronger requirements for higher-speed vehicles such as mopeds, including insurance standards. It also sets clear equipment requirements like lights, reflectors, and braking systems to improve visibility and reduce crashes. Together, these updates clarify where devices can operate, such as bike lanes, roadways and sidewalks, while limiting higher speed devices in areas where they pose safety risks.

This legislation will clarify and update current law to unlock new forms of affordable mobility for residents in a safe manner and establish a working group chaired by a designee from the Registry of Motor Vehicles to update crash reporting and explore additional micromobility matters, such as light weight registration options for micromobility devices.

This legislation positions Massachusetts as a national leader by moving beyond device-by-device rules and towards a unified, speed-based framework for all micromobility. It's a smarter, more consistent way to regulate devices based on how fast they go, not just what they're called.

I urge your favorable consideration of this legislation.

Respectfully submitted,

Maura T. Healey,  
*Governor*

**SENATE . . . . . No. 3077**

---

Senate, May 4, 2026 - Message from Her Excellency the Governor recommending legislation to enhance the safe use of micromobility devices.

---

**The Commonwealth of Massachusetts**

\_\_\_\_\_  
In the One Hundred and Ninety-Fourth General Court  
(2025-2026)  
\_\_\_\_\_

An Act to enhance the safe use of micromobility devices.

*Be it enacted by the Senate and House of Representatives in General Court assembled, and by the authority of the same, as follows:*

1           SECTION 1. Section 1 of the chapter 90 of the General Laws, as appearing in the 2024  
2 Official Edition, is hereby amended by inserting after the definition of “Class 2 e-bikes” the  
3 following definition:-

4           “Class 3 e-bikes”, an electric bicycle or tricycle equipped with a motor that provides  
5 assistance only when the rider is pedaling, and that ceases to provide assistance when the bicycle  
6 reaches or exceeds the speed of 28 miles per hour.

7           SECTION 2. Said section 1 of said chapter 90, as so appearing, is hereby further  
8 amended by inserting after the definition of “cross-over mirror” the following definition:-

9           “Cycle”, a powered or unpowered device with functional human powered pedals or a  
10 device without human powered pedals on which a rider is seated during operation, including  
11 bicycles as defined in section 1 of chapter 90E.

12 SECTION 3. Said section 1 of said chapter 90, as so appearing, is hereby further  
13 amended by inserting, in line 104, after the word "bicycle", the second time it appears, the  
14 following words:- , or a class 3 electric bicycle; provided, that the definition of "electric bicycle"  
15 shall not include a motorized bicycle.

16 SECTION 4. Said section 1 is hereby further amended by inserting after the definition of  
17 "Massachusetts License" the following definition:-

18 "Micromobility device", a small, lightweight transportation device intended for personal  
19 use as an alternative to motor vehicles for travel in public access areas including ways, bikeways  
20 or sidewalks, and as may be further defined by regulations promulgated by the registrar;  
21 provided a "micromobility device" shall not include a motor vehicle, motorcycle, motorized  
22 bicycles or mopeds, low speed vehicle, or limited use/low speed motorcycle.

23 SECTION 5. Said section 1 of said section 90, as so appearing, is hereby further  
24 amended by inserting after the definition of "mobile telephone" the following definition:-

25 "Mobility aid device", a device used by a pedestrian with a mobility disability to assist  
26 with indoor and outdoor locomotion including electric personal assistive mobility device  
27 referenced in the definition of vulnerable user definition, group wheelchairs, mobility carts and  
28 other such devices.

29 SECTION 6. Said section 1 of said chapter 90, as so appearing, is hereby further  
30 amended by striking out the definition of "Motorized bicycle" and inserting in place thereof the  
31 following definition:-

32           “Motorized bicycle” or “Moped”, a pedal bicycle which has a helper motor, or a non-  
33 pedal bicycle which has a motor, with either a cylinder capacity not exceeding 50 cubic  
34 centimeters or the hybrid or electric powered equivalent, an automatic transmission, and which is  
35 capable of a maximum speed of no more than 30 miles per hour; provided, that the definition of  
36 “motorized bicycle” shall not include an electric bicycle.

37           SECTION 7. Said section 1 of said chapter 90, as so appearing, is hereby further  
38 amended by striking out the definition of “Motorized scooter”.

39           SECTION 8. Said section 1 of said chapter 90, as so appearing, is hereby further  
40 amended by inserting after the definition of “Police officer” the following definition:-

41           “Powered micromobility device”, A micromobility device that has an onboard motor  
42 capable of delivering tractive power to the device either as power-assist to human powered  
43 propulsion or as sole propulsion or throttle. Powered micromobility devices shall (i) include  
44 electronic scooters, skateboards, hoverboards, unicycles etc. and (ii) exclude mobility aid  
45 devices.

46           SECTION 9. Said section 1 is hereby further amended by inserting after the definition of  
47 “School pupil” the following 2 definitions:-

48           “Scooter”, a powered or unpowered device without pedals where the rider can sit and/or  
49 stand on a footboard for typical operation.

50           “Solely Human Powered or Unpowered micromobility device”, a micromobility device  
51 propelled exclusively by human muscular effort and has no onboard motor capable of delivering  
52 tractive power to the device; provided further that “Solely Human powered micromobility

53 devices shall: (i) include, but not be limited to, non-electric bicycles, unpowered scooters,  
54 skateboards, longboards, unicycles, roller skates, inline skates and other such unpowered  
55 micromobility devices and (ii) not include mobility aid devices.

56 SECTION 10. Section 1B of said chapter 90, as so appearing, is hereby amended by  
57 striking out, in line 1, the word "A" and inserting in place thereof the following words:- A  
58 motorized bicycle shall not be operated upon any way, as defined in section one within the  
59 commonwealth without obtaining an annual registration and sticker or plate bearing a distinctive  
60 number, by application as prescribed by the registrar.

61 SECTION 11. The first paragraph of said section 1B of said chapter 90, as so appearing,  
62 is hereby further amended by striking out the last sentence and inserting in place thereof the  
63 following sentence:- Motorized bicycles shall be excluded from operating on bike lanes and off-  
64 street recreational bicycle paths.

65 SECTION 12. Said section 1B of said chapter 90, as so appearing, is hereby further  
66 amended by adding the following paragraph:-

67 No motorized bicycle shall be registered under this section unless the application therefor  
68 is accompanied by a certificate as defined in section 34A or unless the registrar is otherwise  
69 satisfied that the provision of compulsory liability insurance has been met for such applicant and  
70 motorized bicycle.

71 SECTION 13. Section 1C of said chapter 90, as so appearing, is hereby amended by  
72 striking out, in line 1, the words "and motorized scooters".

73 SECTION 14. Said chapter 90, as so appearing, is hereby amended by striking out  
74 section 1E.

75 SECTION 15. Said chapter 90, as so appearing, is hereby further amended by inserting  
76 after section 2 the following section:-

77 Section 2 ½. Notwithstanding any special or general law to the contrary, the registrar of  
78 motor vehicles may issue number or registration plates of such size and design as determined in  
79 their discretion for motor vehicles or micromobility devices not otherwise defined under section  
80 1; provided that such motor vehicle is not eligible to be registered under chapter 90B. The  
81 registrar may promulgate regulations defining each type of motor vehicle as well as requirements  
82 and any restrictions for registration and operation, equipment, inspections and insurance for such  
83 vehicles.

84 SECTION 16. Section 8B of said chapter 90, as so appearing, is hereby amended by  
85 striking out, in line 20, the words "or motorized scooter,".

86 SECTION 17. Said chapter 90, as so appearing, is hereby further amended by inserting  
87 after section 63 the following section:-

88 Section 64. (a) For purposes of this section, the following terms shall have the following  
89 meanings, unless the context clearly requires otherwise:-

90 "Maximum designed speed tier classification system", the system by which  
91 micromobility devices are categorized by the maximum speed, measured in miles per hour, the  
92 manufacturer designed the device to attain on a flat surface in normal conditions by an average  
93 rider.

94 “Speed Tier 0”, all unpowered micromobility devices and powered micromobility  
95 devices with a maximum manufacturer assisted or designed speed, whichever is higher, of 20  
96 miles per hour, including unpowered micromobility devices, class 1 and class 2 e-bikes and  
97 mobility aid devices.

98 “Speed Tier 1”, powered micromobility devices with a maximum manufacturer assisted  
99 or designed speed, whichever is higher, between 21 miles per hour and 30 miles per hour,  
100 including, but not limited to, class 3 e-bikes.

101 “Speed Tier 2”, powered micromobility devices with a maximum manufacturer assisted  
102 or designed speed, whichever is higher, between 31 miles per hour and 40 miles per hour,  
103 provided that speed tier 2 shall not include, but not be limited to, low speed vehicles, limited use  
104 motorcycles or low speed motorcycles.

105 “Speed Tier 3”, powered micromobility devices with a maximum manufacturer assisted  
106 or designed speed, whichever is higher, greater than 40 miles per hour.

107 (b) Except as otherwise provided by state or federal law or regulations of the registrar,  
108 powered micromobility devices sold, leased, rented or operated in the commonwealth shall have  
109 a minimum battery rating of UL 2271 or equivalent standard.

110 (c) Except as otherwise provided by state or federal law or regulations of the registrar,  
111 powered micromobility devices sold, leased, rented or operated in the commonwealth, except e-  
112 bikes, shall have a minimum electrical system level rating of UL 2272 or equivalent standard.  
113 Electric bicycles sold, leased, rented or operated in the commonwealth shall have a minimum  
114 electrical system level rating of UL 2849 or equivalent standard.

115 (d) (1) (A) Except as otherwise required by state or federal law or regulations of the  
116 registrar, speed tier 0 and speed tier 1 micromobility devices sold, leased, rented or operated in  
117 the commonwealth shall be equipped with lights, brakes and an audible warning that satisfy the  
118 requirements of Section 11B of Chapter 85 and federal requirements for bicycle reflectors and  
119 brakes established in 16 C.F.R. Part 1512.

120 (B) Except as otherwise required by state or federal law or regulations of the registrar,  
121 speed tier 2 and speed tier 3 micromobility devices sold, leased, rented or operated in the  
122 commonwealth shall be equipped with lights, brakes and a horn that satisfy the requirements for  
123 motor vehicles established in 49 C.F.R. 571.

124 (2) (A) Except as otherwise provided by state or federal law or regulations of the  
125 registrar, any person 16 years of age or younger operating a speed tier 0 micromobility device,  
126 except for a mobility aid device, or being carried as a passenger on such micromobility device on  
127 a public way, bicycle path or on any other public right-of-way shall wear a helmet. Said helmet  
128 shall fit the person's head, shall be secured to the person's head by straps while the micromobility  
129 device is being operated, and shall meet the standards for helmets established by the United  
130 States Consumer Product Safety Commission pursuant to 16 C.F.R. 1203. These requirements  
131 shall not apply to a passenger if the passenger is in an enclosed trailer or other device which  
132 adequately holds the passenger in place and protects the passenger's head from impact in a crash.

133 (B) Except as otherwise provided by state or federal law or regulations of the registrar, a  
134 person operating a speed tier 1, 2 or 3 micromobility device or riding as a passenger on a  
135 micromobility device, shall wear protective headgear conforming with such minimum standards  
136 of construction and performance as the registrar may prescribe, and no person operating such a

137 micromobility device shall permit any other person to ride as a passenger on such micromobility  
138 device unless such passenger is wearing such protective headgear.

139 (3) Except as otherwise required by state or federal law or regulations of the registrar, it  
140 shall be unlawful for any person younger than 16 years of age to purchase, rent, lease or operate  
141 any micromobility device designated as a speed tier 1, speed tier 2, or speed tier 3 micromobility  
142 device; provided, however this restriction shall not apply to mobility aid devices.

143 (4) It shall be unlawful to operate a micromobility device with more passengers than the  
144 device was designed to accommodate by the manufacturer, except as may be allowed by  
145 regulation.

146 (5) (A) Except as otherwise provided by state or federal law or regulations of the  
147 registrar, speed tier 0 micromobility devices and the operator of a speed tier 0 micromobility  
148 device shall be afforded all of the rights and privileges, and shall be subject to all of the duties, of  
149 the operator of a bicycle or duties related to a bicycle set forth in sections 11B and 11B½ of  
150 chapter 85, or any other general or special law, regulation or local ordinance.

151 (B) Except as otherwise provided by state or federal law or regulations of the registrar,  
152 speed tier 1 micromobility devices and the operator of such speed tier 1 micromobility device  
153 shall be afforded all of the rights and privileges, and shall be subject to all of the duties, of the  
154 operator of an electric bicycle or duties related to an electric bicycle set forth in section 11B¾ of  
155 chapter 85, or any other general or special law, regulation or local ordinance.

156 (C) Except as otherwise provided by state or federal law or regulations of the registrar, it  
157 shall be unlawful for any speed tier 2 or speed tier 3 micromobility devices to travel on

158 sidewalks, in bike lanes, bike paths, bike routes, separated micromobility lanes, or shared use  
159 paths.

160 (e) It shall be unlawful to make any aftermarket modifications to a micromobility device  
161 to increase either (i) the manufacturer designed speed or propulsion power of a micromobility  
162 device or (ii) the manufacturer designed passenger capacity of a micromobility device, except as  
163 may be allowed by regulation.

164 (f) No micromobility device shall be sold, rented, leased or operated in the  
165 commonwealth if it does not satisfy the requirements of this section for the device's respective  
166 speed tier based on the device's maximum manufacturer assisted or designed speed, whichever is  
167 higher.

168 (g) Micromobility devices shall be subject to any speed limits and speed restrictions for  
169 motor vehicles established by (i) municipalities or the division of highways of the Massachusetts  
170 Department of Transportation pursuant to sections 17 and 18 of chapter 90; (ii) regulations of the  
171 division of highways of the Massachusetts Department of Transportation under chapter 90E; or  
172 (iii) rules or regulations of the department of conservation. Violation of such speed limits and  
173 speed restrictions shall be subject to all civil and criminal fines applicable to the operation of a  
174 motor vehicle in violation of such speed limits and restrictions. Micromobility devices shall also  
175 be subject to all civil and criminal fines and penalties applicable to the operation of a motor  
176 vehicle under sections 24 through 24R, inclusive, section 24V and section 25 of chapter 90,  
177 provided that administrative penalties shall not apply, unless provided by regulations of the  
178 registrar.

179 (h) The registrar may promulgate regulations establishing registration, licensure,  
180 insurance, fines and other requirements for micromobility devices necessary to promote public  
181 and roadway safety.

182 SECTION 18. Section 1 of chapter 90E of the General Laws, as appearing in the 2024  
183 Official Edition, is hereby amended by striking out the definition of “Bike path” and inserting in  
184 place thereof the following definition:-

185 “Bike path”, a route for the exclusive use of bicycles and speed tier 0 or speed tier 1  
186 micromobility devices, separated by grade or other physical barrier from motor traffic; provided,  
187 however, that motorized bicycles shall not be permitted to use bike paths.

188 SECTION 19. Said section 1 of said chapter 90E, as so appearing, is hereby further  
189 amended by striking the definition of “bike lane” and inserting in place thereof the following:-

190 “Bike lane”, a lane on a street restricted to bicycles and speed tier 0 or speed tier 1  
191 micromobility devices and so designated by means of painted lines, pavement coloring or other  
192 appropriate markings; provided that motorized bicycles shall not be permitted to use bike lanes.

193 SECTION 20. Said section 1 of said chapter 90E, as so appearing, is hereby further  
194 amended by striking out the definition of “bike route” and inserting in place thereof the  
195 following definition:-

196 “Bike route”, a roadway shared by bicycles, micromobility devices and other forms of  
197 transportation designated by the means of signs or pavement markings.

198 SECTION 21. Said section 1 of said chapter 90E, as so appearing, is hereby further  
199 amended by striking the definition of “bicycle parking facility” and inserting in place thereof the  
200 following:-

201 “Bicycle parking facility”, any facility for the temporary storage of bicycles or  
202 micromobility devices which allows the frame and the wheels of the bicycle or micromobility  
203 device to be locked so as to minimize the risk of theft and vandalism.

204 SECTION 22. Said section 1 of said chapter 90E, as so appearing, is hereby further  
205 amended by inserting after the definition of “commissioner” the following definition:-

206 “Shared use path”, a path intended for transportation or recreational use that is designed  
207 for people of all ages and abilities on foot or using motorized or non-motorized micromobility  
208 devices and is physically separated from motorized vehicle traffic within a highway right-of-way  
209 or an independent right-of-way with few crossflows with motor vehicles.

210 SECTION 23. There shall be a working group consisting of the registrar of motor  
211 vehicles or their designee, the administrator of the Massachusetts Department of Transportation  
212 highway division or their designee, the secretary of the executive office of public safety and  
213 security or their designee, the commissioner of the division of insurance or their designee, the  
214 commissioner of the department of conservation and recreation or their designee, the  
215 commissioner of the department of public health or their designee, 1 representative of the  
216 Massachusetts Municipal Association who shall appointed by the secretary of transportation, 1  
217 representative of the micromobility device industry who shall be appointed by the secretary of  
218 transportation, 1 representative of a citizen advocacy group appointed by the secretary of  
219 transportation and 1 representative of the Massachusetts Chiefs of Police Association appointed

220 by the secretary of the executive office of public safety and security. The working group shall be  
221 chaired by the registrar of motor vehicles or their designee.

222 The working group shall develop recommendations for a regulatory scheme and  
223 additional legislation for the operation of micromobility devices, as provided in the report of  
224 Special Commission on Micromobility and as specified in this section. The working group shall  
225 make recommendations for requirements for micromobility registration or identification decal,  
226 licensure to operate, clarify the roles of dealers and manufacturers, education, speed restrictions,  
227 signage, travel allowances, insurance requirements, fines and penalties and additional operation  
228 and safety standards and requirements for micromobility devices.

229 The working group shall develop a standardized form to report crashes and incidents  
230 involving a motor vehicle, a vulnerable user or any micromobility device, as defined in section 1  
231 of chapter 90 of the General Laws. The standardized form shall be used by any municipal,  
232 county or state law enforcement official or emergency medical services provider who responds  
233 to a crash or incident involving a motor vehicle and a vulnerable user. The corresponding report  
234 for each crash or incident shall be transmitted to the registrar of motor vehicles. The registrar of  
235 motor vehicles shall maintain a publicly accessible database of the standardized form reports;  
236 provided, however, that no personally identifying information shall be published in the database.

237 The working group shall complete its work and issue a report of its findings and  
238 recommendations by December 31, 2027 to be published on its website.

239 SECTION 24. Sections 7, 10, 13, 14 and 16 through 22, inclusive, of this act shall take  
240 effect on January 1, 2028.

**CITY COUNCIL**

Timthoy J. Jordan, *President*  
 John A. Michitson, *Vice President*  
 Thomas J. Sullivan  
 Colin F. LePage  
 Melissa J. Lewandowski  
 Catherine P. Rogers  
 Shaun P. Toohey  
 Michael S. McGonagle  
 Daniel R. Diodati  
 Devan Ferreira  
 Ralph T. Basiliere



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**CITY OF HAVERHILL**

HAVERHILL, MASSACHUSETTS 01830-5843

JUL 9 PM 3:10  
 HAVERHILL CITY CLERK

**DOCUMENTS REFERRED TO COMMITTEE STUDY**

Document Number	Motion Details	Committee	Date Sent
103-HH	Motion by Councilor Michitson to send the Home Rule Petition – <i>An Act Establishing Guidelines for the Installation and Use of Electric Vehicle Charging Stations in the City of Haverhill</i> to committee in order to coordinate with condominium associations.	A&F	12/23/23
40	Motion by Councilor Lewandowski to send updated <i>Cannabis Social Equity Best Practices</i> for the Cannabis Control Commission to A&F for further review.	A&F	4/2/24
12-S	Motion by Councilor Ferreira to send the City’s Swimming Ordinance (Chapter 193, Article III) and related items at Lake Saltonstall (Plug Pond) to NRPP for further discussion.	NRPP	6/18/24
33-F	Motion by Councilor Basiliere to send resident winter parking concerns and offer suggestions for improvements to the Public Health & Safety Committee.	Public Health & Safety	3/11/25
33-L	Motion by Councilor Lewandowski to send Bill 3360 (vacancy tax on residential properties) for review, along with further review of the Massachusetts Vacant Storefront Program (MVSP).	Planning & Development	6/24/25
33-P	Motion by Councilor Ferreira to send for review the City’s local strategies regarding traffic and safety, including evaluation of intersections at Amesbury Line Road and Merrimac Road for public safety improvements.	Public Health & Safety	9/16/25
94-B	Motion by Councilor Ferreira to review and update standards of Chapter 250, Article VI of the Haverhill Zoning Code regarding water use restrictions established in 2016.	Planning & Development	9/16/25
33-T	Motion by Councilor Lewandowski to establish a working group, as previously discussed, to implement a control management plan for vegetation in Riverside Park / Edible Avenue along the river.	NRPP	9/30/25
85-E	Motion by Councilor Michitson to send Judi Barrett’s progress report on the fiscal impact analysis prepared for the Council for further discussion.	Planning & Development	12/9/25
1-F	Motion by Councilor Lewandowski to send for discussion the establishment or formalization of an ordinance regarding a water conservation program.	Planning & Development	1/27/26
1-Q / 1-QQ	Motion by Councilor Lewandowski to send for further discussion amendments to Chapter 216 – Snow and Ice Removal, including changes to Sections 1-16, Article 1, Chapter 1 (General Provisions), to increase fines for violations.	Public Health & Safety	3/17/26

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**CITY OF HAVERHILL**

HAVERHILL, MASSACHUSETTS 01830-5843

<b>Document Number</b>	<b>Motion Details</b>	<b>Committee</b>	<b>Date Sent</b>
21-B	Motion by Councilor Sullivan to send for further discussion Chapter 255-Zoning Ordinance and Zoning Map – Battery Energy Storage Systems Overlay District (BESS)	Planning & Development	5/19/26
32-C	Motion by Councilor McGonagle to send for further discussion fixed vendor locations	NRPP	6/16/26
33-F	Motion by Councilor Lewandowski to refer matter of e-bike safety for further review and discussion	Public Safety	6/30/26