

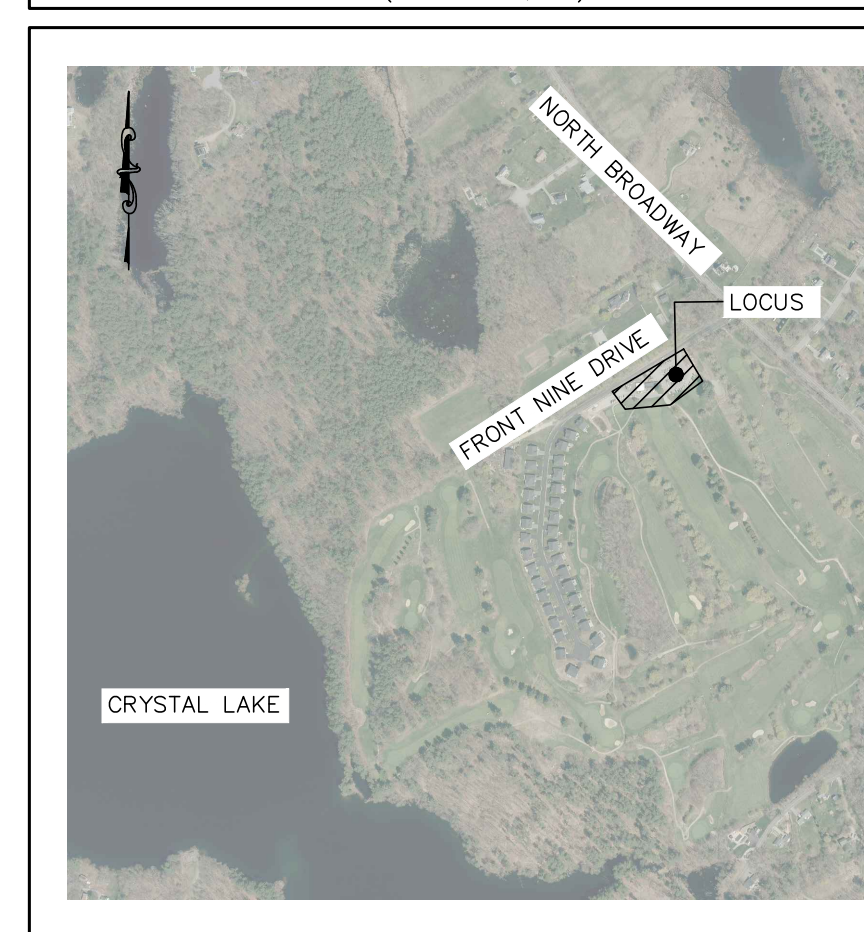
NOTES:

- LOCATION: 890-940 NORTH BROADWAY
HAVERHILL, MA 01832
PARCEL ID: M 575-2-8
- DEED: SOUTHERN ESSEX DISTRICT
REGISTRY OF DEEDS
BOOK 38727 PAGE 171
- ZONE: RURAL RESIDENTIAL (RR)
- USE: GOLF COURSE
- APPLICANT: STERLING GOLF MANAGEMENT INC.
212 KENDRICK STREET
NEWTON, MA 02458
- OWNER: STERLING GOLF CRYSTAL LAKE LLC
212 KENDRICK ST.
NEWTON, MA 02458
- EXISTING CONDITIONS INFORMATION GENERATED FROM AN ON THE
GROUND SURVEY PERFORMED BY SEC & ASSOCIATES, INC. IN JUNE
2024 AND CIVIL DESIGN CONSULTANTS INC. IN MAY 2025.
- PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA
PER FLOOD INSURANCE RATE MAP NUMBER 25009C0067G DATED JULY
8, 2025.
- ALL ELEVATIONS REFER TO THE NATIONAL GEODETIC VERTICAL DATUM
(NAVD88), PER GPS OBSERVATIONS.
- UTILITY LOCATIONS ARE SHOWN PER READILY AVAILABLE RECORD
INFORMATION AND OBSERVABLE FIELD EVIDENCE. OTHER UNDERGROUND
UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THIS PLAN. CDG
MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITY
INFORMATION. 72 HOURS PRIOR TO ANY EXCAVATION ON SITE, THE
CONTRACTOR SHALL CONTACT DIG-SAFE AT 811.
- WETLANDS DELINEATED BY NORSE ENVIRONMENTAL SERVICES, INC., 2100
LAKEVIEW AVE UNIT 3A DRACUT, MA 01826, IN APRIL 2025.

SITE DEVELOPMENT PLANS FOR 890 NORTH BROADWAY (MAP 575/ BLOCK 2/ LOT 8) HAVERHILL, MA 01832

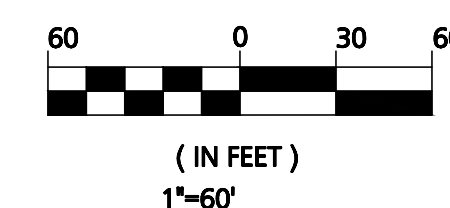
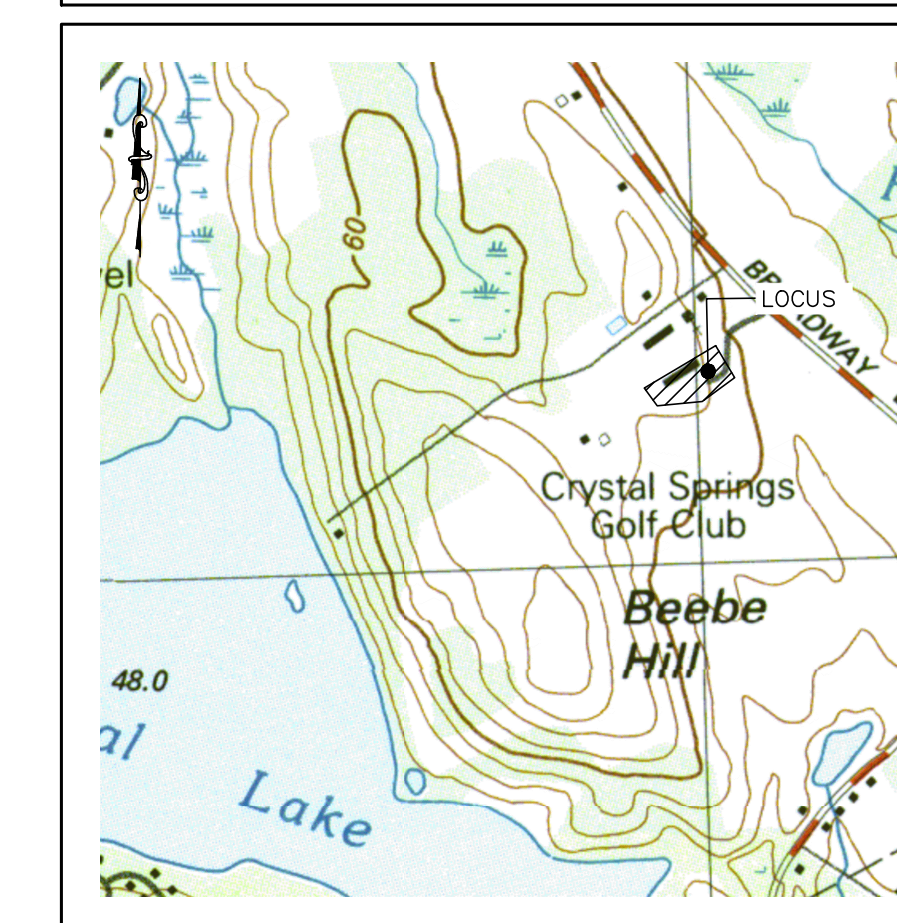
LOCUS MAP

(SCALE: 1:1,000)



USGS MAP

(SCALE: 1:1,000)



PLAN INDEX:

TITLE	DATE ISSUED	REVISED
C-1 COVER SHEET	02/26/26	05/11/26
C-2 EXISTING CONDITIONS PLAN	02/26/26	05/11/26
C-3 SEDIMENTATION & EROSION CONTROL PLAN	02/26/26	05/11/26
C-3 LAYOUT & MATERIALS PLAN	02/26/26	05/11/26
C-4 GRADING & DRAINAGE PLAN	02/26/26	05/11/26
C-5 UTILITIES PLAN	02/26/26	05/11/26
D-1 CONSTRUCTION DETAILS	02/26/26	-
D-2 CONSTRUCTION DETAILS	02/26/26	-
D-3 CONSTRUCTION DETAILS	02/26/26	05/11/26
D-4 CONSTRUCTION DETAILS	05/11/26	-

CIVIL ABBREVIATIONS

AD	ALGEBRAIC DIFFERENCE
ADD INFO	ADDITIONAL INFORMATION
APPROX	APPROXIMATE
BIT CONC	BITUMINOUS CONCRETE
BC	BOTTOM OF CURB
BLDG	BUILDING
BW	BOTTOM OF WALL
BT	BOTTOM
CB	CATCH BASIN
CO	CLEAN OUT
CONFIG	CONFIGURATION
CONC	CONCRETE
CMP	CORRUGATED METAL PIPE
DICL	DUCTILE IRON CEMENT LINED
DMH	DRAIN MANHOLE
DYCL	DOUBLE YELLOW CENTERLINE
ELE	ELEVATION
EOP	EDGE OF PAVEMENT
ETC	ELECTRIC TELEPHONE CABLE
EX	EXISTING
FM	FORCE MAIN
FMCO	FORCE MAIN CLEANOUT
FT	FEET
GFA	GROSS FLOOR AREA
GV	GAS VALVE
HDPE	HIGH DENSITY POLYETHYLENE
HP	HIGH POINT
HYD	HYDRANT
I(I)	INVERT IN
I(O)	INVERT OUT
LOC	LOCATION
LOW	LIMIT OF WORK
MW	MONITORING WELL
N/F	NOW OR FORMERLY
PC	POINT OF CURVATURE
PCB	PROPOSED CATCH BASIN
PDMH	PROPOSED DRAIN MANHOLE
PFES	PROPOSED FLARED END SECTION
PHW	PROPOSED HEADWALL
POS	PROPOSED OUTLET STRUCTURE
PS	PUMP STATION
PSMH	PROPOSED SEWER MANHOLE
PROP	PROPOSED
PT	POINT OF TANGENCY
PVC	PIPE POLYVINYL CHLORIDE PIPE
PVT	POINT OF VERTICAL CURVATURE
R	RADIUS
REP	REINFORCED CONCRETE PIPE
RET	RETAINING
ROW	RIGHT OF WAY
SF	SQUARE FEET
SGC	SLOPED GRANITE CURB
SMH	SEWER MANHOLE
STA	STATION
SWL	SOLID WHITE LINE
SYL	SOLID YELLOW LINE
TBM	TEMPORARY BENCH MARK
TC	TOP OF CURB
TW	TOP OF WALL
TP	TEST PIT
TYP	TYPICAL
UP	UTILITY POLE
VGC	VERTICAL GRANITE CURB
W/	WITH

DATE	REV. PER CEI COMMENTS
05/11/2026	REV. PER CEI COMMENTS
REVISIONS	DESCRIPTION

OWNER / APPLICANT:
STERLING GOLF MANAGEMENT, INC.
212 KENDRICK STREET
NEWTON, MA 02458

PROJECT:
890 NORTH BROADWAY

HAVERHILL, MA 01832

DATE ISSUED: NOVEMBER 7, 2025

PROJECT #: 24-10594

PREPARED BY: TJS

PROFESSIONAL ENGINEER FOR CIVIL DESIGN
CONSULTANTS, INC.

CIVIL
DESIGN
CONSULTANTS, INC.

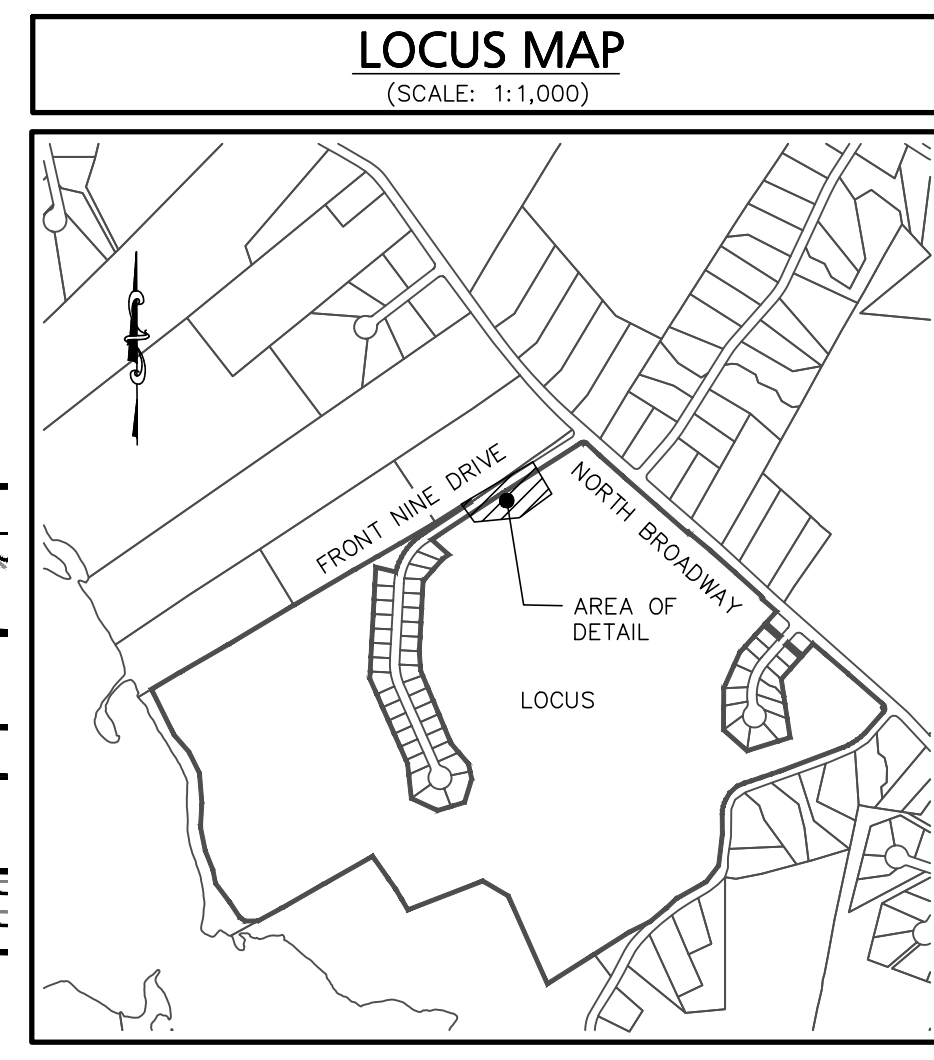
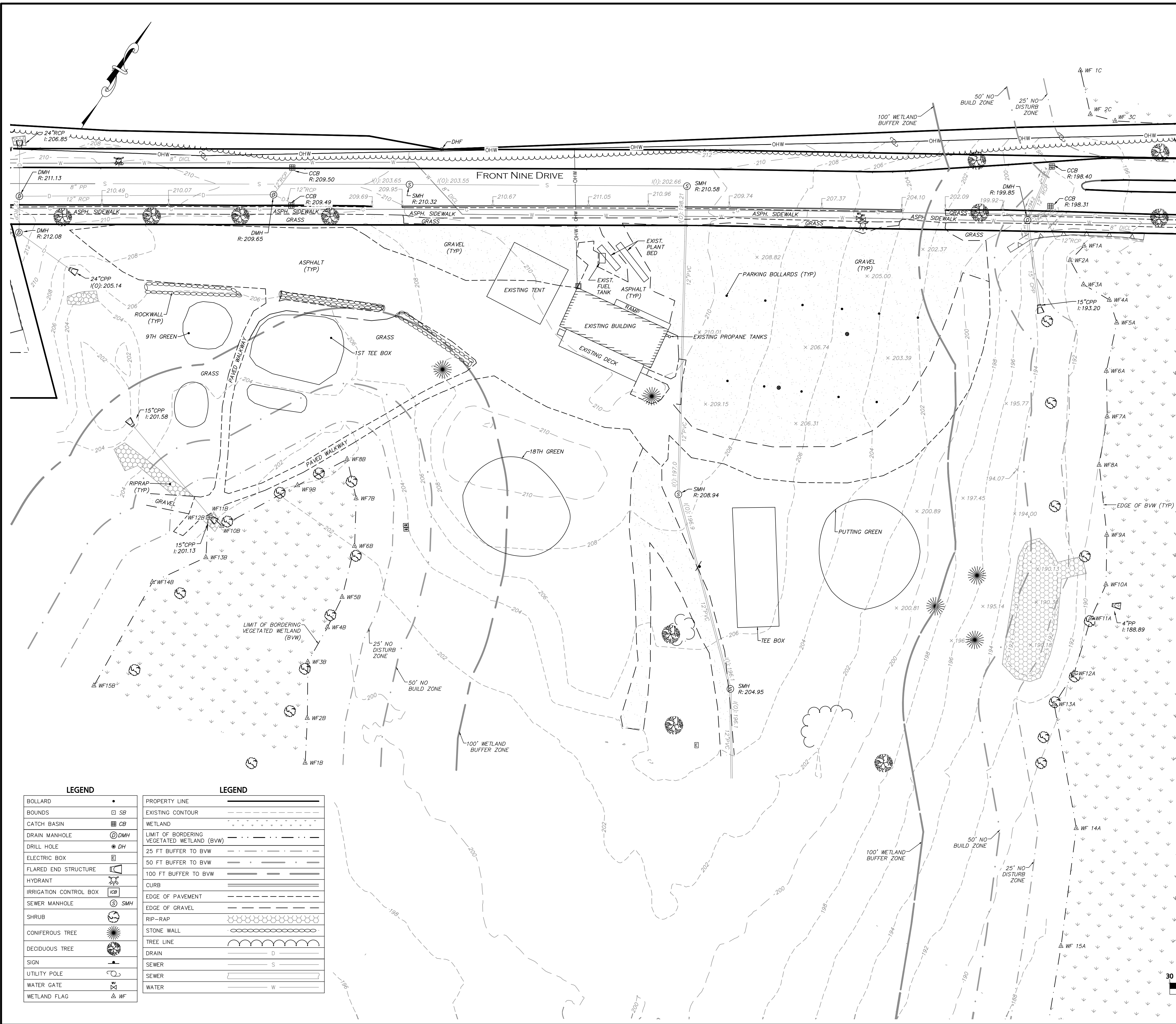
344 North Main Street | Andover - MA 01810
(978) 416-0920 | www.civildesign.com

DRAWING TITLE:
COVER SHEET

DRAWING #:

C-1

ISSUED FOR REVIEW: MAY 11, 2026



- NOTES:**
1. LOCATION: 890-940 NORTH BROADWAY HAVERHILL, MA 01832 PARCEL ID: M 575-2-8
 2. DEED: SOUTHERN ESSEX DISTRICT REGISTRY OF DEEDS BOOK 36727 PAGE 171
 3. ZONE: RURAL RESIDENTIAL (RR)
 4. USE: GOLF COURSE
 5. APPLICANT: STERLING GOLF MANAGEMENT INC. 212 KENRICK STREET NEWTON, MA 02458
 6. OWNER: STERLING GOLF CRYSTAL LAKE LLC 212 KENRICK ST. NEWTON, MA 02458
 7. EXISTING CONDITIONS INFORMATION GENERATED FROM AN ON THE GROUND SURVEY PERFORMED BY SEC & ASSOCIATES, INC. IN JUNE 2024 AND CIVIL DESIGN CONSULTANTS INC. IN MAY 2025.
 8. PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FLOOD HAZARD AREA PER FLOOD INSURANCE RATE MAP NUMBER 25009C00676 DATED JULY 8, 2025.
 9. ALL ELEVATIONS REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (NAVD88), PER GPS OBSERVATIONS.
 10. UTILITY LOCATIONS ARE SHOWN PER READILY AVAILABLE RECORD INFORMATION AND OBSERVABLE FIELD EVIDENCE. OTHER UNDERGROUND UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THIS PLAN. CDCI MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITY INFORMATION. 72 HOURS PRIOR TO ANY EXCAVATION ON SITE, THE CONTRACTOR SHALL CONTACT DIG-SAFE AT 811.
 11. WETLANDS DELINEATED BY NORSE ENVIRONMENTAL SERVICES, INC., 2100 LAKEVIEW AVE UNIT 3A DRACUT, MA 01826, IN APRIL 2025 & MAY 2026.

DATE	DESCRIPTION
05/11/2026	ADDITIONAL WETLAND FLAGS

PREPARED FOR:
STERLING GOLF MANAGEMENT, INC
 212 KENRICK STREET
 NEWTON, MA 02458

PROJECT:
890 NORTH BROADWAY
 HAVERHILL, MA 01832

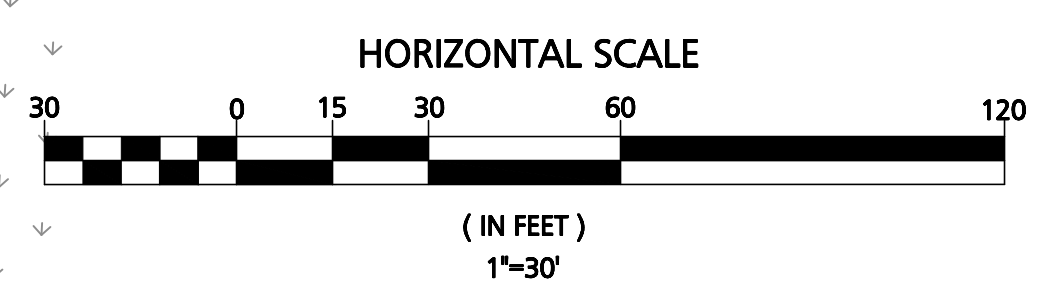
DATE ISSUED: MAY 1, 2026
 PROJECT #: 24-10594
 PREPARED BY: MEY / LRD

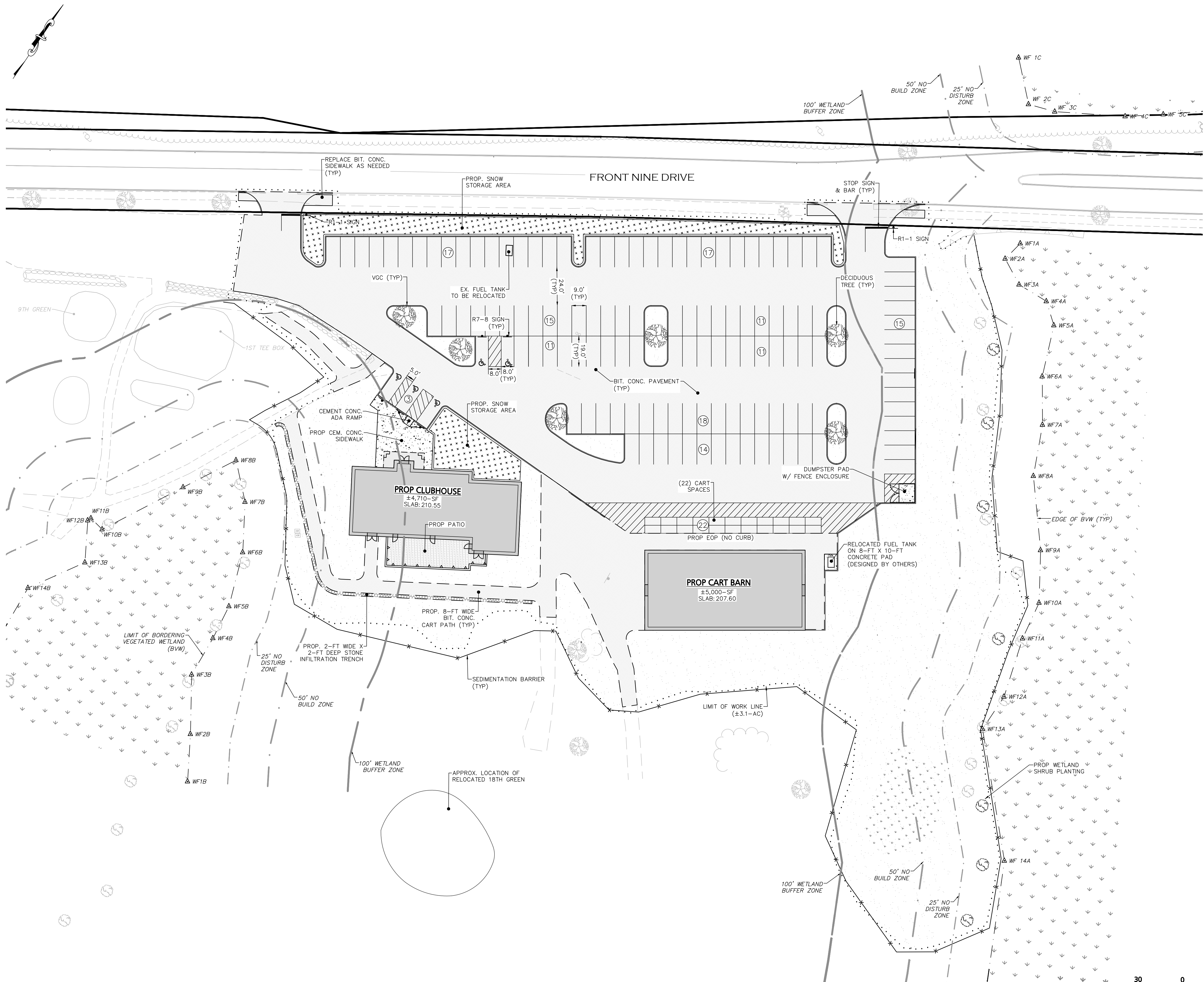
5/11/26
 PROFESSIONAL LAND SURVEYOR FOR CIVIL DESIGN CONSULTANTS, INC.

DRAWING TITLE:
EXISTING CONDITIONS PLAN

DRAWING #:
C-2

LEGEND	LEGEND
BOLLARD	PROPERTY LINE
BOUNDS	EXISTING CONTOUR
CATCH BASIN	WETLAND
DRAIN MANHOLE	LIMIT OF BORDERING VEGETATED WETLAND (BVW)
DRILL HOLE	25 FT BUFFER TO BVW
ELECTRIC BOX	50 FT BUFFER TO BVW
FLARED END STRUCTURE	100 FT BUFFER TO BVW
HYDRANT	CURB
IRRIGATION CONTROL BOX	EDGE OF PAVEMENT
SEWER MANHOLE	EDGE OF GRAVEL
SHRUB	RIP-RAP
CONIFEROUS TREE	STONE WALL
DECIDUOUS TREE	TREE LINE
DRAIN	DRAIN
SIGN	SEWER
UTILITY POLE	SEWER
WATER GATE	WATER
WETLAND FLAG	





LAND USE TABLE		
LOCATION:	890 NORTH BROADWAY (MAP 575/ BLOCK 2/ LOT 8)	
ZONE:	RURAL RESIDENTIAL (RR) SPECIAL CONSERVATION (SC)	
USE:	GOLF COURSE	
ITEM	RR	PROP. CLUBHOUSE
MINIMUM LOT AREA	80,000-SF	125.35-AC
MINIMUM LOT FRONTAGE	200-FT	943.0-FT(FRONT NINE DR.) 1,343.1-FT(NORTH BROADWAY)
MINIMUM FRONT SETBACK(1)	40-FT	157.8-FT(FRONT NINE DR.) 403.2-FT(NORTH BROADWAY)
MINIMUM SIDE SETBACK	25-FT	>500-FT
MINIMUM REAR SETBACK	40-FT	>40-FT

- A CORNER LOT SHALL HAVE MINIMUM STREET YARDS WITH DEPTHS WHICH SHALL BE THE SAME AS THE REQUIRED FRONT YARD DEPTHS FOR THE ADJOINING LOTS
- IN ALL RESIDENTIAL AND COMMERCIAL DISTRICTS, A DETACHED ACCESSORY BUILDING SHALL CONFORM TO THE FOLLOWING PROVISIONS: IT SHALL NOT OCCUPY MORE THAN 25% OF THE AREA OF THE REAR YARD; IT SHALL NOT BE LESS THAN 20 FEET FROM THE FRONT STREET LINE, NOR LESS THAN FIVE FEET FROM ANY OTHER LOT LINE OR FROM ANY PRINCIPAL BUILDING; AND IT SHALL NOT EXCEED 20 FEET IN HEIGHT.

PARKING CALCULATIONS:	
GOLF COURSE & ASSOCIATED CLUBHOUSE :	1 SPACE / 100-SF OF GFA
	4,760-SF / 100 SF/SPACE
	48 SPACES
	132 SPACES PROVIDED (5 ADA SPACES)

DATE	REV. PER CEI COMMENTS	DESCRIPTION
05/11/2026	REV. PER CEI COMMENTS	

OWNER / APPLICANT:
STERLING GOLF MANAGEMENT, INC.
 212 KENDRICK STREET
 NEWTON, MA 02458

PROJECT:
890 NORTH BROADWAY
 HAVERHILL, MA 01832

DATE ISSUED:	FEBRUARY 26, 2026
PROJECT #:	24-10594
PREPARED BY:	MAC

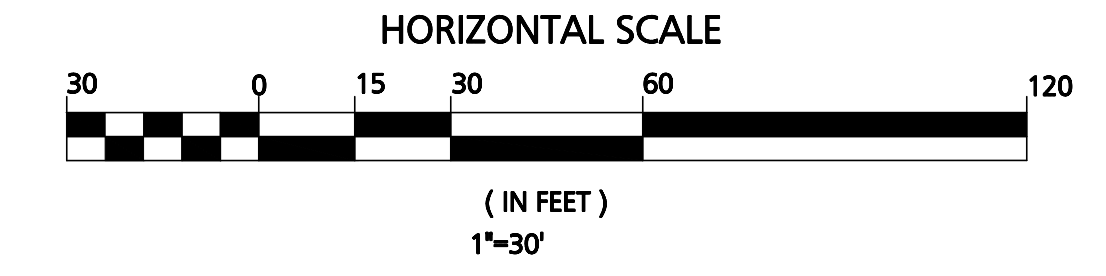


PROFESSIONAL ENGINEER FOR CIVIL DESIGN
 CONSULTANTS, INC.

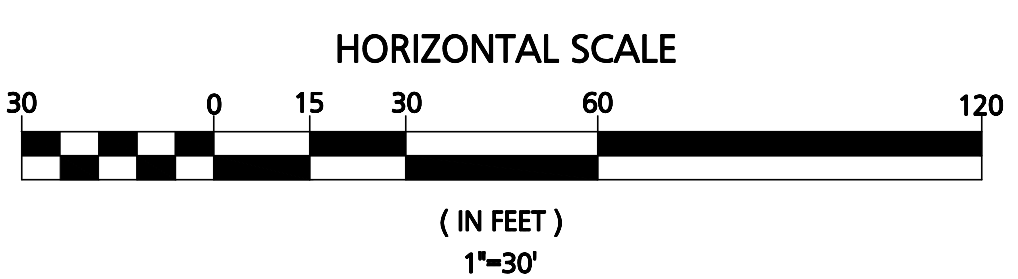
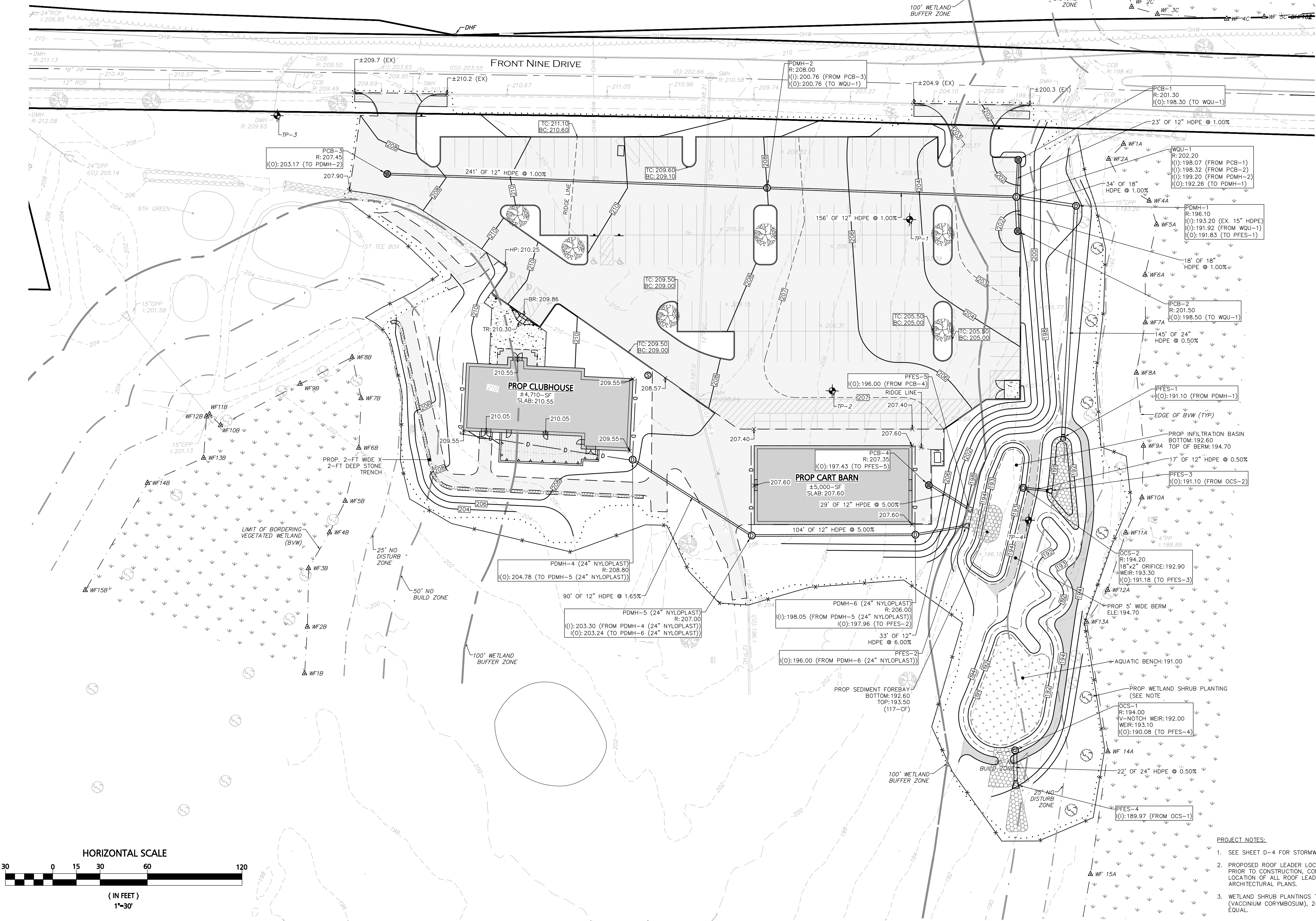
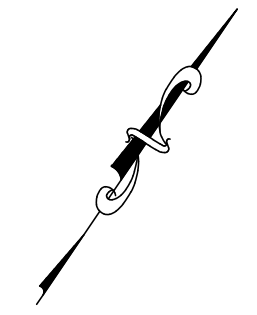


DRAWING TITLE:
LAYOUT & MATERIALS PLAN

DRAWING #:



C-4



- PROJECT NOTES:**
- SEE SHEET D-4 FOR STORMWATER MANAGEMENT DETAILS.
 - PROPOSED ROOF LEADER LOCATION IS CONCEPTUAL IN NATURE. PRIOR TO CONSTRUCTION, CONTRACTOR TO COORDINATE THE EXACT LOCATION OF ALL ROOF LEADERS AND DOWNSPOUTS WITH THE ARCHITECTURAL PLANS.
 - WETLAND SHRUB PLANTINGS TO BE HIGHBUSH BLUEBERRY (VACCINIUM CORYMBOSUM), 24" TO 36" IN HEIGHT OR APPROVED EQUAL.

DATE	REV. PER CEI COMMENTS	DESCRIPTION
05/11/2026	REV. PER CEI COMMENTS	

OWNER / APPLICANT:
STERLING GOLF MANAGEMENT, INC.
 212 KENDRICK STREET
 NEWTON, MA 02458

PROJECT:
890 NORTH BROADWAY
 HAVERHILL, MA 01832

DATE ISSUED: FEBRUARY 26, 2026
PROJECT #: 24-10594
PREPARED BY: MAC

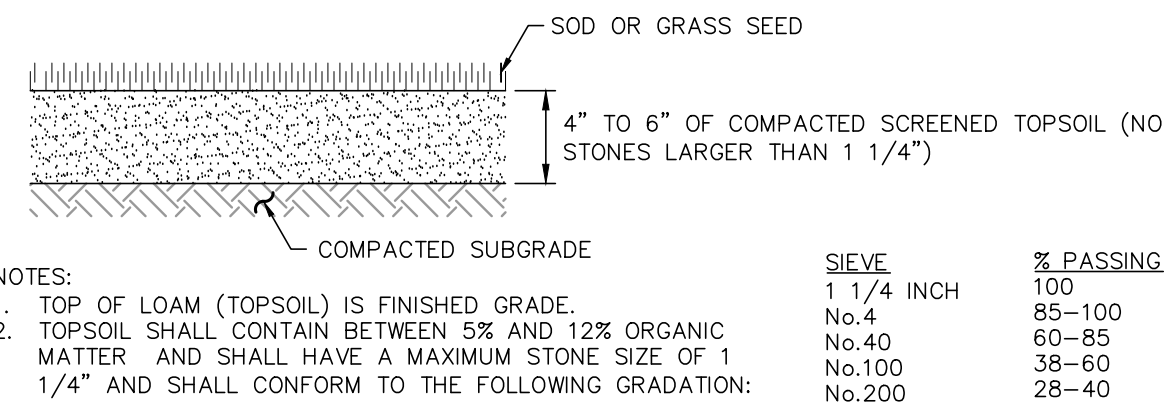


PROFESSIONAL ENGINEER FOR CIVIL DESIGN
 CONSULTANTS, INC.



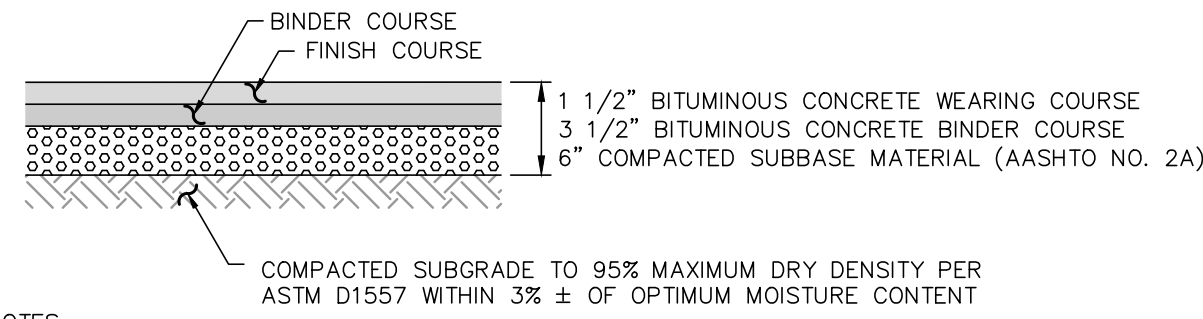
DRAWING TITLE:
GRADING & DRAINAGE PLAN

DRAWING #:
C-5



- NOTES:
- | NOTES: | SIEVE | % PASSING |
|---|------------|-----------|
| 1. TOP OF LOAM (TOPSOIL) IS FINISHED GRADE. | 1 1/4 INCH | 100 |
| 2. TOPSOIL SHALL CONTAIN BETWEEN 5% AND 12% ORGANIC MATTER AND SHALL HAVE A MAXIMUM STONE SIZE OF 1 1/4\" | No.4 | 85-100 |
| | No.40 | 60-85 |
| | No.100 | 38-60 |
| | No.200 | 28-40 |

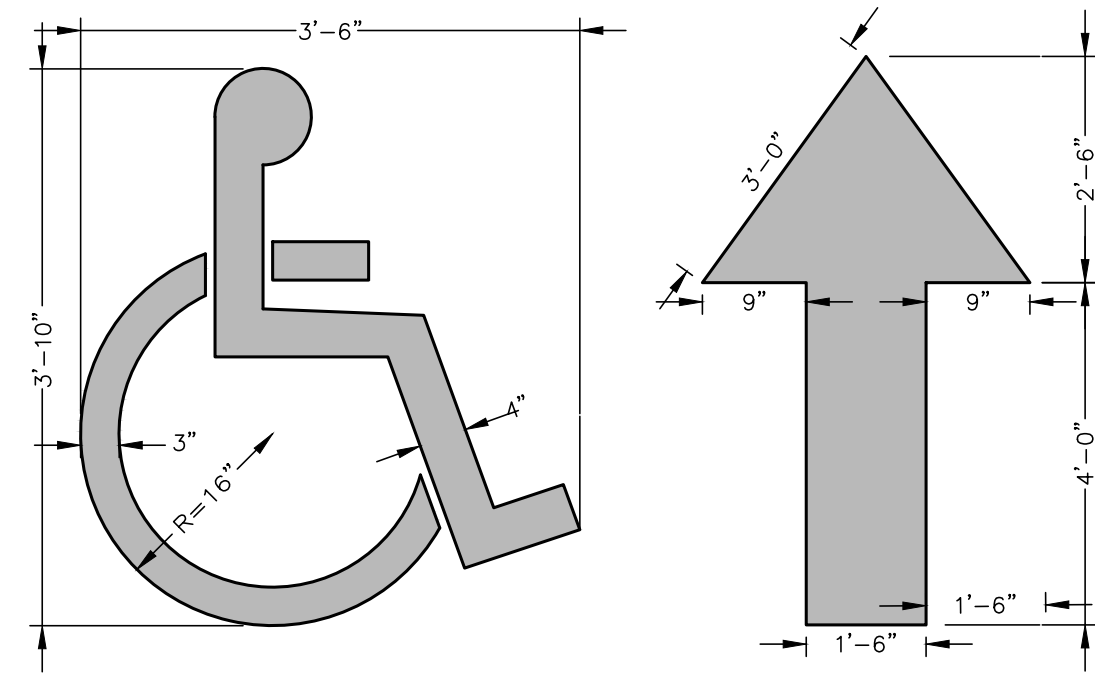
LANDSCAPED AREA CROSS SECTION
NOT TO SCALE



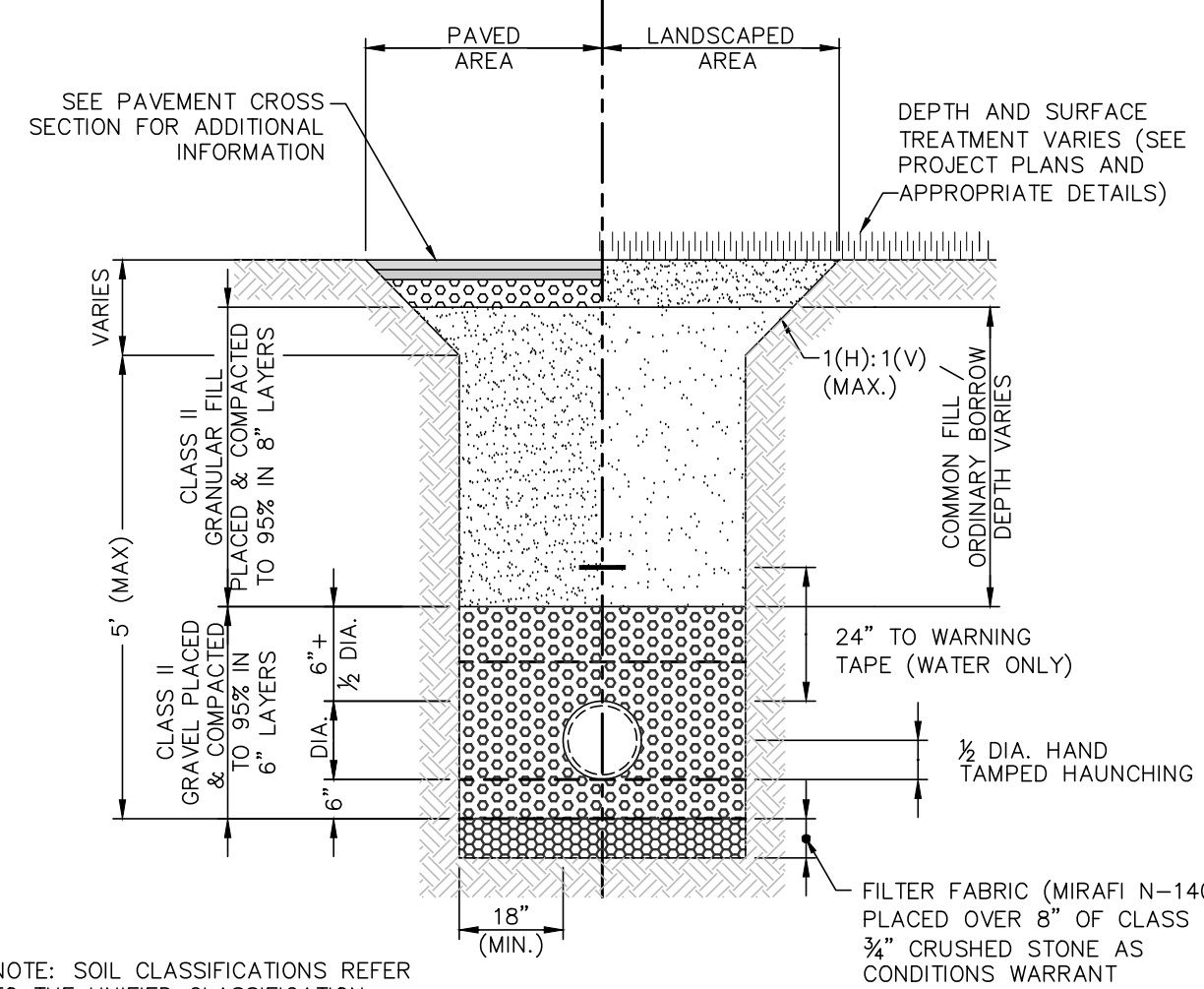
- NOTES:
- OWNER'S ENGINEER RESERVES THE RIGHT TO REQUEST COMPACTION TESTS AND/OR CORE SAMPLES. IF TESTS ARE BEYOND THOSE REQUIRED BY THE SPECIFICATIONS AND PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF THE OWNER, OTHERWISE THE CONTRACTOR WILL BE RESPONSIBLE FOR TESTING COST.
 - PAVEMENT SECTIONS ARE SUBJECT TO CHANGE AND WILL BE BASED ON THE RESULTS OF FURTHER GEOTECHNICAL INVESTIGATIONS.

STANDARD DUTY BITUMINOUS CONCRETE PAVEMENT
NOT TO SCALE

TYPICAL SURFACE TREATMENT CROSS SECTIONS

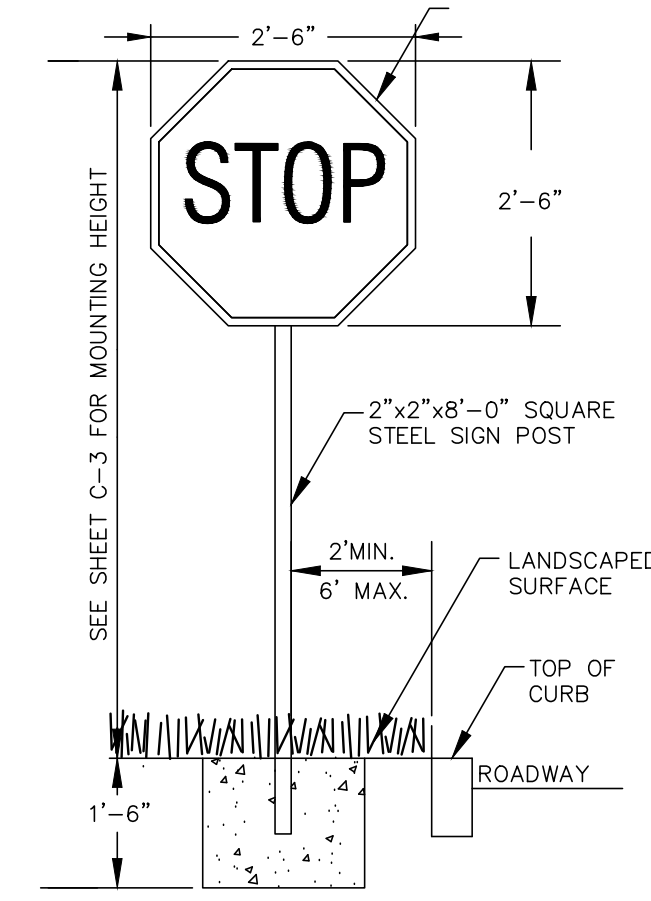


PAVEMENT MARKING DETAIL
NOT TO SCALE

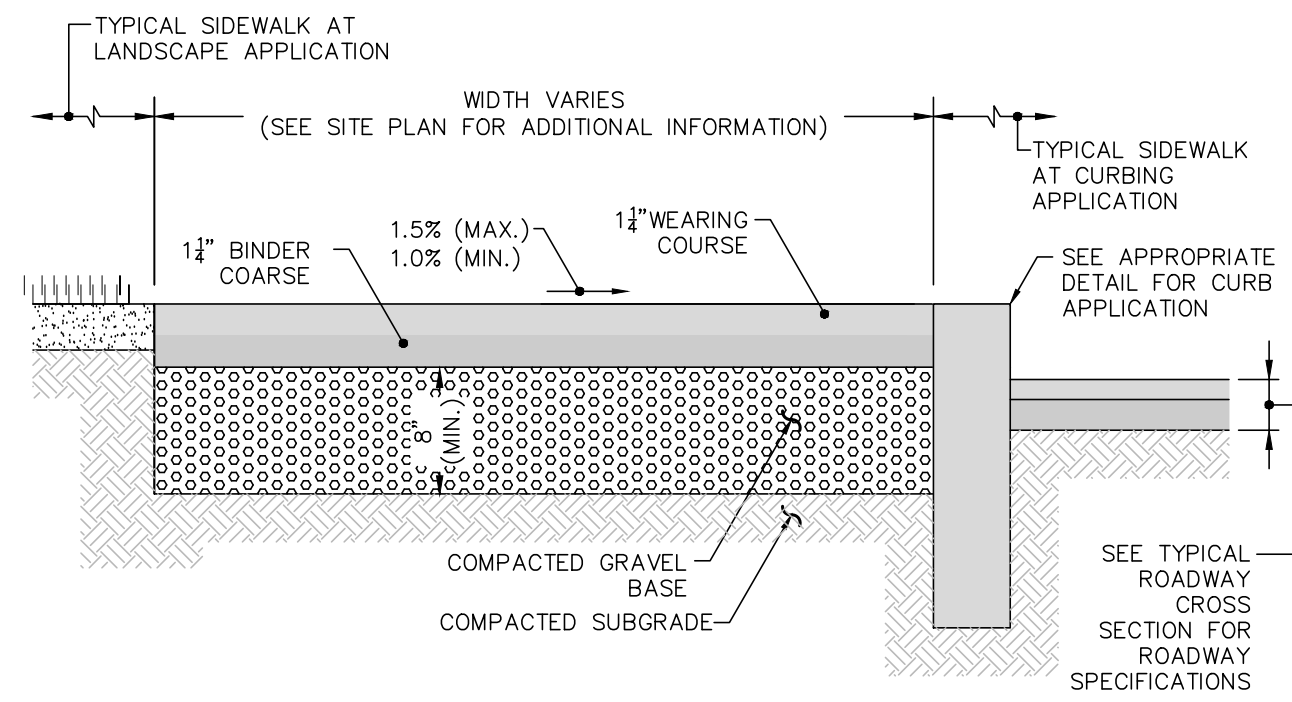


- NOTE: SOIL CLASSIFICATIONS REFER TO THE UNIFIED CLASSIFICATION SYSTEM ASTM D2487 & D2321.

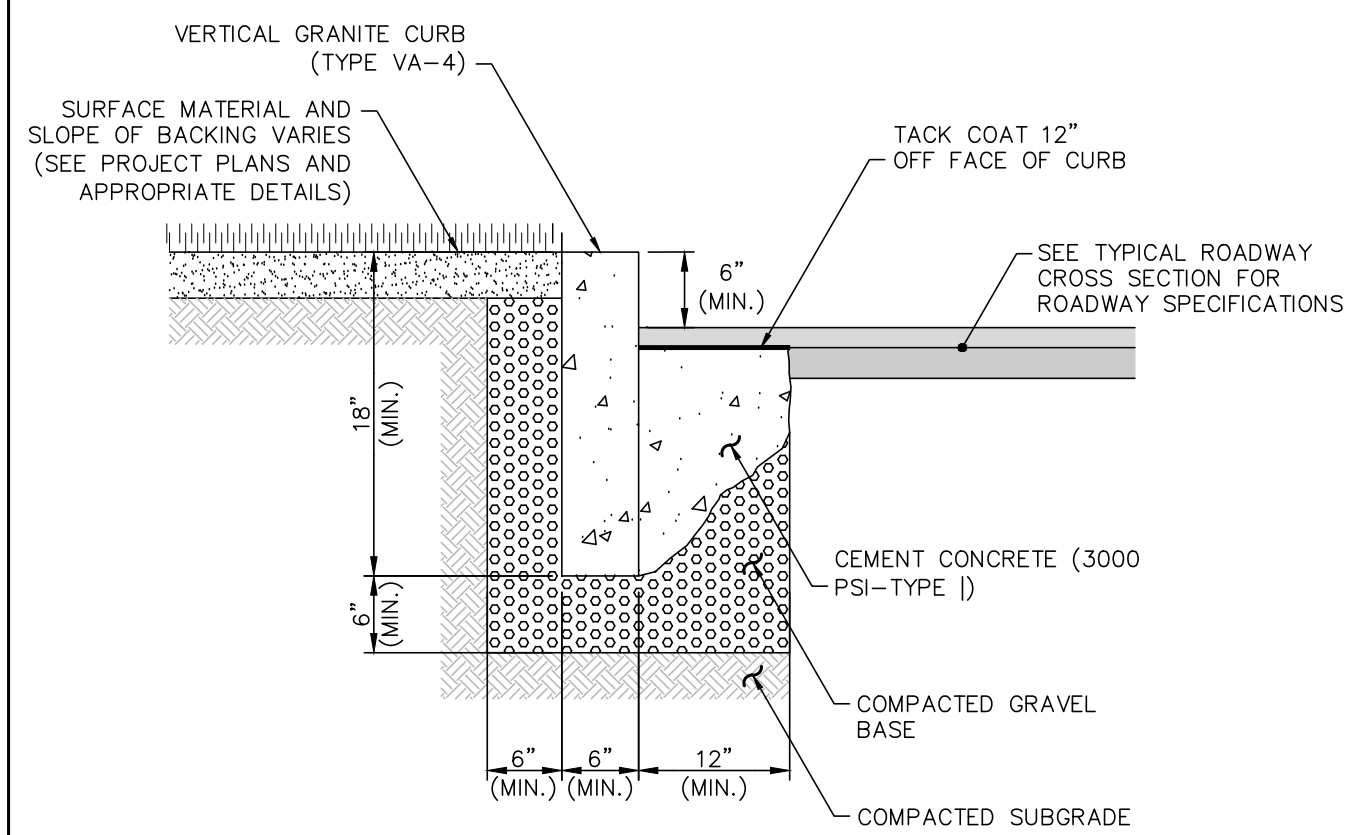
TYPICAL UTILITY TRENCH DETAIL
NOT TO SCALE



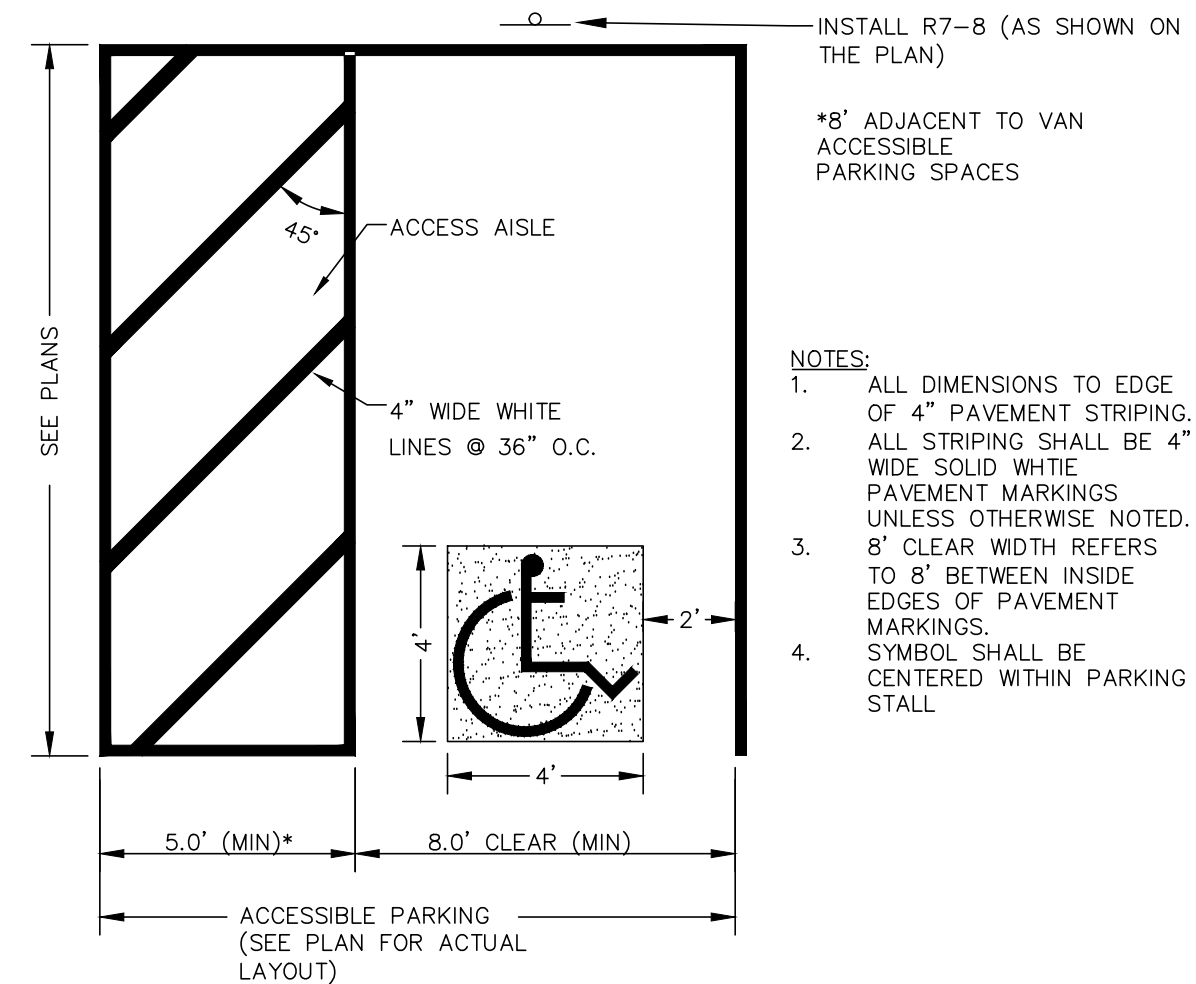
TYPICAL SIGN DETAIL
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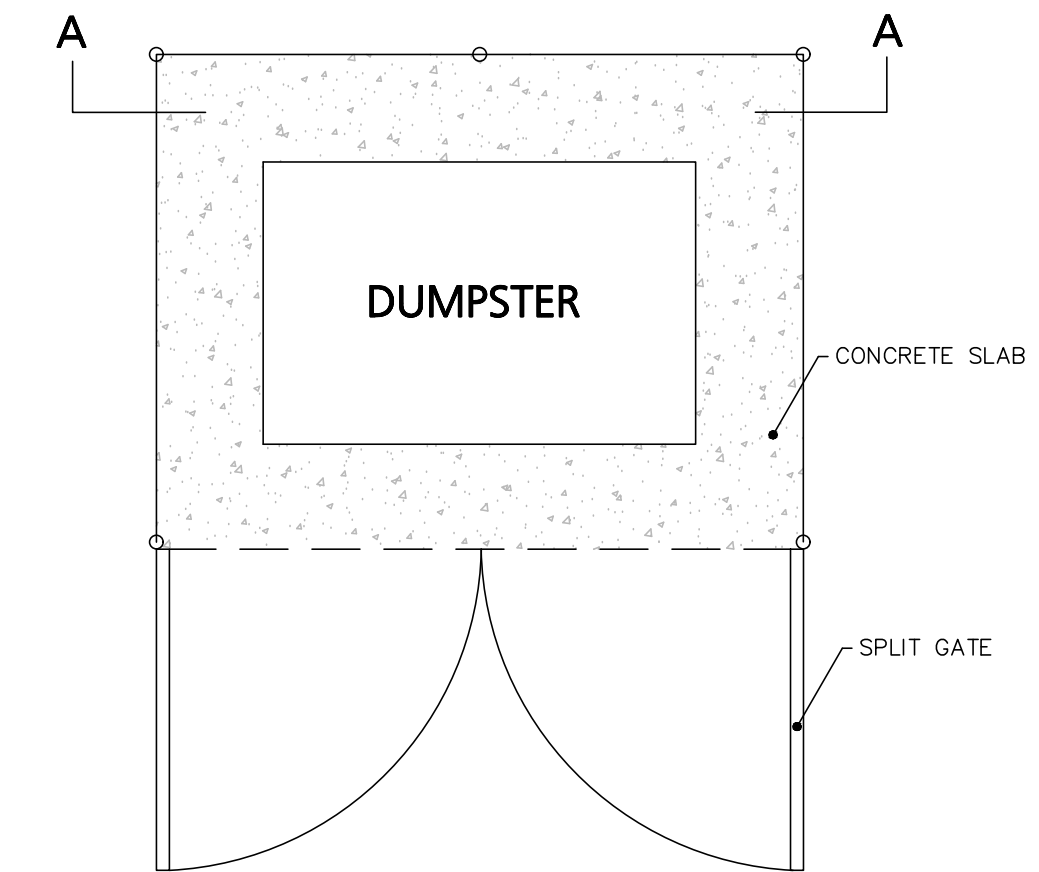
TYPICAL BITUMINOUS CONCRETE SIDEWALK
NOT TO SCALE



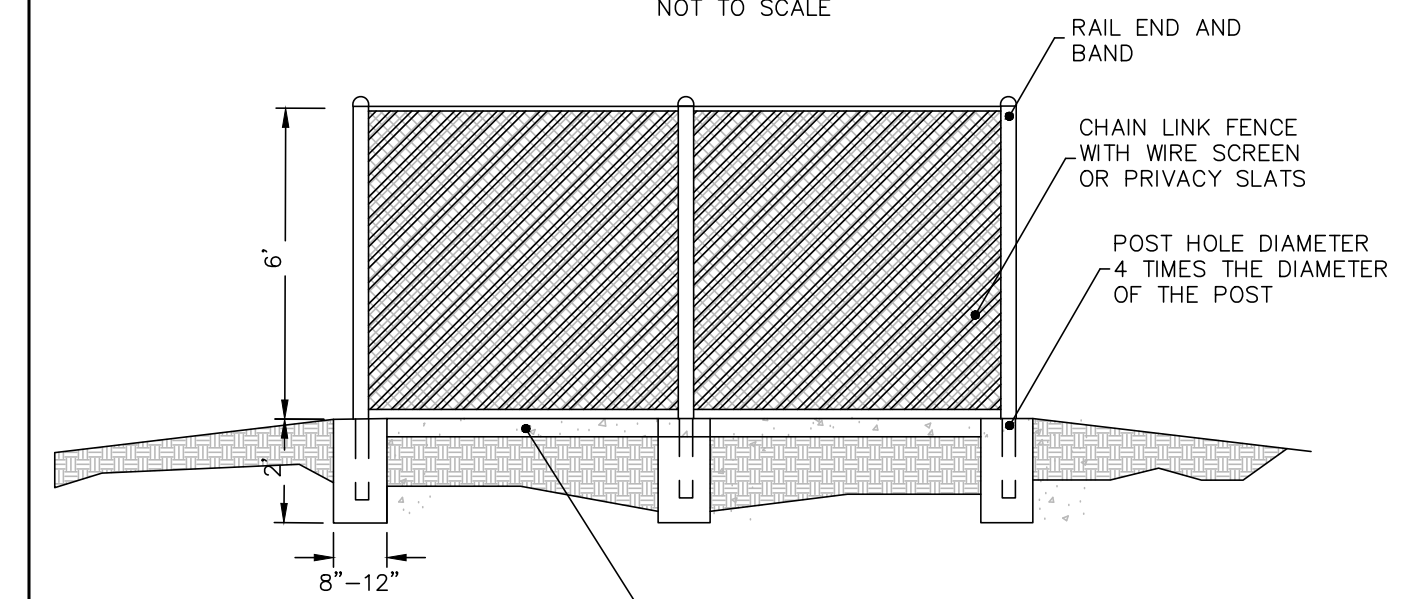
VERTICAL GRANITE CURB
NOT TO SCALE



ACCESSIBLE PARKING SPACE
NOT TO SCALE

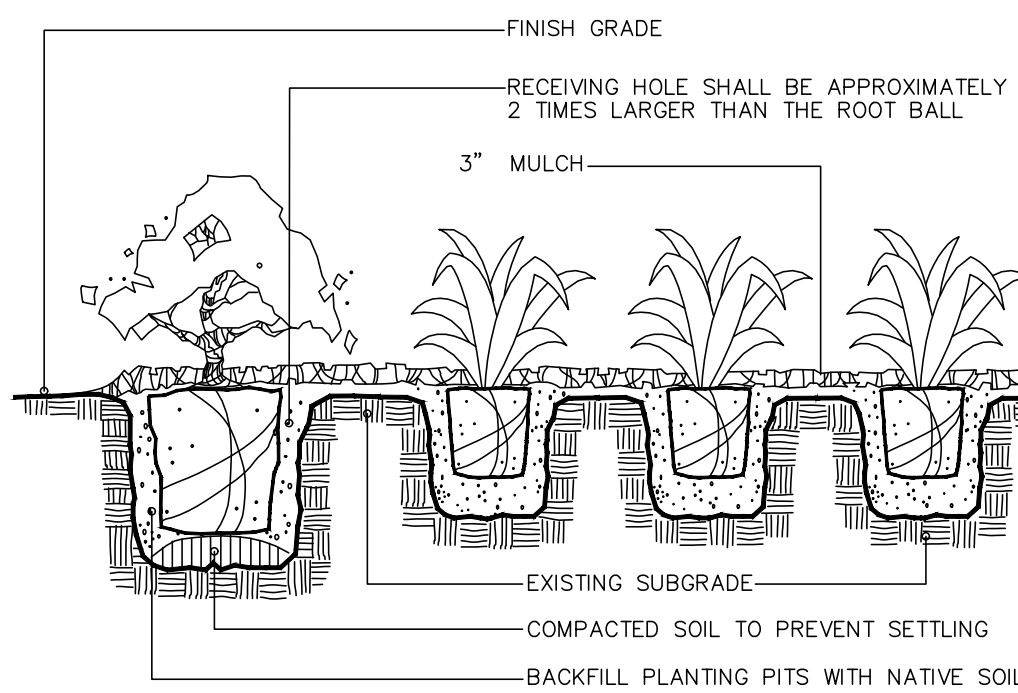


PLAN VIEW
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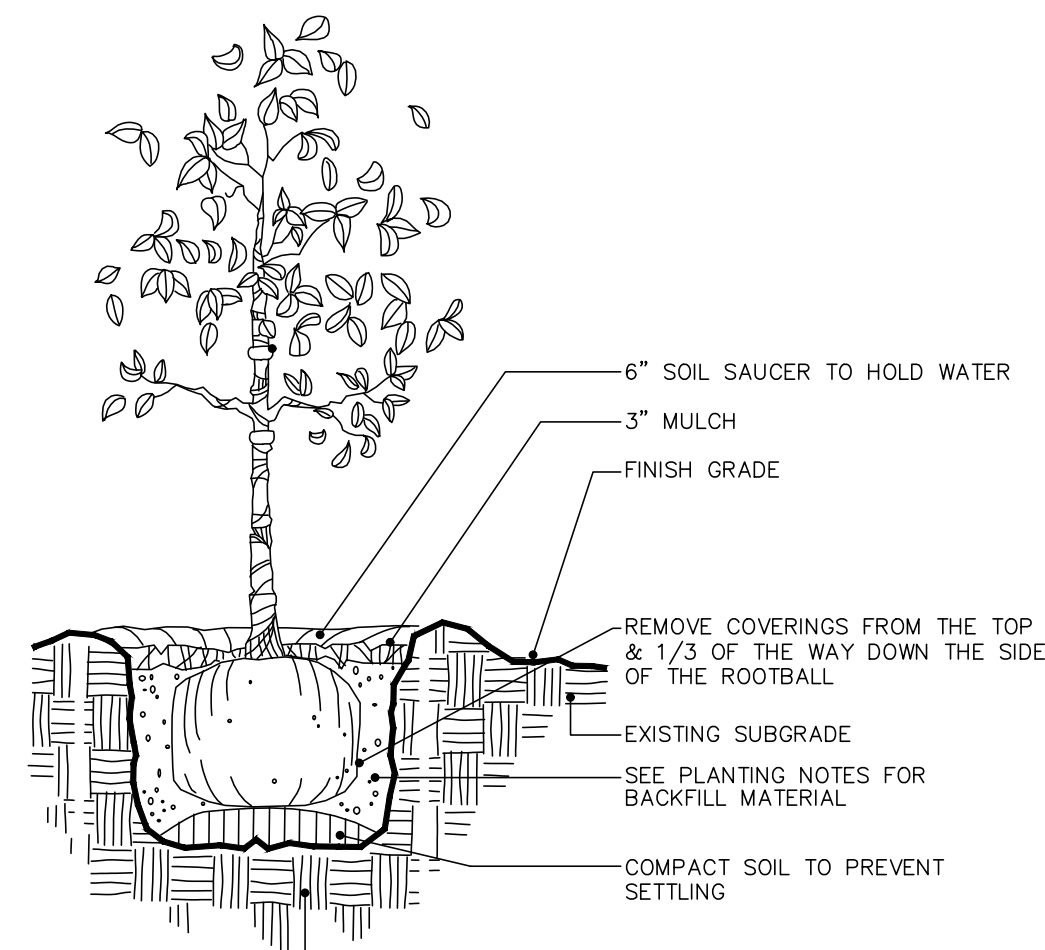
SECTION A-A
NOT TO SCALE

CHAINLINK DUMPSTER ENCLOSURE
NOT TO SCALE

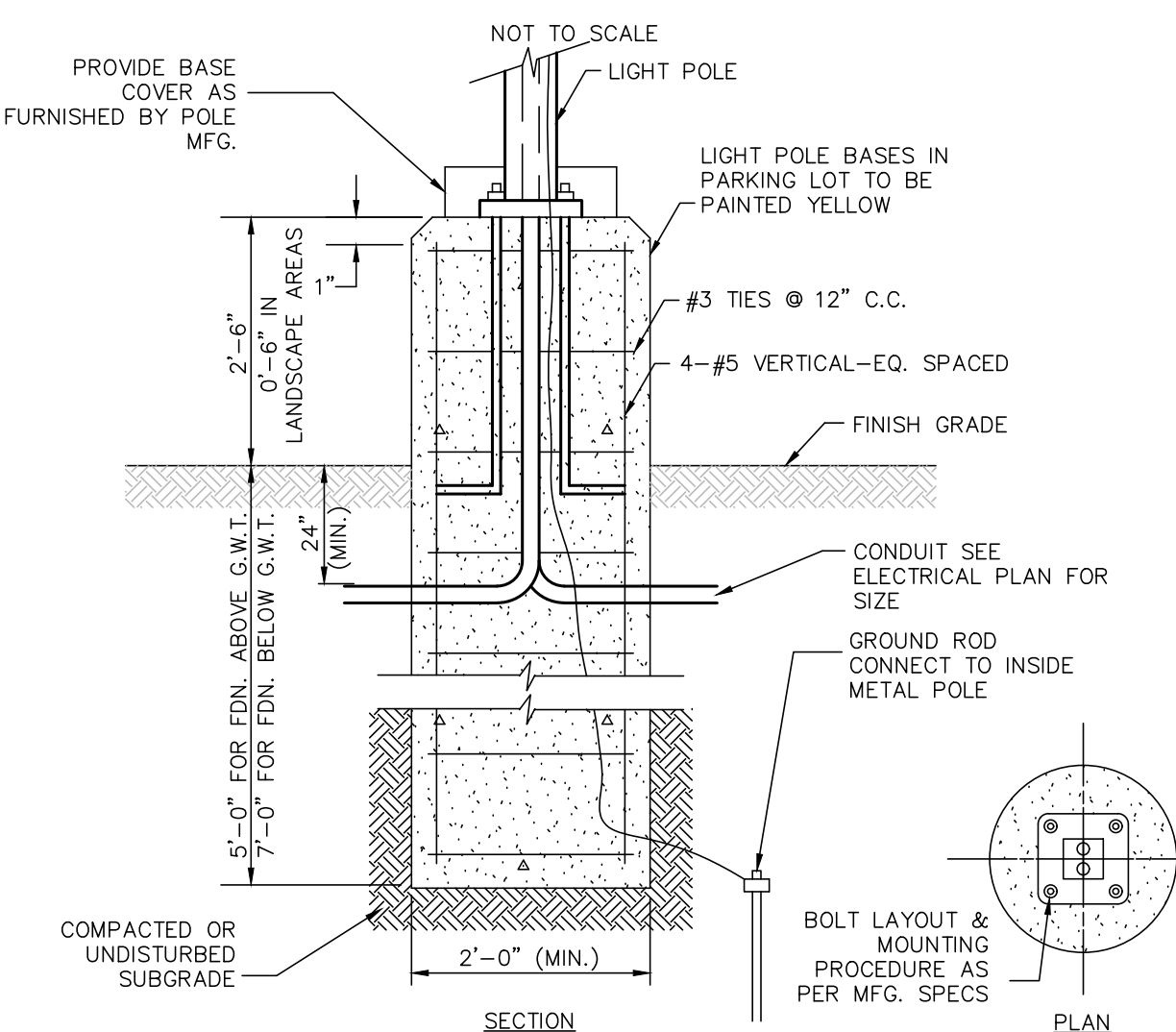


- NOTE: SHRUBS SHALL BE PLANTED A MINIMUM OF 1\"

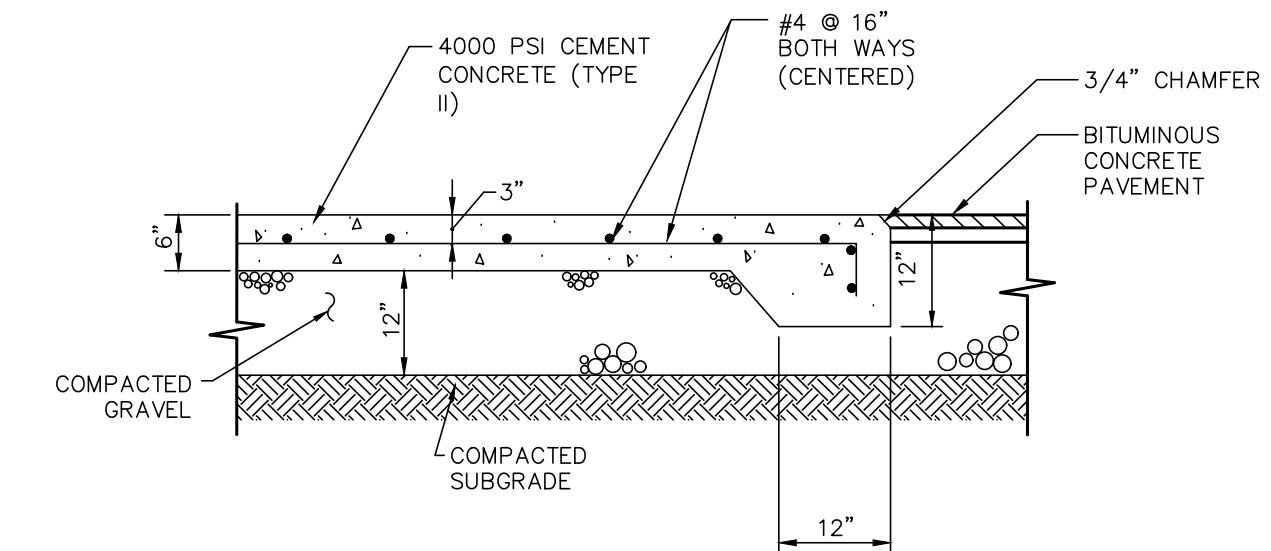
SHRUB/GROUND COVER PLANTING DETAIL
NOT TO SCALE



SMALL TREE PLANTING/STAKING DETAIL
(TREES WITH 3\"



TYPICAL LIGHT POLE FOUNDATION DETAIL
NOT TO SCALE



- NOTES:
- SIZE OF COMPACTOR PAD TO BE AS INDICATED ON PLANS. CONSTRUCTION JOINTS TO BE SET AT INTERVALS OF 1/3 OF LENGTH.
 - SQUARE DUMPSTER PAD TO BE 16'x16' (MAX).

DUMPSTER PAD
NOT TO SCALE

DATE	DESCRIPTION

OWNER / APPLICANT:
STERLING GOLF MANAGEMENT, INC.
212 KENDRICK STREET
NEWTON, MA 02458

PROJECT:
890 NORTH BROADWAY

HAVERHILL, MA 01832

DATE ISSUED: FEBRUARY 26, 2026

PROJECT #: 24-10594

PREPARED BY: TJS

PROFESSIONAL ENGINEER FOR CIVIL DESIGN
CONSULTANTS, INC.

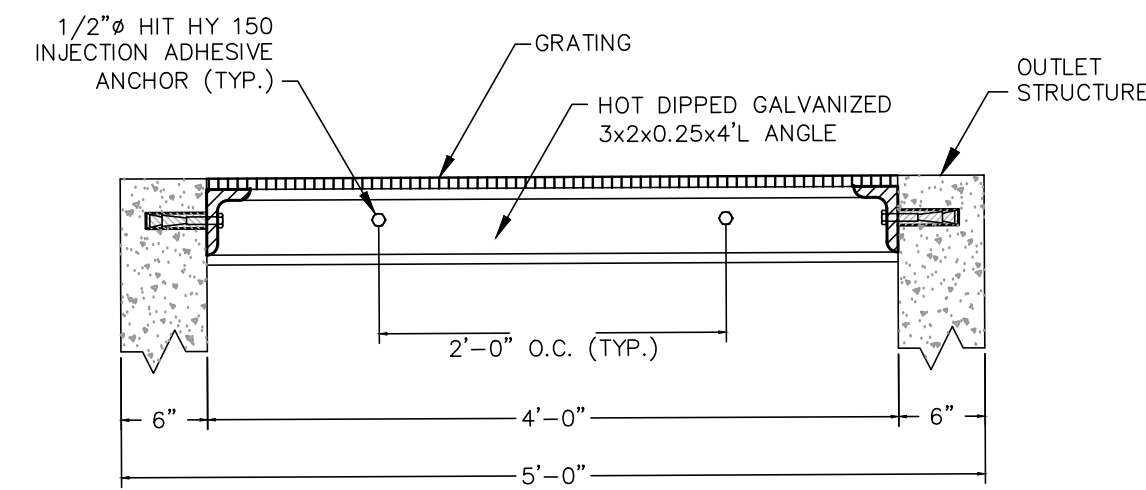


DRAWING TITLE:
CONSTRUCTION DETAILS

DRAWING #:

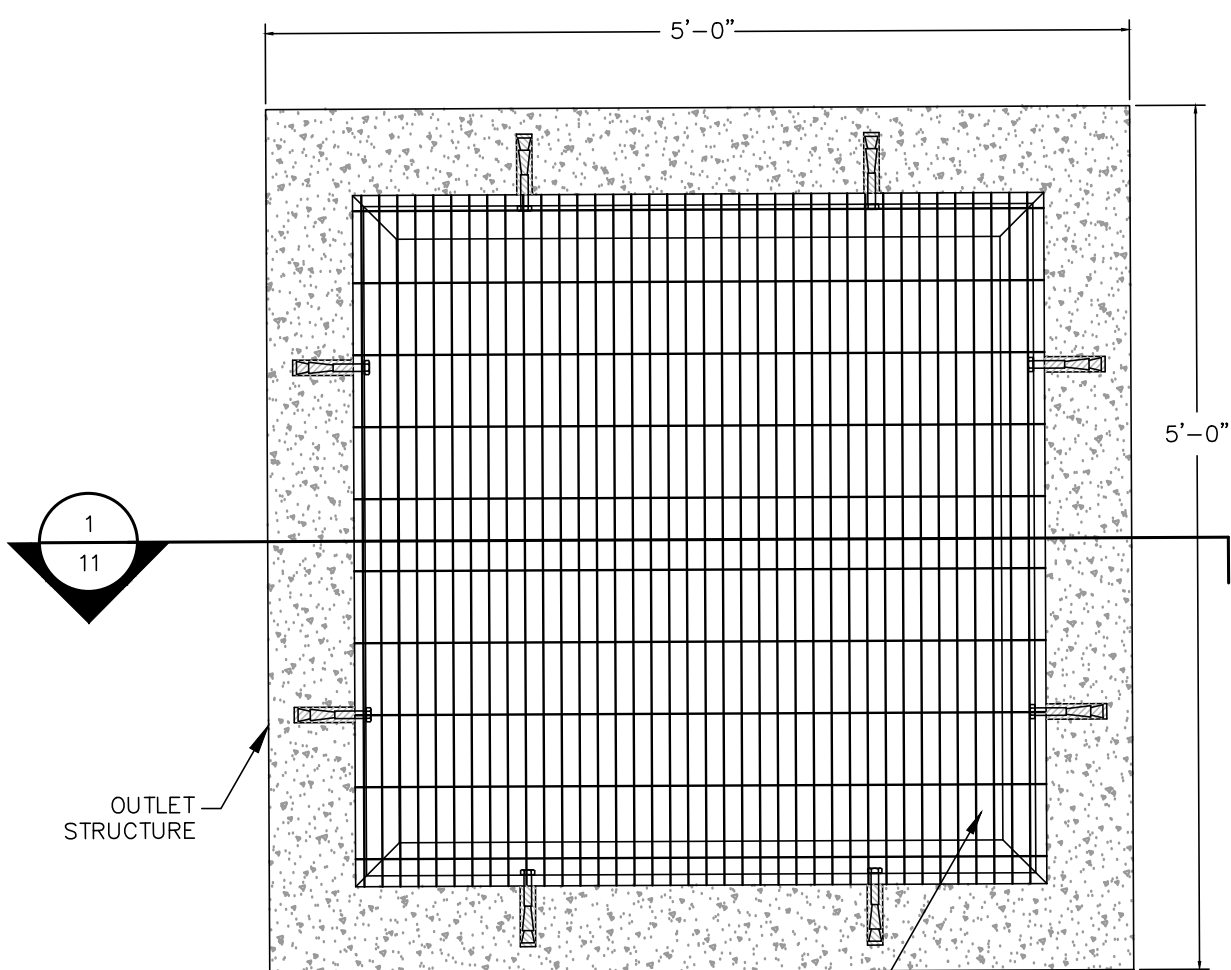
D-1

ISSUED FOR REVIEW
FEBRUARY 26, 2026



**SECTION 1
INSTALLATION DETAIL**

1. BAR GRATE TO BE GALVANIZED OR PAINTED (2 COATS WITH RUST INHIBITOR BLACK PAINT)
2. BAR GRATE BEARING BARS TO BE 4'-8" LONG. IF MORE THAN 2 GRATE PANELS ARE USED, PANELS ARE TO BE BOLTED TO ANGLES WITH GALV. BOLTS AT EACH CORNER.

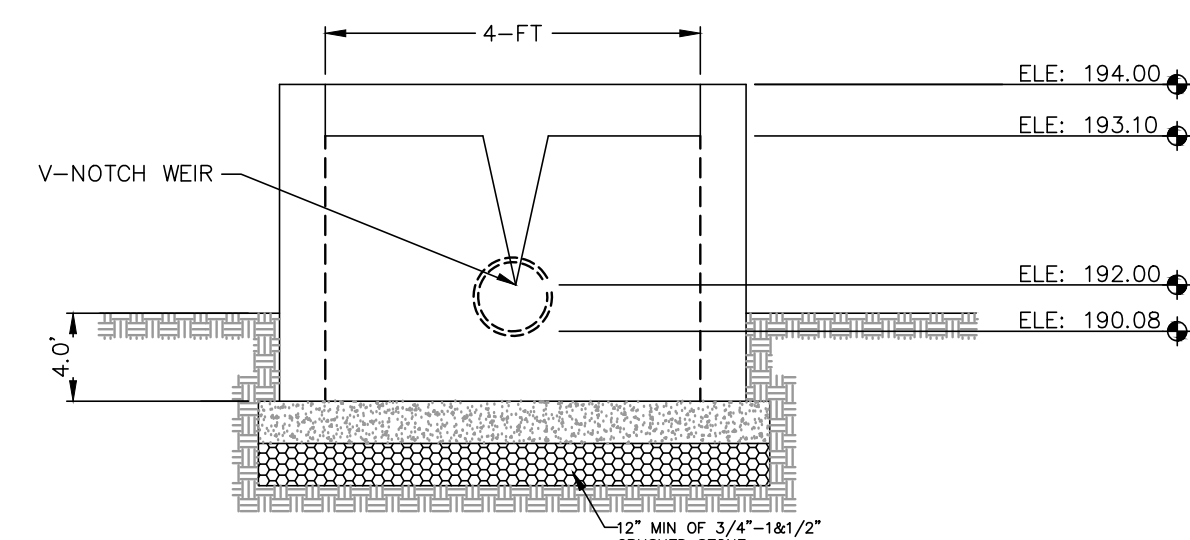


TOP VIEW

GRATING SPECIFICATIONS:
USE WELDED GW SERIES GRATE ITEM NO. GW-100A
1" x 3/16" BY 4'-0" SPAN MINIMUM 100 LBS/SQUARE FOOT
MAXIMUM DEFLECTION OF 1/4"

TRASH RACK DETAIL

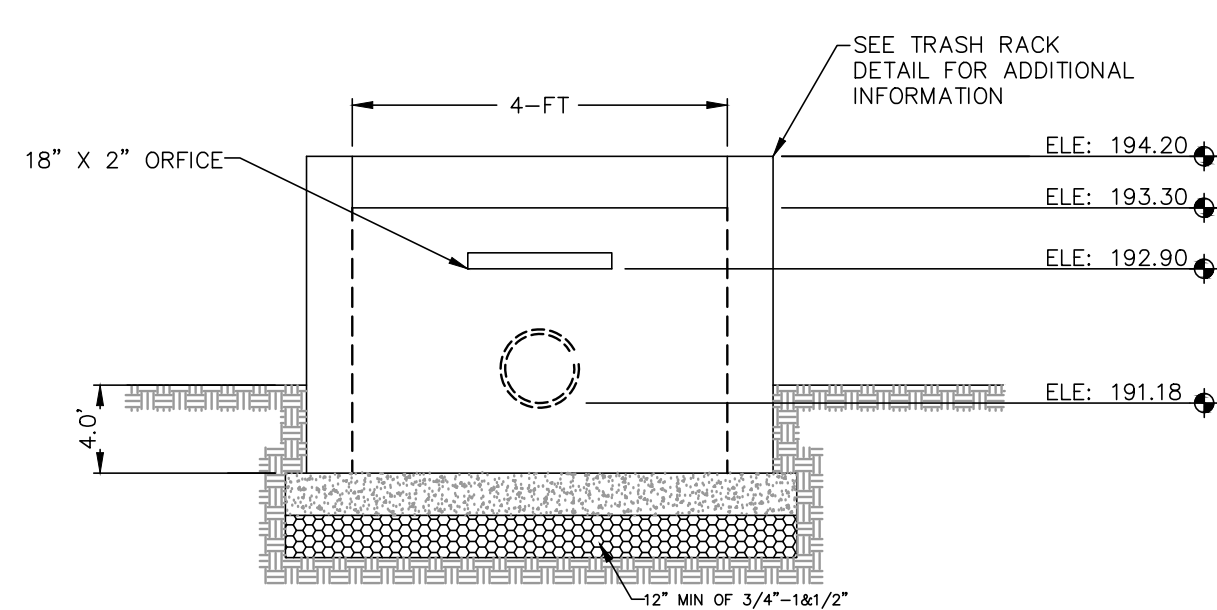
NOT TO SCALE



FRONT ELEVATION

PROPOSED OUTLET STRUCTURE-1 (OCS-1) DETAIL

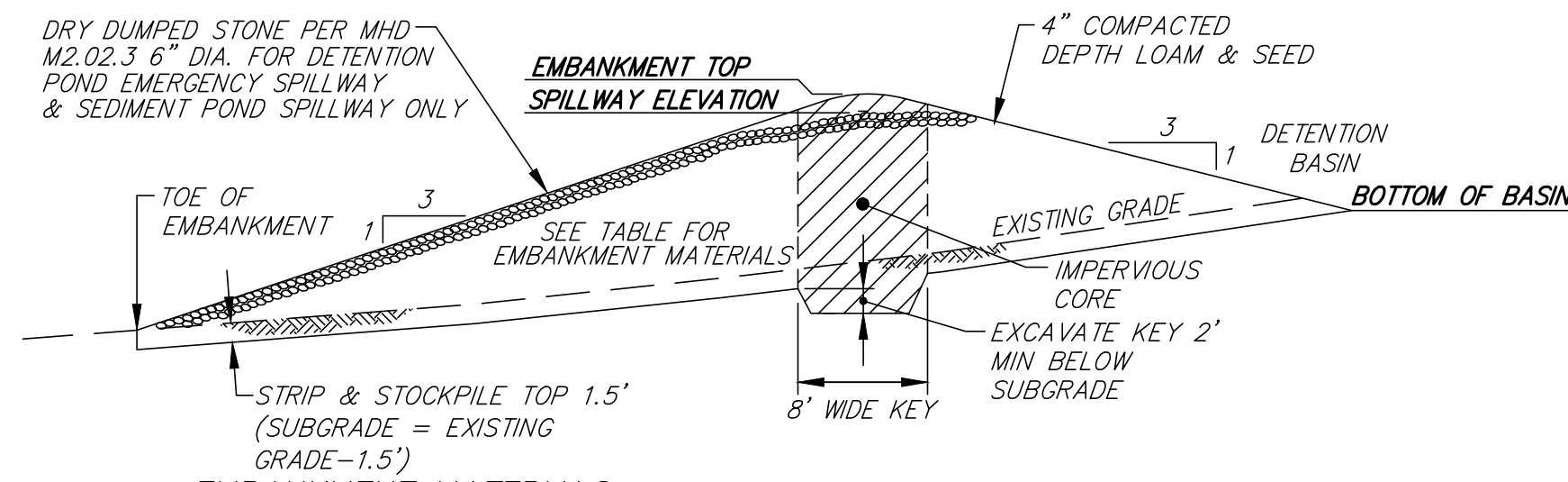
SCALE: N.T.S.



FRONT ELEVATION

PROPOSED OUTLET STRUCTURE-2 (OCS-2) DETAIL

SCALE: N.T.S.



EMBANKMENT MATERIALS

LOCATION	MATERIAL	MAX PARTICLE SIZE (IN)	LOOSE LIFT THICKNESS (IN)	COMPACTION REQUIREMENT (% MDD [1])
KEY	NATIVE PARENT SOIL [2]	6	12 MAX	92 [3]
EMBANKMENT	NATIVE PARENT SOIL [2]	6	12 MAX	92 [3]
LOAM COVER	NATIVE TOPSOIL	1	8 MIN	80
IMPERVIOUS CORE	SOIL WITH AT LEAST 30% CLAY AND SILT CONTENT	6	12 MAX	92 [3]

[1] MDD: MAXIMUM DRY DENSITY.

[2] ACCEPTABLE TO ENGINEER.

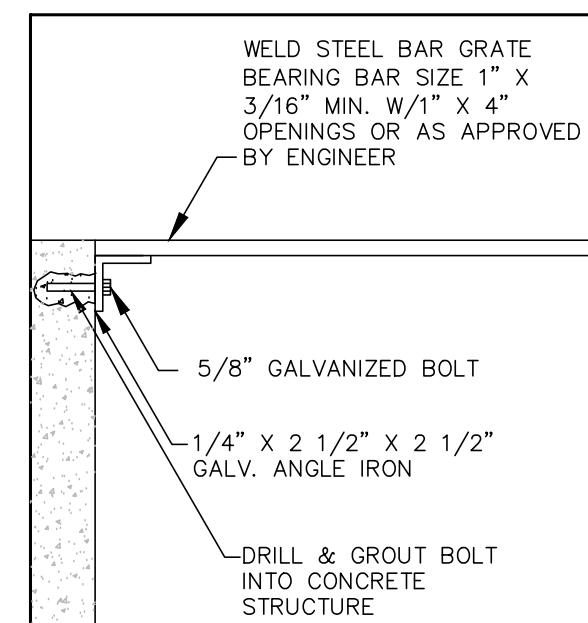
[3] COMPACT TO TEST AVERAGE OF 92% NO TEST LESS THAN 90%

PROPOSED POND EMBANKMENT DETAIL

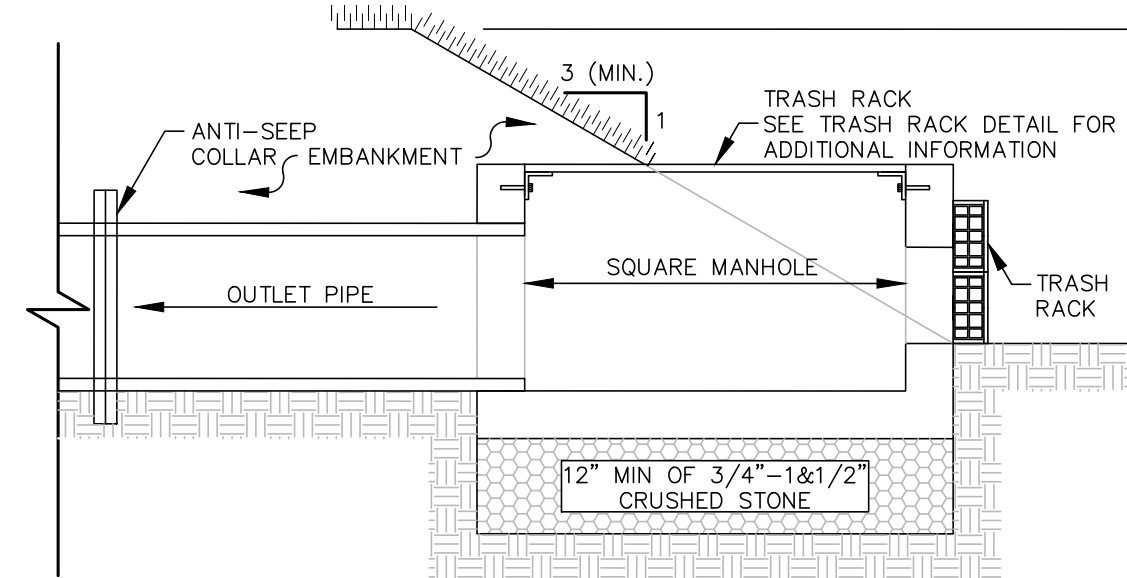
NOT TO SCALE

TRASH RACK NOTES

1. BAR GRATE TO BE GALVANIZED OR PAINTED (2 COATS W/RUST INHIBITOR BLACK PAINT)
2. BAR GRATE BEARING BARS TO BE 4'-8" LONG. IF MORE THAN 2 GRATE PANELS ARE USED, PANELS ARE TO BE BOLTED TO ANGLES W/ GALV. BOLTS AT EACH CORNER.



TYPICAL TRASH RACK CONNECTION DETAIL



PROPOSED OUTLET STRUCTURE DETAILS

NOT TO SCALE

GENERAL UTILITY NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL CONTROL POINTS AND BENCHMARKS NECESSARY FOR THE WORK.
2. WHERE SANITARY SEWERS CROSS WATER MAINS, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE CROWN OF THE SEWER IS AT LEAST 18 INCHES BELOW THE INVERT OF THE WATER MAIN. IF THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THIS REQUIREMENT, THE WATER MAIN SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR CONSTRUCTED WITH MECHANICAL-JOINT PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER MAIN SHALL BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. WHENEVER IT IS IMPOSSIBLE TO OBTAIN VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER MAIN AND THE SEWER MAIN SHALL BE ENCASED IN CONCRETE FOR A MINIMUM DISTANCE OF 10 FEET FROM THE CROSSING POINT OF THE OTHER PIPE AS MEASURED NORMALLY FROM ALL POINTS ALONG THE PIPE.
3. ALL UTILITY WORK PERFORMED WITHIN RIGHT-OF-WAY SHALL BE PERFORMED BY A CONTRACTOR LICENSED BY THE DPW AND OBTAIN A PERMIT FOR SUCH WORK FROM THE DPW, IF NEEDED.
4. ALL DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
5. A DUST EMISSION CONTROL PLAN SHALL BE DEVELOPED AND IMPLEMENTED BY THE CONTRACTOR IF CONDITIONS WARRANT.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL UTILITIES AS SHOWN ON THESE PLANS IN ACCORDANCE WITH THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY CONSTRUCTION SHALL CONFORM TO THE APPROPRIATE UTILITY COMPANY STANDARDS FOR CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING SPECIFICATIONS OF MATERIALS AND INSTALLATION PROCEDURES AND INSTALL IN ACCORDANCE WITH APPLICABLE REGULATIONS.
7. THE CONTRACTOR IS RESPONSIBLE TO CONTACT AND DETERMINE, COORDINATE AND SCHEDULE ALL NECESSARY INSPECTIONS AND MONITORING WITH ALL APPROPRIATE UTILITY COMPANIES.
8. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND PAYING FOR ANY PERMITS AND/OR CONNECTION FEES REQUIRED TO PERFORM THE WORK.
9. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE PROJECT BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE RESTORATION AND CLEAN UP UPON COMPLETION OF THE PROJECT.
11. WATER AND SEWER TESTING TO CONFORM TO LOCAL DPW REGULATIONS.

GENERAL CONSTRUCTION SEQUENCING:

DESCRIBED BELOW ARE THE MAJOR CONSTRUCTION ACTIVITIES. THEY ARE PRESENTED IN THE ORDER (OR SEQUENCE) THEY ARE EXPECTED TO BEGIN, BUT EACH ACTIVITY WILL NOT NECESSARILY BE COMPLETED BEFORE THE NEXT BEGINS. ALSO, THESE ACTIVITIES COULD OCCUR IN A DIFFERENT ORDER IF NECESSARY TO MAINTAIN ADEQUATE EROSION AND SEDIMENTATION CONTROL. ALL ACTIVITIES AND THE TIMEFRAME (BEGINNING AND ENDING DATES) SHALL BE RECORDED BY THE GENERAL CONTRACTOR:

1. CONTRACTOR TO REVIEW ALL LOCAL, STATE AND FEDERAL PERMITS.
2. REVIEW AND CERTIFY THE STORMWATER POLLUTION PREVENTION PLAN.
3. DELINEATE THE LIMIT OF THE TREE CLEARING OPERATIONS.
4. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
5. CUT AND CLEAR TREES WITHIN THE AREA OF DISTURBANCE.
6. PLACE REMAINING EROSION CONTROL MEASURES PRIOR TO ANY EARTH MOVING OPERATIONS.
7. CONSTRUCT INFILTRATION POND. LIMIT INITIAL EXCAVATION TO ELEVATION 210.0 SEE INFILTRATION BASIN CONSTRUCTION NOTES ON SHEET D-3 FOR ADDITIONAL INFORMATION.
8. BEGIN ROUGH GRADING AND EARTHWORK OPERATIONS.
9. CONSTRUCT REMAINING DRAINAGE IMPROVEMENTS. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER GRADING. ALL DISTURBED AREAS SHALL BE STABILIZED NO LATER THAN 72-HOURS AFTER CONSTRUCTION ACTIVITIES CEASE. IF EARTHWORK TEMPORARILY CEASES ON A PORTION OF OR ON THE ENTIRE SITE, AND WILL NOT RESUME WITHIN 21-DAYS, THE AREA SHALL BE STABILIZED. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
A. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED; OR
D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
10. INSTALL ALL UNDERGROUND UTILITIES.
11. CONSTRUCT ROADWAYS ACCORDING TO THE PLAN. ALL SLOPES SHALL BE STABILIZED IMMEDIATELY AFTER GRADING.
12. CONSTRUCT RESIDENCES AND ASSOCIATED INFRASTRUCTURE.
13. SURFACE TREATMENT OF ALL DISTURBED AREAS NOT PAVED OR OTHERWISE LANDSCAPED SHALL BE TREATED WITH 4" OF LOAM AND SEED.
13. INSPECT AND MAINTAIN ALL EROSION AND SEDIMENTATION CONTROL MEASURES CONSISTENT WITH THE PROCEDURE AND SCHEDULE OUTLINED IN THE STORMWATER POLLUTION PREVENTION PLAN.
14. COMPLETE PERMANENT SEEDING AND LANDSCAPING.
15. REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE ALL AREAS ARE STABILIZED WITH A SUITABLE STAND OF GRASS, PAVEMENT OR COMPACTED GRAVELS.

GENERAL CONSTRUCTION NOTES:

1. THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY. THE CONTRACTOR SHALL ALSO VERIFY ALL DIMENSIONS, SITE CONDITIONS, AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING OR PROCEEDING WITH CONSTRUCTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, INSPECTIONS, BONDS, ETC. AND OTHER APPROVAL RELATED ITEMS. NO CONSTRUCTION SHALL COMMENCE UNTIL SUCH PERMITS HAVE BEEN SECURED.
3. METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS FOR THIS PROJECT SHALL CONFORM TO THE CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE MASSDOT AND THE LOCAL SUBDIVISION REGULATIONS.
4. CONTRACTOR TO CONFIRM AND VERIFY THE VALIDITY, LOCATION, MATERIAL, AND AVAILABILITY TO USE EXISTING UTILITIES ON OR NEAR THE PROJECT SITE PROPERTY. CONTRACTOR TO LOCATE EXISTING UTILITIES AND CONFIRM SAID UTILITIES WITH ALL APPLICABLE MUNICIPALITIES AND UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION. ONCE UTILITIES HAVE BEEN CONFIRMED IN THE FIELD BY CONTRACTOR AND VERIFIED BY APPLICABLE MUNICIPALITY AND UTILITY COMPANY AND CONNECTION HAS BEEN APPROVED BY ENTITY, ONLY THEN SHALL THE CONTRACTOR CONSTRUCT AND UTILIZE THESE UTILITIES. CONTRACTOR TO IMMEDIATELY INFORM THE ENGINEER OF RECORD OF ANY DEVIATIONS TO PLANS.
5. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE ANY EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF NECESSARY. THE EXISTENCE AND/OR LOCATION OF UTILITIES SHOWN ON THESE PLANS MAY BE ONLY APPROXIMATELY CORRECT AND THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN HEREON AND ANY OTHER EXISTING UTILITIES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING, AT HIS EXPENSE, ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
6. THE CONTRACTOR SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION AT LEAST THREE WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS, PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION. ALL WATER, GAS, SEWER AND OTHER UTILITIES SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
7. RELOCATION OF ANY UTILITIES SHALL BE AT THE OWNERS EXPENSE AND COMPLETED WITH THE UTILITY WORK. THE OWNER SHALL BE NOTIFIED AS TO THE RELOCATIONS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING, WITH MATCHING MATERIALS, ANY PAVEMENT, WALKS, CURBS, ETC. THAT MUST BE CUT OR THAT ARE DAMAGED DURING CONSTRUCTION.
9. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE.
10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THESE DOCUMENTS AND SUBSEQUENT ISSUED PLAN REVISIONS. ANY DEVIATIONS FROM THESE DOCUMENTS SHALL REQUIRE NOTIFICATION TO THE ENGINEER PRIOR TO THE COMMENCEMENT OF CONSTRUCTING ANY CHANGE. THE CONTRACTOR WILL BE WORKING AT HIS OR HER OWN RISK.
11. ALL WATER AND SEWER CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF HAVERHILL RULES AND REGULATIONS

DATE	REVISIONS	REV. PER CEI COMMENTS	DESCRIPTION
05/11/2026			

OWNER / APPLICANT:
STERLING GOLF MANAGEMENT, INC.
212 KENDRICK STREET
NEWTON, MA 02458

PROJECT:
890 NORTH BROADWAY

HAVERHILL, MA 01832

DATE ISSUED: FEBRUARY 26, 2026

PROJECT #: 24-10594

PREPARED BY: TJS



PROFESSIONAL ENGINEER FOR CIVIL DESIGN
CONSULTANTS, INC.



344 North Main Street | Andover - MA 01810
(978) 416-0920 | www.civilcdi.com

DRAWING TITLE:

CONSTRUCTION DETAILS

DRAWING #:

D-3

