



CITY OF HAVERHILL
CITY COUNCIL AGENDA
Tuesday, April 7, 2026, at 7:00 PM

APR 3 PM 12:36
HAVCITYCLERK

Theodore A. Pelosi, Jr. Council Chambers, 4 Summer St, Room 202

In-Person/Remote Meeting: <https://meet.google.com/ugp-pbdk-qmm>

This meeting of Haverhill City Council will be held in-person at the location provided on this notice as its official meeting location pursuant to the Open Meeting Law. As the meeting is held in person at a physical location that is open and accessible to the public, the City Council is not required to provide remote access to the meeting. Members of the public are welcome to attend this in-person meeting. Please note that a live stream of the meeting is being provided only as a courtesy to the public, and the meeting will not be suspended or terminated if technological problems interrupt the virtual broadcast, unless otherwise required by law. Members of the public with particular interest in any specific item on this agenda should make plans for in-person vs. virtual attendance accordingly. Those attending tonight's meeting should be aware that the meeting is being audio and video recorded by HCTV, The Eagle Tribune, and WHAV. Any audience members who wish to record any part of the meeting must inform the Council President who will announce the recording. This is to comply with the MA wiretap statute. Thank you.

1. OPENING PRAYER

2. PLEDGE OF ALLEGIANCE

3. APPROVAL OF MINUTES OF PRIOR MEETING

4. ASSIGNMENT OF THE MINUTES REVIEW FOR THE NEXT MEETING:

5. COMMUNICATIONS FROM THE MAYOR:

6. COMMUNICATIONS FROM COUNCILORS TO INTRODUCE AN INDIVIDUAL(S) TO ADDRESS THE COUNCIL:

6.1. Councilor Rogers wishes to introduce Craig Riley who is seeking a home rule age waiver petition for the position of Firefighter in the City of Haverhill

6.1.1. Order – Home Rule Petition authorizing Craig Riley to take the Civil Service Exam for the position of Firefighter in the City of Haverhill notwithstanding the maximum age requirement

7. PUBLIC PARTICIPATION- REQUESTS UNDER COUNCIL RULE 28:

8. COMMUNICATIONS AND REPORTS FROM CITY OFFICERS AND EMPLOYEES:

8.1. Chris Loughnane, *City Assessor*, submits monthly abatement report for the month of March 2026

8.2. Lisa DeMeo, *City Engineer*, request to open the roadway for a new gas main on Alvanos Drive; which requires National Grid to excavate in the right of way

8.2.1. Order - Approve the request to excavate on Alvanos Drive

8.3. Lisa DeMeo, *City Engineer*, request to open the roadway to cut off the gas service on Chadwick Road in order to demolish the water pump house building, which requires National Grid to excavate in the right of way

8.3.1. Order- Approve the request to excavate at 207 Chadwick Road

9. UTILITY HEARING(S) AND RELATED ORDER(S):

10. HEARINGS AND RELATED ORDERS:



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- 10.1. Doc 5-B of 2025- Bill Pillsbury, Economic Development and Planning Director, requests Zoning Amendment- Battery Energy Storage System

Continued from March 17, 2026

Continue hearing to May 19, 2026

11. APPOINTMENTS:

- 11.1. Confirming Appointments: -
11.2. Non-Confirming Appointments:
11.3. Constables
11.4. Resignations

12. PETITIONS:

- 12.1.1. SPWD-26-1 - Attorney Robert Harb for South Grove Street Owner, LLC. requests major site plan approval to add one additional residential unit on the property located at 2 South Grove St in the Waterfront District – F subzone to enable applicant to renovate an existing storage and community area in an existing building on the property into a new 2-bedroom rental unit

Hearing scheduled for May 12, 2026

- 12.2. Applications Handicap Parking Sign: *with Police approval*
12.3. Amusement/Event Application: *with Police approval*

- 12.3.1. EVNT-26-5 - Jeff Grassie for *Haverhill Farmers Market* requesting to hold the Farmers Market 9 AM to 1 PM every Saturday from June 20 to October 31 at the Bradford Common and requests any additional fees be waived

- 12.3.2. EVNT-26-6 - Dustin MacIver for *Haverhill Garden Club* requesting to hold the Haverhill Garden Club's Annual Plant Sale on Saturday May 16th from 8 AM to 12 PM at the Bradford Common and requests any additional fees be waived

- 12.4. Auctioneer License:
12.5. Tag Days: *with Police approval*

- 12.5.1. TAGD-26-8; *Haverhill High School Girls Lacrosse Team, May 9, 2026*

- 12.6. One Day Liquor License –with HPD approval

- 12.7. ANNUAL LICENSE RENEWALS:

- 12.7.1. Hawker Peddlers License- Fixed location – *w/Police approval*
12.7.2. Coin-Op License Renewals – *with Police approval*
12.7.3. Christmas Tree Vendor – *with Police approval*
12.7.4. Taxi Driver Licenses: *with Police approval*
12.7.5. Taxi/Limousine License *with Police approval*
12.7.6. Junk Dealer /Collector License - *with Police approval*



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- 12.7.7. Pool/Billiard
- 12.7.8. Bowling
- 12.7.9. Sunday Bowling
- 12.7.10. Buy & Sell Secondhand Articles *with Police approval*
- 12.7.11. Buy & Sell Secondhand Clothing *with Police approval*
 - 12.7.11.1. Reverend Christopher Wallace for *All Saints Parish*, 120 Bellevue Ave
- 12.7.12. Pawnbroker license - *with police approval*
- 12.7.13. Fortune Teller *with - Police approval*
- 12.7.14. Buy & Sell Old Gold – *with Police approval*
- 12.7.15. Roller Skating Rink
- 12.7.16. Sunday Skating
- 12.7.17. Exterior Vending Machines/Redbox Automated Retail, LLC
- 12.7.18. Limousine/Livery License/Chair Cars *with Police approval*

13. MOTIONS AND ORDERS:

14. ORDINANCES (FILE 10 DAYS):

15. COMMUNICATIONS FROM COUNCILORS:

- 15.1. Vice President Michitson and Councilor Ferreira submit the summary of minutes and recommendations of the Planning and Development Committee held on March 30, 2026, for acceptance and approval

16. UNFINISHED BUSINESS OF PRECEDING MEETING:

- 16.1. Ordinance re: Vehicles and Traffic; Amend Ch 240, be further amended by ADDING the following to § 240-85 schedule B: Parking Restrictions and Prohibitions:

LOCATION	REGULATION	HOURS/ DAYS
Research Drive: Both sides, between Creek Brook Dr. & Broadway	No Parking	24-hours

Filed March 25th

- 16.2. Ordinance re: Vehicles and Traffic; Amend Ch 240, be further amended by ADDING the following to § 240-85 schedule B: Parking Restrictions and Prohibitions:

LOCATION	REGULATION	HOURS/ DAYS
Middlesex St: In front of # 111	No Parking (except for 1 24- hour handicap parking space)	24-hours

Filed March 25th



**CITY OF HAVERHILL
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Theodore A. Pelosi, Jr. Council Chambers, 4 Summer St, Room 202

In-Person/Remote Meeting: <https://meet.google.com/ugp-pbdk-qmm>

- 16.3. Ordinance re: Vehicles and Traffic; Amend Ch 240, be further amended by ADDING the following to § 240-85 schedule B: Parking Restrictions and Prohibitions:

<u>LOCATION</u>	<u>REGULATION</u>	<u>HOURS/ DAYS</u>
Auburn St:		
In front of # 53	No Parking	24-hours
	(except for 1 24- hour handicap parking space)	

Filed March 25th

- 16.4. Mayor Barrett submits an ordinance to amend Chapter 116 of Article III

- 16.4.1. Ordinance - Amend Chapter 116 of Article III – Improvement and Maintenance of the Waterways

Filed March 25th

17. RESOLUTIONS AND PROCLAMATIONS:

18. COUNCIL COMMITTEE REPORTS AND ANNOUNCEMENTS:

19. DOCUMENTS REFERRED TO COMMITTEE STUDY:

20. LONG TERM MATTERS STUDY LIST:

21. ADJOURN:

6.1

CITY COUNCIL

- Timothy J. Jordan, *President*
- John A. Michitson, *Vice President*
- Thomas J. Sullivan
- Colin F. LePage
- Melissa J. Lewandowski
- Catherine P. Rogers
- Shaun P. Toohey
- Michael S. McGonagle
- Daniel R. Diodati
- Devan Ferreira
- Ralph T. Basiliere



CITY HALL, ROOM 204
 4 SUMMER STREET
 TELEPHONE: 978-374-2328
 FACSIMILE: 978-374-2329

WWW.CITYOFHAVERHILL.GOV
CITYCOUNCIL@HAVERHILLMA.GOV

CITY OF HAVERHILL

HAVERHILL, MASSACHUSETTS 01830-5843

April 2, 2026

APR 2 PM 12:12
HAVCITYCLERK

To: President and Members of the City Council

Councilor Rogers wishes to introduce Craig Riley who is seeking a home rule age waiver petition for the position of firefighter in the City of Haverhill.

Catherine P. Rogers

 Councilor Catherine P. Rogers

(Meeting: 4.7.26)



DOCUMENT

CITY OF HAVERHILL

In Municipal Council

ORDERED:

THAT THE FOLLOWING HOME RULE PETITION BE ADOPTED BY THE CITY COUNCIL AND FORWARDED TO THE GENERAL COURT

HOME RULE PETITION

AN ACT AUTHORIZING CRAIG RILEY TO TAKE THE CIVIL SERVICE EXAMINATION FOR THE POSITION OF FIREFIGHTER IN THE CITY OF HAVERHILL NOTWITHSTANDING THE MAXIMUM AGE REQUIREMENT.

Be it enacted, etc. as follows:

Section 1. Notwithstanding any general or special law or rule or regulation to the contrary regulating the maximum age of applicants for appointment as firefighter, Craig Riley of the City of Haverhill, shall be eligible for appointment to the position of firefighter in the City if he meets all other requirements, in which case he shall be eligible for certification and appointment to the fire department of the City of Haverhill.

Section 2. This act shall take effect upon its passage.

Dear Hiring Committee,

I am writing to express my strong interest in joining the Haverhill Fire Department and to respectfully request consideration for an age waiver. Having grown up in Haverhill, it would mean a great deal to me to serve and protect the same community that helped shape who I am today.

I am a United States Army veteran, where I served honorably for six years as an 88M Motor Transport Operator. During my time in service, I developed discipline, accountability, and the ability to remain calm and focused in high-pressure situations. I was entrusted with mission-critical responsibilities where teamwork, communication, and reliability were essential, often in environments where quick decisions and composure were critical.

In addition to my military experience, I currently serve as a volunteer firefighter with the Groveland Fire Department. This role has given me hands-on experience in emergency response, teamwork, and serving the public during critical situations. It has further reinforced my commitment to the fire service and strengthened my ability to perform under pressure while supporting both my team and the community.

I am also actively working toward my EMT certification, continuing to build the medical knowledge and skills necessary to provide high-quality emergency care. Between my military background, volunteer fire service, and ongoing EMS training, I have developed the physical readiness, mental resilience, and teamwork needed to succeed in this profession.

My desire to join the Haverhill Fire Department is deeply personal. This is my hometown, and I take great pride in the opportunity to give back to the community that raised me. I understand the people, the values, and the responsibility that comes with serving here. Becoming a firefighter in Haverhill is not just a career goal it is a commitment to protecting my community and being someone others can rely on in their time of need.

I respectfully request your consideration for an age waiver so that I may have the opportunity to demonstrate my qualifications, dedication, and readiness to serve. I am confident that my experience, work ethic, and commitment to public service would make me a strong and reliable member of your department.

Thank you for your time and consideration. I would greatly appreciate the opportunity to further discuss how I can contribute to the Haverhill Fire Department.

Sincerely,
Craig Riley

Craig Riley

Professional Summary

Volunteer Firefighter and military veteran, offering hands-on emergency response experience in fire, medical, and hazardous situations. Known for strong discipline, reliability, and a team-first mindset developed through military operations. Proven ability to stay calm under pressure, follow command structure, and operate effectively in high-risk environments. Committed to continuous training and building a long-term career in the fire service.

Work Experience

Fight Fighter

Groveland Fire Department | Groveland, MA

February 2026 to Present

- Apply military discipline and teamwork to emergency response and fire operations
- Provide basic medical care and assist EMS personnel during patient treatment and transport
- Maintain situational awareness and follow incident command structure on emergency scenes
- Participate in regular drills and training including fire behavior, rescue techniques, and emergency response tactics
- Conduct routine maintenance and inspection of apparatus, tools, and safety equipment
- Assist with station duties including cleaning, organization, and readiness of equipment
- Engage with the community through public safety events, fire prevention education, and outreach programs

Deckhand/Maintenance

Newbury port marinas | Newburyport, MA

March 2025 to June 2025

- Relayed dock instructions quickly and clearly to crews and captains in real-time.
- Assisted in urgent mechanical issues and coordinated with maintenance under tight deadlines.
- Operated hydraulic and electronic systems while ensuring safety regulations were followed.

Ipswich Facilities

Ipswich schools | Ipswich, MA

October 2023 to March 2025

- Managed scheduling and coordination for time-sensitive events in busy school environments.
- Communicated regularly with staff and administration to meet logistical demands.
- Monitored facility safety and reported hazards or urgent maintenance issues.

Custodian/Maintenance

Haverhill Public Schools | Haverhill, MA

March 2018 to July 2020

- Managed setup and teardown for events such as open houses, commencements, award ceremonies, assemblies, parent-teacher conferences, sporting competitions, concerts and plays..
- Reported maintenance issues promptly and followed up with administration for resolution.
- Maintained clean and safe facilities while actively engaging with students, staff, and visitors.

Motor Transportation Specialist

Us Army

February 2013 to August 2018

- Acted as the primary communication link between transport teams, dispatch, and command, ensuring mission updates and route changes were clearly relayed and executed.
- Maintained and reviewed detailed transportation logs, cargo manifests, and trip documentation to ensure accuracy, compliance, and accountability.
- Led convoy briefings and trained junior soldiers on communication protocols, safety standards, and proper documentation procedures.
- Collaborated with logistics personnel to plan transport operations, prioritize movements, and adapt to changing mission needs in real time.
- Provide communication link between the individual Soldier and the organization
- Plan and conduct a routine and day-to-day unit operation within the policies established by senior officers
- Maintain appearance and condition of unit facilities, and work areas
- Maintain serviceability, accountability, and readiness of assigned equipment
- Maintain the established standards of professionalism and job performance of the Soldiers
- Support, follow, and implement all policies established by higher management

Education

General health (College)

NECC | Haverhill, MA

August 2025 to Present

Automotive Technology (Automotive Repair)

Calliber Collision | Fayetteville, NC

January 2018 to July 2018

Highschool diploma

Haverhill, MA

August 2003 to June 2007

Skills

Groundskeeping **Body mechanics** **Customer service** **Mechanical knowledge** **Personal training** **Group fitness** **Home & community care** **Shipping & receiving** **Forklift** **Lawn care** **Program design** **Handyman experience** **Typing** **Supervising experience** **Electrical experience** **Management** **Communication skills** **Operating systems** **Heavy lifting** **Plumbing** **Crisis intervention** **Landscaping** **Sales** **Team management** **Data collection** **Time management** **Anatomy knowledge** **Loss Prevention** **Computer skills** **Leadership** **Physical education** **Organizational skills** **Power tools** **Welding** **Construction** **Facilities maintenance** **Service technician experience** **Experience with children** **Physiology knowledge** **Health club** **Writing skills** **Carpentry** **Warehouse experience** **Military Experience** **Security** **Driving** **Fitness sales** **Hand tools** **Sports coaching** **CPR** **Math** **Soldering** **Standard operating procedures (SOPs)** **Heavy equipment operation** **Equipment repair** **Property maintenance**

Military Service

E4 | United States Army | United States

Present

Description

- Motor Transport Operator / Emergency Movement Coordinator
- Trained in tactical dispatching, crisis response, and communication

Certifications and Licenses

CPR Certification

Current

First Aid Certification

Current

AED Certification

Current

Class D

Certified Personal Trainer

Additional Information

Authorized to work in the US for any employer



8.1

CITY OF HAVERHILL
ASSESSORS OFFICE – ROOM 115
Phone: 978-374-2316 Fax: 978-374-2319
Assessors@cityofhaverhill.com

April 1, 2026

APR 1 PM 12:01
HAVCITYCLERK

TO: MEMBERS OF THE HAVERHILL CITY COUNCIL:

In accordance with Municipal Ordinance, Chapter 7,
entitled "Assessor" as follows:

The Board of Assessors shall file monthly with the
City Council a copy of the report submitted to the
Auditor showing a summary of the above abated
amounts for that month.

Attached herewith is the report for the month of
March as filed in the Assessors Office.

Very truly yours,

Chris Loughnane
Chris Loughnane, MAA
Assessor

Transaction Summary All Years

City of Haverhill

All Entry Date range 03/01/2026 through 03/31/2026 for Abatements,Exemptions

	Tax Paid	Interest Paid	Fees Paid	Tax Reversals	Interest Reversals	Fee Reversals	Refunds	Refund Reversals	Abate	Exemp	Adjust	Transfers
Motor Vehicle Excise Tax	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	1,799.28	0.00	0.00	0.00
2023 Motor Vehicles	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	1,799.28	0.00	0.00	0.00
2023	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	1,799.28	0.00	0.00	0.00
Motor Vehicle Excise Tax	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	980.91	0.00	0.00	0.00
2024 Motor Vehicles	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	980.91	0.00	0.00	0.00
2024	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	980.91	0.00	0.00	0.00
Motor Vehicle Excise Tax	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	3,694.33	0.00	0.00	0.00
2025 Motor Vehicles	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	3,694.33	0.00	0.00	0.00
2025	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	3,694.33	0.00	0.00	0.00
Property Tax	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	8,084.99	0.00	0.00	0.00
2025 Real Estate	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	8,084.99	0.00	0.00	0.00
2025	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	11,779.32	0.00	0.00	0.00
Boat Excise Tax	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	148.00	0.00	0.00	0.00
2026 Boats	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	148.00	0.00	0.00	0.00
2026	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	97,521.93	0.00	0.00	0.00
Motor Vehicle Excise Tax	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	97,521.93	0.00	0.00	0.00
2026 Motor Vehicles	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	23,175.37	89,758.61	0.00	0.00
2026	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	23,175.37	89,758.61	0.00	0.00
Property Tax	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	120,845.30	89,758.61	0.00	0.00
2026 Real Estate	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	135,404.81	89,758.61	0.00	0.00
2026	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	225,163.42	0.00	0.00	0.00
Report	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	225,163.42	0.00	0.00	0.00

Total All Charges

Total All Charges: Add all columns except Adjustments.

8.2



Haverhill

Lisa E. DeMeo, P.E.
City Engineer/Assistant Director of Public Works
Phone: 978-374-2335
ldemeo@haverhillma.gov

March 27, 2026

HAU CITY CLERK MAR27'26 8:38

MEMO TO: CITY COUNCIL PRESIDENT TIMOTHY JORDAN AND MEMBERS OF THE CITY COUNCIL

SUBJECT: ROAD OPENING, ALVANOS DRIVE, EROM-26-4

As the subject street was paved within the last 5 years, Council approval is required to open the roadway for a new gas main on Alvanos Drive.; which requires NGrid to excavate in the right of way. I am supportive of this request, and The Engineering Office will require proper trench compaction and finished paving from curb to curb.

Please contact me if you have any questions.

Sincerely,

Lisa E. DeMeo, P.E.
City Engineer

C: Mayor Barrett, K. Wright, R. Ward, R. Kimball



DOCUMENT

CITY OF HAVERHILL

In Municipal Council

8.2.1

ORDERED:

That the City Council approve the requests to excavate at the following location for a new gas main: Alvanos Drive

The roadway has been paved in the last 5 years and in accordance with Chapter 222, Section 11, Restrictions on future paving of the Municipal Ordinances, Council approval is necessary.



8.3

Haverhill

Lisa E. DeMeo, P.E.
City Engineer/Assistant Director of Public Works
Phone: 978-374-2335
ldemeo@haverhillma.gov

March 27, 2026

HAU CITY CLERK MAR27/26 8:38

MEMO TO: CITY COUNCIL PRESIDENT TIMOTHY JORDAN AND MEMBERS OF THE CITY COUNCIL

SUBJECT: ROAD OPENING, 207 CHADWICK ROAD, EROM-26-5

As the subject street was paved within the last 5 years, Council approval is required to open the roadway to cut off the gas service in order to demolish the water pump house building; which requires NGrid to excavate in the right of way. I am supportive of this request, and The Engineering Office will require proper trench compaction and finished paving from curb to curb. Please contact me if you have any questions.

Sincerely,

Lisa E. DeMeo, P.E.
City Engineer

C: Mayor Barrett, K. Wright, R. Ward, R. Kimball



8.3.1

DOCUMENT

CITY OF HAVERHILL

In Municipal Council

ORDERED:

That the City Council approve the request to excavate at the following location to abandon a gas service at: 207 Chadwick Road

The roadway has been paved in the last 5 years and in accordance with Chapter 222, Section 11, Restrictions on future paving of the Municipal Ordinances, Council approval is necessary.

10.1

Document # 5-B OF 2025

Bill Pillsbury, Economic Development and Planning Director, requests Zoning Amendment – Battery Energy Storage System

Continued from December 2, 2025

IN CITY COUNCIL: January 13, 2026

CONTINUED TO: January 27, 2026

10 YEAS, 0 NAYS, 1 ABSENT, 1 ABSTENTATION

Attest: Kaitlin M. Wright
Kaitlin M. Wright, CMC
City Clerk

IN CITY COUNCIL: JANUARY 27, 2026
CONTINUED TO: FEBRUARY 24, 2026 7 YEAS, 0 NAYS, 4 ABSENT

ATTEST: Kaitlin M. Wright
CITY CLERK

IN CITY COUNCIL: FEBRUARY 24, 2026
CONTINUED TO: MARCH 17, 2026

ATTEST: Kaitlin M. Wright
CITY CLERK

IN CITY COUNCIL: MARCH 17 2026 10 YEAS, 0 NAYS, 1 ABSTENATION
CON'T TO APRIL 7 2026

ATTEST: Kaitlin M. Wright
KAITLIN M. WRIGHT, CMC
CITY CLERK

Kaitlin Wright

From: Lisa Mead <lisa@mtclawyers.com>
Sent: Friday, March 13, 2026 9:53 AM
To: Kaitlin Wright; Jacki Byerley; Tim Jordan
Cc: Lori Robertson; Natalia Hernandez
Subject: Re: BESS Zoning Hearing


Follow Up Flag: Follow up
Flag Status: Flagged

Warning! External Email. Exercise caution when opening attachments or clicking on any links.

Kaitlin

This is a zoning ordinance which requires the 14 day advertising. So I suspect the later April date.
Lisa

Lisa L. Mead
[she/her/hers]
Mead, Talerman & Costa LLC
30 Green St
Newburyport MA 01950
978 463 7700 ext 101
978 463 7747 (fax)

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From: Kaitlin Wright <kwright@haverhillma.gov>
Sent: Friday, March 13, 2026 9:51:23 AM
To: Lisa Mead <lisa@mtclawyers.com>; Jacki Byerley <JByerley@HaverhillMa.gov>; Tim Jordan <tjordan@haverhillma.gov>
Cc: Lori Robertson <lrobertson@haverhillma.gov>; Natalia Hernandez <NHernandez@HaverhillMa.gov>
Subject: RE: BESS Zoning Hearing

Thank you, Lisa. I am seeking an additional clarification. Are you trying to schedule for A or B?

Kaitlin Wright

From: Jacki Byerley
Sent: Friday, January 23, 2026 11:06 AM
To: Kaitlin Wright; Lisa Mead; Tim Jordan
Cc: Mayor; Lori Robertson; Christine Lindberg; Natalia Hernandez
Subject: RE: BESS Zoning Hearing

Hi Kaitlin, these regulations are still being reviewed and won't be ready for January 27th Council meeting. Can you please continue this to the February 24th meeting?

Thank you,
Jacki

From: Kaitlin Wright <kwright@haverhillma.gov>
Sent: Thursday, January 22, 2026 3:30 PM
To: Lisa Mead <lisa@mtclawyers.com>; Tim Jordan <tjordan@haverhillma.gov>
Cc: Mayor <mayor@haverhillma.gov>; Lori Robertson <lrobertson@haverhillma.gov>; Christine Lindberg <clindberg@haverhillma.gov>; Natalia Hernandez <NHernandez@HaverhillMa.gov>; Jacki Byerley <JByerley@HaverhillMa.gov>
Subject: RE: BESS Zoning Hearing

Hi Lisa,

We are preparing the Council agenda for the January 27th meeting.

Wondering if the Battery Energy Storage System is ready to be heard on the 27th or if you think it will be continued again? If it needs to be continued, I will include that in the agenda packet.

All my best,

Kaitlin

Kaitlin M. Wright, CMC
City Clerk
4 Summer Street, Room 118
Office: (978) 374-2312
Fax: (978) 373-8490
kwright@haverhillma.gov

10.3

Document # 5 - B


William Pillsbury, *Economic Development and Planning Director*, requests Zoning Amendment
- Battery Energy Storage Systems

Continued from August 5, 2025

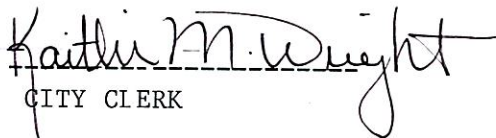
IN CITY COUNCIL: SEPTEMBER 30, 2025

**COUNCIL VOTED TO CONTINUED TO DECEMBER 2, 2025
MEETING**

10 YEAS, 0 NAYS, 1 ABSENT, 0 ABSTENTATION

Attest: 
Kaitlin M. Wright, CMC
City Clerk

IN CITY COUNCIL: DECEMBER 2, 2025
VOTED TO CONTINUE TO JANUARY 13, 2026

ATTEST: 
CITY CLERK

10-1

Kaitlin Wright

From: Lisa Mead <lisa@mtclawyers.com>
Sent: Wednesday, November 19, 2025 1:51 PM
To: Kaitlin Wright; Thomas J Sullivan, Esq.; Thomas J. Sullivan
Cc: William Pillsbury; Mayor; Lori Robertson; Christine Lindberg; Natalia Hernandez; Jacki Byerley
Subject: RE: BESS Zoning Hearing

Warning! External Email. Exercise caution when opening attachments or clicking on any links.

The 14th please

13th

Lisa L. Mead

[she/her/hers]



Mead, Talerman & Costa LLC

30 Green St

Newburyport MA 01950

978 463 7700 ext 101

978 463 7747 (fax)

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♻️ Think before you print.

From: Kaitlin Wright <kwright@haverhillma.gov>
Sent: Wednesday, November 19, 2025 12:53 PM
To: Thomas J Sullivan, Esq. <tsullivan@dlgclosing.com>; Lisa Mead <lisa@mtclawyers.com>; Thomas J. Sullivan <tsullivan@haverhillma.gov>
Cc: William Pillsbury <wpillsbury@haverhillma.gov>; Mayor <mayor@haverhillma.gov>; Lori Robertson <lrobertson@haverhillma.gov>; Christine Lindberg <clindberg@haverhillma.gov>; Natalia Hernandez



Economic Development and Planning
Phone: 978-374-2330 Fax: 978-374-2315
wpillsbury@HaverhillMA.gov

5

JAN 2 4:41
HAVCITYCLERK

DATE: January 7, 2025

MEMO TO: City Council President Thomas Sullivan and members of the Haverhill City Council

FROM: William Pillsbury, Economic Development and Planning Director

RE: Zoning Amendment- Battery Energy Storage Systems

Attached please find a proposed zoning ordinance amendment prepared by City Solicitor Lisa Mead. The proposed amendment creates a regulatory framework and necessary tools for detailed and thorough review of any applications filed to create Battery storage facilities.

I request that the council refer the proposed ordinance to the planning board for a hearing to be held on February 12, 2025, and also schedule a hearing before the council on the proposed amendment shortly thereafter.

Thank you for your attention to this matter.

RECOMMENDATION: Refer the proposed amendment to the Planning BOARD FOR A HEARING ON FEBRUARY 12, 2025 and schedule a hearing on the city council agenda shortly thereafter.

IN CITY COUNCIL: January 7 2025
REFER TO PLANNING BOARD AND VOTED THAT
COUNCIL HEARING BE HELD MARCH 18 2025
Attest: Kathie M. Dwyer City Clerk

IN CITY COUNCIL: July 8 2025
REQUEST TO CONTINUE TO AUGUST 5 2025
Attest: Kathie M. Dwyer City Clerk

IN CITY COUNCIL: March 18 2025
HEARING CONTINUED TO APRIL 29 2025
Attest: Kathie M. Dwyer City Clerk

IN CITY COUNCIL: August 5 2025
CONTINUE TO SEPTEMBER 30, 2025
Attest: Kathie M. Dwyer City Clerk

IN CITY COUNCIL: April 29 2025
HEARING CONTINUED TO JUNE 3 2025
Attest: Kathie M. Dwyer City Clerk

IN CITY COUNCIL: June 3 2025
REQUEST TO CONTINUE BY CITY SOLICITOR TO JULY 8 2025
4 Summer Street—Room 201, Haverhill, MA 01830 www.cityofhaverhill.com

Attest: Kathie M. Dwyer City Clerk

Kaitlin Wright

From: Lisa Mead <lisa@mtclawyers.com>
Sent: Wednesday, September 24, 2025 4:56 PM
To: Kaitlin Wright; Thomas J Sullivan, Esq.
Cc: William Pillsbury; Mayor; Lori Robertson
Subject: RE: BESS Zoning Hearing

Warning! External Email. Exercise caution when opening attachments or clicking on any links.

This will need to be continued to the first meeting in December. I believe that is what we discussed Mayor, correct?

Lisa

Lisa L. Mead

[she/her/hers]



Mead, Talerman & Costa LLC


30 Green St

Newburyport MA 01950

978 463 7700 ext 101

978 463 7747 (fax)

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 Think before you print.

From: Kaitlin Wright <kwright@haverhillma.gov>
Sent: Wednesday, September 24, 2025 4:39 PM
To: Lisa Mead <lisa@mtclawyers.com>; Thomas J Sullivan, Esq. <tsullivan@dlgclosing.com>
Cc: William Pillsbury <wpillsbury@haverhillma.gov>; Mayor <mayor@haverhillma.gov>; Lori Robertson

Kaitlin Wright

From: Lisa Mead <lisa@mtclawyers.com>
Sent: Thursday, July 31, 2025 4:48 PM
To: Thomas J Sullivan, Esq.
Cc: Kaitlin Wright; William Pillsbury; Mayor; Lori Robertson
Subject: RE: BESS Zoning Hearing

Warning! External Email. Exercise caution when opening attachments or clicking on any links.
Go to the last meeting in September.

Lisa L. Mead

[she/her/hers]



Mead, Talerman & Costa LLC


30 Green St

Newburyport MA 01950

978 463 7700 ext 101

978 463 7747 (fax)

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 Think before you print.

From: Thomas J Sullivan, Esq. <tsullivan@dlgclosing.com>
Sent: Thursday, July 31, 2025 4:31 PM
To: Lisa Mead <lisa@mtclawyers.com>
Cc: Kaitlin Wright <kwright@haverhillma.gov>; William Pillsbury <wpillsbury@haverhillma.gov>; Mayor <mayor@haverhillma.gov>; Lori Robertson <lrobertson@haverhillma.gov>
Subject: Re: BESS Zoning Hearing

Kaitlin Wright

10.2

From: Thomas J Sullivan, Esq. <tsullivan@dlgclosing.com>
Sent: Thursday, July 3, 2025 11:29 AM
To: Lisa Mead; Kaitlin Wright; William Pillsbury
Cc: Mayor; Lori Robertson
Subject: RE: BESS Zoning Hearing

Warning! External Email. Exercise caution when opening attachments or clicking on any links.

Hi,

Let's continue until the first meeting in August please.

TY!

August 5, 2025

Tom

Thomas J. Sullivan, Esq.
Downey Law Group, LLC
tsullivan@dlgclosing.com

Main Office and Mailing Address:
462 Boston Street
Topsfield, MA 01983
Phone: (978) 887-1000
Fax: (978) 887-1021



Satellite Office:
345 Main Street
Haverhill, MA 01830
Phone: 978-373-2200

From: Lisa Mead <lisa@mtclawyers.com>
Sent: Thursday, July 3, 2025 11:25 AM
To: Kaitlin Wright <kwright@haverhillma.gov>; Thomas J Sullivan, Esq. <tsullivan@dlgclosing.com>; William Pillsbury <wpillsbury@haverhillma.gov>
Cc: Mayor <mayor@haverhillma.gov>; Lori Robertson <lrobertson@haverhillma.gov>
Subject: RE: BESS Zoning Hearing

Please continue it again, we are waiting to hear from the developer. I would take it out a month.

Lisa L. Mead

[she/her/hers]

Kaitlin Wright

From: Lisa Mead <lisa@mtclawyers.com>
Sent: Sunday, June 1, 2025 7:22 PM
To: Thomas J Sullivan, Esq.; Thomas J. Sullivan; Kaitlin Wright
Cc: William Pillsbury; Mayor
Subject: BESS Zoning

Warning! External Email. Exercise caution when opening attachments or clicking on any links.

Tom,

Please continue this public hearing to your first meeting in July. We are waiting to hear back from the developers.

Thank you,

Lisa

Lisa L. Mead

[she/her/hers]



Mead, Talerman & Costa LLC


30 Green St

Newburyport MA 01950

978 463 7700 ext 101

978 463 7747 (fax)

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If you have received the above transmittal in error, please delete the message and any attachment(s) hereto from your e-mail system and notify us immediately. *Please consider the environment before printing this email.* 

 Think before you print.

Kaitlin Wright

From: William Pillsbury
Sent: Monday, April 28, 2025 11:30 AM
To: Kaitlin Wright
Cc: Mayor; Lori Robertson; Lisa Mead
Subject: Request to postpone Zoning hearing on Battery Storage

Hi Kaitlin: At the request of City Solicitor Lisa Mead after discussion with President Sullivan, please accept this request to postpone the hearing on the Battery Energy Storage Systems (BESS) to the meeting of June 3rd. Thanks for your attention to this matter.

William Pillsbury
Economic Development and Planning Director

APR 28 AM 11:31
HAWCITYCLERK

#4

10.2.14

Maria Bevilacqua

To: HGLegals@hgazette.com
Cc: Kaitlin Wright
Subject: Hearing - Zoning Amendment-add new section 7.9 Battery Energy Storage Systems
Attachments: Hearing Zoning 2025 - Add new section 7.9 Battery Energy Storage Systems-Gazette Feb 20 & 27 2025.docx

Afternoon:

Please run this Hearing ad 2 times in the Gazette – Feb 20 & 27, 2025. Hearing Zoning Amendment – add a new section 7.9 Battery Energy Storage Systems.

Questions - please contact me at 978-420-3624.

Thank you!

Maria Bevilacqua

City Clerk's Office
Room 118
4 Summer st
Haverhill, MA 01830



Haverhill

City Clerk's Office, Room 118
Phone: 978-420-3623 Fax: 978-373-8490
cityclerk@cityofhaverhill.com

January 7, 2025

HYBRID HEARING

City Council Chambers, City Hall, Room 202, 4 Summer st

Notice is hereby given that a hearing will be held for all parties interested, in a hybrid meeting (virtual/in person), on Tuesday, March 18, 2025 at 7:00 pm on a request from Economic Development and Planning Director, William Pillsbury, for a Zoning Amendment – add a new section 7.9 Battery Energy Storage Systems
REFER TO PLANNING BOARD AND
COUNCIL HEARING MARCH 18, 2025

(Residents who are interested in commenting on this item can either (1) Attend in person (Council Chambers, Room 202) or (2) Attend remotely using the link provided on the public meeting calendar on the City's website)

Description of area, maps and plans are on file in the City Clerk's Office.

**Advertise: February 20 & February 27, 2025
Haverhill Gazette**

Kaitlin M Wright
City Clerk



DOCUMENT 5-B

1012

CITY OF HAVERHILL

In Municipal Council January 7 2025

~~ORDERED~~XXX MUNICIPAL ORDINANCE CHAPTER
An Ordinance re: Zoning - Add new section 7.9 Battery Storage Systems

Since this Ordinance exceeds in length eight octavo pages of ordinary book print, in lieu of advertising, it is published by the City Council in a municipal bulletin placed on file in the City Clerk's Office and posted on the municipal bulletin in City Hall.

5-B

PLACED ON FILE for at least 10 days

Attest;

Kaitlin M. Wright City Clerk

Maria Bevilacqua

Hearing!

From: North of Boston <noreply@wave2adportal.com>
Sent: Friday, January 10, 2025 4:16 PM
To: Maria Bevilacqua; Maria Bevilacqua
Subject: Thank you for placing your order with us.
Attachments: W01296210.pdf

Warning! External Email. Exercise caution when opening attachments or clicking on any links.

THANK YOU for your notice submission!

This is your confirmation that your order has been submitted. Below are the details of your transaction. Please save this confirmation for your records.

<p>Job Details Order Number: W0129621 Business Type: All Other Public Notices Notice Size: Public Notices Notice Estimate: \$184.62 Referral Code: <i>Hearing</i> 7.9 Battery Energy Storage</p> <p>Account Details Haverhill Clerk 4 SUMMER ST STE 118 HAVERHILL, MA 01830 978-374-2312 cityclerk@cityofhaverhill.com HAVERHILL CITY CLERK</p>	<p>Schedule for notice number W01296210</p> <p>Thu Feb 20, 2025 Haverhill Gazette Public Notices All Zones</p> <p>Thu Feb 27, 2025 Haverhill Gazette Public Notices All Zones</p> <p>HYBRID HEARING City Council Chambers, City Hall, Room 202, 4 Summer st Notice is hereby given that a hearing will be held for all parties interested, in a hybrid meeting (virtual/in person), on Tuesday, March 18, 2025 at 7:00 pm on a request from Economic Development and Planning Director, William Pillsbury, for a Zoning Amendment – Mixed Use REFER TO PLANNING BOARD AND COUNCIL HEARING MARCH 18, 2025 (Residents who are interested in commenting on this item can either (1) Attend in person (Council Chambers, Room 202) or (2) Attend remotely using the link provided on the public meeting calendar on the City's website) Description of area, maps and plans are on file in the City Clerk's Office.</p> <p>Kaitlin M Wright City Clerk</p> <p>HG - Publication Dates</p>
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This is an automated message, please do not reply to this e-mail. If you have any questions or concerns you may contact us toll-free at 800-681-6248.

Maria Bevilacqua

From: CMacDonald@salemnews.com on behalf of HGLegals@hgazette.com
Sent: Friday, January 10, 2025 4:15 PM
To: Maria Bevilacqua
Cc: Maria Bevilacqua
Subject: Re: Hearing - Zoning Amendment-add new section 7.9 Battery Energy Storage Systems

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Thank you for your email. This notice has been placed through our online legal notice portal. The confirmation has been emailed to you with the proof copy, print date, and cost. An invoice will be sent at the end of the month.

Please let us know if you need any changes of if you have not received the confirmation email.

Cordially,
Christa MacDonald
Haverhill Gazette
North of Boston Media Group
978-946-2157
100 Turnpike St.
North Andover, MA 01845

•Emails received after **3:00 p.m.** will not be processed until the following business day. This includes both requests for changes and new orders. For urgent matters please contact our Legal Advertising Manager, Christa MacDonald, at cmacdonald@northofboston.com

•Please review your proof promptly. If no changes are requested, the notice will print as shown.

•To our pre-pay customers -- payment will be required before publication.

From: "Maria Bevilacqua" <maria@haverhillma.gov>
To: "HGLegals@hgazette.com" <HGLegals@hgazette.com>
Cc: "Kaitlin Wright" <kwright@haverhillma.gov>
Date: 01/07/2025 03:14 PM
Subject: Hearing - Zoning Amendment-add new section 7.9 Battery Energy Storage Systems

Afternoon:

Please run this Hearing ad 2 times in the Gazette – Feb 20 & 27, 2025. Hearing Zoning Amendment – add a new section 7.9 Battery Energy Storage Systems.

Questions - please contact me at 978-420-3624.

Thank you!

Maria Bevilacqua

Ordinance

From: North of Boston <noreply@wave2adportal.com>
Sent: Friday, January 10, 2025 3:59 PM
To: Maria Bevilacqua; Kaitlin Wright
Subject: Thank you for placing your order with us.
Attachments: W01296150.pdf

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THANK YOU for your notice submission!

This is your confirmation that your order has been submitted. Below are the details of your transaction. Please save this confirmation for your records.

<p>Job Details Order Number: W0129615 Business Type: All Other Public Notices Notice Size: Public Notices Notice Estimate: \$46.15 Referral Code: Zoning Ordinance Battery Storage Systems</p>	<p>Schedule for notice number W01296150 Thu Feb 20, 2025 Haverhill Gazette Public Notices All Zones CITY OF HAVERHILL In Municipal Council Municipal Ordinance Chapter An Ordinance re: Zoning - Add new section 7.9 Battery Storage Systems Since this Ordinance exceeds in length eight octavo pages of ordinary book print, in lieu of advertising, it is published by the City Council in a municipal bulletin placed on file in the City Clerk's Office and posted on the municipal bulletin in City Hall. PLACED ON FILE for at least 10 days Attest; Kaitlin M Wright City Clerk HG - February 20 2025</p>
<p>Account Details Haverhill Clerk 4 SUMMER ST STE 118 HAVERHILL, MA 01830 978-374-2312 cityclerk@cityofhaverhill.com HAVERHILL CITY CLERK</p>	

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Maria Bevilacqua

City Clerk's Office

Room 118

4 Summer st

Haverhill, MA 01830[attachment "Hearing Zoning 2025 - Add new section 7.9 Battery Energy Storage Systems-Gazette Feb 20 & 27 2025.docx" deleted by Christa MacDonald/NOB]

16.3

Document # 5-B

Ordinance re: Zoning - Add a new section 7.9 Battery Energy Storage Systems

filed January 9, 2025

IN CITY COUNCIL: SEPTEMBER 30, 2025

CONTINUED TO DEC 2, 2025

9 YEAS, 0 NAYS, 1 ABSENT, 1 ABSTENTATION

Attest: Kaitlin M. Wright
Kaitlin M. Wright, CMC
City Clerk

Approved: Melinda E. Barrett
Melinda E. Barrett, Mayor

5-B

10/1

Filed
8 Octavo pages

10:20

JAN 2 PM3:41
HAVCITYCLERK

MUNICIPAL ORDINANCE CHAPTER 255 Zoning

AN ORDINANCE RELATING TO AMENDING CHAPTER 255, ZONING BY ADDING A NEW SECTION 7.9 BATTERY ENERGY STORAGE SYSTEMS

BE IT ORDAINED by the City Council of the City of Haverhill that Chapter 255, Zoning, of the Code of the City of Haverhill, as amended, being and is hereby further amended as follows by inserting the following new section 7.9 entitled "Battery Energy Storage Systems";

For Hearing March 18, 2025

§7.9 BATTERY ENERGY STORAGE SYSTEMS

§7.9.1. Purpose.

The purpose of this Section is to advance and protect the public health, safety, welfare, and quality of life by creating regulations for the installation and use of free-standing battery energy storage systems ("BESS"), with the following objectives:

- A. To provide a regulatory scheme for the location, construction and operation of free-standing BESS consistent with best practices and safety protocols;
- B. To ensure compatible land uses in the vicinity of the areas affected by BESS and to mitigate any potential impacts on abutting and nearby properties; and
- C. To mitigate the impacts of BESS on environmental resources such as agricultural lands, forests, wildlife, wetlands and other natural resources.

This Section shall be construed to be consistent with state law, including but not limited to the provisions of General Laws chapter 40A, section 3, and state regulations, including but not limited to the provisions of the State Building Code, State Fire Code, and State Electrical Code. In the event of any conflict between the provisions of this section and the provisions of state law or regulations, the state law and regulations shall prevail.

7.9.2. Definitions.

See "battery energy storage systems" in Section 11.0

7.9.3 Applicability.

- A. The requirements of this ordinance shall apply to BESS permitted, installed, decommissioned or modified after the effective date of this ordinance, excluding general maintenance and repair. BESS subject to this ordinance are only those that exceed the following capacities:

5-B

10,2,1, 5

- Lead-acid with a capacity of greater than 70 kW
- Nickel with a capacity of greater than 70 kW
- Lithium-ion with a capacity of greater than 30 kW
- Sodium nickel chloride with a capacity of greater than 20 kW
- Flow with a capacity of greater than 20 kW
- Other battery technologies with a capacity of greater than 20 kW

B. Only BESS that meet the criteria herein shall be permitted under this ordinance. BESS permitted under and subject to this ordinance shall be classified either as a Tier 1, Tier 2 or Tier 3 BESS as set forth herein. All sizes noted in this section shall include the total capacity of the proposed facility and not refer solely as a limitation on total export. For avoidance of doubt, a proposed system which has an export capacity of 50 MW but has a total storage or redundancy capacity of 100 MW shall be treated as a 100 MW system.

1. Tier 1 BESS have an aggregate capacity less than or equal to 500 kW, derive 51% or more of their power from Solar Energy Systems as defined herein, and, if in a room or enclosed area, consist of only a single energy storage system technology.
2. Tier 2 BESS consist of those which meet one or more of the following criteria;
 - a. have an aggregate energy capacity greater than 500kW and less than 5 MW, but no greater than 5 MW;
 - b. are comprised of more than one storage battery facility in a room or enclosed area;
 - c. derive less than 51% of their power from Solar Energy Systems as defined herein.
3. Tier 3 BESS consist of those which meet one or more of the following criteria;
 - a. have an aggregate capacity greater than 5 MW, but no greater than 200MW;
 - b. are comprised of more than one storage battery facility in a room or enclosed area;
 - c. derive less than 51% of their power from Solar Energy Systems as defined herein.

§ 7.9.4. General Requirements

- A. All permits required by state codes, including but not limited to building permit, an electrical permit, and a fire department permit shall be required for installation of all BESS.
- B. All BESS, all Dedicated Use Buildings, and all other buildings or structures that (a) contain or are otherwise associated with a battery energy storage system; and (b) subject to the requirements of the State Building Code, shall be designed, erected, and installed in accordance with all applicable provisions of the State Building Code

5B
780 CMR, State Fire Code 527 CMR 1.00, and State Electrical Code 527 CMR 12.00. All BESS shall comply with NFPA 855, Standard for the Installation of Stationary Energy Storage Systems.

- C. Energy storage system capacities, including array capacity and separation, are limited to the thresholds contained in NFPA 855.

§ 7.9.5. Permitting Requirements for Tier 1 BESS

Tier 1 BESS are allowed by right in all zoning districts, subject to applicable provisions of the State Building Code, Electrical Code, Fire Code, and other applicable codes, and are subject to site plan review in accordance with section 10.8 hereof and such provisions of this ordinance as are applicable.

Tier 1 BESS and appurtenances shall be prohibited in the Zone A and Zone 1 public water supply protection areas.

§ 7.9.6. Permitting Requirements for Tier 1, Tier 2 and Tier 3 BESS

§ 7.9.6.1 Special Permit Required. Tier 2 and Tier 3 BESS subject to this ordinance require the issuance of a Special Permit in those zoning districts identified in Appendix A, Table 1, and are subject to Major Site Plan Review pursuant to Section 10.8. Tier 2 and Tier 3 BESS shall comply with the applicable requirements set forth in this ordinance including the General Special Permit Criteria set forth in section 10.4.2, as well as this Section 7.9, and the Haverhill General Ordinances. The City Council shall be the Special Permit Granting Authority (“SPGA”). The Applicant shall be required to submit all materials required in accordance with the SPGA Rules and Regulations, in addition to any other materials necessary or as may be required in order to support that the Application meets the Design Requirements set forth in section 7.9.6.2 herein.

§ 7.9.6.1.1 Development Review Required As Part of Hearing Process: For the purpose of a Special Permit filed hereunder, the Applicant shall be required to submit a complete application for a Special Permit in accordance with the Requirements hereunder. Following the opening of the Public Hearing by the SPGA, the Application shall be referred to the Development Review Committee as set forth in §10.1.4 hereof. The Development Review Committee shall meet with the Applicant who shall be required to provide any additional information as the Committee may reasonably request and the Development Review Committee shall provide the SPGA with its recommendations within ninety (90) days of the date upon which the application was thereto referred.

§ 7.9.6.1.2 Prohibitions: Notwithstanding the foregoing, Tier 2 and Tier 3 BESS and appurtenances shall be prohibited in the Zone A and Zone I public water supply protection areas.

§ 7.9.6.2 Design Requirements. The following requirements apply to all BESS subject to this ordinance, except where it is specifically noted to apply only to Tier 2 or Tier 3 BESS:

- A. Site Plan Drawings. The Applicant shall provide a full set of Site Drawings stamped by a Massachusetts Registered Professional Engineer inclusive of items set forth in section 7.9.7.K.1 hereof.

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10.2.15

- B. Utility Lines and Electrical Circuitry. All on-site utility lines shall be placed underground to the extent feasible and as permitted by the serving utility, with the exception of the main service connection at the utility company right-of-way and any new interconnection equipment, including without limitation any poles.
- C. Signage. Signage shall comply with the requirements of Section 6.2 of this Zoning Ordinance and the following additional requirements; in the event of a conflict between the provisions of Section 6.2 and this section, the requirements of this section shall control.
1. The signage shall be in compliance with ANSI Z535 and shall include the type of technology associated with the BESS, any special hazards associated, the type of suppression system installed in the area of BESS, and 24-hour emergency contact information, including reach-back phone number.
 2. As required by the state electrical code, disconnect and other emergency shutoff information shall be clearly displayed on a light reflective surface. A clearly visible warning sign concerning voltage shall be placed at the base of all pad-mounted transformers and substations.
 3. Signage compliant with ANSI Z535 shall be provided on doors to rooms, entrances to BESS facilities, and on BESS outdoor containers.
- D. Lighting. Lighting of the BESS shall be limited to that minimally required for safety, security and operational purposes, shall be shielded from abutting properties, shall be directed downward, shall incorporate full cut-off fixtures to reduce light pollution and shall otherwise be consistent with local, state and federal law. A photometric plan shall be required.
- E. Vegetation and tree cutting. Areas within ten feet on each side of Tier 2 and Tier 3 BESS shall be cleared of combustible vegetation and other combustible growth. Single specimens of trees, shrubbery, or cultivated ground cover such as green grass, ivy, succulents, or similar plants used as ground covers shall be permitted provided that they do not form a means of readily transmitting fire. Removal of trees should be minimized to the extent possible. No tree or vegetation clearing shall be permitted within the Setbacks as noted below except for the purposes of the area of ingress and egress to the site. Vegetation control in the Water Supply Protection Overlay District (WSPOD) shall be by mowing or other mechanical means. The use of synthetic pesticides, herbicides, and fertilizers shall be prohibited for BESS facilities within the WSPOD.
- F. Setbacks. Tier 2 and Tier 3 BESS shall be set back a minimum of 50 yards from all side, rear, and front lot lines; except that Tier 2 and Tier 3 BESS shall be set back a minimum of 100 yards from side, rear, and front lot lines that abut or are across a street from residential zoning districts or existing single, two-family, or multi-family structures. The minimum setback areas shall include a Buffer Area at least fifty feet wide along all property lines. Access drives and parking are allowed in the setback areas, except emergency access as noted below, but shall not intrude into the required setback areas except where necessary to provide access or egress to the property. In addition, a minimum of 50 feet must be maintained between BESS components and all buildings, stored combustible materials, hazardous materials, high-piled storage, personnel means of egress, and other exposure hazards not associated with electrical grid infrastructure.
- G. Emergency Access: There shall be a 60-foot-wide paved emergency access road around the

50

10.2.1.5

complete perimeter of the facility but inside the required setback area which may not exceed a 7% grade at any time. Ongoing maintenance of the access road including snow removal after 3 inches of snow shall be included as part of the Operations and Maintenance Plan required herein.

- H. Lot Size. The minimum lot size for Tier 1 BESS shall not be less than 1 acre. The minimum lot size for a Tier 2 BESS shall be not less than 10 acres and the minimum lot size for a Tier 3 BESS shall be no less than 20.
- I. Dimensional. All BESS shall comply with the dimensional limitations for principal structures of the underlying zoning district as provided in Appendix B, Table 2, of this Zoning Ordinance, unless otherwise provided in this ordinance. No BESS shall exceed 15 feet in height and there shall be no vertical stacking of BESS units.
- J. Fencing Requirements. Tier 2 and Tier 3 BESS, including all mechanical equipment, shall be enclosed by a minimum eight-foot high fence with a self-locking gate to prevent unauthorized access unless housed in a dedicated-use building. All gates shall accommodate a Knox box or other accessible means to allow access to public safety personnel. Security barriers, fences, landscaping, and other enclosures must not inhibit required air flow to or exhaust from the BESS and components. Electrical equipment greater than 1,000V require a separate and additional means to restrict access. NFPA 855 requires specialty safety systems to be provided based on the BESS chemistry and installed location.
- K. Screening and Visibility. Tier 2 and Tier 3 BESS shall have views minimized from adjacent properties to the extent reasonably practicable using architectural features, earth berms, landscaping, or other screening methods that will harmonize with the character of the property and surrounding area. Such features may not inhibit required air flow to or exhaust from the BESS and components and must comply with the setbacks established in paragraph G above.
- L. Failure Protection. All Tier 2 and Tier 3 BESS shall include an impenetrable layer beneath the surface and no closer than four (4) feet to the closest water table which will cause any discharge to flow into a basin located on site which will then capture and/or treat any runoff as a result of a failed battery or fire or other destruction. The Application shall include details of the proposed catchment system along with a detailed stormwater report and stamped detailed engineering plans from a Massachusetts Registered Professional Engineer depicting the stormwater system. All BESS facilities located within the WSPOD shall have full containment to capture all releases, either intentionally from maintenance or accidental in nature. Release and runoff shall not be allowed.
- M. Batteries. Failed battery cells and modules shall not be stored on the site and shall be removed no later than 30 days after deemed failed by the BESS operator or cell/module manufacturer. The operator shall notify the Haverhill Fire Chief in advance if the type of battery or batteries used onsite is to be changed. All failed battery cells and modules shall not be stored outdoors and must be protected from further damage and potential release of contaminants to the environment.
- N. Storage. No equipment or hazardous materials, in liquid, dry, or gas form, shall be stored onsite of the BESS other than those items in quantities necessary for the proper operation of the facility. Any storage for materials deemed necessary shall be properly labeled, covered and contained to protect from release to the environment.

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- O. Acoustical Impacts. No system shall cause an increase in acoustical levels over ambient at the Property line. An acoustical study prepared by a Massachusetts Registered Acoustical Engineer shall be provided.
- P. Water Source. A municipal water source shall be provided including a FDC within 100 feet before the entrance to the Hazard Area on the Property. The Applicant shall present evidence including a hydraulic analysis in accordance to the City standard to support that there is adequate volume and pressure for fire suppression on the Property and not have a detrimental impact on the surrounding neighborhood. The applicant shall be required to make any related offsite improvement to achieve the required standard to alleviate any impact on the adjacent users.
- Q. Decommissioning Plan. The applicant shall submit with its application a decommissioning plan for all BESS to be implemented upon abandonment and/or in conjunction with removal of the facility. The owner or operator of the BESS shall notify the Building Commissioner in writing at least twenty days prior to when a BESS will be decommissioned. Decommissioning of an abandoned or discontinued BESS shall be completed within six months after the facility ceases operation. The decommissioning plan shall include:
1. A narrative description of the activities to be accomplished, including who will perform that activity and at what point in time, for complete physical removal of all BESS components, structures, equipment, security barriers, and transmission lines from the site;
 2. Disposal of all solid and hazardous waste in accordance with local, state, and federal waste disposal regulations;
 3. The anticipated life of the BESS;
 4. The estimated decommissioning costs and how said estimate was determined, including an allowance for annual cost of living increases or increases due to inflation;
 5. The method of ensuring that funds will be available for decommissioning and restoration;
 6. The method by which the decommissioning cost will be kept current;
 7. The manner in which the site will be restored, including a description of how any changes to the surrounding areas and other systems adjacent to the BESS, such as, but not limited to, structural elements, building penetrations, means of egress, and required fire detection suppression systems, will be protected during decommissioning and confirmed as being acceptable after the system is removed; and
 8. A listing of any contingencies for removing an intact operational energy storage system from service, and for removing an energy storage system from service that has been damaged by a fire or other event.
- R. Decommissioning Fund. The owner and/or operator of the energy storage system, shall

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continuously maintain a fund or other surety acceptable to the City, in a form approved by the City Council and City Solicitor, for the removal of the BESS, in an amount to be determined by the City, and which includes the City as loss payee, for the period of the life of the facility. All costs of the financial security shall be borne by the Applicant.

- S. Proof of Liability Insurance. The applicant or property owner shall provide evidence of commercial liability insurance in an amount and type generally acceptable in the industry and approved by the Planning Board prior to the issuance of a building permit, and shall continue such insurance in effect until such facility has been decommissioned, removed, and the site restored in accordance with this ordinance.

§ 7.9.6.3 Special Permit Criteria. In addition to the general Special Permit criteria set forth in section 10.4.2 of this Ordinance, an application for Tier 2 or Tier 3 BESS shall meet the following criteria:

A. The project protects the ground water and surrounding properties from catastrophic failure of one or more of the batteries or cells by implementing appropriate catchment and filtration systems for water run off or run off from the system.

B. The project appropriately attenuates sound intrusion beyond the property lines onto adjacent properties so that there is no change in ambient sound after construction and during operations of the system.

C. The project includes only dark sky compliant down lighting which does not intrude beyond the property lines onto adjacent properties.

D. The project is secure and addresses possible trespass or other intrusion by individuals not affiliated with the project.

E. The project meets the public safety needs of the City.

F. The project minimizes visual impacts from utility infrastructure for interconnection.

F. The project is minimally visible from adjacent properties.

§ 7.9.7. Site Plan application.

For all BESS the Site Plan application shall include the following information, in addition to that required by Section 10.8 of this Zoning Ordinance and the applicable Planning Board requirements governing Site Plan Applications:

A. Utility Infrastructure information requirements:

1. A one- or three-line electrical diagram detailing the BESS layout, associated components, and electrical interconnection methods, with all State Electrical Code compliant disconnects and over current devices.
2. The Applicant shall provide a copy of the fully executed Interconnection Services Agreement (“ISA”) with the local utility distribution company.
3. If the ISA has not been issued, the Applicant shall be required to provide a full copy of the Application for Interconnection filed with the local utility distribution

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company.

- B. Preliminary equipment specification sheets that document the proposed BESS components, inverters and associated electrical equipment that are to be installed. A final equipment specification sheet shall be submitted prior to the issuance of building permit.
- C. Name, address, and contact information of proposed or potential system installer and the owner and/or operator of the BESS. Such information of the final system installer shall be submitted prior to the issuance of building permit.
- D. Large-scale fire test data, evaluation information, and calculations, and modeling data. For any of the following, UL 9540A fire test data must be made available to the Planning Board for review:
 - BESS systems with a capacity of greater than 50 kW
 - BESS systems with spacing between arrays of less than 3 feet
- E. Commissioning Plan. The system installer or commissioning agent shall prepare a commissioning plan prior to the start of commissioning. Such plan shall be compliant with NFPA 855 and document and verify that the system and its associated controls and safety systems are in proper working condition per requirements set forth in applicable state codes. Where commissioning is required by the Building Code, BESS commissioning shall be conducted by a Massachusetts Licensed Professional Engineer after the installation is complete but prior to final inspection and approval. A corrective action plan shall be developed for any open or continuing issues that are allowed to be continued after commissioning. A report describing the results of the system commissioning and including the results of the initial acceptance testing required by applicable state codes shall be provided to Zoning Enforcement Officer prior to final inspection and approval and maintained at an approved on-site location.
- F. Fire Safety Compliance Plan. Such plan shall document and verify that the system and its associated controls and safety systems are in compliance with state codes, including documentation that BESS components comply with the safety standards set forth in subsection 7.9.9. Such plan shall also include a detailed training plan for public safety personnel.
- G. Operation and Maintenance Manual. Such plan shall describe continuing BESS maintenance and property upkeep, as well as design, construction, installation, testing and commissioning information and shall meet all requirements set forth state codes and NFPA 855. Maintenance provisions will be driven by manufacturer requirements for the specific listed system. It shall address maintenance of the access and perimeter roadways, perimeter fencing, and shall include a snow removal plan and 24 hours access requirements by public safety officials. There shall be an annual; acoustical review to assure ongoing compliance with the requirement of no change from ambient at the property line and fire department inspection.
- H. Depending on the location of the BESS in relation to and its interaction with the electrical grid, interconnection will be completed per 527 CMR 12.00. System interconnections into utility grids shall be in accordance with NFPA 855 and the local distribution company standards for interconnection of distributed energy resources. An accessible disconnect is

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required per 527 CMR 12.00.

- I. Prior to the issuance of the building permit, As Built engineering documents must be signed and sealed by a Massachusetts Licensed Professional Engineer and provided to the Building Commissioner and Planning Department .
- J. Emergency Operations Plan. An Emergency Operations Plan compliant with NFPA 855 is required. A copy of the approved Emergency Operations Plan shall be given to the system operator, the local fire department, local fire code official and police department. For so long as the BESS is operational, the operator shall provide the Fire Department, Police Department, Building Commissioner, and Mayor's office with contact information for personnel that can be reached 24 hours per day every day, and this contact information shall be updated by the operator whenever there is a change in the information. The operator shall also be required to have an official representative be present onsite not later than two hours after notification by the Fire Chief, Police Chief, or their designee. A permanent copy shall also be placed in an approved location to be accessible to facility personnel, fire code officials, and emergency responders. The emergency operations plan shall include the following information:
 1. Procedures for safe shutdown, de-energizing, or isolation of equipment and systems under emergency conditions to reduce the risk of fire, electric shock, and personal injuries, and for safe start-up following cessation of emergency conditions.
 2. Procedures for inspection and testing of associated alarms, interlocks, and controls, including time intervals for inspection and testing.
 3. Procedures to be followed in response to notifications from the Battery Energy Storage Management System, when provided, that could signify potentially dangerous conditions, including shutting down equipment, summoning service and repair personnel, and providing agreed upon notification to fire department personnel for potentially hazardous conditions in the event of a system failure.
 4. Emergency procedures to be followed in case of fire, explosion, release of liquids or vapors, damage to critical moving parts, or other potentially dangerous conditions. Procedures can include sounding the alarm, notifying the fire department, evacuating personnel, de-energizing equipment, and controlling and extinguishing the fire.
 5. Response considerations similar to a safety data sheet (SDS) that will address response safety concerns and extinguishment when an SDS is not required.
 6. Procedures for safe disposal of BESS equipment damaged in a fire or other emergency event, including maintaining contact information for personnel qualified to safely remove damaged BESS equipment from the facility.
 7. Other procedures as determined necessary by the City to provide for the safety of occupants, neighboring properties, and emergency responders.

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8. Procedures and schedules for conducting drills of these procedures and for training local first responders on the contents of the plan and appropriate response procedures.

K. Each Application shall be accompanied by the following information:

1. A certified plot plan at a minimum scale of one inch equals 40 feet and a maximum scale of one inch equals 20 feet. The site plan shall contain:
 - a. Date of site plan with all revisions noted and dated. Title of development, North arrow, scale, map and lot number, name and address of record owner, name and address of person preparing the site plan.
 - b. The names of all owners of record of adjacent properties, and the map and lot number of the properties and all buildings.
 - c. Zoning district boundaries and flood zone boundaries shall be shown as they affect the property including limits of the WSPOD and public water supply Zone A and Zone I on the overall site plan.
 - d. Boundaries of the property and lines of existing street, lots, easements and areas dedicated to public use, including rights of way.
 - e. A locus map showing the location of the property with reference to surrounding area.
 - f. A table indicating all calculations necessary to determine conformance to Bylaw regulations including current required and proposed regulations.
 - g. Square footage of property to the nearest 10 square feet.

2. All plans must include the location of existing and proposed buildings, walls, fences, culverts, parking areas, loading areas, walkways and driveways.
 - a. Location and dimensions of utilities, gas, telephone, electrical, communications, water drainage, sewer and other waste disposal.
 - b. Location, type and dimensions of landscaping and screening.
 - c. Location of existing rock outcroppings, high points, vistas, ponds, depressions, wetlands, major trees (twelve-inch caliper and over) and any other significant existing features.
 - d. Two-foot contours where slopes are less than 15% and five-foot contours when 15% or more. Existing contours shall be indicated by dashed line. Proposed contours shall be indicated by solid line.
 - e. Dimensioned schematic drawings of all proposed buildings. Scale shall not exceed 1/4 inch equals one foot nor less than 1/8 inch equals one foot.
 - f. A narrative describing the proposal and addressing the foregoing requirements.
 - g. Location of street numbers indicated on the schematic drawings and/or site plan.

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- h. Surface and water pollution. A report on the impact of Stormwater runoff on adjacent and downstream surface water bodies, subsurface groundwater and the water table.
- i. Soils. The potential dangers of erosion and sedimentation caused by the operation and maintenance of the proposed development.
- j. General environmental impact. A report on the relationship of the proposed development of the major botanical, zoological, geological and hydrological resources of the site, and compatibility of the proposed development with adjacent or surrounding land uses and neighborhoods.
- k. Traffic impact. A report on existing street capacities, estimated average daily traffic generation, composition, peak hour levels and directional flows resulting from the proposed development, proposed methods to mitigate the estimated traffic impact and methodology and sources used to derive existing data and estimations.
- l. Renderings showing the proposed project in relationship to its surroundings.

§ 7.9.8. Ownership Changes.

If the owner of the BESS changes or the owner of the property changes, the Special Permit shall remain in effect, provided that the successor owner or operator assumes in writing all of the obligations of the Special Permit, Site Plan approval, and decommissioning plan. A new owner or operator of the BESS shall notify the Building Commissioner of such change in ownership or operator within 14 days of the ownership change. A new owner or operator must provide such notification to the Building Commissioner in writing.

§ 7.9.9. Safety

System Certification. BESS and equipment shall be listed by a Nationally Recognized Testing Laboratory to UL 9540 (Standard for BESS and Equipment) or approved equivalent, with subcomponents meeting each of the following standards as applicable:

- A. UL 1973 (Standard for Batteries for Use in Stationary, Vehicle Auxiliary Power and Light Electric Rail Applications),
- B. UL 1642 (Standard for Lithium Batteries),
- C. UL 1741 or UL 62109 (Inverters and Power Converters),
- D. Certified under the applicable electrical, building, and fire prevention codes as required.
- E. Alternatively, field evaluation by an approved testing laboratory for compliance with UL 9540 (or approved equivalent) and applicable codes, regulations and safety standards may be used to meet system certification requirements.

Site Access. BESS shall be maintained in good working order and in accordance with industry standards. Site access shall be maintained, including snow removal at a level acceptable to the local

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fire department.

BESS, components, and associated ancillary equipment shall have required working space clearances, and electrical circuitry shall be within weatherproof enclosures marked with the environmental rating suitable for the type of exposure in compliance with NFPA 70.

§ 7.9.11. Abandonment

The BESS shall be considered abandoned when it ceases to operate consistently for more than one year. If the owner and/or operator fails to comply with decommissioning upon any abandonment, the City may, after compliance with any applicable state and federal constitutional requirements, enter the property and utilize the available bond and/or security for the removal of any BESS and restoration of the site in accordance with the decommissioning plan.

And further add the following new definition to § 11.1 of Chapter 255

§ 11.1

BATTERY ENERGY STORAGE SYSTEM (“BESS”) -- An electronic system that protects energy storage systems from operating outside their safe operating parameters and disconnects electrical power to the energy storage system or places it in a safe condition if potentially hazardous temperatures or other conditions are detected. For the purposes of this bylaw, BESS are comprised of three (3) types as further described in § 7.9.3.B. of this bylaw; Tier 1 BESS, Tier 2 BESS and Tier 3 BESS.

And further to amend section 3.1.3, Table of Use and Parking regulations by allowing Tier 1, Tier 2 and Tier 3 BESS in the districts as follows:

	RS	RR	RL	RM	RH	RU	CN	CH	CG	CC	CM	OP	BG	BP	PC
I. MISCELLANEOUS COMMERCIAL USES (cont'd)															
22. Kennel or veterinary hospital in which all animals, fowl or other forms of life are completely enclosed in pens or other structures	BA	BA	N	N	N	N	N	BA	N	N	N	N	N	N	D
23. Commercial communications and/or television tower, provided that it shall be at least 500 feet from any R District	BA	N	N	N	N	N	N	BA	BA	BA	N	BA	BA	BA	None
24. Battery Energy Storage Systems: Tier 1	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>N</u>	<u>Y</u>	<u>Y</u>	<u>None</u>
25. Battery Energy Storage Systems: Tier 2	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>CC</u>	<u>None</u>

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<u>26. Battery Energy Storage Systems: Tier 3</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>CC</u>	<u>None</u>
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IN CITY COUNCIL: January 7 2025
 PLACED ON FILE for at least 10 days

Attest:
 _____ City Clerk

IN CITY COUNCIL: March 18 2025
 CONTINUED TO APRIL 29 2025 (with Hearing)

Attest:
 _____ City Clerk

IN CITY COUNCIL: April 29 2025
 HEARING CONTINUED TO JUNE 3 2025

Attest:
 _____ City Clerk

IN CITY COUNCIL: June 3 2025
 REQUEST BY CITY SOLICITOR TO CONTINUE TO JULY 8 2025

Attest:
 _____ City Clerk

IN CITY COUNCIL: July 8 2025
 CONTINUED TO AUGUST 5, 2025

Attest:
 _____ City Clerk

IN CITY COUNCIL: August 5 2025
 CONTINUE TO SEPTEMBER 30, 2025

Attest:
 _____ City Clerk

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Filed ✓
8 Octavo pages

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COPY

MUNICIPAL ORDINANCE CHAPTER 255 Zoning

JAN 2 PM 5:41
HAVERHILL CITY CLERK

AN ORDINANCE RELATING TO AMENDING CHAPTER 255, ZONING BY ADDING A NEW SECTION 7.9 BATTERY ENERGY STORAGE SYSTEMS

BE IT ORDAINED by the City Council of the City of Haverhill that Chapter 255, Zoning, of the Code of the City of Haverhill, as amended, being and is hereby further amended as follows by inserting the following new section 7.9 entitled "Battery Energy Storage Systems";

For Hearing March 18, 2025

§7.9 BATTERY ENERGY STORAGE SYSTEMS

§7.9.1. Purpose.

The purpose of this Section is to advance and protect the public health, safety, welfare, and quality of life by creating regulations for the installation and use of free-standing battery energy storage systems ("BESS"), with the following objectives:

- A. To provide a regulatory scheme for the location, construction and operation of free-standing BESS consistent with best practices and safety protocols;
- B. To ensure compatible land uses in the vicinity of the areas affected by BESS and to mitigate any potential impacts on abutting and nearby properties; and
- C. To mitigate the impacts of BESS on environmental resources such as agricultural lands, forests, wildlife, wetlands and other natural resources.

This Section shall be construed to be consistent with state law, including but not limited to the provisions of General Laws chapter 40A, section 3, and state regulations, including but not limited to the provisions of the State Building Code, State Fire Code, and State Electrical Code. In the event of any conflict between the provisions of this section and the provisions of state law or regulations, the state law and regulations shall prevail.

7.9.2. Definitions.

See "battery energy storage systems" in Section 11.0

7.9.3 Applicability.

- A. The requirements of this ordinance shall apply to BESS permitted, installed, decommissioned or modified after the effective date of this ordinance, excluding general maintenance and repair. BESS subject to this ordinance are only those that exceed the following capacities:

- Lead-acid with a capacity of greater than 70 kW
- Nickel with a capacity of greater than 70 kW
- Lithium-ion with a capacity of greater than 30 kW
- Sodium nickel chloride with a capacity of greater than 20 kW
- Flow with a capacity of greater than 20 kW
- Other battery technologies with a capacity of greater than 20 kW

B. Only BESS that meet the criteria herein shall be permitted under this ordinance. BESS permitted under and subject to this ordinance shall be classified either as a Tier 1, Tier 2 or Tier 3 BESS as set forth herein. All sizes noted in this section shall include the total capacity of the proposed facility and not refer solely as a limitation on total export. For avoidance of doubt, a proposed system which has an export capacity of 50 MW but has a total storage or redundancy capacity of 100 MW shall be treated as a 100 MW system.

1. Tier 1 BESS have an aggregate capacity less than or equal to 500 kW, derive 51% or more of their power from Solar Energy Systems as defined herein, and, if in a room or enclosed area, consist of only a single energy storage system technology.
2. Tier 2 BESS consist of those which meet one or more of the following criteria;
 - a. have an aggregate energy capacity greater than 500kW and less than 5 MW, but no greater than 5 MW;
 - b. are comprised of more than one storage battery facility in a room or enclosed area;
 - c. derive less than 51% of their power from Solar Energy Systems as defined herein.
3. Tier 3 BESS consist of those which meet one or more of the following criteria;
 - a. have an aggregate capacity greater than 5 MW, but no greater than 200MW;
 - b. are comprised of more than one storage battery facility in a room or enclosed area;
 - c. derive less than 51% of their power from Solar Energy Systems as defined herein.

§ 7.9.4. General Requirements

- A. All permits required by state codes, including but not limited to building permit, an electrical permit, and a fire department permit shall be required for installation of all BESS.
- B. All BESS, all Dedicated Use Buildings, and all other buildings or structures that (a) contain or are otherwise associated with a battery energy storage system; and (b) subject to the requirements of the State Building Code, shall be designed, erected, and installed in accordance with all applicable provisions of the State Building Code

780 CMR, State Fire Code 527 CMR 1.00, and State Electrical Code 527 CMR 12.00. All BESS shall comply with NFPA 855, Standard for the Installation of Stationary Energy Storage Systems.

- C. Energy storage system capacities, including array capacity and separation, are limited to the thresholds contained in NFPA 855.

§ 7.9.5. Permitting Requirements for Tier 1 BESS

Tier 1 BESS are allowed by right in all zoning districts, subject to applicable provisions of the State Building Code, Electrical Code, Fire Code, and other applicable codes, and are subject to site plan review in accordance with section 10.8 hereof and such provisions of this ordinance as are applicable.

Tier 1 BESS and appurtenances shall be prohibited in the Zone A and Zone 1 public water supply protection areas.

§ 7.9.6. Permitting Requirements for Tier 1, Tier 2 and Tier 3 BESS

§ 7.9.6.1 Special Permit Required. Tier 2 and Tier 3 BESS subject to this ordinance require the issuance of a Special Permit in those zoning districts identified in Appendix A, Table 1, and are subject to Major Site Plan Review pursuant to Section 10.8. Tier 2 and Tier 3 BESS shall comply with the applicable requirements set forth in this ordinance including the General Special Permit Criteria set forth in section 10.4.2, as well as this Section 7.9 , and the Haverhill General Ordinances. The City Council shall be the Special Permit Granting Authority (“SPGA”). The Applicant shall be required to submit all materials required in accordance with the SPGA Rules and Regulations, in addition to any other materials necessary or as may be required in order to support that the Application meets the Design Requirements set forth in section 7.9.6.2 herein.

§ 7.9.6.1.1 Development Review Required As Part of Hearing Process: For the purpose of a Special Permit filed hereunder, the Applicant shall be required to submit a complete application for a Special Permit in accordance with the Requirements hereunder. Following the opening of the Public Hearing by the SPGA, the Application shall be referred to the Development Review Committee as set forth in §10.1.4 hereof. The Development Review Committee shall meet with the Applicant who shall be required to provide any additional information as the Committee may reasonably request and the Development Review Committee shall provide the SPGA with its recommendations within ninety (90) days of the date upon which the application was thereto referred.

§ 7.9.6.1.2 Prohibitions: Notwithstanding the foregoing, Tier 2 and Tier 3 BESS and appurtenances shall be prohibited in the Zone A and Zone I public water supply protection areas.

§ 7.9.6.2 Design Requirements. The following requirements apply to all BESS subject to this ordinance, except where it is specifically noted to apply only to Tier 2 or Tier 3 BESS:

- A. Site Plan Drawings. The Applicant shall provide a full set of Site Drawings stamped by a Massachusetts Registered Professional Engineer inclusive of items set forth in section 7.9.7.K.1 hereof.

- B. Utility Lines and Electrical Circuitry. All on-site utility lines shall be placed underground to the extent feasible and as permitted by the serving utility, with the exception of the main service connection at the utility company right-of-way and any new interconnection equipment, including without limitation any poles.
- C. Signage. Signage shall comply with the requirements of Section 6.2 of this Zoning Ordinance and the following additional requirements; in the event of a conflict between the provisions of Section 6.2 and this section, the requirements of this section shall control.
1. The signage shall be in compliance with ANSI Z535 and shall include the type of technology associated with the BESS, any special hazards associated, the type of suppression system installed in the area of BESS, and 24-hour emergency contact information, including reach-back phone number.
 2. As required by the state electrical code, disconnect and other emergency shutoff information shall be clearly displayed on a light reflective surface. A clearly visible warning sign concerning voltage shall be placed at the base of all pad-mounted transformers and substations.
 3. Signage compliant with ANSI Z535 shall be provided on doors to rooms, entrances to BESS facilities, and on BESS outdoor containers.
- D. Lighting. Lighting of the BESS shall be limited to that minimally required for safety, security and operational purposes, shall be shielded from abutting properties, shall be directed downward, shall incorporate full cut-off fixtures to reduce light pollution and shall otherwise be consistent with local, state and federal law. A photometric plan shall be required.
- E. Vegetation and tree cutting. Areas within ten feet on each side of Tier 2 and Tier 3 BESS shall be cleared of combustible vegetation and other combustible growth. Single specimens of trees, shrubbery, or cultivated ground cover such as green grass, ivy, succulents, or similar plants used as ground covers shall be permitted provided that they do not form a means of readily transmitting fire. Removal of trees should be minimized to the extent possible. No tree or vegetation clearing shall be permitted within the Setbacks as noted below except for the purposes of the area of ingress and egress to the site. Vegetation control in the Water Supply Protection Overlay District (WSPOD) shall be by mowing or other mechanical means. The use of synthetic pesticides, herbicides, and fertilizers shall be prohibited for BESS facilities within the WSPOD.
- F. Setbacks. Tier 2 and Tier 3 BESS shall be set back a minimum of 50 yards from all side, rear, and front lot lines; except that Tier 2 and Tier 3 BESS shall be set back a minimum of 100 yards from side, rear, and front lot lines that abut or are across a street from residential zoning districts or existing single, two-family, or multi-family structures. The minimum setback areas shall include a Buffer Area at least fifty feet wide along all property lines. Access drives and parking are allowed in the setback areas, except emergency access as noted below, but shall not intrude into the required setback areas except where necessary to provide access or egress to the property. In addition, a minimum of 50 feet must be maintained between BESS components and all buildings, stored combustible materials, hazardous materials, high-piled storage, personnel means of egress, and other exposure hazards not associated with electrical grid infrastructure.
- G. Emergency Access: There shall be a 60-foot-wide paved emergency access road around the

complete perimeter of the facility but inside the required setback area which may not exceed a 7% grade at any time. Ongoing maintenance of the access road including snow removal after 3 inches of snow shall be included as part of the Operations and Maintenance Plan required herein.

- H. Lot Size. The minimum lot size for Tier 1 BESS shall not be less than 1 acre. The minimum lot size for a Tier 2 BESS shall be not less than 10 acres and the minimum lot size for a Tier 3 BESS shall be no less than 20.
- I. Dimensional. All BESS shall comply with the dimensional limitations for principal structures of the underlying zoning district as provided in Appendix B, Table 2, of this Zoning Ordinance, unless otherwise provided in this ordinance. No BESS shall exceed 15 feet in height and there shall be no vertical stacking of BESS units.
- J. Fencing Requirements. Tier 2 and Tier 3 BESS, including all mechanical equipment, shall be enclosed by a minimum eight-foot high fence with a self-locking gate to prevent unauthorized access unless housed in a dedicated-use building. All gates shall accommodate a knock box or other accessible means to allow access to public safety personnel. Security barriers, fences, landscaping, and other enclosures must not inhibit required air flow to or exhaust from the BESS and components. Electrical equipment greater than 1,000V require a separate and additional means to restrict access. NFPA 855 requires specialty safety systems to be provided based on the BESS chemistry and installed location.
- K. Screening and Visibility. Tier 2 and Tier 3 BESS shall have views minimized from adjacent properties to the extent reasonably practicable using architectural features, earth berms, landscaping, or other screening methods that will harmonize with the character of the property and surrounding area. Such features may not inhibit required air flow to or exhaust from the BESS and components and must comply with the setbacks established in paragraph G above.
- L. Failure Protection. All Tier 2 and Tier 3 BESS shall include an impenetrable layer beneath the surface and no closer than four (4) feet to the closest water table which will cause any discharge to flow into a basin located on site which will then capture and/or treat any runoff as a result of a failed battery or fire or other destruction. The Application shall include details of the proposed catchment system along with a detailed stormwater report and stamped detailed engineering plans from a Massachusetts Registered Professional Engineer depicting the stormwater system. All BESS facilities located within the WSPOD shall have full containment to capture all releases, either intentionally from maintenance or accidental in nature. Release and runoff shall not be allowed.
- M. Batteries. Failed battery cells and modules shall not be stored on the site and shall be removed no later than 30 days after deemed failed by the BESS operator or cell/module manufacturer. The operator shall notify the Haverhill Fire Chief in advance if the type of battery or batteries used onsite is to be changed. All failed battery cells and modules shall not be stored outdoors and must be protected from further damage and potential release of contaminants to the environment.
- N. Storage. No equipment or hazardous materials, in liquid, dry, or gas form, shall be stored onsite of the BESS other than those items in quantities necessary for the proper operation of the facility. Any storage for materials deemed necessary shall be properly labeled, covered and contained to protect from release to the environment.

- O. Acoustical Impacts. No system shall cause an increase in acoustical levels over ambient at the Property line. An acoustical study prepared by a Massachusetts Registered Acoustical Engineer shall be provided.
- P. Water Source. A municipal water source shall be provided including a FDC within 100 feet before the entrance to the Hazard Area on the Property. The Applicant shall present evidence including a hydraulic analysis in accordance to the City standard to support that there is adequate volume and pressure for fire suppression on the Property and not have a detrimental impact on the surrounding neighborhood. The applicant shall be required to make any related offsite improvement to achieve the required standard to alleviate any impact on the adjacent users.
- Q. Decommissioning Plan. The applicant shall submit with its application a decommissioning plan for all BESS to be implemented upon abandonment and/or in conjunction with removal of the facility. The owner or operator of the BESS shall notify the Building Commissioner in writing at least twenty days prior to when a BESS will be decommissioned. Decommissioning of an abandoned or discontinued BESS shall be completed within six months after the facility ceases operation. The decommissioning plan shall include:
1. A narrative description of the activities to be accomplished, including who will perform that activity and at what point in time, for complete physical removal of all BESS components, structures, equipment, security barriers, and transmission lines from the site;
 2. Disposal of all solid and hazardous waste in accordance with local, state, and federal waste disposal regulations;
 3. The anticipated life of the BESS;
 4. The estimated decommissioning costs and how said estimate was determined, including an allowance for annual cost of living increases or increases due to inflation;
 5. The method of ensuring that funds will be available for decommissioning and restoration;
 6. The method by which the decommissioning cost will be kept current;
 7. The manner in which the site will be restored, including a description of how any changes to the surrounding areas and other systems adjacent to the BESS, such as, but not limited to, structural elements, building penetrations, means of egress, and required fire detection suppression systems, will be protected during decommissioning and confirmed as being acceptable after the system is removed; and
 8. A listing of any contingencies for removing an intact operational energy storage system from service, and for removing an energy storage system from service that has been damaged by a fire or other event.
- R. Decommissioning Fund. The owner and/or operator of the energy storage system, shall

continuously maintain a fund or other surety acceptable to the City, in a form approved by the City Council and City Solicitor, for the removal of the BESS, in an amount to be determined by the City, and which includes the City as loss payee, for the period of the life of the facility. All costs of the financial security shall be borne by the Applicant.

- S. Proof of Liability Insurance. The applicant or property owner shall provide evidence of commercial liability insurance in an amount and type generally acceptable in the industry and approved by the Planning Board prior to the issuance of a building permit, and shall continue such insurance in effect until such facility has been decommissioned, removed, and the site restored in accordance with this ordinance.

§ 7.9.6.3 Special Permit Criteria. In addition to the general Special Permit criteria set forth in section 10.4.2 of this Ordinance, an application for Tier 2 or Tier 3 BESS shall meet the following criteria:

- A. The project protects the ground water and surrounding properties from catastrophic failure of one or more of the batteries or cells by implementing appropriate catchment and filtration systems for water run off or run off from the system.
- B. The project appropriately attenuates sound intrusion beyond the property lines onto adjacent properties so that there is no change in ambient sound after construction and during operations of the system.
- C. The project includes only dark sky compliant down lighting which does not intrude beyond the property lines onto adjacent properties.
- D. The project is secure and addresses possible trespass or other intrusion by individuals not affiliated with the project.
- E. The project meets the public safety needs of the City.
- F. The project minimizes visual impacts from utility infrastructure for interconnection.
- F. The project is minimally visible from adjacent properties.

§ 7.9.7. Site Plan application.

For all BESS the Site Plan application shall include the following information, in addition to that required by Section 10.8 of this Zoning Ordinance and the applicable Planning Board requirements governing Site Plan Applications:

- A. Utility Infrastructure information requirements:
 - 1. A one- or three-line electrical diagram detailing the BESS layout, associated components, and electrical interconnection methods, with all State Electrical Code compliant disconnects and over current devices.
 - 2. The Applicant shall provide a copy of the fully executed Interconnection Services Agreement (“ISA”) with the local utility distribution company.
 - 3. If the ISA has not been issued, the Applicant shall be required to provide a full copy of the Application for Interconnection filed with the local utility distribution

company.

- B. Preliminary equipment specification sheets that document the proposed BESS components, inverters and associated electrical equipment that are to be installed. A final equipment specification sheet shall be submitted prior to the issuance of building permit.
- C. Name, address, and contact information of proposed or potential system installer and the owner and/or operator of the BESS. Such information of the final system installer shall be submitted prior to the issuance of building permit.
- D. Large-scale fire test data, evaluation information, and calculations, and modeling data. For any of the following, UL 9540A fire test data must be made available to the Planning Board for review:
 - BESS systems with a capacity of greater than 50 kW
 - BESS systems with spacing between arrays of less than 3 feet
- E. Commissioning Plan. The system installer or commissioning agent shall prepare a commissioning plan prior to the start of commissioning. Such plan shall be compliant with NFPA 855 and document and verify that the system and its associated controls and safety systems are in proper working condition per requirements set forth in applicable state codes. Where commissioning is required by the Building Code, BESS commissioning shall be conducted by a Massachusetts Licensed Professional Engineer after the installation is complete but prior to final inspection and approval. A corrective action plan shall be developed for any open or continuing issues that are allowed to be continued after commissioning. A report describing the results of the system commissioning and including the results of the initial acceptance testing required by applicable state codes shall be provided to Zoning Enforcement Officer prior to final inspection and approval and maintained at an approved on-site location.
- F. Fire Safety Compliance Plan. Such plan shall document and verify that the system and its associated controls and safety systems are in compliance with state codes, including documentation that BESS components comply with the safety standards set forth in subsection 7.9.9. Such plan shall also include a detailed training plan for public safety personnel.
- G. Operation and Maintenance Manual. Such plan shall describe continuing BESS maintenance and property upkeep, as well as design, construction, installation, testing and commissioning information and shall meet all requirements set forth state codes and NFPA 855. Maintenance provisions will be driven by manufacturer requirements for the specific listed system. It shall address maintenance of the access and perimeter roadways, perimeter fencing, and shall include a snow removal plan and 24 hours access requirements by public safety officials. There shall be an annual; acoustical review to assure ongoing compliance with the requirement of no change from ambient at the property line and fire department inspection.
- H. Depending on the location of the BESS in relation to and its interaction with the electrical grid, interconnection will be completed per 527 CMR 12.00. System interconnections into utility grids shall be in accordance with NFPA 855 and the local distribution company standards for interconnection of distributed energy resources. An accessible disconnect is

required per 527 CMR 12.00.

- I. Prior to the issuance of the building permit, AsBuilt engineering documents must be signed and sealed by a Massachusetts Licensed Professional Engineer and provided to the Building Commissioner and Planning Department .
- J. Emergency Operations Plan. An Emergency Operations Plan compliant with NFPA 855 is required. A copy of the approved Emergency Operations Plan shall be given to the system operator, the local fire department, local fire code official and police department. For so long as the BESS is operational, the operator shall provide the Fire Department, Police Department, Building Commissioner, and Mayor's office with contact information for personnel that can be reached 24 hours per day every day, and this contact information shall be updated by the operator whenever there is a change in the information. The operator shall also be required to have an official representative be present onsite not later than two hours after notification by the Fire Chief, Police Chief, or their designee. A permanent copy shall also be placed in an approved location to be accessible to facility personnel, fire code officials, and emergency responders. The emergency operations plan shall include the following information:
 1. Procedures for safe shutdown, de-energizing, or isolation of equipment and systems under emergency conditions to reduce the risk of fire, electric shock, and personal injuries, and for safe start-up following cessation of emergency conditions.
 2. Procedures for inspection and testing of associated alarms, interlocks, and controls, including time intervals for inspection and testing.
 3. Procedures to be followed in response to notifications from the Battery Energy Storage Management System, when provided, that could signify potentially dangerous conditions, including shutting down equipment, summoning service and repair personnel, and providing agreed upon notification to fire department personnel for potentially hazardous conditions in the event of a system failure.
 4. Emergency procedures to be followed in case of fire, explosion, release of liquids or vapors, damage to critical moving parts, or other potentially dangerous conditions. Procedures can include sounding the alarm, notifying the fire department, evacuating personnel, de-energizing equipment, and controlling and extinguishing the fire.
 5. Response considerations similar to a safety data sheet (SDS) that will address response safety concerns and extinguishment when an SDS is not required.
 6. Procedures for safe disposal of BESS equipment damaged in a fire or other emergency event, including maintaining contact information for personnel qualified to safely remove damaged BESS equipment from the facility.
 7. Other procedures as determined necessary by the City to provide for the safety of occupants, neighboring properties, and emergency responders.

8. Procedures and schedules for conducting drills of these procedures and for training local first responders on the contents of the plan and appropriate response procedures.
- K. Each Application shall be accompanied by the following information:
1. A certified plot plan at a minimum scale of one inch equals 40 feet and a maximum scale of one inch equals 20 feet. The site plan shall contain:
 - a. Date of site plan with all revisions noted and dated. Title of development, North arrow, scale, map and lot number, name and address of record owner, name and address of person preparing the site plan.
 - b. The names of all owners of record of adjacent properties, and the map and lot number of the properties and all buildings.
 - c. Zoning district boundaries and flood zone boundaries shall be shown as they affect the property including limits of the WSPOD and public water supply Zone A and Zone I on the overall site plan.
 - d. Boundaries of the property and lines of existing street, lots, easements and areas dedicated to public use, including rights of way.
 - e. A locus map showing the location of the property with reference to surrounding area.
 - f. A table indicating all calculations necessary to determine conformance to Bylaw regulations including current required and proposed regulations.
 - g. Square footage of property to the nearest 10 square feet.
 2. All plans must include the location of existing and proposed buildings, walls, fences, culverts, parking areas, loading areas, walkways and driveways.
 - a. Location and dimensions of utilities, gas, telephone, electrical, communications, water drainage, sewer and other waste disposal.
 - b. Location, type and dimensions of landscaping and screening.
 - c. Location of existing rock outcroppings, high points, vistas, ponds, depressions, wetlands, major trees (twelve-inch caliper and over) and any other significant existing features.
 - d. Two-foot contours where slopes are less than 15% and five-foot contours when 15% or more. Existing contours shall be indicated by dashed line. Proposed contours shall be indicated by solid line.
 - e. Dimensioned schematic drawings of all proposed buildings. Scale shall not exceed $\frac{1}{4}$ inch equals one foot nor less than $\frac{1}{8}$ inch equals one foot.
 - f. A narrative describing the proposal and addressing the foregoing requirements.
 - g. Location of street numbers indicated on the schematic drawings and/or site plan.

- h. Surface and water pollution. A report on the impact of Stormwater runoff on adjacent and downstream surface water bodies, subsurface groundwater and the water table.
- i. Soils. The potential dangers of erosion and sedimentation caused by the operation and maintenance of the proposed development.
- j. General environmental impact. A report on the relationship of the proposed development of the major botanical, zoological, geological and hydrological resources of the site, and compatibility of the proposed development with adjacent or surrounding land uses and neighborhoods.
- k. Traffic impact. A report on existing street capacities, estimated average daily traffic generation, composition, peak hour levels and directional flows resulting from the proposed development, proposed methods to mitigate the estimated traffic impact and methodology and sources used to derive existing data and estimations.
- l. Renderings showing the proposed project in relationship to its surroundings.

§ 7.9.8. Ownership Changes.

If the owner of the BESS changes or the owner of the property changes, the Special Permit shall remain in effect, provided that the successor owner or operator assumes in writing all of the obligations of the Special Permit, Site Plan approval, and decommissioning plan. A new owner or operator of the BESS shall notify the Building Commissioner of such change in ownership or operator within 14 days of the ownership change. A new owner or operator must provide such notification to the Building Commissioner in writing.

§ 7.9.9. Safety

System Certification. BESS and equipment shall be listed by a Nationally Recognized Testing Laboratory to UL 9540 (Standard for BESS and Equipment) or approved equivalent, with subcomponents meeting each of the following standards as applicable:

- A. UL 1973 (Standard for Batteries for Use in Stationary, Vehicle Auxiliary Power and Light Electric Rail Applications),
- B. UL 1642 (Standard for Lithium Batteries),
- C. UL 1741 or UL 62109 (Inverters and Power Converters),
- D. Certified under the applicable electrical, building, and fire prevention codes as required.
- E. Alternatively, field evaluation by an approved testing laboratory for compliance with UL 9540 (or approved equivalent) and applicable codes, regulations and safety standards may be used to meet system certification requirements.

Site Access. BESS shall be maintained in good working order and in accordance with industry standards. Site access shall be maintained, including snow removal at a level acceptable to the local

fire department.

BESS, components, and associated ancillary equipment shall have required working space clearances, and electrical circuitry shall be within weatherproof enclosures marked with the environmental rating suitable for the type of exposure in compliance with NFPA 70.

§ 7.9.11. Abandonment

The BESS shall be considered abandoned when it ceases to operate consistently for more than one year. If the owner and/or operator fails to comply with decommissioning upon any abandonment, the City may, after compliance with any applicable state and federal constitutional requirements, enter the property and utilize the available bond and/or security for the removal of any BESS and restoration of the site in accordance with the decommissioning plan.

And further add the following new definition to § 11.1 of Chapter 255

§ 11.1

BATTERY ENERGY STORAGE SYSTEM (“BESS”) -- An electronic system that protects energy storage systems from operating outside their safe operating parameters and disconnects electrical power to the energy storage system or places it in a safe condition if potentially hazardous temperatures or other conditions are detected. For the purposes of this bylaw, BESS are comprised of three (3) types as further described in § 7.9.3.B. of this bylaw; Tier 1 BESS, Tier 2 BESS and Tier 3 BESS.

And further to amend section 3.1.3, Table of Use and Parking regulations by allowing Tier 1, Tier 2 and Tier 3 BESS in the districts as follows:

	RS	RR	RL	RM	RH	RU	CN	CH	CG	CC	CM	OP	BG	BP	PC
I. MISCELLANEOUS COMMERCIAL USES (cont'd)															
22. Kennel or veterinary hospital in which all animals, fowl or other forms of life are completely enclosed in pens or other structures	BA	BA	N	N	N	N	N	BA	N	N	N	N	N	N	D
23. Commercial communications and/or television tower, provided that it shall be at least 500 feet from any R District	BA	N	N	N	N	N	N	BA	BA	BA	N	BA	BA	BA	None
24. Battery Energy Storage Systems: Tier 1	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>N</u>	<u>Y</u>	<u>Y</u>	<u>None</u>
25. Battery Energy Storage Systems: Tier 2	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>CC</u>	<u>None</u>

26. Battery Energy Storage Systems: Tier 3	N	N	N	N	N	N	N	N	N	N	N	N	N	CC	None
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10.2

Kaitlin Wright

From: Lisa Mead <lisa@mtclawyers.com>
Sent: Thursday, February 19, 2026 12:20 PM
To: Kaitlin Wright; Jacki Byerley; Tim Jordan
Cc: Mayor; Lori Robertson; Christine Lindberg; Natalia Hernandez
Subject: RE: BESS Zoning Hearing

Warning! External Email. Exercise caution when opening attachments or clicking on any links.

Katlin,

Can you continue it until Mid-March. I am hopeful to have a new ordinance for you in the next week, which will be filed and that will be withdrawn. Thank you

Lisa

Lisa L. Mead

[she/her/hers]



Mead, Talerman & Costa LLC

30 Green St


Newburyport MA 01950

978 463 7700 ext 101

978 463 7747 (fax)

FEB 19 PM 3:52
HAVERHILL CITY CLERK

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If you have received the above transmittal in error, please delete the message and any attachment(s) hereto from your e-mail system and notify us immediately. *Please consider the environment before printing this email.* 

 Think before you print.

From: Kaitlin Wright <kwright@haverhillma.gov>

Sent: Thursday, February 19, 2026 11:17 AM



12.1.1

Record No: SPWD-26-1

City Council – Waterfront District Permit

Status: Active

Submitted On: 3/9/2026

Primary Location

2 SOUTH GROVE ST Unit MAIN
BLDNG
Bradford, MA 01835

Owner

SOUTH GROVE STREET OWNER
LLC
MERRIMACK STREET 290
LAWRENCE, MA 01843

Applicant

Robert Harb
 978-373-5611
 bobharb@aol.com
 40 Kenoza Avenue
Haverhill, MA 01830

Applicant Information

Applicant Name*

SOUTH GROVE STREET OWNER LLC

Applicant Address*

290 MERRIMACK STREET, SUITE 210,
LAWRENCE, MA 01843

What is your role in this process*

Attorney/Agent

IF OTHER, Please specify

Owner Name and Address*

SOUTH GROVE STREET OWNER LLC;
290 MERRIMACK STREET SUITE 210
LAWRENCE, MA 01843

Waterfront District Sub-Zone *

Sub-Zone F

Map/Block/Lot*

MAP 702;BLOCK 636;PARCELS 1 AND 1C

Permit Application Overview

Are you requesting a major change or a special permit?*

—

Project Name*

0-2 SOUTH GROVE STREET

Project Address*

0-2 SOUTH GROVE STREET

New Construction or Rehabilitation or Both*

REHABILITATION

Total Area of Site*

1.4820 ACRES MORE OR LESS

Number of Dwelling Units*

41

Number of Income Restricted Units*

0

Commercial/Business/Non-Residential Use

0

Square Footage of each use*

VARIES; SEE ORIGINAL FLOOR PLANS FILED WITH ORIGINAL PETITION
ALL SQUARE FOOTAGE IS RESIDENTIAL USE

Project Density*

27.67 UNITS/ACRE

Parking Provided*

85

Detailed Narrative*

This Application for Site Plan Approval (Major) is filed with the City Council (Plan Approval Authority) pursuant to Chapter 255 Section 9.3.21.2 (Change in Plans After Approval). Applicant is requesting approval of new plans to enable Applicant to renovate an existing storage and community area in an existing building on the property into a new 2 bedroom rental unit. Because the Plan change involves the addition of one new unit, this Application is being filed as a new application for by-right (site plan review-major) approval.

The original Approved Site Plan provided for 40 Units to be rented as apartments. This plan proposes 41 units to be rented as apartments. This Application is filed electronically with one paper copy delivered to city Clerk and one paper copy delivered to the Planning Director as requested.

The property is located in the WD-F subzone. The project qualifies for a maximum of 40 units per acre (9.3.12). The project proposes to renovate an existing storage and community area into residential housing. The project is a by right project in the WD-F Zone. In Sub-Zone F, 100% residential development is encouraged. This project that provides market rate housing is a preferred project in this Sub Zone (9.3.10).

The project as a whole meets the design criteria of the ordinance (9.3.9) and is not changed with the addition of one residential unit:









1. A right of way for the rail trail that was provided with the original Plan Approval is shown on the Site Plan filed herewith, was approved by the then Planning Director, and is not being changed.
2. No visual corridors are being changed by the renovation of the community room into a residential unit.
3. The Buildings meet the zoning dimensional requirements.
4. There is no change in dumpsters, utility meters or mechanical units.
5. Adequate municipal services are provided including water, sewer, drainage.
6. Addition of one unit will not burden public facilities and services.
7. Access points and traffic patterns will not be changed by the addition of one unit.





There is no change in the existing height of the building. The submitted plans and documents demonstrate consistency with the standards set forth in the Waterfront District. The Site plan was prepared by a Professional Land Surveyor, and the Building Plans were prepared by a Professional Designer and a Professional Engineer.

Applicant respectfully requests that the City Council find as follows:

- (1) The applicant has submitted the required fees and information as set forth in § 9.3.
- (2) The project and site plan meet the requirements and standards as set forth in § 9.3, or a waiver has been granted therefrom; and
- (3) Extraordinary adverse potential impacts of the project on nearby properties, if any, have been adequately mitigated.

Attachments

	Site Plan 2 S GROVE AB SP PARK FPR2 (1).pdf Uploaded by Robert Harb on Mar 7, 2026 at 12:18 PM	REQUIRED
	Building Elevations 2 S GROVE AB SP PARK FPR2 (1).pdf Uploaded by Robert Harb on Mar 7, 2026 at 12:18 PM	REQUIRED
	Detailed Narrative I-city-2_south_grove_NARRATIVE_Sat_Mar_7_2026_12-23-05.docx Uploaded by Robert Harb on Mar 7, 2026 at 12:39 PM	REQUIRED
	Property Owner's Permission APPLICANT IS OWNER.docx Uploaded by Robert Harb on Mar 7, 2026 at 12:25 PM	REQUIRED
	Written Summary of Project I-city-2_south_grove_NARRATIVE_Sat_Mar_7_2026_12-23-05.docx Uploaded by Robert Harb on Mar 7, 2026 at 12:40 PM	REQUIRED
	Certified Plot Plan 2 S GROVE AB SP PARK FPR2 (1).pdf Uploaded by Robert Harb on Mar 7, 2026 at 12:26 PM	REQUIRED
	Zoning Opinion I-city-2_south_grove_NARRATIVE_Sat_Mar_7_2026_12-23-05.docx Uploaded by Robert Harb on Mar 7, 2026 at 12:41 PM	REQUIRED
	2 South Grove St. floor plans-St._.pdf 2 South Grove St. floor plans-St._.pdf Uploaded by Robert Harb on Mar 7, 2026 at 12:29 PM	

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South Grove St 702-636-1 (app'd 11-30-2017).pdf - Approved Site Plan (2017)
 South Grove St 702-636-1 (app'd 11-30-2017).pdf
 Uploaded by Ally Ruth on Mar 24, 2026 at 8:30 AM
- 
Abutters 2 South Grove St 702.636.1 incl 1C.xlsx
 Abutters 2 South Grove St 702.636.1 incl 1C.xlsx
 Uploaded by Chris Loughnane on Mar 24, 2026 at 11:38 AM
- 
Mailing labels 2 South Grove St 702.636.1 incl 1C.pdf
 Mailing labels 2 South Grove St 702.636.1 incl 1C.pdf
 Uploaded by Chris Loughnane on Mar 24, 2026 at 11:38 AM
- 
ADVERTISEMENT - SPWD-26-1 2 South Grove St .docx
 SPWD-26-1 2 South Grove St Ad.docx
 Uploaded by Kaitlin Wright on Mar 31, 2026 at 11:50 AM

Record Activity

Robert Harb started a draft Record	03/07/2026 at 11:55 am
Robert Harb added file 2 S GROVE AB SP PARK FPR2 (1).pdf	03/07/2026 at 12:18 pm
Robert Harb added file 2 S GROVE AB SP PARK FPR2 (1).pdf	03/07/2026 at 12:18 pm
Robert Harb added file 2 South Groce--Application for Plan Approval Narrative.docx	03/07/2026 at 12:19 pm
Robert Harb removed file 2 South Groce--Application for Plan Approval Narrative.docx	03/07/2026 at 12:20 pm
Robert Harb added file l-city-2 south grove NARRATIVE.docx	03/07/2026 at 12:23 pm
Robert Harb added file APPLICANT IS OWNER.docx	03/07/2026 at 12:25 pm
Robert Harb added file l-city-2 south grove NARRATIVE.docx	03/07/2026 at 12:26 pm
Robert Harb added file 2 S GROVE AB SP PARK FPR2 (1).pdf	03/07/2026 at 12:26 pm
Robert Harb added file l-city-2 south grove NARRATIVE.docx	03/07/2026 at 12:26 pm
Robert Harb added file 2 South Grove St. floor plans--St_.pdf	03/07/2026 at 12:29 pm
Robert Harb removed file l-city-2 south grove NARRATIVE.docx	03/07/2026 at 12:38 pm

Robert Harb added file l-city-2 south grove NARRATIVE.docx	03/07/2026 at 12:38 pm
Robert Harb removed file l-city-2 south grove NARRATIVE.docx	03/07/2026 at 12:38 pm
Robert Harb added file l-city-2_south_grove_NARRATIVE_Sat_Mar_7_2026_12-23-05.docx	03/07/2026 at 12:39 pm
Robert Harb removed file l-city-2 south grove NARRATIVE.docx	03/07/2026 at 12:40 pm
Robert Harb added file l-city-2_south_grove_NARRATIVE_Sat_Mar_7_2026_12-23-05.docx	03/07/2026 at 12:40 pm
Robert Harb removed file l-city-2 south grove NARRATIVE.docx	03/07/2026 at 12:41 pm
Robert Harb added file l-city-2_south_grove_NARRATIVE_Sat_Mar_7_2026_12-23-05.docx	03/07/2026 at 12:41 pm
Robert Harb submitted Record SPWD-26-1	03/09/2026 at 8:41 am
OpenGov system altered payment step Legal Notice Fee, changed status from Inactive to Active on Record SPWD-26-1	03/09/2026 at 8:41 am
OpenGov system altered payment step Special Permit Filing Fee, changed status from Inactive to Active on Record SPWD-26-1	03/09/2026 at 8:41 am
OpenGov system completed payment step Special Permit Filing Fee on Record SPWD-26-1	03/09/2026 at 10:08 am
OpenGov system completed payment step Legal Notice Fee on Record SPWD-26-1	03/09/2026 at 12:39 pm
OpenGov system altered approval step Confirmation of Complete Application, changed status from Inactive to Active on Record SPWD-26-1	03/09/2026 at 12:39 pm
OpenGov system altered approval step Meet with Applicant to Review Application, changed status from Inactive to Active on Record SPWD-26-1	03/09/2026 at 12:39 pm
OpenGov system altered approval step Planning Department Reviews Application, changed status from Inactive to Active on Record SPWD-26-1	03/09/2026 at 12:39 pm
OpenGov system assigned approval step Planning Department Reviews Application to Jacki Byerley on Record SPWD-26-1	03/09/2026 at 12:39 pm
OpenGov system assigned approval step Meet with Applicant to Review Application to Natalia Hernandez on Record SPWD-26-1	03/09/2026 at 12:39 pm
OpenGov system assigned approval step Confirmation of Complete Application to Natalia Hernandez on Record SPWD-26-1	03/09/2026 at 12:39 pm
Kaitlin Wright reassigned approval step Confirmation of Complete Application from Natalia Hernandez to Kaitlin Wright on Record SPWD-26-1	03/11/2026 at 11:12 am
Kaitlin Wright approved approval step Confirmation of Complete Application on Record SPWD-26-1	03/11/2026 at 11:12 am

Natalia Hernandez reassigned approval step Meet with Applicant to Review Application from Natalia Hernandez to Kaitlin Wright on Record SPWD-26-1	03/19/2026 at 8:23 am
Robert Moore altered approval step Conservation Review, changed status from Inactive to Complete on Record SPWD-26-1	03/20/2026 at 3:33 pm
Robert Moore altered approval step Storm Water Review , changed status from Inactive to Complete on Record SPWD-26-1	03/20/2026 at 3:48 pm
Ally Ruth added file South Grove St 702-636-1 (app'd 11-30-2017).pdf to Record SPWD-26-1	03/24/2026 at 8:30 am
Jacki Byerley approved approval step Planning Department Reviews Application on Record SPWD-26-1	03/24/2026 at 10:48 am
Kaitlin Wright approved approval step Meet with Applicant to Review Application on Record SPWD-26-1	03/24/2026 at 11:22 am
OpenGov system altered approval step Assessor for Abutter's List, changed status from Inactive to Active on Record SPWD-26-1	03/24/2026 at 11:22 am
OpenGov system altered approval step City Council Admin Notified, changed status from Inactive to Active on Record SPWD-26-1	03/24/2026 at 11:22 am
OpenGov system altered approval step City Clerk Review - Hearing Dates Set, changed status from Inactive to Active on Record SPWD-26-1	03/24/2026 at 11:22 am
Lori Robertson approved approval step City Council Admin Notified on Record SPWD-26-1	03/24/2026 at 11:24 am
Chris Loughnane added file Abutters 2 South Grove St 702.636.1 incl 1C.xlsx to Record SPWD-26-1	03/24/2026 at 11:38 am
Chris Loughnane added file Mailing labels 2 South Grove St 702.636.1 incl 1C.pdf to Record SPWD-26-1	03/24/2026 at 11:38 am
Chris Loughnane approved approval step Assessor for Abutter's List on Record SPWD-26-1	03/24/2026 at 11:40 am
Kaitlin Wright reassigned approval step City Clerk Review - Hearing Dates Set from Natalia Hernandez to Kaitlin Wright on Record SPWD-26-1	03/30/2026 at 1:55 pm
Kaitlin Wright approved approval step City Clerk Review - Hearing Dates Set on Record SPWD-26-1	03/30/2026 at 1:55 pm
OpenGov system altered approval step Building Inspector Review, changed status from Inactive to Active on Record SPWD-26-1	03/30/2026 at 1:55 pm
OpenGov system altered approval step School Department Review, changed status from Inactive to Active on Record SPWD-26-1	03/30/2026 at 1:55 pm
OpenGov system altered approval step DPW Review, changed status from Inactive to Active on Record SPWD-26-1	03/30/2026 at 1:55 pm
OpenGov system altered approval step Building Review, changed status from Inactive to Active on Record SPWD-26-1	03/30/2026 at 1:55 pm
OpenGov system altered approval step Water Supply Review, changed status from Inactive to Active on Record SPWD-26-1	03/30/2026 at 1:55 pm

OpenGov system altered approval step Water Department Review, changed status from Inactive to Active on Record SPWD-26-1	03/30/2026 at 1:55 pm
OpenGov system altered approval step Engineering Address Review, changed status from Inactive to Active on Record SPWD-26-1	03/30/2026 at 1:55 pm
OpenGov system altered approval step Wastewater Review, changed status from Inactive to Active on Record SPWD-26-1	03/30/2026 at 1:55 pm
OpenGov system altered approval step Plumbing Review, changed status from Inactive to Active on Record SPWD-26-1	03/30/2026 at 1:55 pm
OpenGov system altered approval step Police Review, changed status from Inactive to Active on Record SPWD-26-1	03/30/2026 at 1:55 pm
OpenGov system altered approval step Health Review, changed status from Inactive to Active on Record SPWD-26-1	03/30/2026 at 1:55 pm
OpenGov system altered approval step Fire2 Review, changed status from Inactive to Active on Record SPWD-26-1	03/30/2026 at 1:55 pm
OpenGov system altered approval step Fire1 Review, changed status from Inactive to Active on Record SPWD-26-1	03/30/2026 at 1:55 pm
OpenGov system altered approval step Engineering Review, changed status from Inactive to Active on Record SPWD-26-1	03/30/2026 at 1:55 pm
OpenGov system altered approval step Zoning Review, changed status from Inactive to Active on Record SPWD-26-1	03/30/2026 at 1:55 pm
OpenGov system altered approval step Planning Department Review, changed status from Inactive to Active on Record SPWD-26-1	03/30/2026 at 1:55 pm
OpenGov system assigned approval step Planning Department Review to Jacki Byerley on Record SPWD-26-1	03/30/2026 at 1:55 pm
OpenGov system assigned approval step Zoning Review to Tom Bridgewater on Record SPWD-26-1	03/30/2026 at 1:56 pm
OpenGov system assigned approval step Engineering Review to Lisa Demeo on Record SPWD-26-1	03/30/2026 at 1:56 pm
OpenGov system assigned approval step Fire1 Review to Justin Borden on Record SPWD-26-1	03/30/2026 at 1:56 pm
OpenGov system assigned approval step Fire2 Review to Robert Irvine on Record SPWD-26-1	03/30/2026 at 1:56 pm
OpenGov system assigned approval step Health Review to Mark Tolman on Record SPWD-26-1	03/30/2026 at 1:56 pm
OpenGov system assigned approval step Police Review to Kevin Lynch on Record SPWD-26-1	03/30/2026 at 1:56 pm
OpenGov system assigned approval step Plumbing Review to Dana Ursillo on Record SPWD-26-1	03/30/2026 at 1:56 pm
OpenGov system assigned approval step Wastewater Review to Shaun Burrier on Record SPWD-26-1	03/30/2026 at 1:56 pm

OpenGov system assigned approval step Engineering Address Review to Ally Ruth on Record SPWD-26-1	03/30/2026 at 1:56 pm
OpenGov system assigned approval step Water Department Review to Andrew Carvalho on Record SPWD-26-1	03/30/2026 at 1:56 pm
OpenGov system assigned approval step Water Supply Review to Shaun Burrier on Record SPWD-26-1	03/30/2026 at 1:56 pm
OpenGov system assigned approval step Building Review to Tom Bridgewater on Record SPWD-26-1	03/30/2026 at 1:56 pm
OpenGov system assigned approval step DPW Review to Robert Ward on Record SPWD-26-1	03/30/2026 at 1:56 pm
OpenGov system assigned approval step School Department Review to HPS Superintendent on Record SPWD-26-1	03/30/2026 at 1:56 pm
OpenGov system assigned approval step Building Inspector Review to Tom Bridgewater on Record SPWD-26-1	03/30/2026 at 1:56 pm
Kaitlin Wright assigned approval step Placed on Agenda and Announced Before Council to Kaitlin Wright on Record SPWD-26-1	03/30/2026 at 1:56 pm
Kaitlin Wright altered approval step Placed on Agenda and Announced Before Council, changed status from Inactive to Active on Record SPWD-26-1	03/30/2026 at 1:56 pm
Robert Irvine approved approval step Fire2 Review on Record SPWD-26-1	03/30/2026 at 2:41 pm
Robert Irvine waived approval step Fire1 Review on Record SPWD-26-1	03/30/2026 at 2:41 pm
Lisa Demeo approved approval step Engineering Review on Record SPWD-26-1	03/30/2026 at 3:26 pm
Andrew Carvalho approved approval step Water Department Review on Record SPWD-26-1	03/31/2026 at 8:46 am
Kaitlin Wright added file SPWD-26-1 2 South Grove St Ad.docx to Record SPWD-26-1	03/31/2026 at 11:50 am
Kaitlin Wright approved approval step Placed on Agenda and Announced Before Council on Record SPWD-26-1	03/31/2026 at 11:55 am
Kaitlin Wright altered approval step First Ad Placement, changed status from Inactive to Active on Record SPWD-26-1	03/31/2026 at 11:56 am
Kaitlin Wright assigned approval step First Ad Placement to Kaitlin Wright on Record SPWD-26-1	03/31/2026 at 11:56 am
Kaitlin Wright approved approval step First Ad Placement on Record SPWD-26-1	03/31/2026 at 11:56 am
Kaitlin Wright assigned approval step Second Ad Placement to Kaitlin Wright on Record SPWD-26-1	03/31/2026 at 11:56 am

Kaitlin Wright altered approval step Second Ad Placement, changed status from Inactive to Active on Record SPWD-26-1	03/31/2026 at 11:56 am
Kaitlin Wright approved approval step Second Ad Placement on Record SPWD-26-1	03/31/2026 at 11:56 am
Kaitlin Wright assigned approval step Abutter Notification to Natalia Hernandez on Record SPWD-26-1	03/31/2026 at 11:56 am
Kaitlin Wright altered approval step Abutter Notification, changed status from Inactive to Active on Record SPWD-26-1	03/31/2026 at 11:56 am
Shaun Burrier approved approval step Water Supply Review on Record SPWD-26-1	04/01/2026 at 8:37 am

Timeline

Label	Activated	Completed	Assignee	Due Date	Status
 Special Permit Filing Fee	3/9/2026, 8:41:50 AM	3/9/2026, 10:08:26 AM	Robert Harb	-	Completed
 Legal Notice Fee	3/9/2026, 8:41:50 AM	3/9/2026, 12:39:40 PM	Robert Harb	-	Completed
 Planning Department Reviews Application	3/9/2026, 12:39:41 PM	3/24/2026, 10:48:52 AM	Jacki Byerley	-	Completed
 Meet with Applicant to Review Application	3/9/2026, 12:39:41 PM	3/24/2026, 11:22:40 AM	Kaitlin Wright	-	Completed
 Confirmation of Complete Application	3/9/2026, 12:39:41 PM	3/11/2026, 11:12:26 AM	Kaitlin Wright	-	Completed
 City Clerk Review - Hearing Dates Set	3/24/2026, 11:22:41 AM	3/30/2026, 1:55:58 PM	Kaitlin Wright	-	Completed
 City Council Admin Notified	3/24/2026, 11:22:41 AM	3/24/2026, 11:24:19 AM	Lori Robertson	-	Completed
 Assessor for Abutter's List	3/24/2026, 11:22:41 AM	3/24/2026, 11:40:21 AM	Chris Loughnane	-	Completed
 Planning Department Review	3/30/2026, 1:55:59 PM	-	Jacki Byerley	-	Active
 Zoning Review	3/30/2026, 1:55:59 PM	-	Tom Bridgewater	-	Active

Label	Activated	Completed	Assignee	Due Date	Status
✓ Engineering Review	3/30/2026, 1:55:59 PM	3/30/2026, 3:26:26 PM	Lisa Demeo	-	Completed
✓ Fire1 Review	3/30/2026, 1:55:59 PM	3/30/2026, 2:41:27 PM	Justin Borden	-	Skipped
✓ Fire2 Review	3/30/2026, 1:55:59 PM	3/30/2026, 2:41:21 PM	Robert Irvine	-	Completed
✓ Conservation Review	-	3/20/2026, 3:33:23 PM	-	-	Completed
✓ Health Review	3/30/2026, 1:55:59 PM	-	Mark Tolman	-	Active
✓ Police Review	3/30/2026, 1:55:59 PM	-	Kevin Lynch	-	Active
✓ Plumbing Review	3/30/2026, 1:55:59 PM	-	Dana Ursillo	-	Active
✓ Storm Water Review	-	3/20/2026, 3:48:38 PM	-	-	Completed
✓ Wastewater Review	3/30/2026, 1:55:59 PM	-	Shaun Burrier	-	Active
✓ Engineering Address Review	3/30/2026, 1:55:59 PM	-	Ally Ruth	-	Active
✓ Water Department Review	3/30/2026, 1:55:59 PM	3/31/2026, 8:46:31 AM	Andrew Carvalho	-	Completed
✓ Water Supply Review	3/30/2026, 1:55:59 PM	4/1/2026, 8:37:51 AM	Shaun Burrier	-	Completed
✓ Building Review	3/30/2026, 1:55:59 PM	-	Tom Bridgewater	-	Active
✓ DPW Review	3/30/2026, 1:55:59 PM	-	Robert Ward	-	Active
✓ School Department Review	3/30/2026, 1:55:59 PM	-	HPS Superintendent	-	Active
✓ Building Inspector Review	3/30/2026, 1:55:59 PM	-	Tom Bridgewater	-	Active
✓ Placed on Agenda and Announced Before Council	3/30/2026, 1:56:19 PM	3/31/2026, 11:55:49 AM	Kaitlin Wright	-	Completed
✓ First Ad Placement	3/31/2026, 11:56:09 AM	3/31/2026, 11:56:14 AM	Kaitlin Wright	-	Completed

Label	Activated	Completed	Assignee	Due Date	Status
<input checked="" type="checkbox"/> Abutter Notification	3/31/2026, 11:56:40 AM	-	Natalia Hernandez	-	Active
<input checked="" type="checkbox"/> Second Ad Placement	3/31/2026, 11:56:19 AM	3/31/2026, 11:56:24 AM	Kaitlin Wright	-	Completed
<input checked="" type="checkbox"/> City Council Meeting	-	-	-	-	Inactive
<input checked="" type="checkbox"/> Meeting Minutes & Decision Filed w/City Clerk	-	-	-	-	Inactive



Legal Notice Fee

Record No.SPWD-26-1

Status Completed

Became Active March 9, 2026

Type Payment

Due Date None

Assignee Robert Harb

Invoice ID 1202391

Record No: SPWD-26-1

City Council – Waterfront District Permit

Status: Active

Submitted On: 3/9/2026

Primary Location

2 SOUTH GROVE ST Unit MAIN
BLDNG
Bradford, MA 01835

Owner

SOUTH GROVE STREET OWNER LLC
MERRIMACK STREET 290
LAWRENCE, MA 01843

Applicant

 Robert Harb
 978-373-5611
 bobharb@aol.com
 40 Kenoza Avenue
Haverhill, MA 01830

Fee Breakdown

Fee Name	Total Fee	Paid	Due
<input checked="" type="checkbox"/> Legal Notice Fee	\$200.00	\$200.00	\$0.00
Total	\$200.00	\$200.00	\$0.00

Payment History

Date	Method	Note	Paid
03/09/2026	Credit Card		\$200.00

Step Activity

OpenGov system activated this step	03/09/2026 at 8:41 am
Kaitlin Wright added fee Legal Notice Fee	03/09/2026 at 10:53 am
Kaitlin Wright added comment "Hi Bob, legal notic..."	03/09/2026 at 10:54 am
Robert Harb processed a \$200.00 payment	03/09/2026 at 12:39 pm



Planning Department Reviews Application

Record No.SPWD-26-1

Status Completed

Became Active March 9, 2026

Type Approval

Due Date None

Assignee Jacki Byerley

Record No: SPWD-26-1

City Council - Waterfront District Permit

Status: Active

Submitted On: 3/9/2026

Primary Location

2 SOUTH GROVE ST Unit MAIN
BLDNG
Bradford, MA 01835

Owner

SOUTH GROVE STREET OWNER LLC
MERRIMACK STREET 290
LAWRENCE, MA 01843

Applicant

 Robert Harb
 978-373-5611
 bobharb@aol.com
 40 Kenoza Avenue
Haverhill, MA 01830

Step Activity

OpenGov system activated this step	03/09/2026 at 12:39 pm
OpenGov system assigned this step to Jacki Byerley	03/09/2026 at 12:39 pm
Jacki Byerley added comment "Application submiss..."	03/09/2026 at 2:20 pm
Jacki Byerley added comment "Review meeting comp..."	03/24/2026 at 10:48 am
Jacki Byerley approved this step	03/24/2026 at 10:48 am



Confirmation of Complete Application

Record No.SPWD-26-1

Status Completed

Became Active March 9, 2026

Type Approval

Due Date None

Assignee Kaitlin Wright

Record No: SPWD-26-1

City Council – Waterfront District Permit

Status: Active

Submitted On: 3/9/2026

Primary Location

2 SOUTH GROVE ST Unit MAIN
BLDNG
Bradford, MA 01835

Owner

SOUTH GROVE STREET OWNER LLC
MERRIMACK STREET 290
LAWRENCE, MA 01843

Applicant

 Robert Harb
 978-373-5611
 bobharb@aol.com
 40 Kenoza Avenue
Haverhill, MA 01830

Step Activity

OpenGov system activated this step	03/09/2026 at 12:39 pm
OpenGov system assigned this step to Natalia Hernandez	03/09/2026 at 12:39 pm
Kaitlin Wright reassigned this step from Natalia Hernandez to Kaitlin Wright	03/11/2026 at 11:12 am
Kaitlin Wright approved this step	03/11/2026 at 11:12 am
Kaitlin Wright added comment "Reviewed applicatio..."	03/11/2026 at 11:13 am



City Clerk Review – Hearing Dates Set

Record No.SPWD-26-1

Status Completed

Became Active March 24, 2026

Type Approval

Due Date None

Assignee Kaitlin Wright

Record No: SPWD-26-1

City Council – Waterfront District Permit

Status: Active

Submitted On: 3/9/2026

Primary Location

2 SOUTH GROVE ST Unit MAIN
BLDNG
Bradford, MA 01835

Owner

SOUTH GROVE STREET OWNER LLC
MERRIMACK STREET 290
LAWRENCE, MA 01843

Applicant

 Robert Harb
 978-373-5611
 bobharb@aol.com
 40 Kenoza Avenue
Haverhill, MA 01830

Step Activity

Kaitlin Wright added comment "Applicant is reques..."	03/09/2026 at 11:03 am
OpenGov system activated this step	03/24/2026 at 11:22 am
Kaitlin Wright added comment "Bob, looking to sch..."	03/24/2026 at 11:29 am
Kaitlin Wright added comment "Spoke with Attorney..."	03/30/2026 at 11:36 am
Kaitlin Wright added comment "Hearing will be ann..."	03/30/2026 at 1:55 pm
Kaitlin Wright reassigned this step from Natalia Hernandez to Kaitlin Wright	03/30/2026 at 1:55 pm
Kaitlin Wright approved this step	03/30/2026 at 1:55 pm



Assessor for Abutter's List

Record No.SPWD-26-1

Status Completed

Became Active March 24, 2026

Type Approval

Due Date None

Assignee Chris Loughnane

Record No: SPWD-26-1

City Council - Waterfront District Permit

Status: Active

Submitted On: 3/9/2026

Primary Location

2 SOUTH GROVE ST Unit MAIN
BLDNG
Bradford, MA 01835

Owner

SOUTH GROVE STREET OWNER LLC
MERRIMACK STREET 290
LAWRENCE, MA 01843

Applicant

 Robert Harb
 978-373-5611
 bobharb@aol.com
 40 Kenoza Avenue
Haverhill, MA 01830



Conservation Review

Record No.SPWD-26-1

Status Completed Became Active Unknown
Type Approval Due Date None
Assignee Unassigned

Record No: SPWD-26-1

City Council - Waterfront District Permit

Status: Active

Submitted On: 3/9/2026

Primary Location

2 SOUTH GROVE ST Unit MAIN
BLDNG
Bradford, MA 01835

Owner

SOUTH GROVE STREET OWNER LLC
MERRIMACK STREET 290
LAWRENCE, MA 01843

Applicant

 Robert Harb
 978-373-5611
 bobharb@aol.com
 40 Kenoza Avenue
Haverhill, MA 01830

Step Activity

OpenGov system activated this step

03/24/2026 at 11:22 am

Chris Loughnane added comment "Please see the atta..."

03/24/2026 at 11:39 am

Chris Loughnane added comment "Please see the atta..."

03/24/2026 at 11:40 am

Chris Loughnane approved this step

03/24/2026 at 11:40 am

Step Activity

Robert Moore added comment "n/a"

03/20/2026 at 3:33 pm

Robert Moore altered approval step
Conservation Review, changed status from
Inactive to Complete

03/20/2026 at 3:33 pm



First Ad Placement

Record No.SPWD-26-1

Status Completed

Became Active March 31, 2026

Type Approval

Due Date None

Assignee Kaitlin Wright

Record No: SPWD-26-1

City Council - Waterfront District Permit

Status: Active

Submitted On: 3/9/2026

Primary Location

2 SOUTH GROVE ST Unit MAIN
BLDNG
Bradford, MA 01835

Owner

SOUTH GROVE STREET OWNER LLC
MERRIMACK STREET 290
LAWRENCE, MA 01843

Applicant

 Robert Harb
 978-373-5611
 bobharb@aol.com
 40 Kenoza Avenue
Haverhill, MA 01830

Step Activity

Kaitlin Wright added comment "Ads will run in Gaz..."	03/31/2026 at 11:56 am
Kaitlin Wright activated this step	03/31/2026 at 11:56 am
Kaitlin Wright assigned this step to Kaitlin Wright	03/31/2026 at 11:56 am
Kaitlin Wright approved this step	03/31/2026 at 11:56 am



Second Ad Placement

Record No.SPWD-26-1

Status Completed

Became Active March 31, 2026

Type Approval

Due Date None

Assignee Kaitlin Wright

Record No: SPWD-26-1

City Council – Waterfront District Permit

Status: Active

Submitted On: 3/9/2026

Primary Location

2 SOUTH GROVE ST Unit MAIN
BLDNG
Bradford, MA 01835

Owner

SOUTH GROVE STREET OWNER LLC
MERRIMACK STREET 290
LAWRENCE, MA 01843

Applicant

 Robert Harb
 978-373-5611
 bobharb@aol.com
 40 Kenoza Avenue
Haverhill, MA 01830

Messages

Kaitlin Wright

March 31, 2026 at 11:56 am

Ads will run in Gazette on April 16th and April 23rd.

Step Activity

Kaitlin Wright assigned this step to Kaitlin Wright

03/31/2026 at 11:56 am

Kaitlin Wright activated this step

03/31/2026 at 11:56 am

Kaitlin Wright added comment "<p fr-original-style="" style="box-sizing: border-box; margin: 0px 0px 10px;"><span style='color:..."

03/31/2026 at 11:56 am

Kaitlin Wright approved this step

03/31/2026 at 11:56 am



Storm Water Review

Record No.SPWD-26-1

Status Completed Became Active Unknown
Type Approval Due Date None
Assignee Unassigned

Record No: SPWD-26-1

City Council - Waterfront District Permit

Status: Active

Submitted On: 3/9/2026

Primary Location

2 SOUTH GROVE ST Unit MAIN
BLDNG
Bradford, MA 01835

Owner

SOUTH GROVE STREET OWNER LLC
MERRIMACK STREET 290
LAWRENCE, MA 01843

Applicant

 Robert Harb
 978-373-5611
 bobharb@aol.com
 40 Kenoza Avenue
Haverhill, MA 01830

Step Activity

Robert Moore added comment "Interior remodel
wi..."

03/20/2026 at 3:48 pm

Robert Moore altered approval step Storm Water
Review , changed status from Inactive to
Complete

03/20/2026 at 3:48 pm



Placed on Agenda and Announced Before Council

Record No.SPWD-26-1

Status Completed

Became Active March 30, 2026

Type Approval

Due Date None

Assignee Kaitlin Wright

Record No: SPWD-26-1

City Council - Waterfront District Permit

Status: Active

Submitted On: 3/9/2026

Primary Location

2 SOUTH GROVE ST Unit MAIN
BLDNG
Bradford, MA 01835

Owner

SOUTH GROVE STREET OWNER LLC
MERRIMACK STREET 290
LAWRENCE, MA 01843

Applicant

 Robert Harb
 978-373-5611
 bobharb@aol.com
 40 Kenoza Avenue
Haverhill, MA 01830

Step Activity

Kaitlin Wright assigned this step to Kaitlin Wright

03/30/2026 at 1:56 pm

Kaitlin Wright activated this step

03/30/2026 at 1:56 pm

Kaitlin Wright added comment " "

03/30/2026 at 1:56 pm

Kaitlin Wright approved this step

03/31/2026 at 11:55 am

Thank you for placing your order with us.

From North of Boston <noreply@wave2adportal.com>

Date Thu 4/2/2026 10:08 AM

To CityClerk <cityclerk@haverhillma.gov>

Cc cmacdonald@northofboston.com <cmacdonald@northofboston.com>; Kaitlin Wright <kwright@haverhillma.gov>; Natalia Hernandez <NHernandez@HaverhillMa.gov>

Warning! External Email. Exercise caution when opening attachments or clicking on any links.

THANK YOU for your notice submission!

This is your confirmation that your order has been submitted. Below are the details of your transaction. Please save this confirmation for your records.

Job Details

Order Number: **W0143099**
Business Type: **All Other Public Notices**
Notice Size: **Public Notices**
Notice Estimate: **\$150.00**
Referral Code: **SWPD-26-1**

Account Details

Haverhill Clerk
4 SUMMER ST STE 118
HAVERHILL, MA 01830
978-374-2312
cityclerk@cityofhaverhill.com
HAVERHILL CITY CLERK

Schedule for notice number W01430990

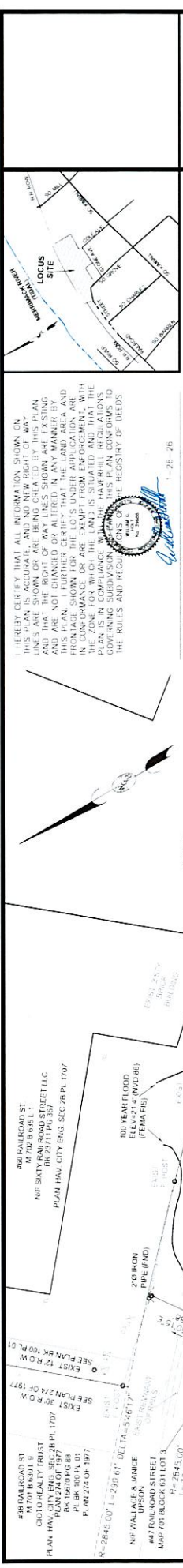
Thu Apr 16, 2026
Haverhill Gazette Public All Zones
Notices
Thu Apr 23, 2026
Haverhill Gazette Public All Zones
Notices

PUBLIC HEARING
City Council Chambers, City Hall,
Room 202, 4 Summer st
Notice is hereby given that a hearing will be held for all parties interested, in a hybrid meeting (in person, virtual), on Tuesday May 12, 2026 at 7:00 PM on a request from Attorney Robert Harb for South Grove Street Owner, LLC. (SPWD-26-1) for major site plan approval to add one additional residential unit on the property located at 2 South Grove St in the Waterfront District - F subzone to enable applicant to renovate an existing storage and community area in an existing building on the property into a new 2-bedroom rental unit.
(Residents who are interested in commenting on this item can either (1) Attend in person (Council Chambers, Room 202) or (2) Attend remotely using the link provided on the public meeting calendar on the City's website.)
Description of area, maps and plans are on file in the City Clerk's Office.
HG - Publication Dates

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This is an automated message, please do not reply to this e-mail. If you have any questions or concerns you may contact us toll-free at 800-681-6248.



SITE PLAN OF LAND
 LOCATED IN
HAVERTHILL,
 MASSACHUSETTS
 PREPARED FOR
 OWNER-APPLICANT
 300 SOUTH RAILROAD STREET
 OWNER LLC
 290 MERRIMACK ST UNIT 210
 LAWRENCE, MA 01843

PREPARED BY
WILLIAM G. HOLIT
 PLS #RS 351
 84 W. MAIN STREET
 MERRIMACK, MA 01860
 TEL: (978) 346-7873

ASSESSOR'S DATA
 HAVERTHILL
 MAP: 702
 BLOCK: 636
 PARCEL: 1 & 1C

NOTES:
 1- TOTAL PARCEL AREA: 44,558 S.F. ±
 1,420 AC ±
 2- EXISTING PARKING AS SHOWN,
 SOME INTERIOR SPACES ARE NOT
 STALLS ARE UNID.
 TYPICAL STALLS ARE 9'x18'
 COMPACT STALLS ARE 9'x16'
 PARALLEL STALLS ARE 10'x30'



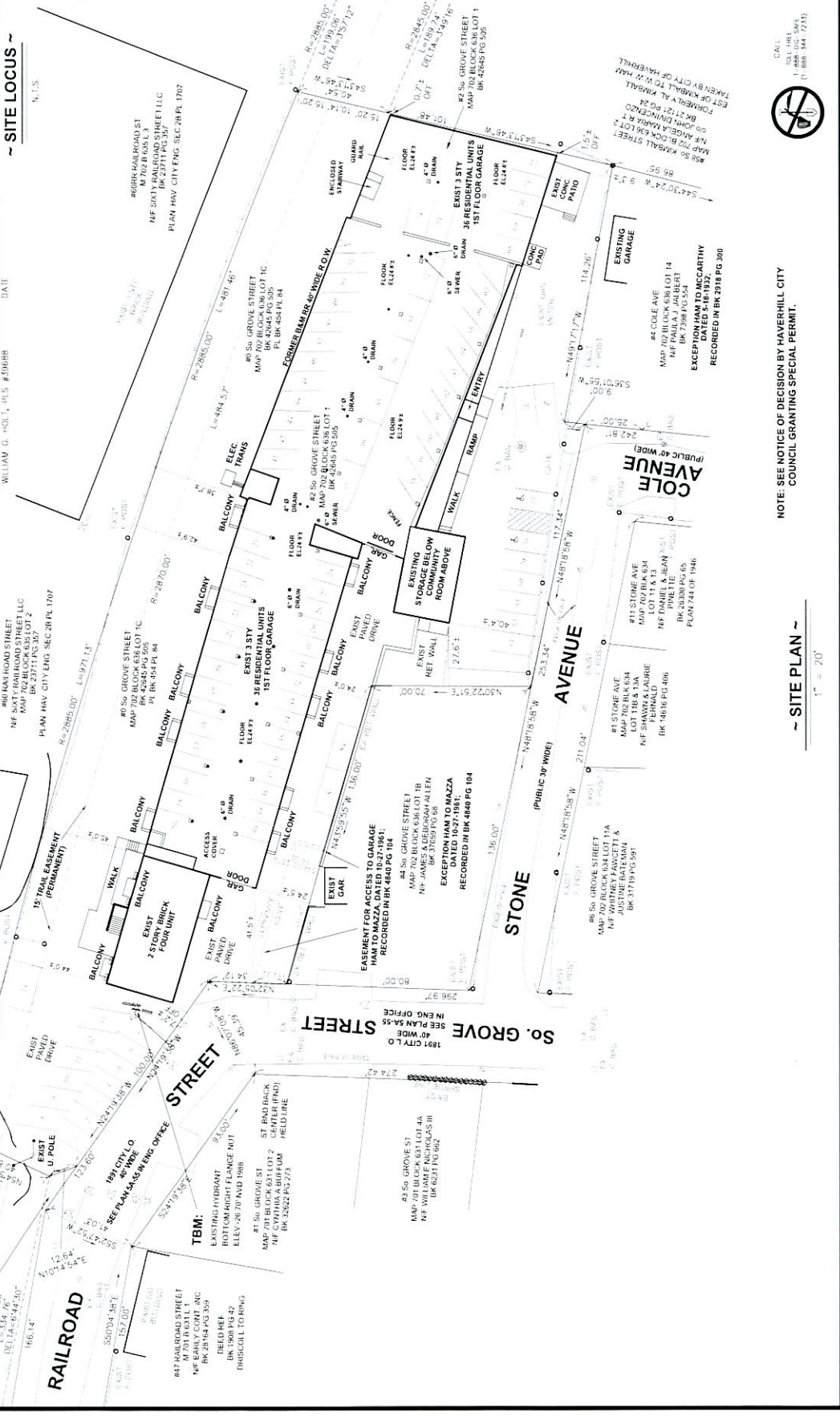
AS-BUILT CONDITIONS
MAP 702 BLK 636 LOTS 1 & 1C
#0 & #2 SO. GROVE STREET
HAVERTHILL, MA 01835

DRAWN: W. HOLIT
 DESIGNED: W. HOLIT
 CHECKED: WHOI
 DATE: 20-DEC-2025
 CAD FILE: wgh/247.dwg
 JOB No.: #22-067-SP-AR

LOGS: REF BK 42649 PG 128
 REF BK 35099 PG 198
 REF BK 18839 PG 249

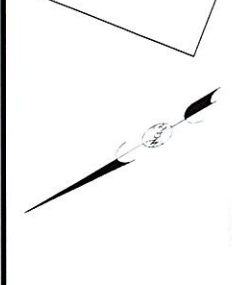
REVISION: BY
 1/26/26 PARK & LABELS: MCH

SHEET: S-1



I HEREBY CERTIFY THAT ALL INFORMATION SHOWN ON THIS PLAN IS ACCURATE, AND NO NEW RIGHT OF WAY LINES ARE SHOWN OR ARE BEING CREATED BY THIS PLAN. I FURTHER CERTIFY THAT THE LAND AREA AND ARE NOT CHANGED OR ALTERED IN ANY MANNER BY THIS PLAN. I FURTHER CERTIFY THAT THE LAND AREA AND FRONTAGE SHOWN ON THIS PLAN UNDER ANY MANNER OF DIVISION OR SUBDIVISION IS IN ACCORDANCE WITH THE ZONE FOR WHICH THE LAND IS SITUATED AND THAT THE PLAN IS IN COMPLIANCE WITH THE HAVERTHILL REGULATIONS GOVERNING SUBDIVISIONS AND THE RECORDS OF RECORDS, THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.

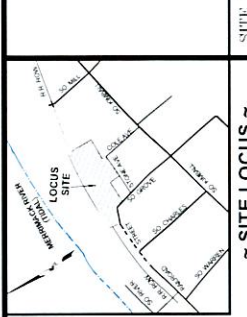
WILLIAM G. HOLIT, PLS #50988 DATE: 1-26-26



NOTE: SEE NOTICE OF DECISION BY HAVERTHILL CITY COUNCIL GRANTING SPECIAL PERMIT.

~ SITE PLAN ~
 1" = 20'

I HEREBY CERTIFY THAT ALL INFORMATION SHOWN ON THIS PLAN IS ACCURATE, AND NO NEW HEIGHT OF WAY RECORDS, EASEMENTS, OR RIGHTS OF WAY HAVE BEEN OBTAINED AND THAT THE RIGHTS OF WAY SHOWN ARE EXISTING AND ARE NOT CHANGED OR ALTERED IN ANY MANNER BY THIS PLAN. I FURTHER CERTIFY THAT THE LAND AREA AND THE LOCATION OF THE BOUNDARIES SHOWN ON THIS PLAN IN CONFORMANCE ARE EXEMPT FROM ENCROACHMENT, WITH THE ZONE FOR WHICH THE LAND IS SITUATED AND THAT THE PLAN IS IN COMPLIANCE WITH THE ZONING REGULATIONS OF THE CITY OF HAVERHILL, MASSACHUSETTS, AND THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS.



SITE PLAN OF LAND
 LOCATED IN
HAVERHILL,
 MASSACHUSETTS
 PREPARED BY
 OWEN D. HUNTER
 OWNER LLC
 SOUTH GROVE STREET
 290 WERRACK ST UNIT 210
 LAWRENCE, MA 01843
 PREPARED BY
WILLIAM G. HOLT
 ENGINEER
 83 W. MAIN STREET 1
 WERRACK, MA 01890
 TEL: (978) 346-7873

ASSESSORS DATA
 HAVERHILL
 MAP: 702
 BLOCK: 636
 PARCEL: 1 X 1 C

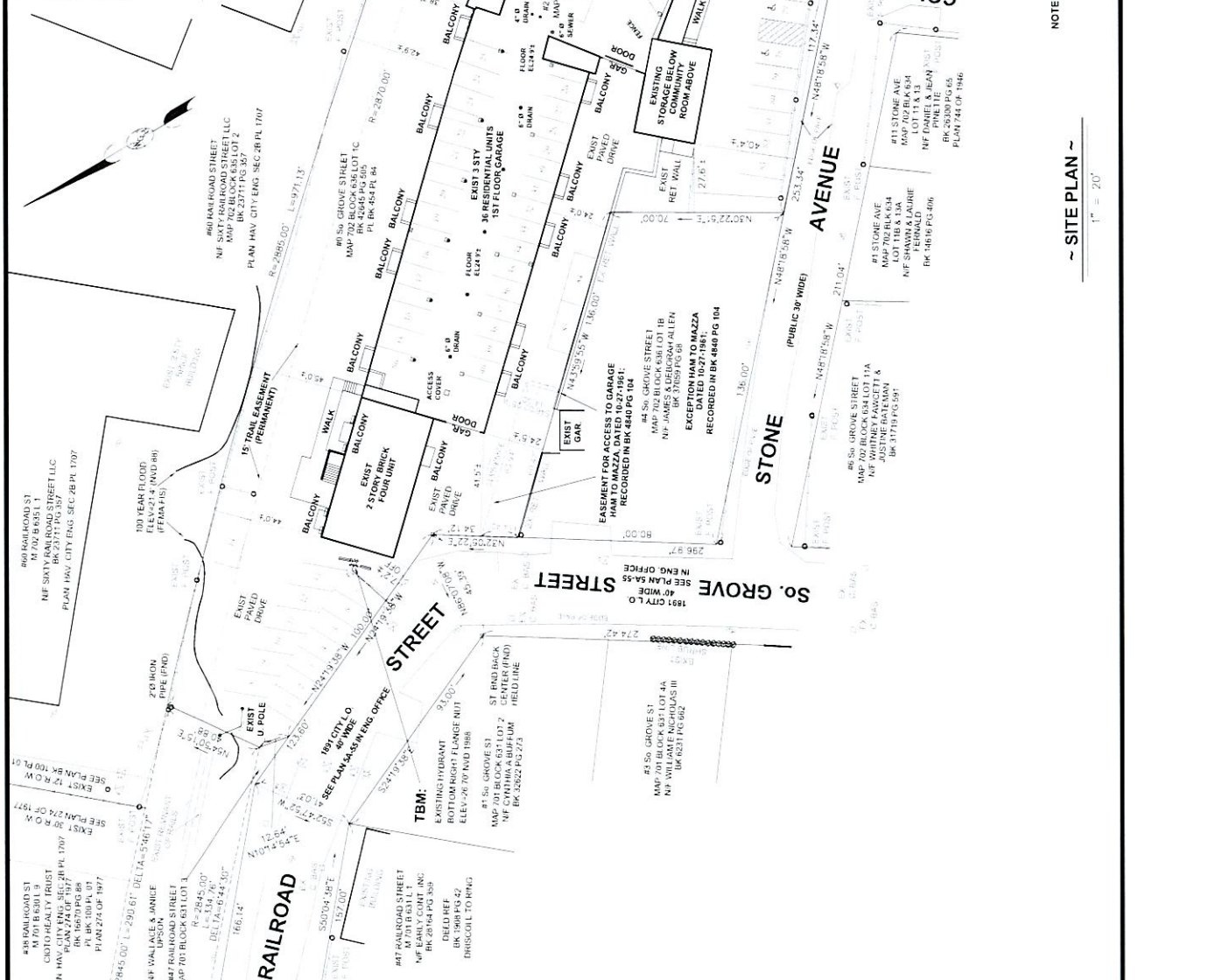
NOTES:
 1-TOTAL PARCEL AREA 14,830 AC.
 2-EXISTING BUILDINGS AS SHOWN ON THIS PLAN ARE NOT LINED, NONE OF THE EXTERIOR WALLS ARE LINED. PARALLEL STALLS ARE 11' WIDE. PARALLEL STALLS ARE 10'28".



AS-BUILT CONDITIONS
MAP 702 BLK 636 LOTS 1 & 1C
#40 & #2 So. GROVE STREET
HAVERHILL, MA 01835
 DRAWN: W. HOLT
 DESIGNED: W. HOLT
 CHECKED: W. HOLT
 DATE: 20-DEC-2025
 CAD FILE: WPD/24/7 ORDM. MSP
 JOB No. #22-057-SP. AH
 REF: BK 42649 PG 602
 REF: BK 35099 PG 598
 REF: BK 49353 PG 249
 REF: BK 42649 PG 602
 REF: BK 42649 PG 602
 DIVISION: 1/26/26 PARK & LABELS
 WCH

SHEET: S-1

~ SITE LOCUS ~
 DATE: 1-26-26
 WILLIAM G. HOLT, PLS #5068H



NOTE: SEE NOTICE OF DECISION BY HAVERHILL CITY COUNCIL GRANTING SPECIAL PERMIT.

~ SITE PLAN ~
 1" = 20'



CALL
 1-800-343-5451
 (1-888-344-7255)

City Council
City of Haverhill
4 Summer Street
Haverhill, MA 01830

Re: Application for Major Site Plan Approval for a Multifamily Dwelling in WD-F
Zoning District (Modification of Major Site Plan Approval to Add One Unit)
Applicant/Owner: South Grove Street Owner, LLC
Contact Name: Attorney Robert D Harb , 40 Kenoza Avenue, Haverhill, MA
Tel: 978-373-5611
Property Location: 0 and 2 South Grove Street, Bradford, MA 01835
Assessor's Map 702 Block 636 Lots 1 and 1C
Contains 1.4820 AC ±

NARRATIVE

This Application for Site Plan Approval (Major) is filed with the City Council (Plan Approval Authority) pursuant to Chapter 255 Section 9.3.21.2 (Change in Plans After Approval). Applicant is requesting approval of new plans to enable Applicant to renovate an existing storage and community area in an existing building on the property into a new 2 bedroom rental unit. Because the Plan change involves the addition of one new unit, this Application is being filed as a new application for by-right (site plan review-major) approval.

The original Approved Site Plan provided for 40 Units to be rented as apartments. This plan proposes 41 units to be rented as apartments. This Application is filed electronically with paper copies being filed with the City Clerk and the Planning Director as requested.

The property is located in the WD-F subzone. The project qualifies for a maximum of 40 units per acre (9.3.12). The project proposes to renovate an existing storage and community area into residential housing. The project is a by right project in the WD-F Zone.

In Sub-Zone F , 100% residential development is encouraged. This project that provides market rate housing is a preferred project in this Sub Zone (9.3.10).

The project as a whole meets the design criteria of the ordinance (9.3.9) and is not changed with the addition of one residential unit:

1. A right of way for the rail trail that was provided with the original Plan Approval is shown on the Site Plan filed herewith, was approved by the then Planning Director, and is not being changed.
2. No visual corridors are being changed by the renovation of the community room into a residential unit.
3. The Buildings meet the zoning dimensional requirements.
4. There is no change in dumpsters, utility meters or mechanical units.
5. Adequate municipal services are provided including water, sewer, drainage.
6. Addition of one unit will not burden public facilities and services.
7. Access points and traffic patterns will not be changed by the addition of one unit.

There is no change in the existing height of the building. The submitted plans and documents demonstrate consistency with the standards set forth in the Waterfront District. The Site plan was prepared by a Professional Land Surveyor, and the Building Plans were prepared by a Professional Designer and a Professional Engineer.

Applicant respectfully requests that the City Council find as follows:

- (1) The applicant has submitted the required fees and information as set forth in § 9.3.
- (2) The project and site plan meet the requirements and standards as set forth in § 9.3, or a waiver has been granted therefrom; and
- (3) Extraordinary adverse potential impacts of the project on nearby properties, if any, have been adequately mitigated.

City Council
City of Haverhill
4 Summer Street
Haverhill, MA 01830

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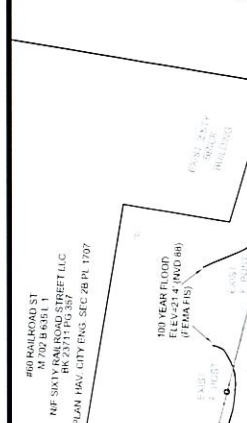
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- (3) Extraordinary adverse potential impacts of the project on nearby properties, if any, have been adequately mitigated.

I HEREBY CERTIFY THAT ALL INFORMATION SHOWN ON THIS PLAN IS ACCURATE, AND NO PART OF THIS PLAN IS BEING SHOWN OR BEING CREATED BY THIS PLAN. THIS PLAN IS NOT TO BE USED FOR ANY OTHER PURPOSE AND ARE NOT CHANGED OR ALTERED IN ANY MANNER BY THIS PLAN. I FURTHER CERTIFY THAT THE LAND AREA AND MOUNTAGE SHOWN FOR THE LOTS UNDER ASSIGNATION ARE THE SAME AS SHOWN ON THE RECORDS OF THE CITY OF HAVERHILL. THIS PLAN IS IN COMPLIANCE WITH THE HAVERHILL REGULATIONS GOVERNING SUBDIVISIONS AND CONFORMS TO THE RULES AND REGULATIONS GOVERNING THE RECORDS OF DEEDS.

WILLIAM G. HOLT, PLS #5908B DATE 1-26-26
 WILLIAM G. HOLT, PLS #5908B DATE 1-26-26



SITE PLAN OF LAND
 LOCATED IN
HAVERHILL,
MASSACHUSETTS
 PREPARED FOR
 OWNER: APPROXIMATE
 SOUTH MAIN STREET
 290 MERRIMACK ST UNIT 210
 LAMBRIDGE, MA 01843
 PREPARED BY
WILLIAM G. HOLT
 PLS#5908B
 85 W. MAIN STREET
 MERRIMACK, MA 01860
 TEL: (978) 544-7873

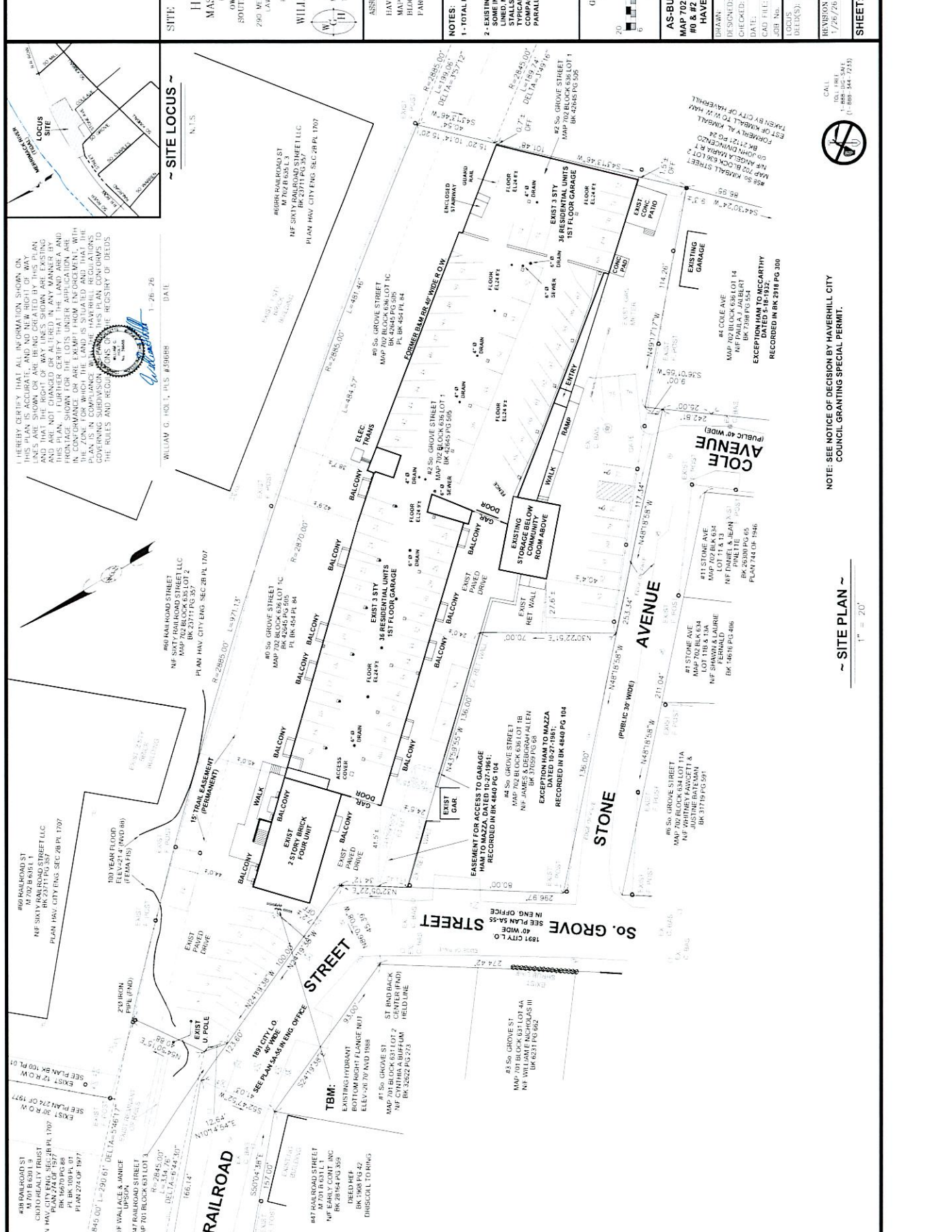
ASSESSOR'S DATA:
 HAVERHILL
 MAP: 702
 BLOCK: 636
 PARCEL: 1 & 1C

NOTES:
 1-TOTAL PARCEL AREA 64,558 S.F. ±
 1,4820 A.C. ±
 2-EXISTING PARKING AS SHOWN
 SOME INTERIOR STALLS ARE NOT
 TYPICAL STALLS ARE 9'x18'
 COMPACT STALLS ARE 9'x16'
 PARALLEL STALLS ARE 10'x20'



AS-BUILT CONDITIONS
 MAP 702 BLK 636 LOTS 1 & 1C
 #0 & #2 So. GROVE STREET
 HAVERHILL, MA 01835
 DRAWN: W. HOLT
 DESIGNED: W. HOLT
 CHECKED: W. HOLT
 DATE: 20-DIG-2025
 CAD FILE: WGS/22-000K.AMP
 JOB No.: #22_06.7_AH
 NOTES: REF BK 27426 PG 606
 (BLDGS); REF BK 35092 PG 598
 (BLDGS); REF BK 18943 PG 749
 (BLDGS); REF BK 454 PG 84

REVISION: BY: 1/26/26 PARK & LABELS: WGH
SHEET: S-1



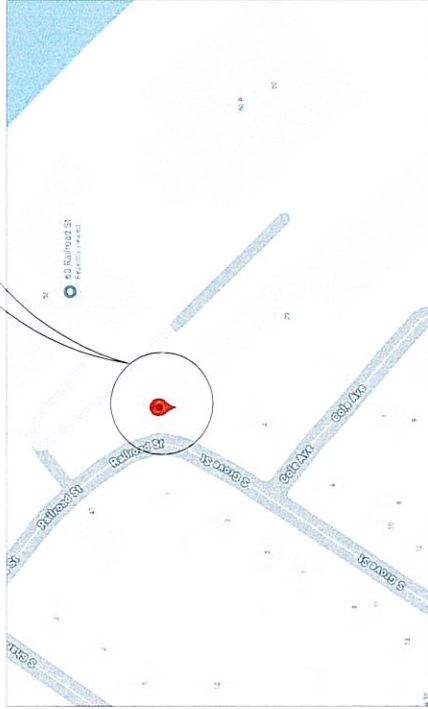
NOTE: SEE NOTICE OF DECISION BY HAVERHILL CITY COUNCIL GRANTING SPECIAL PERMIT.

~ SITE PLAN ~
 1" = 20'

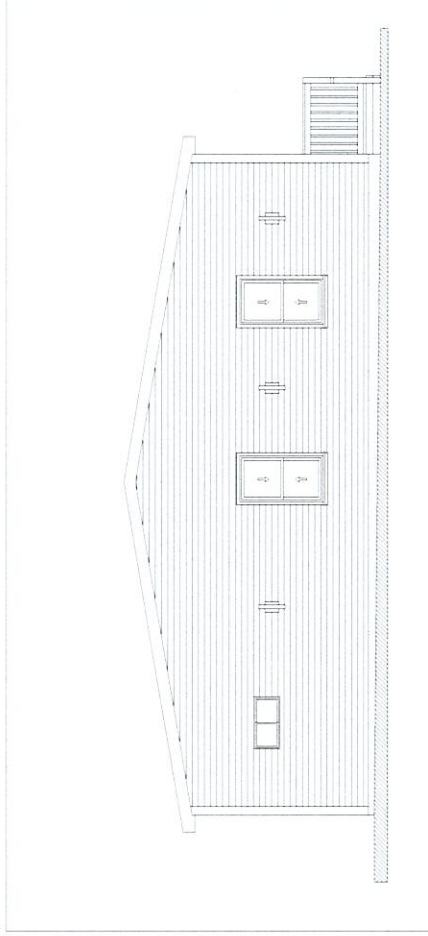
PROJECT

PROPOSED A APARTMENT UNIT
 2 SOUTH GROVE ST, BRADFORD, MA 01835
 OWNER: ON THE RAIL REALTY, LLC
 DRAWN BY: GILBERTO JIMENEZ & MAYKY SANCHEZ
 GJ DESIGN GROUP LLC

Assoc. AIA
Professional Designer
 118 WOODLAND ST LAWRENCE MA 01841
 TEL 978-601-2844 E.M. Inch.07812@gmail.com Fax. 978-208-1335



LOCATION



2 SOUTH GROVE ST

GENERAL NOTES :

- 1- ALL WORK SHALL COMPLY WITH STATE AND LOCAL BUILDING CODES AND REGULATIONS.
- 2- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND PROCEDURES.
- 3- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS DURING BUILDING CONSTRUCTION AND SHALL PROVIDE ADEQUATE SHORING AND BRACING TO ENSURE SUCH SAFETY.
- 4- ALL DIMENSIONS AND SITE CONDITIONS SHALL BE FIELD VERIFIED AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTIFY THE OWNER OR DESIGNER OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF WORK.
- 5- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, AND TO PROTECT THEM FROM DAMAGE.
- 6- ALL DETAILS, SECTIONS, NOTES, OR REFERENCE TO OTHER DRAWINGS ARE INTENDED TO BE TYPICAL.
- 7- DURING CONSTRUCTION, AND PRIOR TO THE INCORPORATION OF ANY CHANGES, REVISIONS, MODIFICATIONS OR DEVIATION FROM THE CONSTRUCTION DOCUMENT, CONTRACTOR SHALL BRING TO THE ATTENTION OF THE OWNER OR DESIGNER AND OBTAIN APPROVAL FROM THE BUILDING INSPECTOR BEFORE PROCEEDING WITH THE WORK.
- 8- SPECIFIC NOTES AND DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS, WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.
- 9- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION.
- 10- CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (10TH EDITION OF THE IMBSC.780 CMA) (2071 IBC AND THE COMMONWEALTH OF MASSACHUSETTS AMENDMENT TO THE INTERNATIONAL COMMERCIAL CODE 200.1) AND THE TOWN OF BRADFORD ORDINANCES.



GJ DESIGN GROUP LLC
 Assoc. AIA
 118 WOODLAND ST LAWRENCE MA 01841
 TEL 978-601-2844 FAX 978-208-1335
 E-MAIL: inch.07812@gmail.com
 WWW: GJDESIGNGROUP.COM

PROJECT: PROPOSED A APARTMENT UNIT
 ADDRESS: 2 SOUTH GROVE ST BRADFORD MA 01835
 OWNER: ON THE RAIL REALTY, LLC
 PETITIONER: ON THE RAIL REALTY, LLC

REVISIONS:
 DATE: 6/01/2025
 DRAWN BY: GILBERTO JIMENEZ & MAYKY SANCHEZ
 APPROVED BY:
 SCALE: 3/16 = 1'-0"

SHEET 1
 COVER SHEET

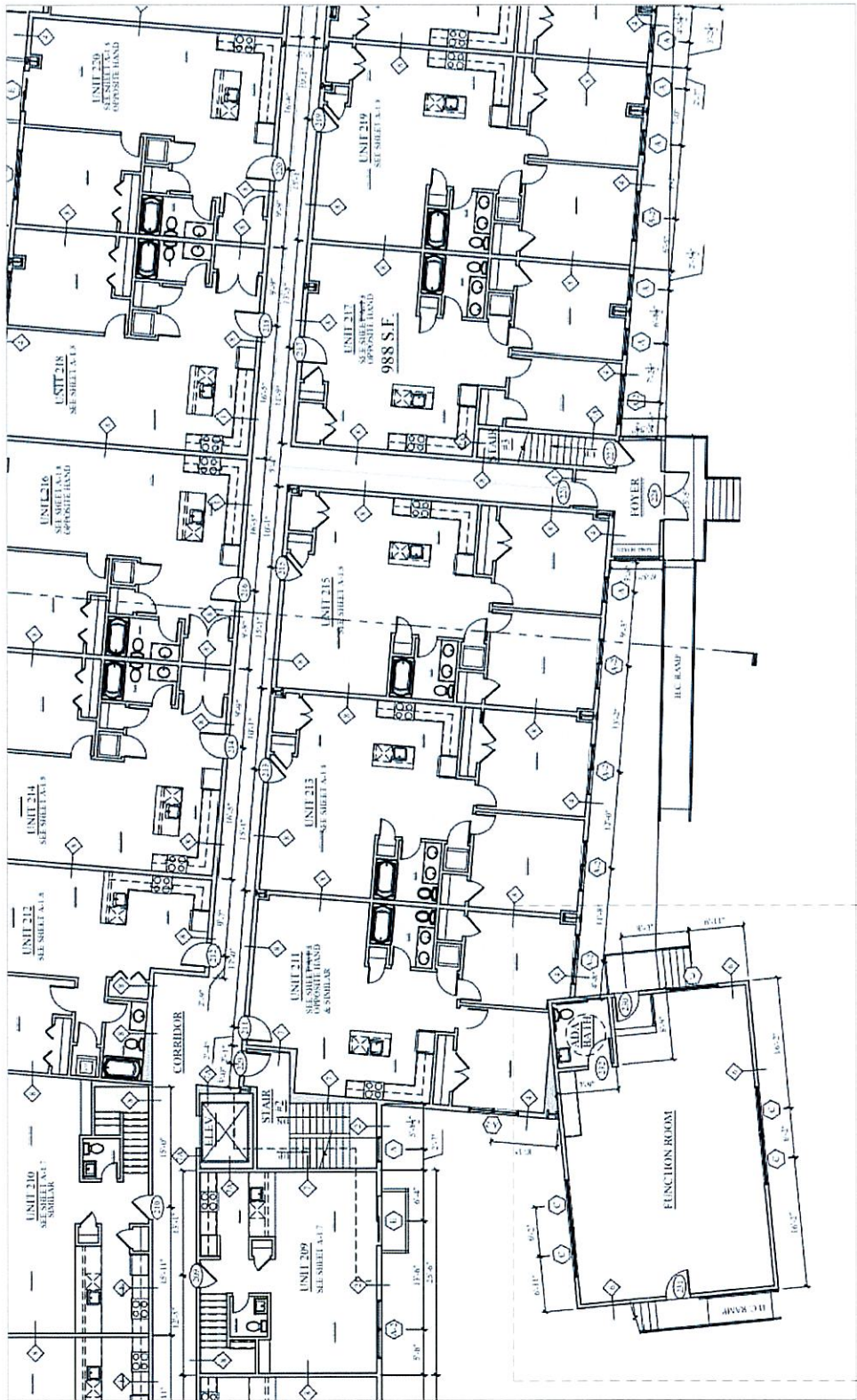


Professional Designer
Assoc. AIA
DESIGN GROUP LLC
5
E-MAIL: info@designgroup.com
778-601-2844 FAX: 778-208-1335
118 WOODLAND ST LAWRENCE MA 01841



PROJECT: PROPOSED APARTMENT UNIT
ADDRESS: 2 SOUTH GROVE ST BRADFORD, MA 01835
OWNER: ON THE RAIL REALTY, LLC
PETITIONER: ON THE RAIL REALTY, LLC
DATE: 8/1/2025
REVISIONS:
REVISED BY: [blank]
APPROVED BY: [blank]
DRAWN BY: GILBERTO JIMENEZ
SCALE: N/S

SHEET
GENERAL
11



PROPOSED APARTMENT UNIT LOCATION



Design Group LLC
 Assoc. AIA
 Professional Designer

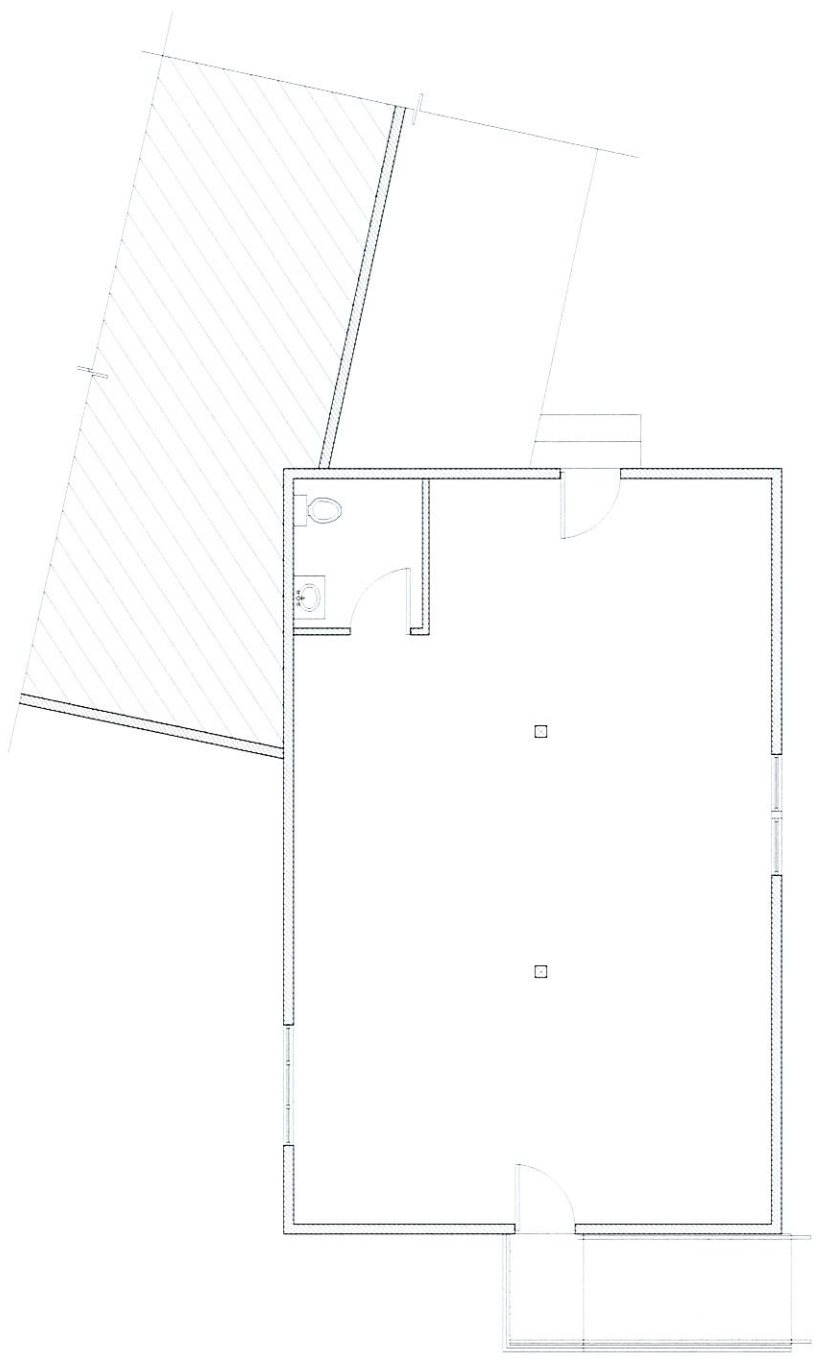


175 WOODLAND ST LAWRENCE MA 01841
 978-681-2844 FAX 978-208-1335
 E MAIL: BGR@123GROUP.COM
 2 SOUTH GROVE ST BRADFORD MA 01835
 ON THE RAIL REALTY, LLC
 PETITIONER: ON THE RAIL REALTY, LLC
 OWNER: 2 SOUTH GROVE ST BRADFORD MA 01835

PROJECT: PROPOSED A APARTMENT UNIT
 APPROVED BY: [Signature]
 DRAWN BY: GABRIEL J. [Name]
 DATE: 6/01/2025

SCALE: 3/16" = 1'-0"

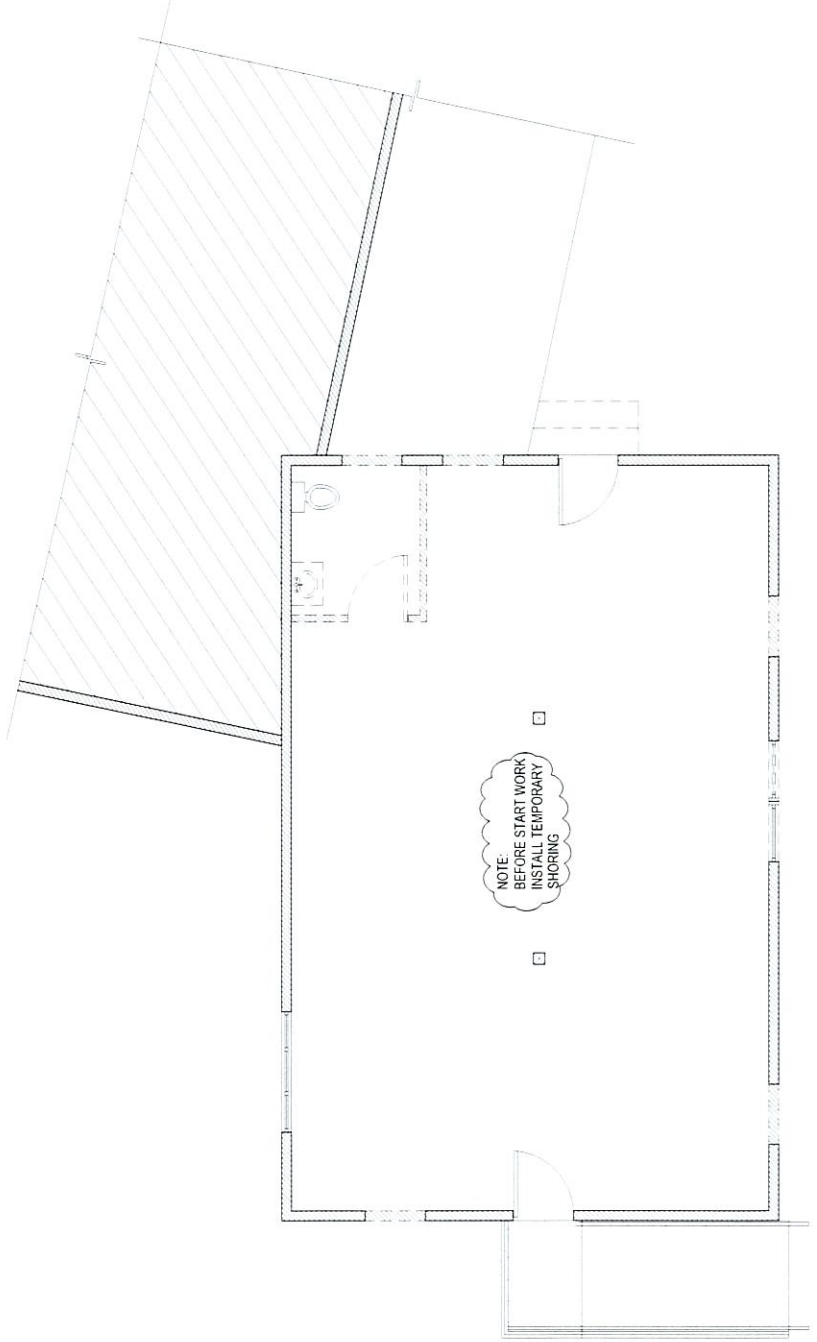
SHEET	1
EXISTING	3
	11



**EXISTING COMMON SPACE TO BE CONVERTED
 IN TO APARTMENT UNIT**

SCALE: 3/16" = 1'-0"

DESCRIPTION:
 PROPOSED COMMON AREA TO BE RELOCATE AND
 PROPOSED ON EMPTY SPACE A APARTMENT UNIT



DEMOLITION FLOOR PLAN

SCALE: 3/16" = 1'-0"

LEGEND:
TO BE DEMOLISHED
TO BE REMAIN

SCALE: 3/16" = 1'-0"
REVISOR: GILBERTO JIMENEZ & MARY SANCHEZ
DATE: 6/01/2025

PROJECT: PROPOSED A APARTMENT UNIT
OWNER: ON THE RAIL REALTY, LLC
ADDRESS: 2 SOUTH GROVE ST BRADFORD, MA 01835
PETITIONER: ON THE RAIL REALTY, LLC

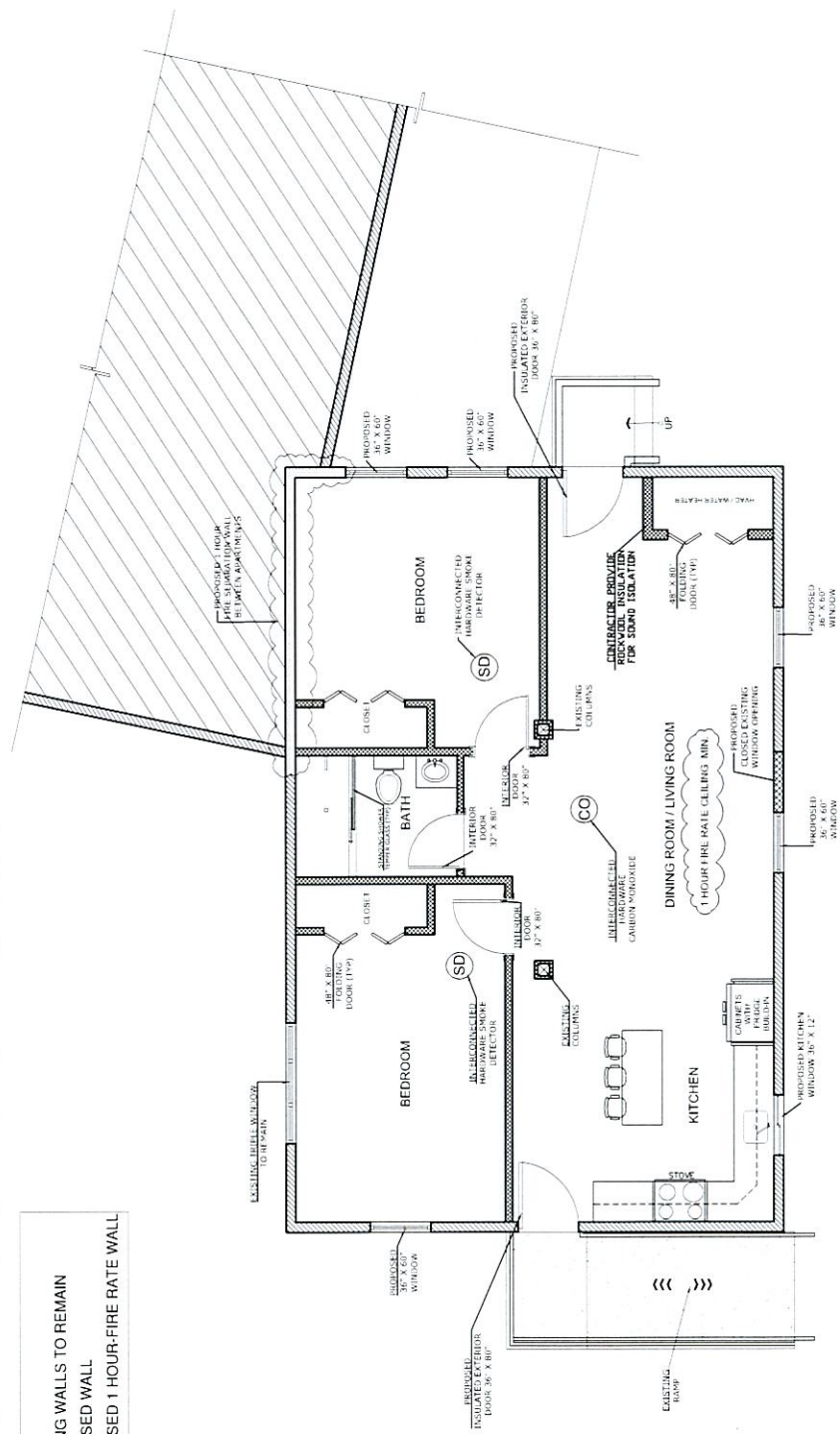
Professional Designer
Assoc. AIA
Design Group LLC
118 WOODLAND ST LAWRENCE MA 01841
E-MAIL: 10019712@GMAIL.COM
978-681-2844 FAX 978-208-1355



NOTE:
CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (10TH EDITION OF THE M.B.S.C. 780 CMR) (2021 IBC AND THE COMMONWEALTH OF MASSACHUSETTS AMENDMENT TO THE INTERNATIONAL COMMERCIAL CODE 2021) AND THE TOWN OF BRADFORD ORDINANCES.

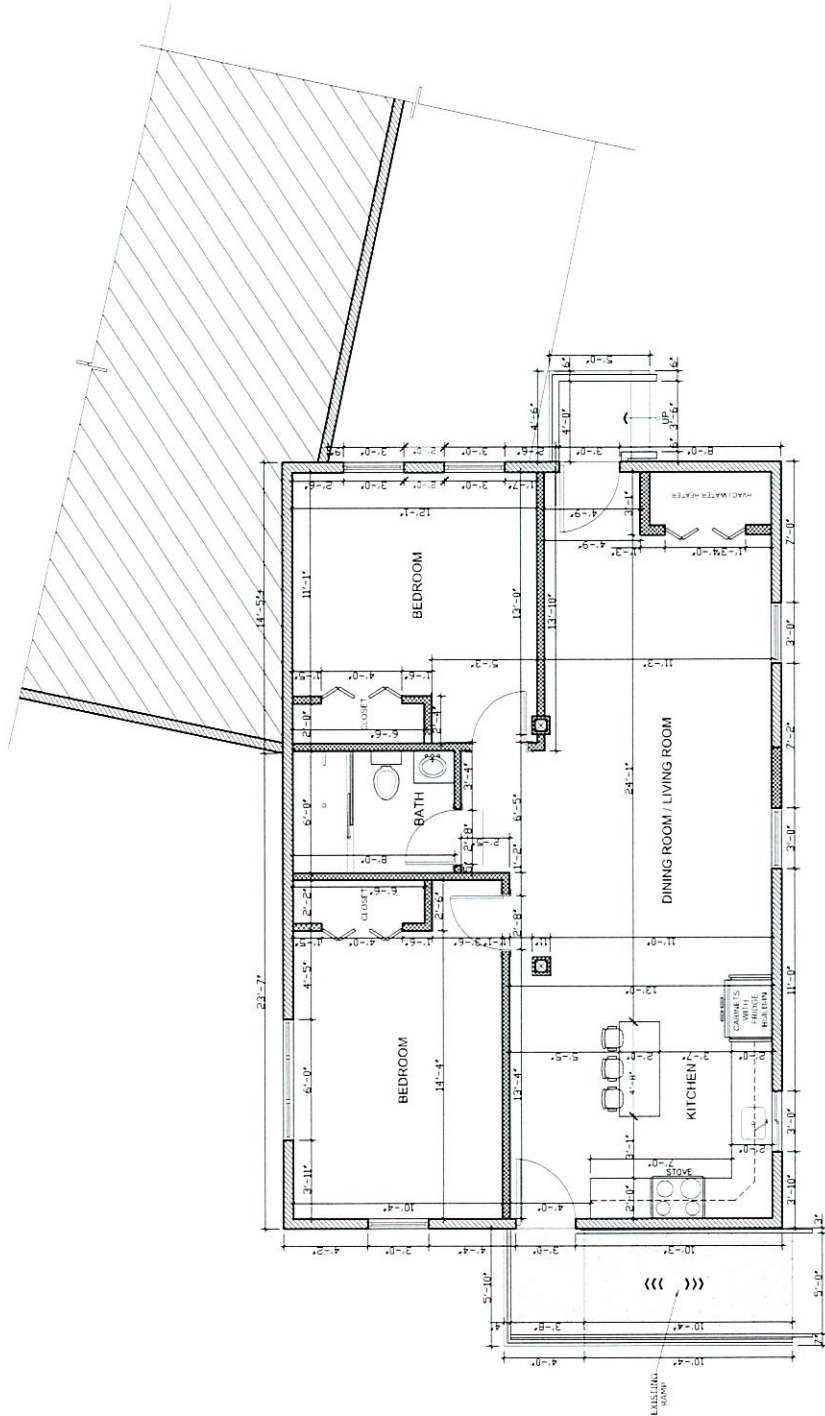
LEGEND:

- EXISTING WALLS TO REMAIN
- PROPOSED WALL
- PROPOSED 1 HOUR-FIRE RATE WALL



PROPOSED 1ST FLOOR APARTMENT PLAN
SCALE: 3/16" = 1'-0"

- NOTE(A):**
- EXISTING SPRINKLER HEAD AND FIRE ALARM SYSTEM TO BE ADAPTED TO PROPOSED LAYOUT
 - CONTRACTOR VERIFY FIRE SEPARATION WALL BETWEEN PROPOSED DESIGNATED SPACE FOR APARTMENT AND EXISTING BUILDING

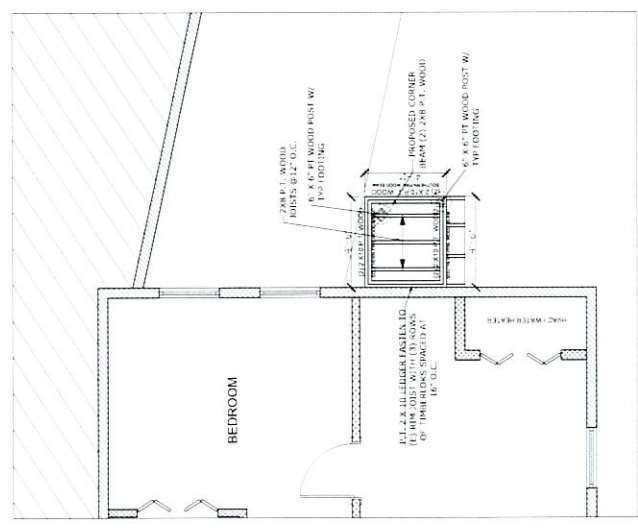


(DIMENSION PLAN)
PROPOSED 1ST FLOOR APARTMENT PLAN
SCALE: 3/16" = 1'-0"

NOTE:
CONTRACTOR SHALL BEFORE START WORK
VERIFY EVERY DIMENTION AND HEIGHT



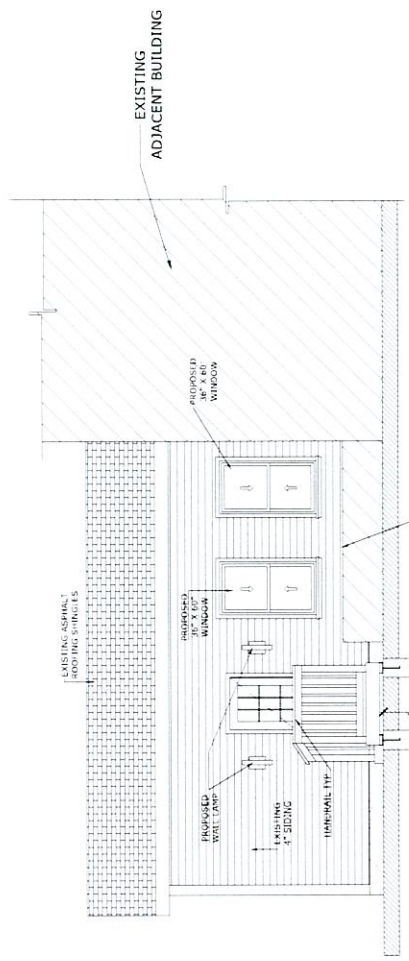
NOTE:
CONTRACTOR SHALL BEFORE START WORK
VERIFY EVERY DIMENTION AND HEIGHT



STAIR FRAMING PLAN

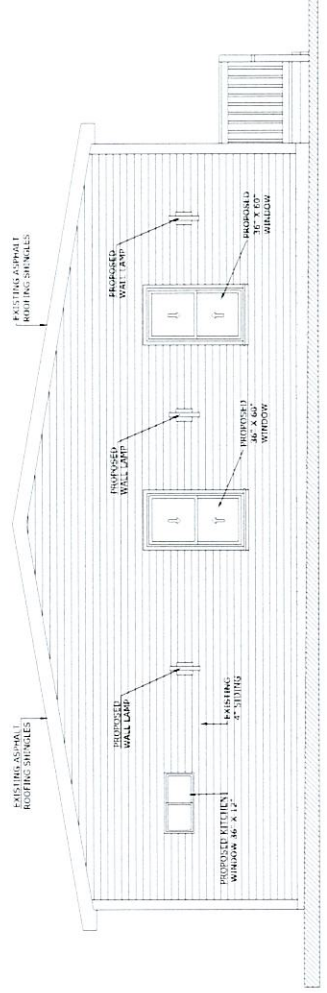
SCALE 3/16" = 1'-0"

- NOTE(S):
1. ALL HANGERS ARE BY SIMPSON STRONG TIE
 2. HOT DIP & GALVANIZE HANGERS EXPOSED TO WEATHER.
 3. SCREWS AND NAILS TO BE STAINLESS WHEN EXPOSED TO WEATHER.
 4. FOR A SINGLE 2x6 OR 2x8 USE LUS26; FOR DOUBLE 2x6 OR DOUBLE 2x8 USE LUS26-2; FOR A SINGLE 2x10 USE LUS28; FOR A DOUBLE 2x10 USE LUS28-2.



PROPOSED RIGHT ELEVATION

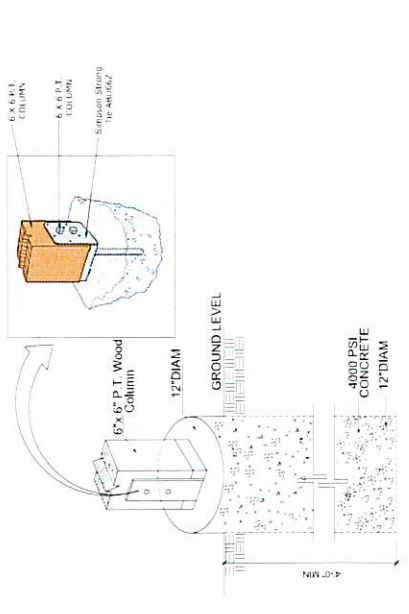
SCALE 3/16" = 1'-0"



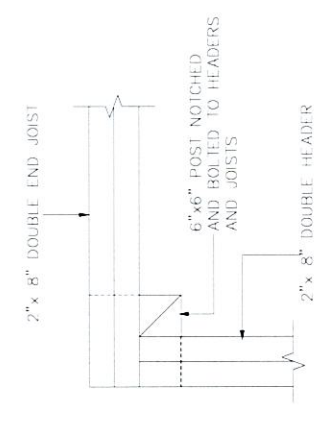
PROPOSED FRONT ELEVATION

SCALE 3/16" = 1'-0"

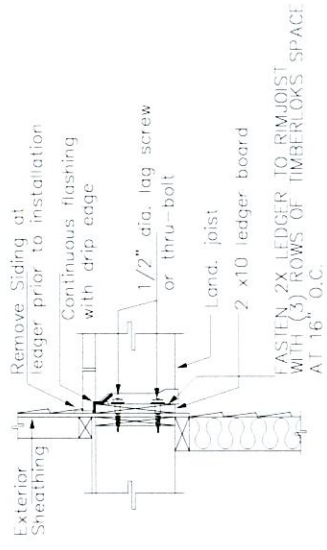
Simpson Strong Tie ABUC62Z Installation:
 ABUC62Z 6x6 upright post base, z-max high load capacity adjustable post base. 2 load transfer plates are included for a secure connection. 1 inch standoff reduces the potential for decay at bottom of post or column, made with 12 gauge z-maximum galvanized steel base & 10 gauge z-maximum galvanized steel strap. install with twelve 16d hug nails, two 1/2" diameter, hug machine bolts & 5/8" diameter threaded anchor.



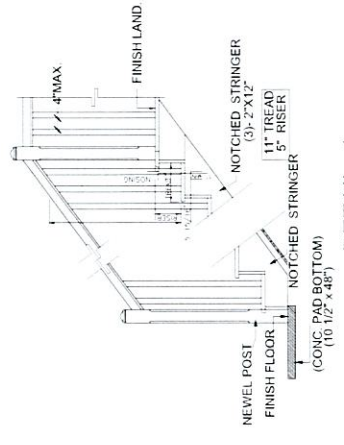
DETAIL -1-
 N.T.S.



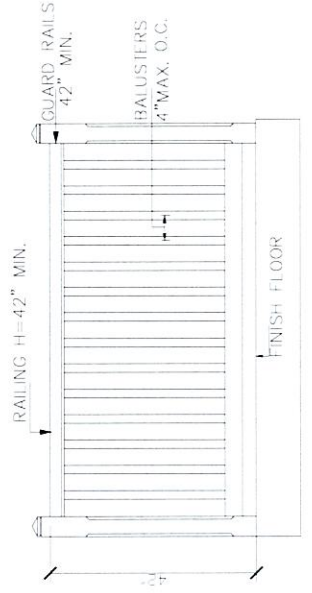
DETAIL -2-
 N.T.S.



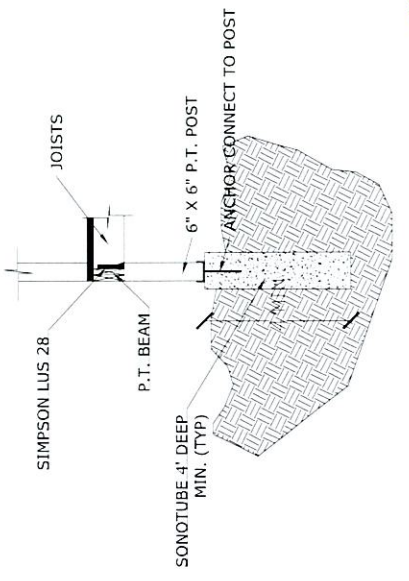
DETAIL -3-
 N.T.S.



DETAIL -4-
 N.T.S.



DETAIL -5-
 N.T.S.



DETAIL -6-
 N.T.S.



DESIGN GROUP LLC
 Assoc. AIA
 Professional Designer

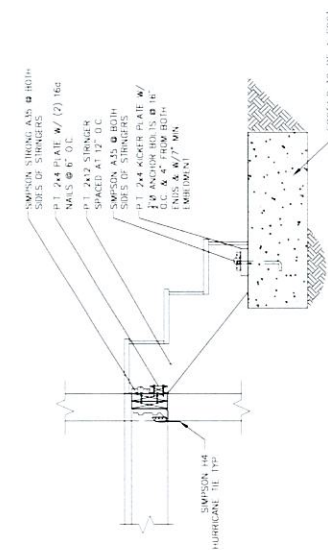
118 WOODLAND ST LAWRENCE MA 01841
 TEL: 978-681-2844 FAX: 978-208-1335
 978-681-2844 FAX: 978-208-1335
 E-MAIL: lach@designgroupllc.com
 118 WOODLAND ST LAWRENCE MA 01841
 TEL: 978-681-2844 FAX: 978-208-1335
 978-681-2844 FAX: 978-208-1335
 E-MAIL: lach@designgroupllc.com

PROJECT: PROPOSED A APARTMENT UNIT
 ADDRESS: 2 SOUTH GROVE ST BRADFORD, MA 01835
 OWNER: ON THE RAIL REALTY, LLC
 PETITIONER: ON THE RAIL REALTY, LLC

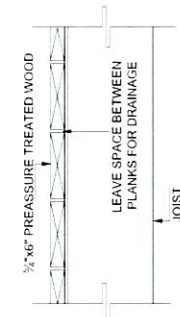
REVISD BY: [REDACTED]
 APPROVED BY: [REDACTED]
 DRAWN BY: [REDACTED]
 DATE: 6/01/2025

SCALE: 3/16" = 1'-0"

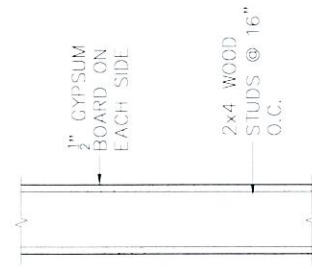
SHEET 1
 11



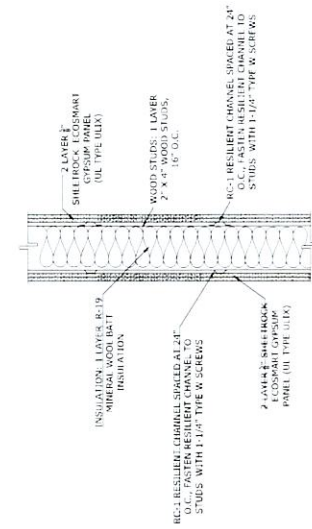
EXTERIOR STAIR CONNECTION DETAIL
N.T.S.



DECKING FLOOR
N.T.S.



INTERIOR WALL
N.T.S.



1 HOUR WALL FIRE SEPARATION
N.T.S.

INTERIOR PARTITION WOOD STUD
1 HOUR FIRE-RATE CONSTRUCTION



- MINIMUM LAP FOR REINFORCEMENT BARS SHALL BE PER ACT 318 BUT NOT LESS THAN 12 INCHES. MINIMUM LAP FOR DEFORMED WIRE SHALL NOT BE LESS THAN 1.3 TIMES THE DEVELOPMENT LENGTH (L_d) FOR 8 INCHES AND OVER LAP BETWEEN OTHER MOST CROSS WIRES SHALL BE AT LEAST LENGTH OF 300 INCHES. 5000 PSI WIRE SHALL NOT BE LESS THAN ONE SPACING OF CROSS WIRES PLUS 2 INCHES. 3 TIMES THE DEVELOPMENT LENGTH FOR NO. 5 BARS. ALL REINFORCEMENT SHALL BE SUBMITTED TO STRUCTURAL ENGINEER FOR APPROVAL WITH REINFORCING SHOP DRAWINGS. PROPOSED CONNECTIONS SHALL NOT BE ACCEPTABLE UNLESS SPECIFIED ON THE STRUCTURAL DRAWINGS OR SUBMITTED AND APPROVED BY THE STRUCTURAL ENGINEER.
- ALL REINFORCEMENT SHALL BE PLACED IN THE TOP SURFACES FOR CONCRETE SLABS AND IN THE BOTTOM SURFACES FOR ALL OTHER BARS. BENDING OF REINFORCEMENT SHALL BE ACCEPTABLE UNLESS SPECIFIED ON THE STRUCTURAL DRAWINGS OR SUBMITTED AND APPROVED BY THE STRUCTURAL ENGINEER.
- ALL BRAMA WALLS AND CONSTRUCTIONS, INCLUDING UPBURNED HEADS SHALL BE CAST MONOLITHICALLY WITHOUT HORIZONTAL CONSTRUCTION JOINTS UNLESS OTHERWISE SHOWN ON THE STRUCTURAL DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR PROPER AND ADEQUATE STORING OF ALL CONCRETE WORK INCLUDING FORM WORK, IRIS, REINFORCING CHAIRS STANDERS ETC.
- ALL JOINTS OF ALL CONSTRUCTIONS JOINTS SHALL MEET THE REQUIREMENTS OF THE CONTRACT DOCUMENTS AND ACT 318. DRAWINGS SHOWING LOCATION AND DETAILS OF PROPOSED CONSTRUCTION JOINTS SHALL BE SUBMITTED AND ACCEPTED PRIOR TO SUBMITTING REINFORCING SHOP DRAWINGS.
- CONCRETE SLABS INCLUDING SLABS OR STEEL DECK SHALL BE CAST SO THAT THE SLAB THICKNESS AT NO POINT IS LESS THAN THAT INDICATED ON THE STRUCTURAL DRAWINGS. TAKE INTO ACCOUNT ADDITIONAL VOLUME OF CONCRETE REQUIRED DUE TO DEFLECTION OF THE STEEL DECK AND FRAMING IN ORDER TO MAINTAIN FLOOR FINISHNESS (F-F) OF F2 AS MEASURED BY ASTM E1155.
- SEE ARCHITECTURAL DRAWINGS FOR DETAIL AND LOCATION OF OPENINGS OF RECESSES IN WALLS AND SLABS AND FOR OTHER DIMENSIONS NOT SHOWN ON STRUCTURAL DRAWINGS.
- MECHANICAL AND ELECTRICAL DRAWINGS FOR INFORMATION REGARDING SIZE AND LOCATION FOR DUCT, PIPES, CONDUITS, MECHANICAL PANS, ISOLATORS, AND THE LIKE.
- PROPOSED OPENINGS IN THE STRUCTURE WHICH ARE NOT SHOWN ON THE STRUCTURAL DRAWINGS, EITHER DIRECTLY OR BY TYPICAL DETAIL, SHALL BE SUBMITTED FOR REVIEW.
- ALUMINIUM FINISH SHALL NOT BE PLACED IN CONCRETE.
- WATER VAPOR BARRIER CONFORMING TO ASTM E1745 (CLASS A) SHALL BE INSTALLED UNDER ALL INTERIOR CONCRETE SLABS ON GRADE UNLESS OTHERWISE NOTED.

STRUCTURAL WOOD FRAMING

- ALL STRUCTURAL WOOD FRAMING AND ITS PROTECTION SHALL CONFORM TO "AWC STANDARD" NATIONAL DESIGN SPECIFICATION FOR WOOD AND COMBINATIONS THEREOF AND THE NATIONAL INSTITUTE OF TIMBER CONSTRUCTION (AITC).
- PLYWOOD WORK SHALL CONFORM TO THE AMERICAN PLYWOOD ASSOCIATION (APA) SPECIFICATIONS.
- ALL FRAMING LUMBER SHALL BE MARKED STORY. ALL WOOD MATERIALS SHALL BE OF THE TYPE, SPECIES AND GRADE INDICATED ON PLANS OR SCHEDULED OR BY THE.
- ALL WOOD EXPOSED TO WEATHER, INCLUDING ROOF, INCLUDING NAILERS, BLOCKING AND CURBS, AND THAT WHICH WILL BE EXPOSED TO WEATHER SHALL BE TREATED IN ACCORDANCE WITH THE AMERICAN WOOD PRESERVERS INSTITUTE.
- COINTEGRATED SHALL BE RECTIFIED TO LINES, LEVELS, AND DIMENSIONS SHOWN, SHALL BE SQUARED, AT LENSED, AND PLUMBED, AND SECURELY FASTENED TO PLACE IN AN APPROVED MANNER.
- ALL JOISTS SHALL BE NEATLY AND ACCURATELY MADE FITTED TIGHT BLOCKED OR OTHERWISE ASSEMBLED TO AVOID OPENING OR ROTATION.
- FABRICATED HARDWARE SUCH AS JOIST HANGERS, FRAMING ANGLES AND CLIPS SHALL BE SELECTED FOR SIZE FOR MEMBERS BORED OR NOT BORED. ALL HARDWARE SHALL BE GALVANIZED AND FULLY POPULATED WITH NAIL SHOTS FOR THE MANUFACTURER'S RECOMMENDATIONS.
- ALL NAILS, SCREWS, SPIKES, ETC. SHALL BE THE MAXIMUM LENGTH PERMITTED BY CODE UNLESS OTHERWISE SPECIFIED.
- ALL BOITED CONNECTIONS, DRILL HOLES 1/2" TO 1 1/2" LARGER IN DIAMETER THAN THE BOIT BEING USED. DRILL STRAIGHT AND TRUE FROM ONE SIDE ONLY. BOIT THREADS SHALL NOT BE AROUND WOOD. USE WASHERS UNDER ALL NUTS.
- ALL LAG SCREWS AND WOOD SCREWS, PRE-BORED HOLES SAME DIAMETER AS ROOT OF THREADS FOR SCREWS GREATER THAN 1/8" DIAMETER. ENLARGE HOLES TO SHANK DIAMETER FOR LENGTH OF SHANK. SCREW, DO NOT DRIVE, ALL LAG SCREWS AND WOOD SCREWS.
- ALL ENGULFED LUMBER SHALL BE AS PER THE DRAWINGS. ALL ISL MEMBERS SHALL HAVE A MINIMUM YOUNG'S MODULUS (E) OF 1,500,000 PSI. ALL ISLS SHALL HAVE A MINIMUM MODULUS OF ELASTICITY (E) OF 1,900,000 PSI. ALL ISLS SHALL HAVE A MINIMUM YOUNG'S MODULUS (E) OF 2,000,000 PSI. ENGINEERED LUMBER MUST HAVE THE BEST AVAILABLE MOISTURE CONTENT FOR THEIR APPLICATION.

GENERAL NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND COORDINATING ALL DIMENSIONS WITHIN THE ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS. IN CASE OF CONFLICT, THE ARCHITECT SHALL BE NOTIFIED AND SHALL RESOLVE THE CONFLICT.
- CONTRACTOR SHALL EXAMINE ARCHITECTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR LOCATION AND DIMENSIONS OF ALL OPENINGS, RISERS, FITS, BOXES, SLOPES, TRENCHES, GROOVES, CHAMFERS, DRIPS, AND OTHER PROJECT REQUIREMENTS NOT SHOWN ON THE STRUCTURAL DRAWINGS.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CORRECTNESS OF DIMENSIONS AND QUANTITIES AND FOR THE FITTING TO OTHER WORK. FOR WORK TO BE INSTALLED BY OTHER TRADES, CONTRACTOR SHALL VERIFY THE CORRECTNESS OF DIMENSIONS AND QUANTITIES AND FOR THE FITTING TO OTHER WORK. FOR WORK TO BE INSTALLED BY OTHER TRADES, CONTRACTOR SHALL VERIFY THE CORRECTNESS OF DIMENSIONS AND QUANTITIES AND FOR THE FITTING TO OTHER WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF DIMENSIONS AND QUANTITIES AND FOR THE FITTING TO OTHER WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF DIMENSIONS AND QUANTITIES AND FOR THE FITTING TO OTHER WORK.
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- THE STRUCTURAL DESIGN OF THE BUILDING IS BASED UPON THE FULL INTERACTION OF ALL OF ITS COMPONENT PARTS. NO PROVISIONS HAVE BEEN MADE FOR CONDITIONS OCCURRING DURING CONSTRUCTION. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO MAKE PROPER AND ADEQUATE PROVISIONS FOR STABILITY OF, AND ALL STRESSES, TO THE STRUCTURE DUE TO ANY CAUSE DURING EXECUTION OF THIS WORK.
- WORK NOT INDICATED ON A PART OF THE PLANS BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES SHALL BE REPEATED.

FOUNDATIONS

- THE DESIGN OF THE FOUNDATION IS BASED UPON ASSUMED SOIL CONDITIONS. CONTRACTOR SHALL EXPOSE AND VERIFY THE CAPACITY OF THE EXISTING BEARING MATERIAL.
- ALL FOOTINGS SHALL BE FOUND ON NATURAL UNDISTURBED MATERIAL OR UNIONS COMPACTED STRUCTURAL FILL HAVING A MINIMUM SAFE BEARING CAPACITY OF 2,000 PSF.
- STRUCTURAL FILL SHALL BE PLACED OVER THE NATURAL UNDISTURBED MATERIAL IN 8 INCH LIFTS COMPACTED TO 95% OF MAXIMUM DRY DENSITY.
- WHERE STRUCTURAL UNDISTURBED MATERIAL IS FOUND, HEIGHT OF CONCRETE SHALL BE AS SHOWN ON THE PLANS. BOLTED FOOTINGS MAY BE LOWERED OR RAISED AND PILES, ADDED OR REMOVED, OR REDUCED IN HEIGHT WITH PRIOR REVIEW AND APPROVAL BY THE STRUCTURAL ENGINEER.
- CONTRACTOR SHALL SAFEGUARD ALL EXCAVATIONS FROM FREEZING, RAIN, GROUND WATER. NO FOUNDATIONS SHALL BE PLACED IN WATER OR UPON FROZEN GROUND.
- EXTERIOR FOOTINGS SHALL BEAR AT OR BELOW A FROST DEPTH OF 4'-0" BELOW FINISHED GRADE.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR TEMPORARY SHEETING, SHORING OR BRACING REQUIRED TO SAFELY EXCAVATE FOR FOUNDATION WORK.
- BACKFILLING AGAINST FOUNDATION WALLS SHALL NOT BE PERFORMED UNTIL THE CONCRETE HAS ATTAINED SUFFICIENT STRENGTH AND WALLS ARE PROPERLY BRACED OR SHORED. WHERE APPLICABLE BOTH SIDES OF FOUNDATION WALLS SHALL BE BACKFILLED SIMULTANEOUSLY.

CONCRETE

- ALL CONCRETE SHALL BE MIXED, PLACED, CURED, AND TESTED IN ACCORDANCE WITH ACT 318 AND ACT 90 EXCEPT THAT PROVISIONS OF THE SPECIFICATION PREVAIL WHERE MORE STRINGENT.
- CONTRACTOR SHALL SUBMIT MIX DESIGN IN ACCORDANCE WITH ACT 318 SECTION 5.3 PROVISIONS ON THE BASIS OF EXPERIENCE AND OR TRIAL MIXTURES FOR EACH TYPE OF CONCRETE FOR REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO PERFORMING CONCRETE WORK. EACH CONCRETE MIX SHALL UTILIZE THE LARGEST PRACTICABLE NOMINAL MAXIMUM COURSE AGGREGATE IN ACCORDANCE WITH ACT 318 SECTION 3.3 USE OF CALCIUM CHLORIDE CONTAINING AGGREGATES OR ADMIXTURES IS NOT PERMITTED.
- CONCRETE SHALL HAVE THE FOLLOWING MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS FOR TYPE III CEMENT AND AT 7 DAYS FOR TYPE III HIGH EARLY STRENGTH CEMENT.

A. FOOTINGS (NORMAL WEIGHT)	5,000 PSI
B. ALL OTHER CONCRETE (NORMAL WEIGHT)	4,000 PSI
4. CONCRETE SHALL HAVE THE FOLLOWING NOMINAL DRY DENSITY	
A. NORMAL WEIGHT CONCRETE	145 PCF
B. LIGHTWEIGHT CONCRETE	110 TO 115 PCF
- CONCRETE EXPOSED TO WEATHER AND FOR FOUNDATIONS SHALL HAVE 5% TO 7% AIR ENTRAINMENT.
- CONCRETE SLABS SHALL NOT EXCEED 8 INCHES UNLESS A HIGH RANGE WATER REDUCING ADMIXTURE IS UTILIZED. WHERE THE MAXIMUM SLAB LAP MAY BE INCREASED TO 8 INCHES ALL REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A631 (GRADE 60) UNLESS OTHERWISE NOTED. BAR SIZES, NOMINAL BAR DIAMETERS, AND NOMINAL CROSS-SECTIONAL AREAS SHALL CONFORM TO ACT 318.
- WELDED WIRE FABRIC (WVF) SHALL CONFORM TO ASTM A977 (DEFORMED WIRE) FOR SIZES D40 AND LARGER, AND TO ASTM A195 (PLAIN WIRE) FOR SIZES W40 AND SMALLER. MINIMUM YIELD STRENGTH SHALL BE 60KSI AND 60KSI RESPECTIVELY FOR DEFORMED AND PLAIN WIRE.
- DETAILING OF REINFORCING SHALL CONFORM TO ACT 318, 316, AND 318, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL NOT INCREASE COVER AS A MEANS TO REDUCE DEVELOPMENT LENGTHS, L_d, OF BARS UNLESS APPROVED BY STRUCTURAL ENGINEER.
- SPACING OF REINFORCEMENT IS PERMITTED ONLY AT LOCATIONS SHOWN ON THE STRUCTURAL DRAWINGS OR AS ACCEPTED. WHERE SPACING IS UTILIZED, SPACING SHALL BE LESS THAN SPACING DEVELOPING THE FULL TENSILE CAPACITY OF THE REINFORCEMENT.



ELECTRICAL NOTES:

1. ALL ELECTRICAL WORK SHALL CONFORM TO THE LATEST EDITION OF THE NATIONAL ELECTRIC CODE AND ALL LOCAL ORDINANCES.
2. G.C. IS RESPONSIBLE FOR VERIFYING ADEQUACY OF ELECTRICAL SERVICE FOR ALL WORK.
3. ELECTRICAL SYSTEM LAYOUTS ARE DIAGRAMMATIC. LOCATION OF THE OUTLETS AND THE EQUIPMENT IS APPROXIMATE. WIRING FOR EQUIPMENT REQUIRING MAINTENANCE AND INSPECTION SHALL BE READILY ACCESSIBLE.
4. MATERIALS AND EQUIPMENT SHALL BE NEW AND BY UL LISTED MANUFACTURERS.
5. REVIEW LIGHTING PLAN AND EXACT LOCATIONS OF FIXTURES, OUTLETS, SWITCHES, ETC., WITH OWNER PRIOR TO INSTALLATION. G.C. TO SUPPLY AND INSTALL FIXTURES UNLESS OTHERWISE NOTED.
6. PROVIDE GFCIRCUITS AND OUTLETS WHERE REQUIRED BY CODE. INSTALL ICT FIXTURES AT ALL INSULATED CEILINGS. INSTALL WP FIXTURES AT ALL WET AREAS AS NOTED. ALL OUTLETS ARE TO BE GROUNDED TYPE.
7. ALL SWITCHED RECEPTACLES SHALL BE 1) HOT.
8. ALL WALL SWITCHES TO BE 48" ABOVE FINISH FLOOR (AFF). ALL SWITCHES ARE TO MATCH REST OF HOUSE. COORDINATE WITH OWNER TYPE, COLOR, TYP.
9. INSTALL SMOKE DETECTORS IN EACH BEDROOM. EACH FLOOR AND AS INDICATED ON THE FLOOR PLANS. ALL SMOKE DETECTORS ARE TO BE HARD-WIRED. INTERCONNECTED WITH BATTERY BACK-UPS.
10. G.C. TO PROVIDE DISCONNECTS FOR ALL APPLIANCES, EQUIPMENT MOTORS AND CONTROLLERS.
11. PROVIDE AFCI (ARC FAULT) IN ALL LOCATIONS OTHER THAN BATHROOMS, GARAGE, LAUNDRY, AND KITCHEN AS PER CODE REQUIREMENTS.

PLUMBING NOTES:

1. ALL PLUMBING WORK TO CONFORM TO THE NATIONAL STANDARD PLUMBING CODE.
2. ALL WASTE LINES ARE TO BE PVC, SCHEDULE 40.
3. ALL WATER SUPPLY LINES ARE TO BE COPPER OR PEX PIPE.
4. THE USE OF LEAD SOLDER IS PROHIBITED ON INSTALLATION OF POTABLE WATER SYSTEMS.
5. ALL NEW WASTE LINES ARE TO TIE INTO EXISTING MUNICIPAL SEWER SYSTEM.
6. INSULATE ALL SUPPLY WATER PIPES IN EXTERIOR WALLS OR UNHEATED SPACES.
7. COORDINATE ALL EXTERIOR HOSEBIBS WITH OWNER.

SMOKE ALARMS ARE REQUIRED AS FOLLOWS:

1. ONE SMOKE ALARM ON EVERY HABITABLE LEVEL OF THE RESIDENCE.
2. ONE SMOKE ALARM AT THE BASE OF EACH STAIRWAY.
3. ONE SMOKE ALARM OUTSIDE OF EACH SEPARATE SLEEPING AREA AND MUST BE LOCATED WITHIN 10 FEET OF EACH BEDROOM DOOR.
4. ONE SMOKE ALARM INSIDE EVERY SLEEPING AREA.
5. A MINIMUM OF ONE SMOKE ALARM MUST BE INSTALLED FOR EVERY 1,000 SQUARE FEET OF LIVING SPACE PER LEVEL.
6. MUST BE HARDWIRED AND INTERCONNECTED WITH BATTERY BACKUP.
7. ALL SMOKE ALARMS MUST BE PHOTOELECTRIC.

CARBON MONOXIDE ALARMS ARE REQUIRED AS FOLLOWS:

1. ON EVERY LEVEL OF THE RESIDENCE, INCLUDING BASEMENTS AND HABITABLE PORTIONS OF ATTICS, AND MUST BE LOCATED WITHIN 10 FEET OF EACH BEDROOM DOOR.
2. COMBINATION ALARMS (PHOTOELECTRIC SMOKE AND CARBON MONOXIDE ALARM) MAY BE USED. VOICE FEATURE REQUIRED TO DISTINGUISH BETWEEN ALARMS.
3. MUST BE HARDWIRED AND INTERCONNECTED WITH BATTERY BACKUP. (MAY BE SEPARATELY WIRED FROM THE EXISTING SMOKE DETECTION SYSTEM.)

HEAT ALARMS ARE REQUIRED AS FOLLOWS:

1. MUST HAVE A HEAT ALARMS IN ANY GARAGE ATTACHED TO OR UNDER THE RESIDENCE.
2. MUST BE HARDWIRED AND INTERCONNECTED WITH OR WITHOUT BATTERY BACKUP TO THE EXISTING SMOKE DETECTION SYSTEM.

CONTRACTOR SHALL FOLLOW LATEST NFPA 72 STANDARDS

DEMOLITION NOTES:

1. ALL DEMOLITION WORK SHALL BE PERFORMED IN A CAREFUL WORKMANLIKE MANNER BEING SURE TO MINIMIZE DAMAGE TO THE EXISTING STRUCTURE TO REMAIN.
2. PROVIDE TEMPORARY COVERING, PARTITIONS, ETC. TO KEEP WORK WEATHER TIGHT DURING CONSTRUCTION.
3. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ADHERING TO AND ENFORCING ALL DEMOLITION SAFETY RULES AND REGULATIONS AS MAY BE REQUIRED BY LOCAL, STATE, OR OSHA REGULATIONS.
4. ALL DEBRIS, REFUSE AND DEMOLITIONS MATERIALS SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL ORDINANCES.
5. SITE TO BE KEPT CLEAN AND NEAT. REMOVE DEBRIS PROMPTLY. LOCATION OF ON-SITE DUMPSTER TO BE IN ACCORDANCE WITH LOCAL ORDINANCES.
6. ALL STRUCTURAL AND FINISH MATERIALS REQUIRING REPAIR OR REPLACEMENT AS EVIDENT DURING DEMOLITION AND CONSTRUCTION, SHALL BE REPAIRED/ REPLACED AS REQUIRED. NO CONSTRUCTION SHALL BE PERMITTED UPON QUESTIONABLE MATERIALS OR CONSTRUCTION.
7. ALL CONTRACTORS AND SUBCONTRACTORS HAZARDOUS TOOLS ARE TO BE STORED IN A SECURED LOCATION WHEN LEFT ON SITE.

HVAC NOTES:

1. ALL WORK SHALL BE INSTALLED ACCORDING TO INDUSTRY STANDARDS.
2. COORDINATE WITH OWNER LOCATIONS.
3. THE CONTRACTOR SHALL CHECK ALL SAFETY DEVICE OPERATION PRIOR TO SYSTEM ACTIVATION. SYSTEM SHALL BE PLACED IN OPERATION FOR A SUFFICIENT TIME TO VERIFY SATISFACTORY PERFORMANCE IN ALL MODES.
4. IT SHALL BE THE TOTAL LIABILITY/RESPONSIBILITY OF THE HEATING CONTRACTOR THAT CLEARANCE OR PASSAGE, HOLES, AND SHAFTS THROUGH JOISTS FRAMING, ETC. DO NOT DESTROY OR DIMINISH THE STRUCTURAL STRENGTH AND INTEGRITY OF MEMBERS INVOLVED.
5. PROVIDE AND INSTALL EXHAUST FANS AS INDICATED ON THE DRAWINGS. VENT ALL FANS TO THE EXTERIOR. ROOF VENTS SHALL BE ON THE REAR OF THE HOUSE.
6. HEATING/A.C. SYSTEM TO PERFORM TO THE FOLLOWING: MAINTAIN A MIN. TEMP OF 72° F WHEN EXTERIOR TEMP. IS EQUAL TO 0° F AND MAINTAIN AN INTERIOR TEMP. OF 68° F WHEN EXTERIOR TEMPERATURE IS 95° F.
7. IF THE LOCAL CITY/TOWN OFFICIALS REQUIRES MANUAL J&D TO BE SUBMITTED IT SHALL BE THE HVAC SUBCONTRACTOR'S RESPONSIBILITY TO PROVIDE SUCH DATA ALONG WITH ANY ADDITIONAL REQUIREMENTS REQUIRED BY SUCH ENTITY.

- 50 SMOKE DETECTOR
- 50 SMOKE DETECTOR/ CARBON MONOXIDE DETECTOR



General Notes:
 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MICHIGAN STATE AND FEDERAL CODES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
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 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.

Drawing Title:
Sheet List

REVISIONS:

- Date
- Date
- Date
- Date

ISSUE DATES

- Date
- Date
- Date

Drawing Sheet Number

C-1

C	Cover Sheet				
C-1	Drawing Sheet List				
C-2	Code Review Sheet				
S-1	Perimeter Survey Plan	S-2.0	First Floor Framing Plan Building 2	FPI.0	Ground Floor Part A Sprinkler Plans
S-2	Existing Site Conditions	S-2.1	First Floor Framing Plan Buildings 3, 4 & 5	FPI.1	Ground Floor Part B Sprinkler Plans
S-3	Proposed Site Conditions	S-2.2	Steel Framing Sections & Details	FPI.2	First Floor Part A Sprinkler Plans
S-4	Construction Details	S-3.0	Second Floor Framing Plan & Details Building 2	FPI.3	First Floor Part B Sprinkler Plans
S-5	Construction Details	S-3.1	Second Floor Framing Plan Buildings 3, 4 & 5	FPI.4	Second Floor Part A Sprinkler Plans
A-1	Ground Level & First Floor Overall Building Plans	S-4.0	Second Floor Ceiling Framing Plan Building 2	FPI.5	Second Floor Part B Sprinkler Plans
A-2	Second Floor & Roof Overall Building Plans	S-4.1	2nd Floor Ceiling Framing Plan Buildings 3, 4 & 5	FP2.0	Sprinkler Details
A-3	Overall Building Elevations	S-5.0	Roof Framing Plan Building 2	E1.0	Proposed Ground Floor Lighting Plans
A-1.0	Ground Level & First Floor Plans - Buildings 1 & 2	S-5.1	Roof Framing Plan Buildings 3, 4 & 5	E1.1	Proposed First Floor Lighting Plans
A-1.1	Second Floor Plan & Roof Plan - Buildings 1 & 2	H1.0	Ground Floor Part A HVAC Plans	E1.2	Proposed Second Floor Lighting Plans
A-1.2	Ground Level Floor Plan - Buildings 3, 4 & 5	H1.1	Ground Floor Part B HVAC Plans	E1.3	Proposed Ground Floor Power Plans
A-1.3	First Floor Plan - Buildings 3, 4 & 5	H1.2	First Floor Part A HVAC Plans	E1.4	Proposed First Floor Power Plans
A-1.4	Second Floor Plan - Buildings 3, 4 & 5	H1.3	First Floor Part B HVAC Plans	E1.5	Proposed Second Floor Power Plans
A-1.5	Roof Plan - Buildings 3, 4 & 5	H1.4	Second Floor Part A HVAC Plans	E1.6	Proposed Roof Power Plans
A-1.6	Enlarged Unit Floor Plans - Building 1	H1.5	Second Floor Part B HVAC Plans	E1.7	Power Riser Diagram & Schedules
A-1.7	Enlarged Unit Floor Plans - Building 2 & 1 Bedroom Unit	H1.6	Roof Part A HVAC Plans	E1.8	Electrical Specifications
A-1.8	Enlarged Unit Floor Plans - 2 Bedroom & 2 Bedroom Large Unit	H1.7	Roof Part B HVAC Plans	E1.9	Electrical Details
A-3.0	Exterior Elevations	H2.0	HVAC Legends & NOTES	FA1.0	Proposed Ground Fire Alarm Plans
A-3.1	Exterior Elevations	H2.1	HVAC NOTES	FA1.1	Proposed First Floor Fire Alarm Plans
A-4.0	Building Sections	H2.2	HVAC Schedules	FA1.2	Proposed Second Floor Fire Alarm Plans
A-5.0	Window Schedule	H2.3	HVAC Details	FA1.3	Fire Alarm Details
A-5.1	Door Schedule	H2.4	HVAC Details		
A-6.0	Exterior Wall Types	H2.5	HVAC Details		
A-6.1	Interior Wall Types	H2.6	HVAC Details		
A-6.2	Floor Types-NOT ISSUED	P1.0	Underground Ground Floor Part A Plumbing Plans		
A-7.0	Stair Plans & Details-NOT ISSUED	P1.1	Underground Ground Floor Part B Plumbing Plans		
A-7.1	Stair Plans & Details-NOT ISSUED	P1.2	Ground Floor Part A Plumbing Plans		
S-0B1	Foundation Plan & Details Building 1	P1.3	Ground Floor Part B Plumbing Plans		
S-1B2	Framing Plans Building 1	P1.4	First Floor Part A Plumbing Plans		
S-0.0	Structural Notes	P1.5	First Floor Part B Plumbing Plans		
S-0.1	Overall Plan Buildings 1-5	P1.6	Second Floor Part A Plumbing Plans		
S-0.2	Overall Plan Buildings 1-5 (2)	P1.7	Second Floor Part B Plumbing Plans		
S-1.0	Foundation Plan & Details Building 2	P2.0	Plumbing Schedules		
S-1.1	Foundation Details Building 2	P2.1	Plumbing Notes		
S-1.2	Foundation Plan & Details Buildings 3,4 & 5	P2.2	Plumbing Details		
		P2.3	Plumbing Details		
		P2.4	Plumbing Riser Diagrams		

FOR REGISTRY USE ONLY

PLAN OF LAND
 LOCATED IN
**HAVERHILL,
 MASSACHUSETTS**
 PREPARED FOR
**OWNER-APPLICANT
 J AND J HEALY TRUST
 c/o JAMES A. ALLEN TRUSTEE
 2 SOUTH GROVE STREET
 HAVERHILL, MA 01830**
 PREPARED BY
**WILLIAM G. HOLT
 PLANSERVIS
 83 W. MAIN STREET
 MERRIMAC, MA 01860
 TEL: (978) 346-7873**

ASSESSOR'S DATA:
 HAVERHILL: 702
 BLOCK: 635
 PARCEL: 1 & 1A

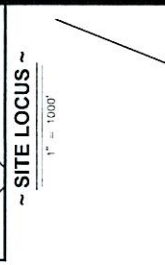
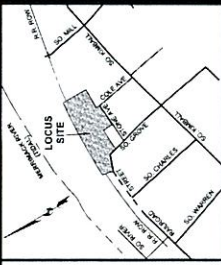
NOTES:
 1-TOTAL PARCEL AREA: 64,658 S.F.
 1.4023 AC ±

GRAPHIC SCALE:
 1 inch = 20 ft.
 (IN FEET)
 0 10 20 40
 0 6 12
 (IN METERS)

PERMETER SURVEY PLAN
 MAP 702 B/LK 635 LOTS 1 & 1A
 # & #2 SO. GROVE STREET
 HAVERHILL, MA 01835

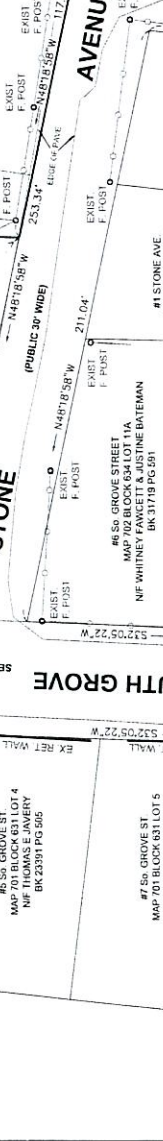
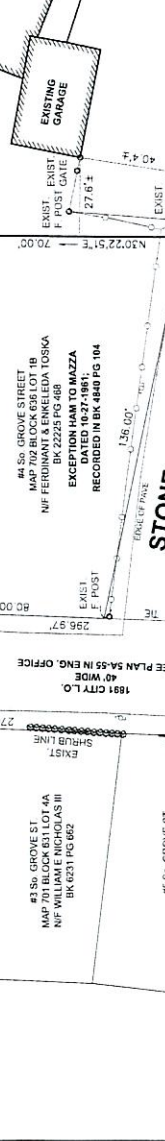
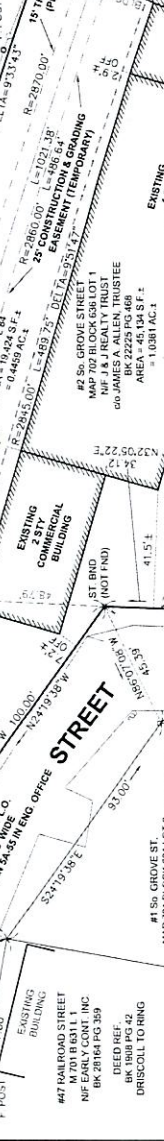
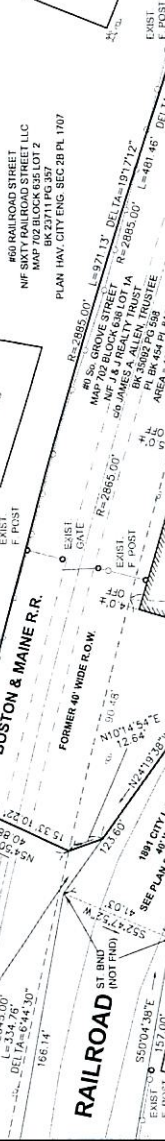
DRAWN: W. HOLT
DESIGNED: W. HOLT
CHECKED: W. HOLT
DATE: 28-MAY-2017
CAD FILE: MAP702P2.GROVE.360
JOB NO.: #17-087-S9-VI
LOCUS: REF BK 18933 PG 249
DEED(S): REF BK 35992 PG 598
REVISION:

SHEET: S-1



I HEREBY CERTIFY THAT ALL INFORMATION SHOWN ON THIS PLAN WAS OBTAINED FROM THE RECORDS OF THE REGISTRY OF DEEDS AND THAT THE RIGHT OF WAY LINES SHOWN ARE EXISTING AND ARE NOT CHANGED OR ALTERED IN ANY MANNER BY THIS PLAN. THE FRONTAGE SHOWN FOR THE LOTS UNDER APPLICATION ARE IN CONFORMANCE OR ARE EXEMPT FROM ENFORCEMENT, WITH THE EXCEPTION OF WHICH THE LAND IS SITUATED AND ACTIONS TAKEN TO CORRECT THE SAME. THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS.

WILLIAM G. HOLT, PLS #39688 DATE 5/29/17



19' TRAIL EASEMENT (PERMANENT)
 25' CONSTRUCTION EASEMENT (TEMPORARY)

FORMER 40' WIDE R.O.W.

FORMER 40' WIDE R.O.W.

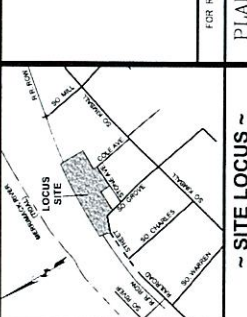
FORMER 40' WIDE R.O.W.

FORMER 40' WIDE R.O.W.

FORMER 40' WIDE R.O.W.

FORMER 40' WIDE R.O.W.

FORMER 40' WIDE R.O.W.



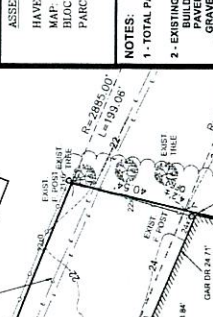
FOR REGISTRY USE ONLY

PLAN OF LAND
 LOCATED IN
Haverhill
 MASSACHUSETTS
 PREPARED FOR
OWNER - APPLICANT
J AND J HEALTY TRUST
 c/o JAMES A. ALLEN, TRUSTEE
 2 SOUTH GROVE STREET
 HAVERHILL, MA 01835

PREPARED BY
WILLIAM G. HOLT
 PLANNING
 83 W. MAIN STREET
 MERRIMAC, MA 01866
 TEL: (978) 346-2793

ASSESSOR'S DATA:
 Haverhill
 MAP BOOK 03B
 PARCEL 1 & 1A

NOTES:
 1. TOTAL PARCEL AREA = 64,658 S.F.
 2. EXISTING IMPERVIOUS COVER:
 BUILDING ROOF = 28,720 S.F.
 DRIVEWAY = 18,105 S.F.
 GARAGE FLOORING = 18,105 S.F.
 TOTAL IMPERVIOUS COVER = 64,930 S.F.
 LAWN/TREE COVER = 3,033 S.F.
 TOTAL PERVIOUS = 3,033 S.F.



EXISTING SITE CONDITIONS
MAP 702 BLK 634 LOT 1 & 1A
#8 & #2 S. GROVE STREET
HAVERHILL, MA 01835

DRAWN: W. HOLT
 DESIGNED: W. HOLT
 CHECKED: W. HOLT
 DATE: 2B-MAY-2017
 CAD FILE: WGS/5/10/17.GRD/300
 JOB NO: #17-057-SP-VI
 LOGUS: REF BK 18843 PG 24B
 DEED(S): REF BK 35092 PG 59B

REVISION: BY

PERMIT PLAN SET ONLY
 NOT FOR CONSTRUCTION.

CALL
 MR. ROBERT & KATHLEEN VALLEE
 1-800-347-7253
 (1-888-347-7253)

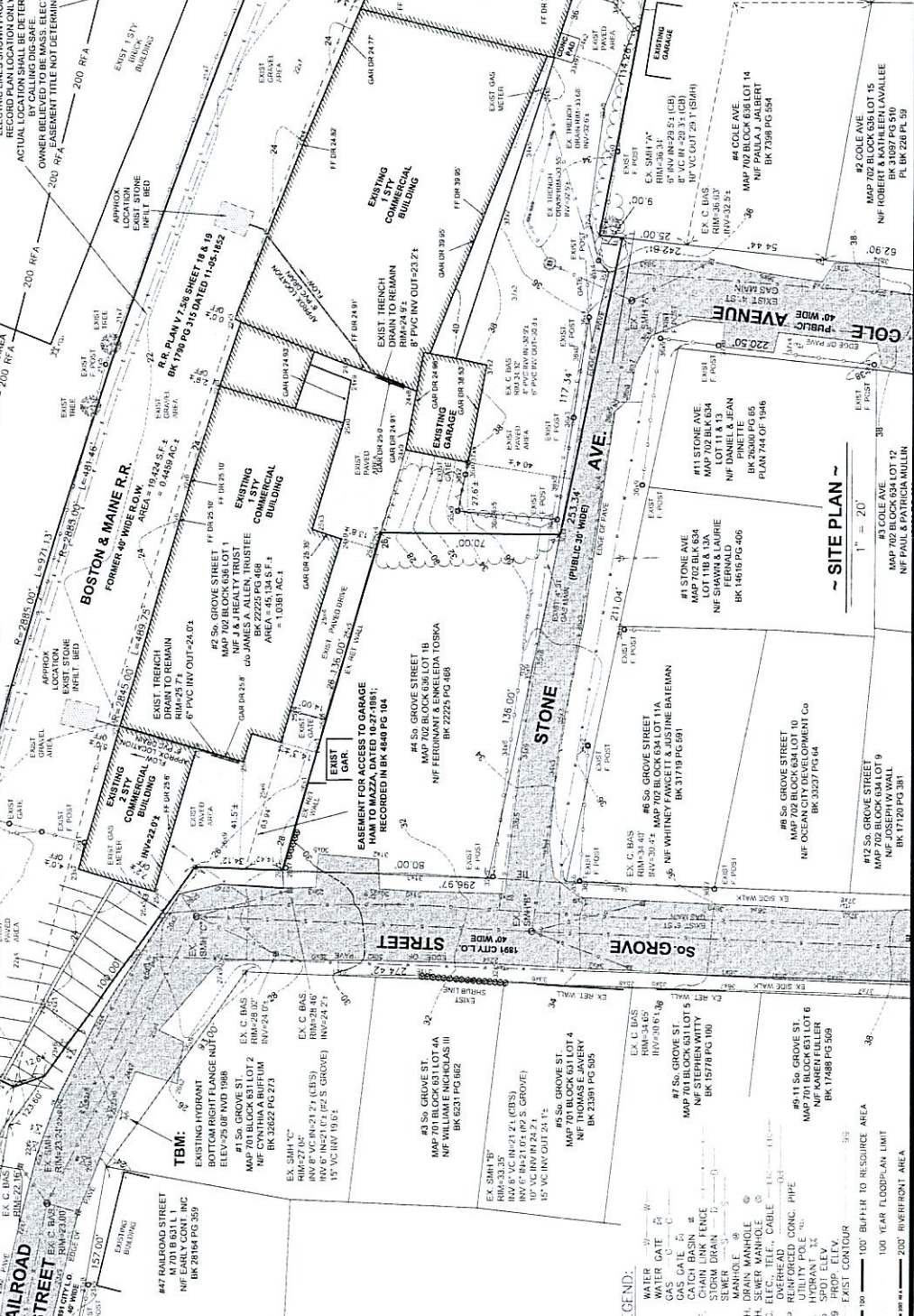
SHEET: S-2

~ SITE LOCUS ~
 1" = 1000'

EXISTING UNDERGROUND
 ELECTRIC LINES SHOWN FROM
 RECORD PLAN LOCATION ONLY
 ACTUAL LOCATION DETERMINED
 BY CALLING DIG SAFE.

OWNER BELIEVED TO BE MASS. ELECTRIC CO.
 NF EASEMENT TITLE NOT DETERMINED

DATE: 5/19/17
 WILLIAM G. HOLT, PLS #3958B



~ SITE PLAN ~
 1" = 20'

EXISTING UNDERGROUND
 ELECTRIC LINES SHOWN FROM
 RECORD PLAN LOCATION ONLY
 ACTUAL LOCATION DETERMINED
 BY CALLING DIG SAFE.

OWNER BELIEVED TO BE MASS. ELECTRIC CO.
 NF EASEMENT TITLE NOT DETERMINED

DATE: 5/19/17
 WILLIAM G. HOLT, PLS #3958B

EXISTING COMMERCIAL BUILDING
 #10 S. GROVE STREET
 MAP 702 BLK 634 LOT 10
 NF OCEAN CITY DEVELOPMENT Co
 BK 31627 PG 64

EXISTING COMMERCIAL BUILDING
 #11 S. GROVE STREET
 MAP 702 BLK 634 LOT 11
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #12 S. GROVE STREET
 MAP 702 BLK 634 LOT 12
 NF OCEAN CITY DEVELOPMENT Co
 BK 31627 PG 64

EXISTING COMMERCIAL BUILDING
 #13 S. GROVE STREET
 MAP 702 BLK 634 LOT 13
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #14 S. GROVE STREET
 MAP 702 BLK 634 LOT 14
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #15 S. GROVE STREET
 MAP 702 BLK 634 LOT 15
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #16 S. GROVE STREET
 MAP 702 BLK 634 LOT 16
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #17 S. GROVE STREET
 MAP 702 BLK 634 LOT 17
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #18 S. GROVE STREET
 MAP 702 BLK 634 LOT 18
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #19 S. GROVE STREET
 MAP 702 BLK 634 LOT 19
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #20 S. GROVE STREET
 MAP 702 BLK 634 LOT 20
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #21 S. GROVE STREET
 MAP 702 BLK 634 LOT 21
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #22 S. GROVE STREET
 MAP 702 BLK 634 LOT 22
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #23 S. GROVE STREET
 MAP 702 BLK 634 LOT 23
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #24 S. GROVE STREET
 MAP 702 BLK 634 LOT 24
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #25 S. GROVE STREET
 MAP 702 BLK 634 LOT 25
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #26 S. GROVE STREET
 MAP 702 BLK 634 LOT 26
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #27 S. GROVE STREET
 MAP 702 BLK 634 LOT 27
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #28 S. GROVE STREET
 MAP 702 BLK 634 LOT 28
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #29 S. GROVE STREET
 MAP 702 BLK 634 LOT 29
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #30 S. GROVE STREET
 MAP 702 BLK 634 LOT 30
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #31 S. GROVE STREET
 MAP 702 BLK 634 LOT 31
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #32 S. GROVE STREET
 MAP 702 BLK 634 LOT 32
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #33 S. GROVE STREET
 MAP 702 BLK 634 LOT 33
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #34 S. GROVE STREET
 MAP 702 BLK 634 LOT 34
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #35 S. GROVE STREET
 MAP 702 BLK 634 LOT 35
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #36 S. GROVE STREET
 MAP 702 BLK 634 LOT 36
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #37 S. GROVE STREET
 MAP 702 BLK 634 LOT 37
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #38 S. GROVE STREET
 MAP 702 BLK 634 LOT 38
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #39 S. GROVE STREET
 MAP 702 BLK 634 LOT 39
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #40 S. GROVE STREET
 MAP 702 BLK 634 LOT 40
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #41 S. GROVE STREET
 MAP 702 BLK 634 LOT 41
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #42 S. GROVE STREET
 MAP 702 BLK 634 LOT 42
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #43 S. GROVE STREET
 MAP 702 BLK 634 LOT 43
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #44 S. GROVE STREET
 MAP 702 BLK 634 LOT 44
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #45 S. GROVE STREET
 MAP 702 BLK 634 LOT 45
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

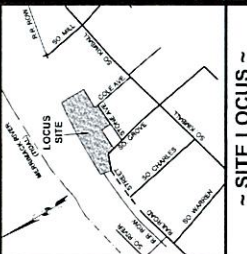
EXISTING COMMERCIAL BUILDING
 #46 S. GROVE STREET
 MAP 702 BLK 634 LOT 46
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #47 S. GROVE STREET
 MAP 702 BLK 634 LOT 47
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #48 S. GROVE STREET
 MAP 702 BLK 634 LOT 48
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #49 S. GROVE STREET
 MAP 702 BLK 634 LOT 49
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406

EXISTING COMMERCIAL BUILDING
 #50 S. GROVE STREET
 MAP 702 BLK 634 LOT 50
 NF SHARON LAURIE
 NF PINETTE
 BK 14616 PG 406



~ SITE LOCUS ~
 1" = 1000'



I HEREBY CERTIFY THAT ALL INFORMATION SHOWN ON THESE PLANS IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MASSACHUSETTS. I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE ACCURACY OF THE INFORMATION PROVIDED ON THESE PLANS. I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY FOR THE ACCURACY OF THE INFORMATION PROVIDED ON THESE PLANS.

PROPOSED MDC OIL GREASE
 WILLIAM G. HOLT, PLS #39588 DATE 5/28/17
 RECORD PLAN LOCATION ONLY
 HOLDING TANK
 ACTUAL LOCATION TO BE DETERMINED BY CALICULATING SAFE EASEMENT TITLE NOT DETERMINED.

PROPOSED CONSTRUCTION & GRADING EASEMENT
 20' CONSTRUCTION & GRADING EASEMENT
 20' CONSTRUCTION & GRADING EASEMENT
 20' CONSTRUCTION & GRADING EASEMENT

PROF. LOC. STONE
 120' SILT SOCK
 OVERLAND FLOW
 580 LF

PROF. LOC. STONE
 120' SILT SOCK
 OVERLAND FLOW
 580 LF

PROF. LOC. STONE
 120' SILT SOCK
 OVERLAND FLOW
 580 LF

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FOR REGISTRY USE ONLY

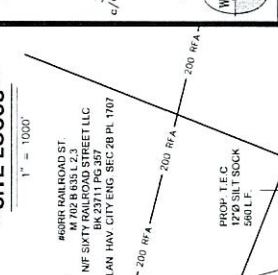
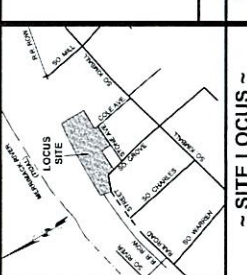
PLAN OF LAND
 LOCATED IN
HAVERHILL,
MASSACHUSETTS
 PREPARED FOR:
 OWNER: APPLICANT
J AND J REALTY TRUST
 c/o JAMES A. ALLEN, TRUSTEE
 2 SOUTH GROVE STREET
 BROADHILL, MA 01835

PREPARED BY:
WILLIAM G. HOLT,
PLS/RS/SE
 83 W. MAIN STREET
 MERRIMAC, MA 01866
 TEL: (978) 346-7873

ASSESSOR'S DATA:
 HAVERHILL: MAP 702
 BLOCK 636
 PARCEL 1 & 1A

NOTES:
 1-TOTAL PARCEL AREA: 64,558 S.F. ±
 1.482 AC. ±
 2-PROPOSED IMPERVIOUS COVER:
 BUILDING ROOF = 25,915 S.F. ±
 GRAVEL PARKING = 9,515 S.F. ±
 TOTAL IMPERVIOUS = 42,507 S.F. ±
 TOTAL PERVIOUS = 22,051 S.F. ±
 NET CHANGE IN IMPERVIOUS = 20,456 S.F. ±
 -18,756 S.F. ± 28% REDUCTION
 3-TO BE USED FOR SEWER CONNECTION
 4-NEW WATER SERVICE AND FIRE SERVICE CONNECTION PROPOSED.

PROPOSED SITE CONDITIONS
 #47 SO. GROVE STREET
 #48 SO. GROVE STREET
 #49 SO. GROVE STREET
 #50 GROVE STREET
 #51 GROVE STREET
 #52 GROVE STREET
 #53 GROVE STREET
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 #97 GROVE STREET
 #98 GROVE STREET
 #99 GROVE STREET
 #100 GROVE STREET



LEGEND:
 W WATER
 WC WATER GATE
 G GAS
 C CATCH BASIN
 C.B. CATCH BASIN
 C.F. CHAIN LINK FENCE
 S STORM DRAIN
 S.D. SEWER
 M.H. MANHOLE
 D.M.H. DEEPER MANHOLE
 S.M.H. SEWER MANHOLE
 E.T.C. ELEC. TELL. CABLE
 R.C.P. REINFORCED CONC. PIPE
 U.P. UTILITY POLE
 H.D. HYDRANT
 P-89 PROP. ELEV.
 EXIST. CONTOUR

LEGEND:
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 S.D. SEWER
 M.H. MANHOLE
 D.M.H. DEEPER MANHOLE
 S.M.H. SEWER MANHOLE
 E.T.C. ELEC. TELL. CABLE
 R.C.P. REINFORCED CONC. PIPE
 U.P. UTILITY POLE
 H.D. HYDRANT
 P-89 PROP. ELEV.
 EXIST. CONTOUR

LEGEND:
 W WATER
 WC WATER GATE
 G GAS
 C CATCH BASIN
 C.B. CATCH BASIN
 C.F. CHAIN LINK FENCE
 S STORM DRAIN
 S.D. SEWER
 M.H. MANHOLE
 D.M.H. DEEPER MANHOLE
 S.M.H. SEWER MANHOLE
 E.T.C. ELEC. TELL. CABLE
 R.C.P. REINFORCED CONC. PIPE
 U.P. UTILITY POLE
 H.D. HYDRANT
 P-89 PROP. ELEV.
 EXIST. CONTOUR

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 EXIST. CONTOUR

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 EXIST. CONTOUR

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 S.M.H. SEWER MANHOLE
 E.T.C. ELEC. TELL. CABLE
 R.C.P. REINFORCED CONC. PIPE
 U.P. UTILITY POLE
 H.D. HYDRANT
 P-89 PROP. ELEV.
 EXIST. CONTOUR

SHEET: S-3

PERMIT PLAN SET ONLY
 NOT FOR CONSTRUCTION

CALL
 1-800-344-7575
 (1-800-344-7575)

CALL
 1-800-344-7575
 (1-800-344-7575)

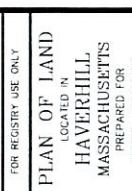
CALL
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 (1-800-344-7575)

CALL
 1-800-344-7575
 (1-800-344-7575)

CALL
 1-800-344-7575
 (1-800-344-7575)

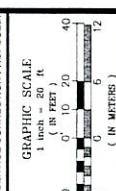
FOR REGISTRY USE ONLY

PLAN OF LAND
LOCATED IN
HAVERHILL
MASSACHUSETTS
PREPARED FOR
OWNER-APPLICANT
J AND J REALTY TRUST
c/o JAMES A. ALLEN, TRUSTEE
2 SOUTH GROVE STREET
BRAINTON, MA 01935
PREPARED BY
WILLIAM G. HOLT
PLANSER
83 W. MAIN STREET
MERRIMACK, MA 01860
TEL: (978) 348-7873



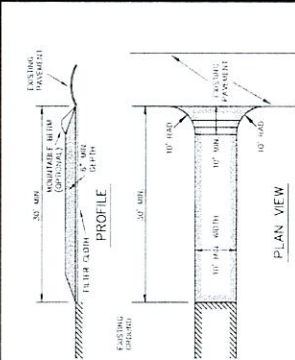
ASSESSOR'S DATA:
HAVERHILL
MAP: 702
BLOCK: 636
PARCEL: 1 & 1A

NOTES:
1-TOTAL PARCEL AREA: 64,558 S.F. ±
1.1483 AC ±
2-PROPOSED IMPERVIOUS COVER:
PAVED DRIVEWAY: 10,320 S.F. ±
GRAVEL PARKING: 10,320 S.F. ±
TOTAL IMPERVIOUS: = 20,640 S.F. ±
TOTAL PERVIOUS: = 43,918 S.F. ±
NET CHANGE IN IMPERVIOUS: = 23,272 S.F. ±
3-10% REDUCTION IN PERVIOUS TO BE USED.
4-NEW WATER SERVICE AND FIRE SERVICE CONNECTIONS PROPOSED.



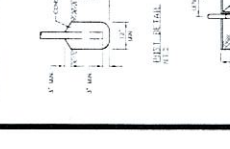
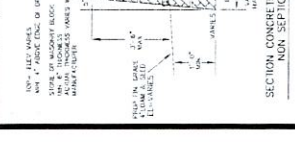
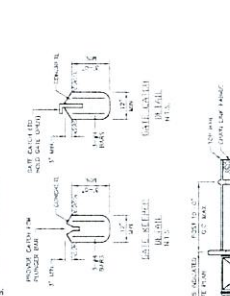
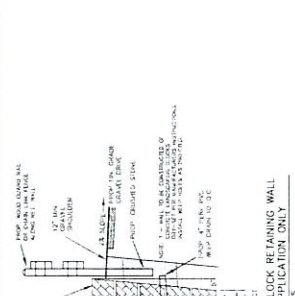
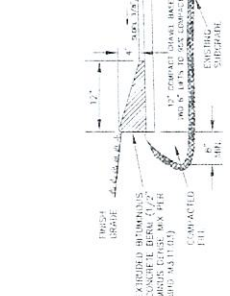
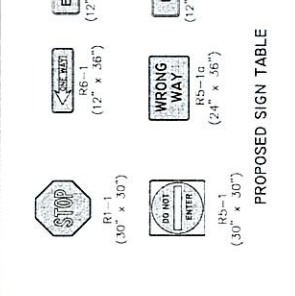
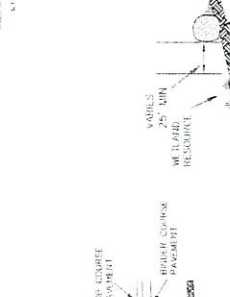
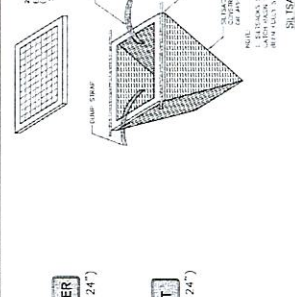
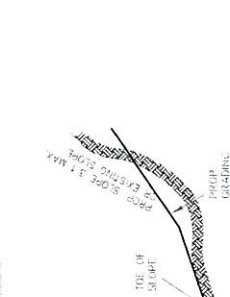
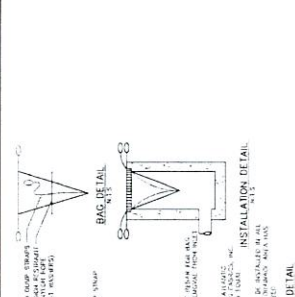
CONSTRUCTION DETAILS
MAP #02 BLK 638 LOTS 1 & 1A
#02 SOUTH GROVE STREET
HAVERHILL, MA 01865
DRAWN: W. HOLT
DESIGNED: W. HOLT
CHECKED: W. HOLT
DATE: 29-MAY-2017
CAD FILE: WGH/SUM/7-DRWA-180
JOB No.: #17-067-SP_V1
LOGUS: REF BK 18933 PG. 249
DEED(S): REF BK 35092 PG. 598
BY:

SHEET: S-4

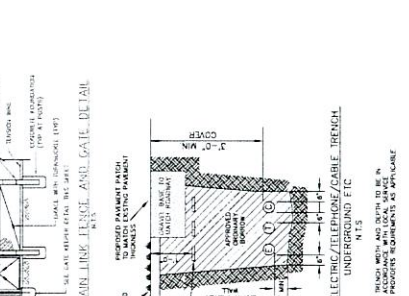
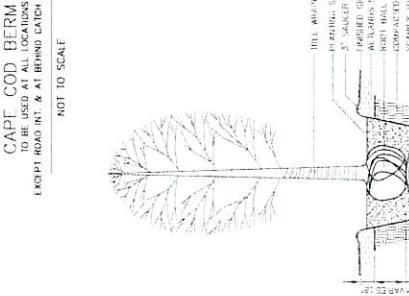
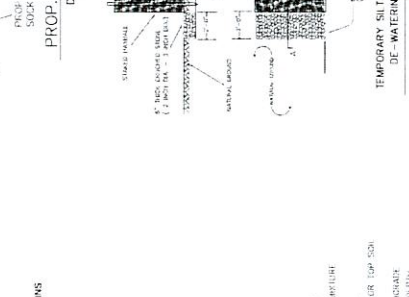
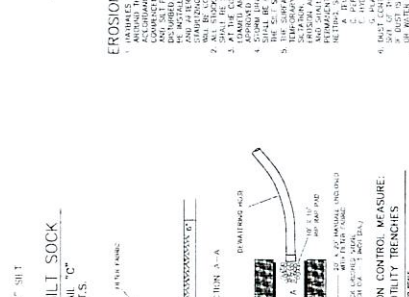


STABILIZED CONSTRUCTION ENTRANCE
PROVIDED AT SITE EXIT ONLY.

CONSTRUCTION SITE PREPARATION:
1. WORK SITE AND 5'± COMPACTED SUBGRADE.
2. SINGLE EXTERIOR LIGHT BOLLARD AT 5'± MAX. (EITHER 18"± DIA. OR 2 1/2" DIA. WITH 12"± HIGH GLASS LENS).
3. 4" DIA. 1/2" THICK ALUMINUM BOLLARD WITH 12"± HIGH GLASS LENS.
4. 4" DIA. 1/2" THICK ALUMINUM BOLLARD WITH 12"± HIGH GLASS LENS.
5. 4" DIA. 1/2" THICK ALUMINUM BOLLARD WITH 12"± HIGH GLASS LENS.
6. 4" DIA. 1/2" THICK ALUMINUM BOLLARD WITH 12"± HIGH GLASS LENS.
7. 4" DIA. 1/2" THICK ALUMINUM BOLLARD WITH 12"± HIGH GLASS LENS.
8. 4" DIA. 1/2" THICK ALUMINUM BOLLARD WITH 12"± HIGH GLASS LENS.
9. 4" DIA. 1/2" THICK ALUMINUM BOLLARD WITH 12"± HIGH GLASS LENS.



EROSION CONTROL NOTES:
1. MAINTAIN AND PROTECT THE STABILIZED ENTRANCE AND SLOPE DRAINAGE SYSTEMS THROUGHOUT THE CONSTRUCTION PERIOD.
2. MAINTAIN THE STABILIZED ENTRANCE AND SLOPE DRAINAGE SYSTEMS THROUGHOUT THE CONSTRUCTION PERIOD.
3. MAINTAIN THE STABILIZED ENTRANCE AND SLOPE DRAINAGE SYSTEMS THROUGHOUT THE CONSTRUCTION PERIOD.
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9. MAINTAIN THE STABILIZED ENTRANCE AND SLOPE DRAINAGE SYSTEMS THROUGHOUT THE CONSTRUCTION PERIOD.



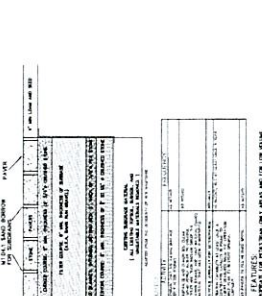
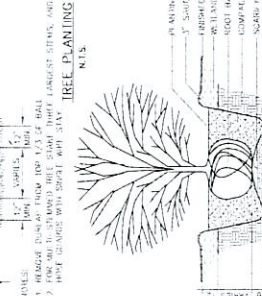
CALL
1-888-800-SAFE
(1-888-344-7233)
72 HOURS IN ADVANCE

NO OPEN FLAMES

I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIP, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF THE PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED OR OWNERSHIP OR FOR NOW-AWAYS ARE SHOWN.
(Ch. 38B OF THE ACT OF 1986)

PROPOSED SIGN TABLE

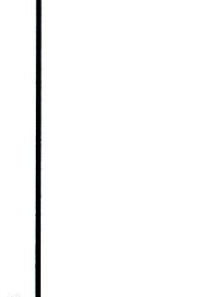
STOP (30" x 30")
ENTER (12" x 24")
EXIT (12" x 24")
WRONG WAY (24" x 36")
DO NOT ENTER (30" x 30")



WILLIAM G. HOLT, P.L.S. #39688 DATE 5/29/17

PROPOSED SIGN TABLE

STOP (30" x 30")
ENTER (12" x 24")
EXIT (12" x 24")
WRONG WAY (24" x 36")
DO NOT ENTER (30" x 30")



FOR REGISTRY USE ONLY

PLAN OF LAND
 LOCATED IN
HAVERHILL,
 MASSACHUSETTS

OWNER: J. AND J. REALTY TRUST
 6/A JAMES A. ALLEN, TRUSTEE
 2 SOUTH GROVE STREET
 BRAFORD, MA 01835

PREPARED BY
WILLIAM G. HOLT
 P.L.S./R.S./E.
 83 W. MAIN STREET
 MERRIMAC, MA 01860
 TEL: (978) 348-7873

ASSESSOR'S DATA:

HAVERHILL: MAP 702
 BLOCK: 636
 PARCEL: 1 & 1A

NOTES:

1. TOTAL PARCEL AREA: 64,558 S.F. ±
2. PROPOSED IMPERVIOUS COVER: 14,820 AC ±
3. BUILDING ROOF: 25,915 S.F. ±
4. DRIVEWAY: 16,000 S.F. ±
5. GRAVEL PARKING: 1,635 S.F. ±
6. TOTAL IMPERVIOUS COVER: 42,567 S.F. ±
7. LAWN/TREE COVER: 22,051 S.F. ±
8. NET CHANGE IN IMPERVIOUS COVER: 20,516 S.F. ±
9. 3" MIN. THICKNESS OF CONCRETE TO BE USED.
10. NEW WATER SERVICE AND FIRE SERVICE CONNECTION PROPOSED.

CONSTRUCTION DETAILS
 MAP 702 BLK 636 LOTS 1 & 1A
 #0 & #2 SO. GROVE STREET
 HAVERHILL, MA 01835

DESIGNED: W. HOLT
 CHECKED: WHOLE
 DATE: 28-MAY-2017
 CAD FILE: hgt/98/22.dwg
 JOB NO: #17-062-SP-VI
 LOCALS: REF BK 190313 PG 245
 DEED(S): REF BK 35092 PG 298

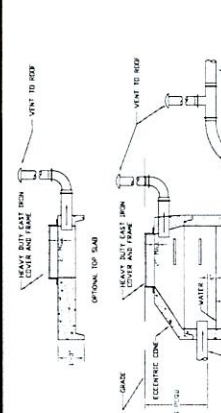
REVISION: _____ BY _____

GRAPHIC SCALE:
 1 inch = 20 feet
 (IN FEET)

20 0' 10' 20' 40'
 6 0 6 12 18
 (IN METERS)

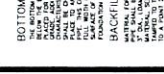
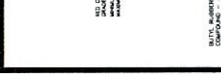
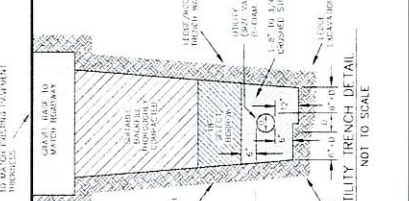
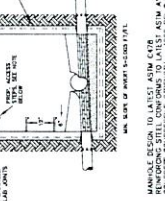
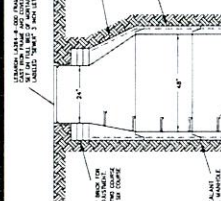
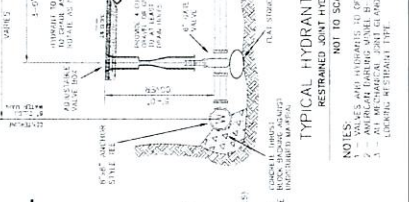
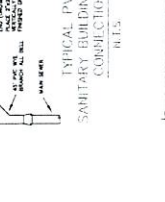
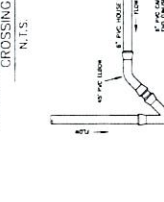
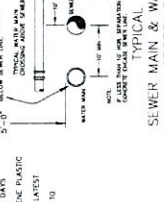
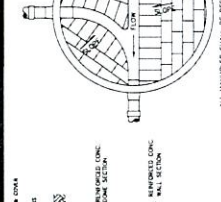
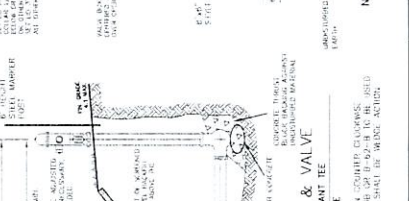
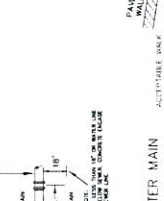
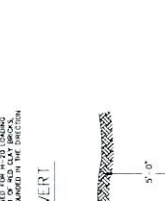
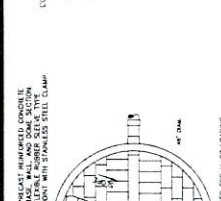
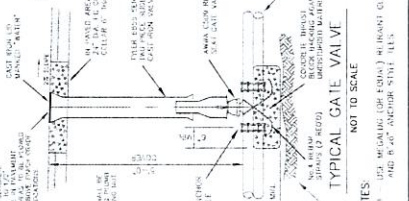
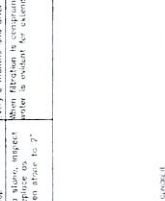
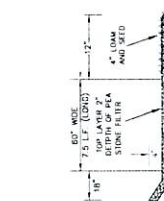
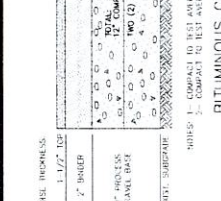
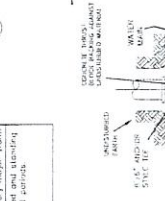
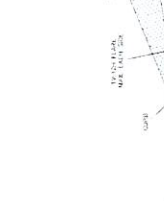
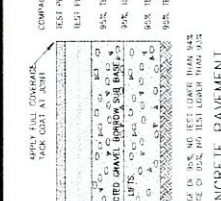
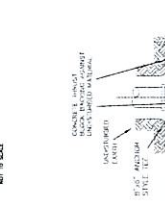
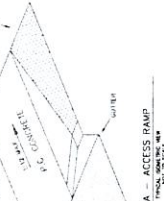
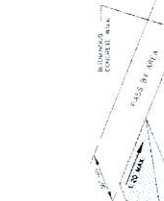
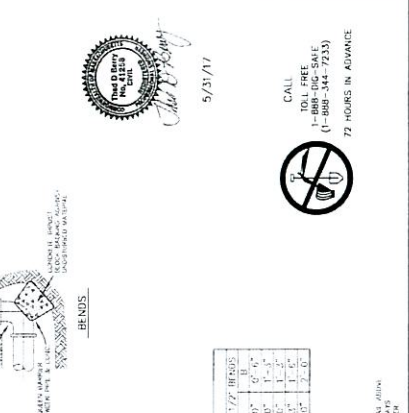
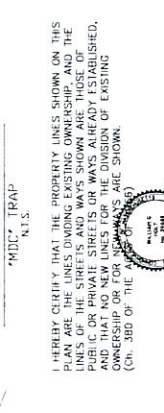
SHEET: S-5

CALL
 1-888-888-SAFE
 (1-888-344-7233)
 77 HOURS IN ADVANCE



SECTION VIEW

ITEM	DESCRIPTION	QUANTITY	UNIT
1	CONCRETE 4000 PSI MINIMUM AFTER 28 DAYS	1.00	CY
2	MANHOLE SECTION CONFORM TO LATEST CODE WITH MANHOLE SETTING REMOVED	1.00	NO.
3	3" RIGID PIPES CONFORM TO LATEST CODE WITH MANHOLE SETTING REMOVED	1.00	NO.
4	STEEL MANHOLES CONFORM TO LATEST CODE WITH MANHOLE SETTING REMOVED	1.00	NO.
5	PIPE NOT SHOWN	1.00	NO.
6	PIPE SECTION AVAILABLE IN 4'-0" TO 12'-0"	1.00	NO.
7	VALVE TO BE PROVIDED FOR EACH PARTICULAR CASE	1.00	NO.





General Notes:
1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND UTILITIES AT THE TIME OF CONSTRUCTION.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MASSACHUSETTS DEPARTMENT OF CONSTRUCTION REGULATIONS (806 CMR) AND ANY APPLICABLE ORDINANCES.
3. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND ADJACENT PROPERTIES AT ALL TIMES.
5. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL AUTHORITIES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
8. THE CONTRACTOR SHALL MAINTAIN A CLEAN AND SAFE WORK SITE AT ALL TIMES.
9. ALL MATERIALS AND EQUIPMENT SHALL BE STORED IN AN APPROPRIATE MANNER.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND UTILITIES.
11. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE MASSACHUSETTS DEPARTMENT OF CONSTRUCTION REGULATIONS (806 CMR) AND ANY APPLICABLE ORDINANCES.
12. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND ADJACENT PROPERTIES AT ALL TIMES.
13. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL AUTHORITIES.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
15. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
16. THE CONTRACTOR SHALL MAINTAIN A CLEAN AND SAFE WORK SITE AT ALL TIMES.
17. ALL MATERIALS AND EQUIPMENT SHALL BE STORED IN AN APPROPRIATE MANNER.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND UTILITIES.
19. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE MASSACHUSETTS DEPARTMENT OF CONSTRUCTION REGULATIONS (806 CMR) AND ANY APPLICABLE ORDINANCES.
20. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND ADJACENT PROPERTIES AT ALL TIMES.

Drawing Title:
Proposed
Floor Plans

REVISIONS:

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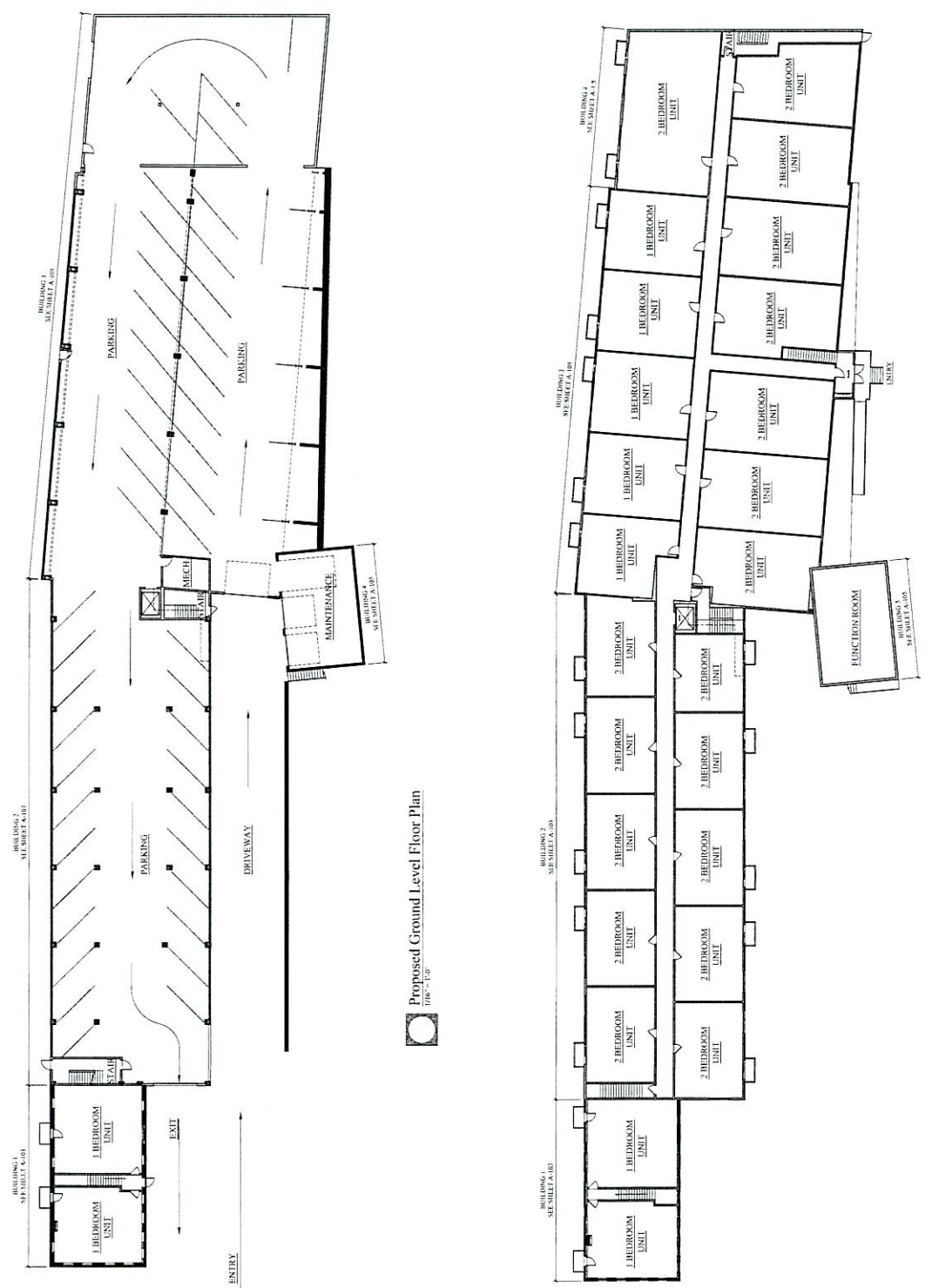
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A-1



Proposed Ground Level Floor Plan
1/8" = 1'-0"

Proposed First Floor Plan
1/8" = 1'-0"



General Notes:
 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS STATE AND FEDERAL CODES AND REGULATIONS.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
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 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.

Drawing Title:
**Proposed
 Floor Plans**

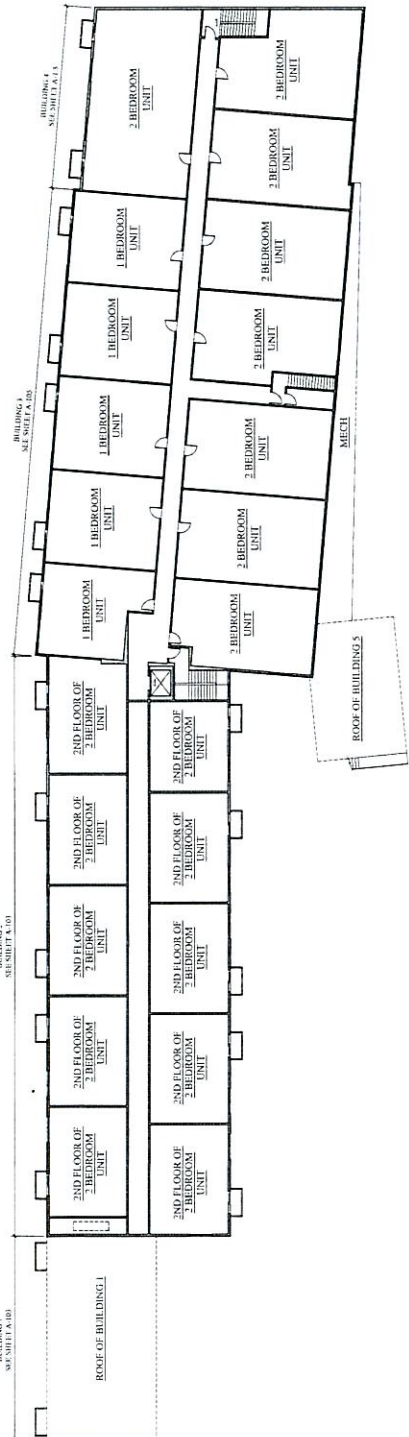
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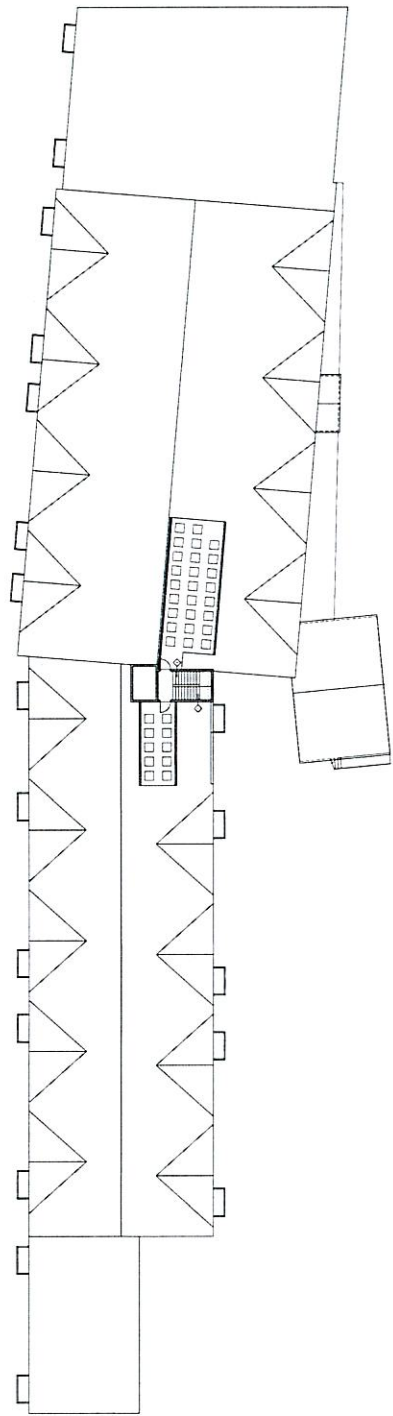
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Drawing Sheet Number:
A-2



Proposed Second Level Floor Plan
 1/8" = 1'-0"



Proposed Roof Plan
 1/8" = 1'-0"



General Notes:
 1. ALL DIMENSIONS UNLESS OTHERWISE NOTED SHALL BE IN FEET AND INCHES.
 2. ALL DIMENSIONS SHALL BE TO THE FACE UNLESS OTHERWISE NOTED.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AUTHORITIES.

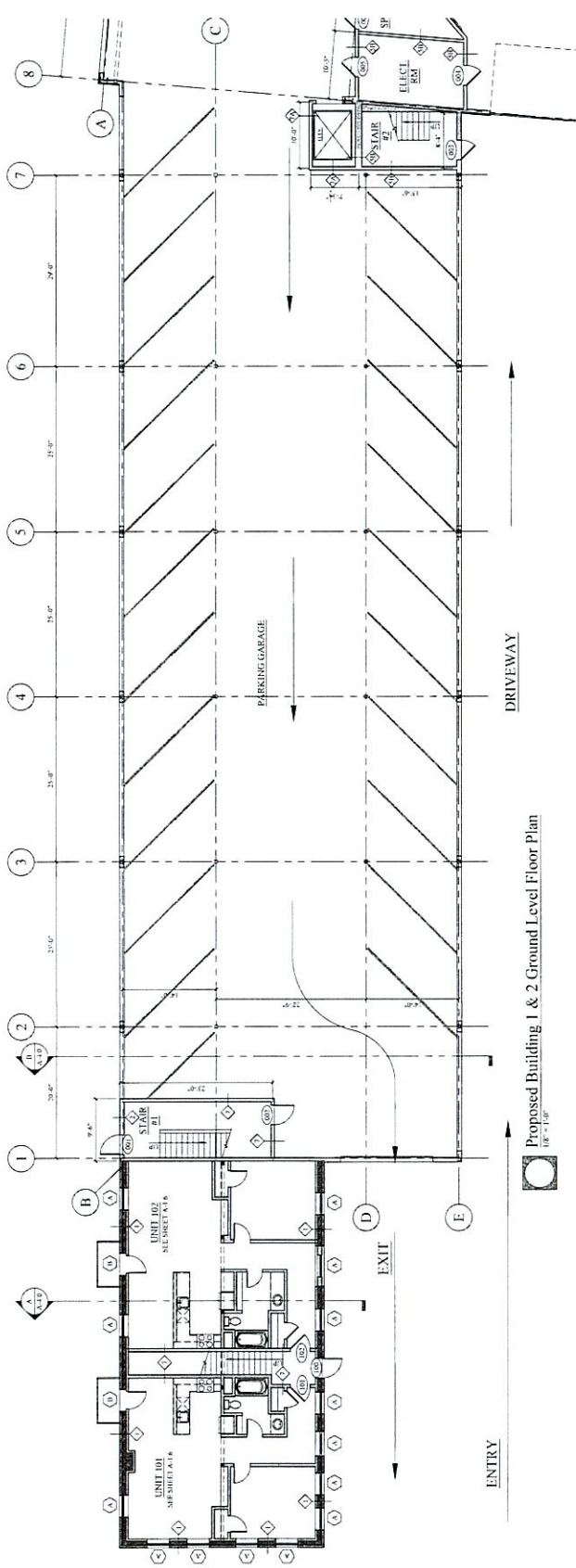
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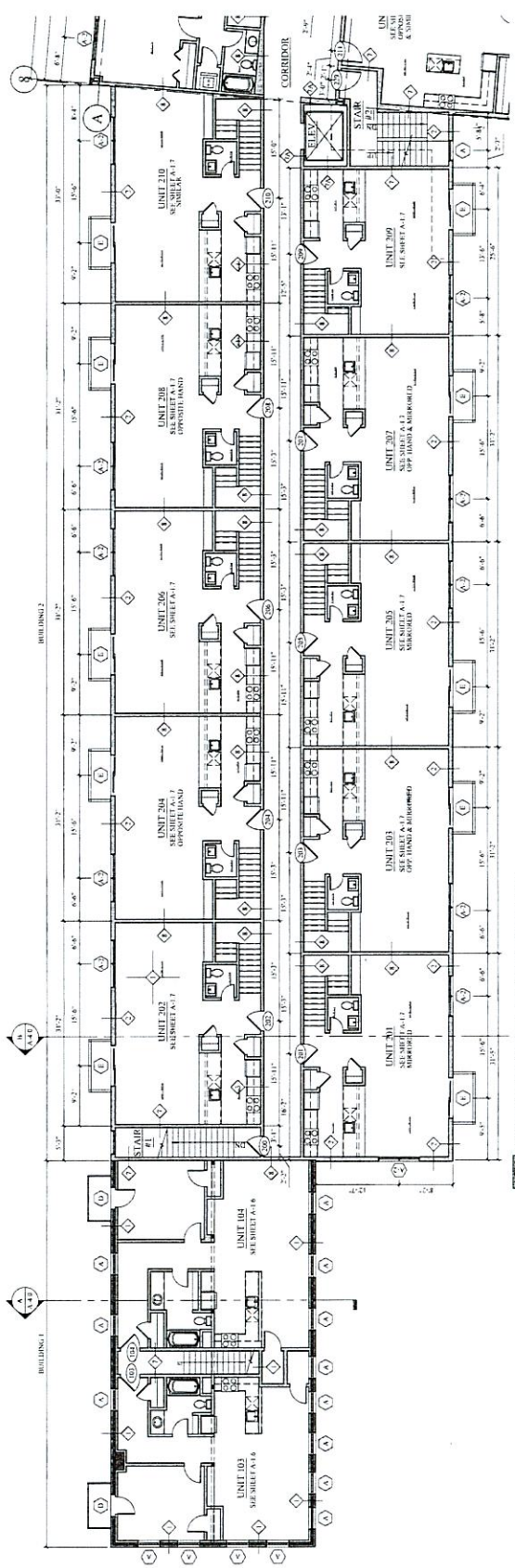
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A-1.0



Proposed Building 1 & 2 Ground Level Floor Plan
 18'-0" x 14'-0"



Proposed Building 1 & 2 First Floor Plan
 18'-0" x 14'-0"



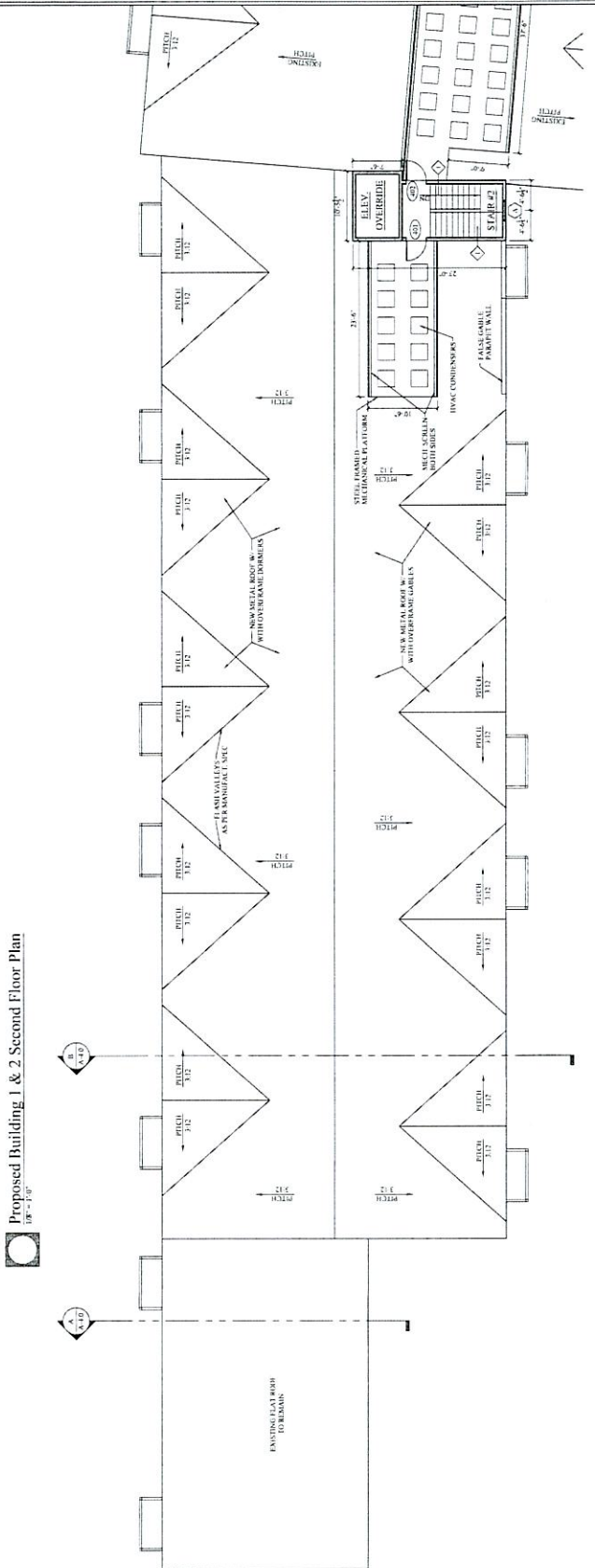
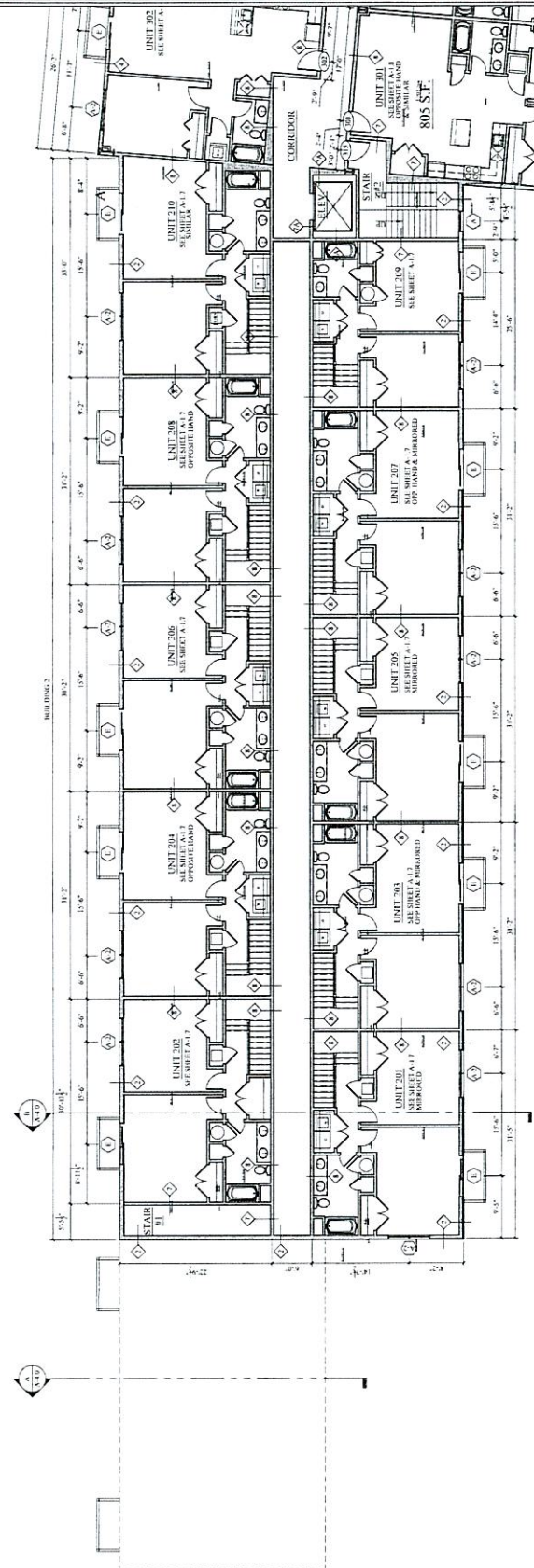
General Notes:
 1. CONTRACTOR SHALL FURNISH ALL MATERIALS AND LABOR NECESSARY FOR THE PROPER CONSTRUCTION OF THIS WORK.
 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND STRUCTURES.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND STRUCTURES.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND STRUCTURES.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND STRUCTURES.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND STRUCTURES.

Drawing Title:
Proposed Floor Plans

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General Notes:
 1. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS BUILDING CODE AND ALL APPLICABLE REGULATIONS.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS ELECTRICAL CODE AND ALL APPLICABLE REGULATIONS.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS MECHANICAL CODE AND ALL APPLICABLE REGULATIONS.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS PLUMBING CODE AND ALL APPLICABLE REGULATIONS.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS FIRE CODE AND ALL APPLICABLE REGULATIONS.
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS ENVIRONMENTAL CODE AND ALL APPLICABLE REGULATIONS.
 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS LAND USE CODE AND ALL APPLICABLE REGULATIONS.
 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS HEALTH CARE CODE AND ALL APPLICABLE REGULATIONS.
 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS EDUCATION CODE AND ALL APPLICABLE REGULATIONS.
 11. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS SOCIAL SERVICES CODE AND ALL APPLICABLE REGULATIONS.
 12. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS TRANSPORTATION CODE AND ALL APPLICABLE REGULATIONS.
 13. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS UTILITIES CODE AND ALL APPLICABLE REGULATIONS.
 14. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS CONSUMER PROTECTION CODE AND ALL APPLICABLE REGULATIONS.
 15. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS LABOR RELATIONS CODE AND ALL APPLICABLE REGULATIONS.
 16. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS SENIORS AND DISABILITY SERVICES CODE AND ALL APPLICABLE REGULATIONS.
 17. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS CHILDREN AND FAMILIES CODE AND ALL APPLICABLE REGULATIONS.
 18. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS COMMUNITY DEVELOPMENT CODE AND ALL APPLICABLE REGULATIONS.
 19. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS HOUSING CODE AND ALL APPLICABLE REGULATIONS.
 20. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS COMMUNITY DEVELOPMENT CODE AND ALL APPLICABLE REGULATIONS.

Drawing Title:
Proposed
Floor Plans

REVISIONS

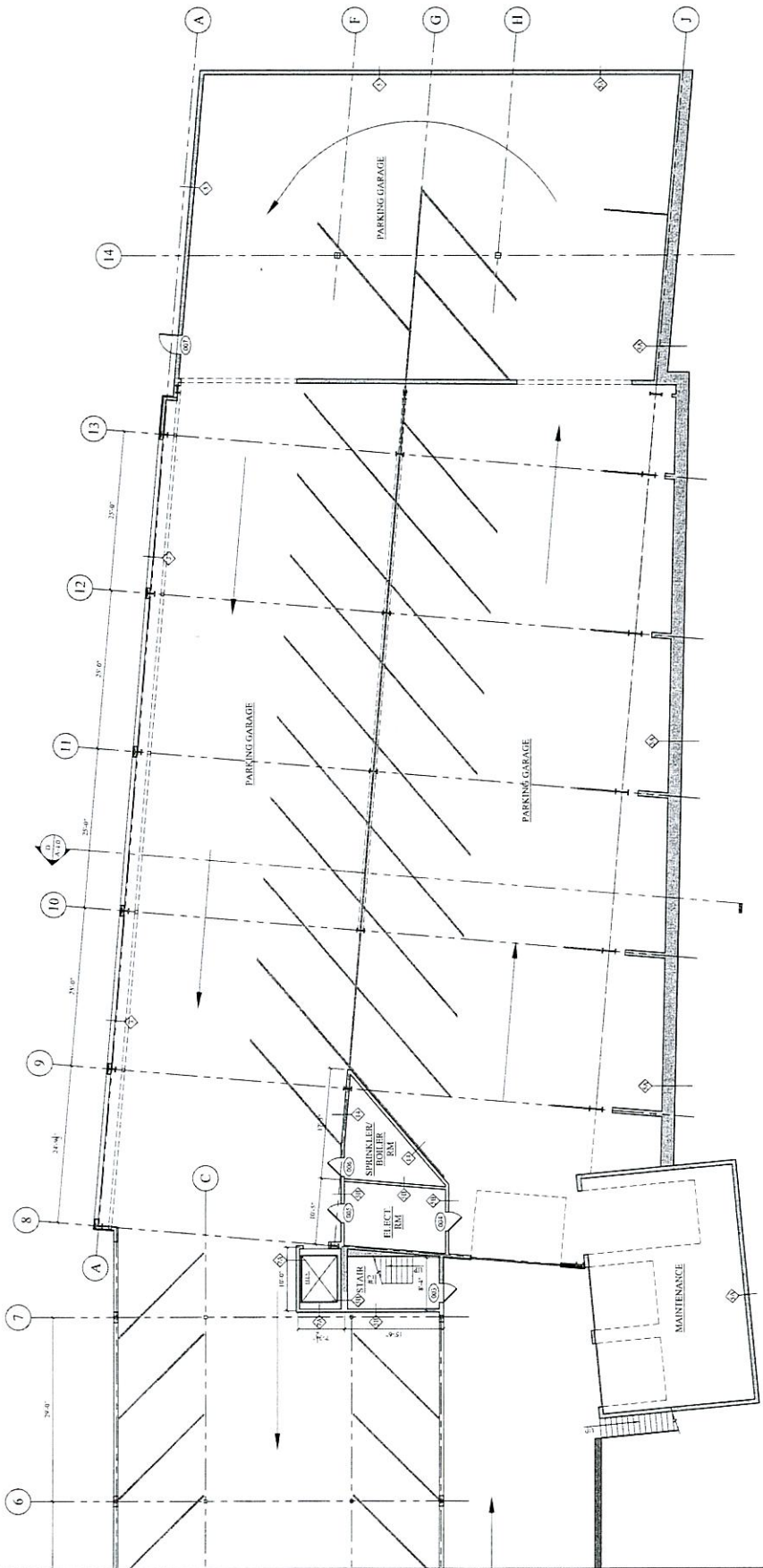
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Proposed Buildings 3, 4 & 5 Ground Level Floor Plan
 1/8" = 1'-0"





General Notes:
 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.
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Drawing Title:
 Proposed
 Floor Plans

REVISIONS

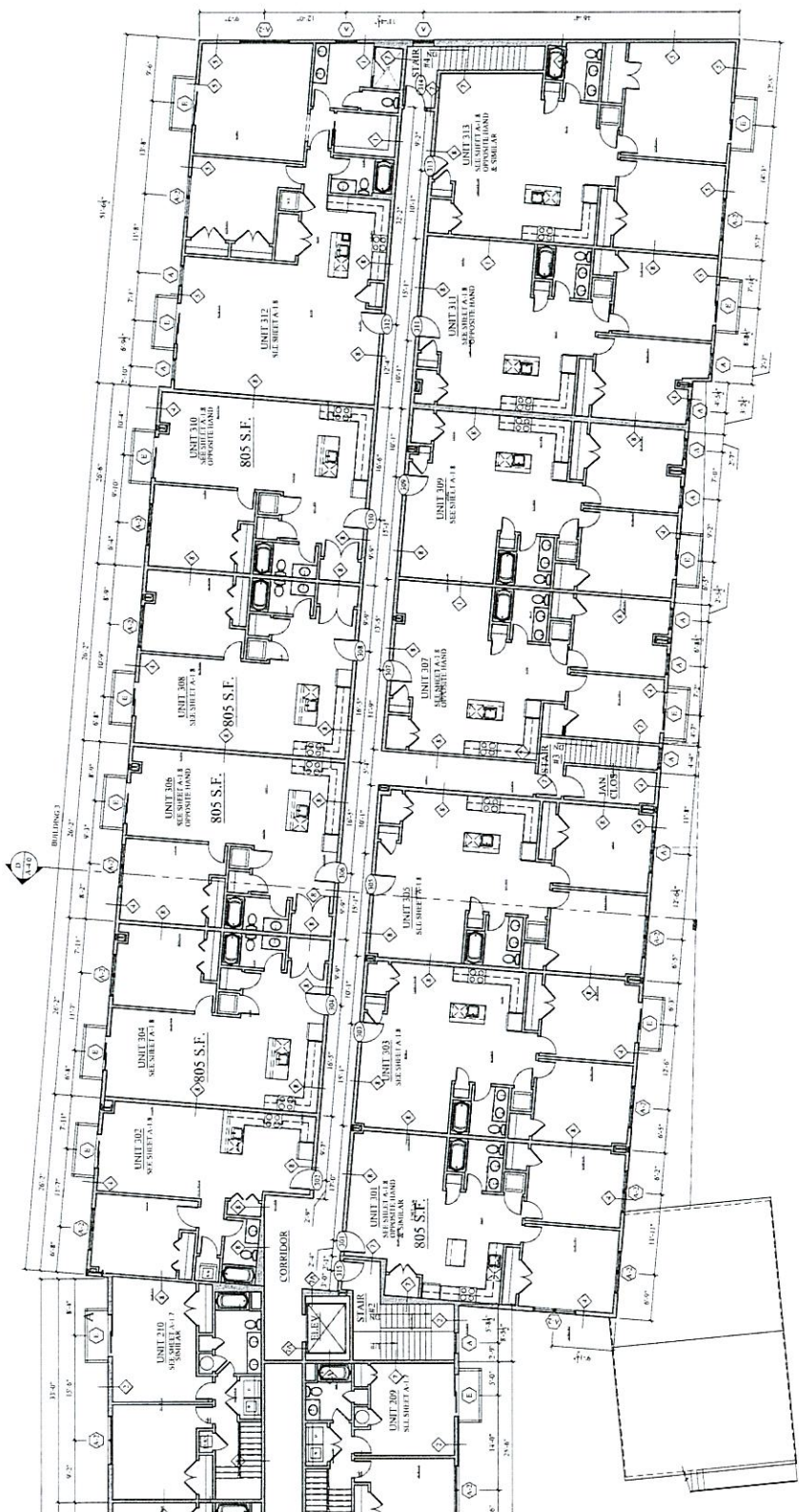
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Proposed Building 3, 4 & 5 Second Floor Plan





General Notes:

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL FINISHES ARE TO BE AS SHOWN ON THE SCHEDULE.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2015 MASSACHUSETTS BUILDING CODE AND ALL APPLICABLE REGULATIONS.
4. ALL ELECTRICAL AND MECHANICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2015 MASSACHUSETTS ELECTRICAL AND MECHANICAL CODES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
7. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL AUTHORITIES.
8. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
9. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
11. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
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81. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
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83. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
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86. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
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95. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
96. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
97. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL AUTHORITIES.
98. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
99. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
100. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.

Drawing Title:
Proposed
Floor Plans

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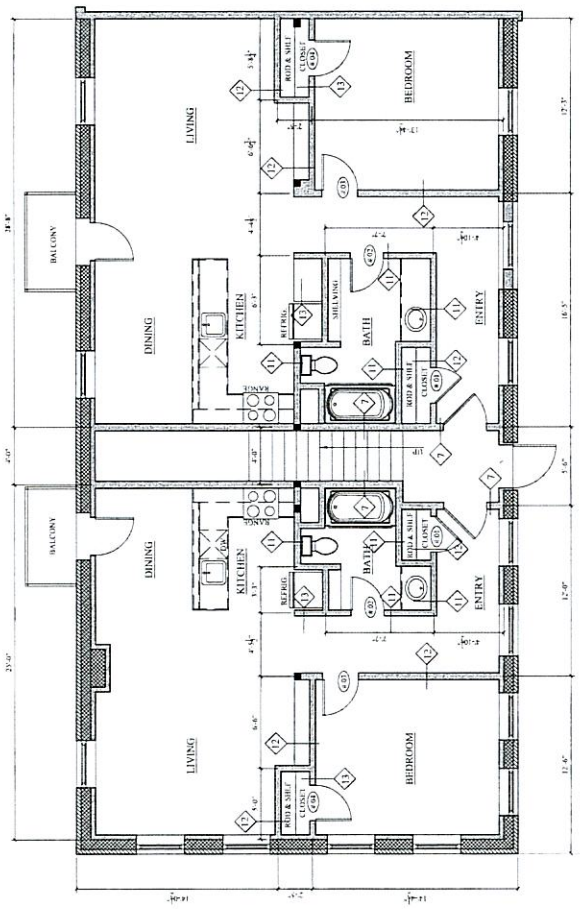
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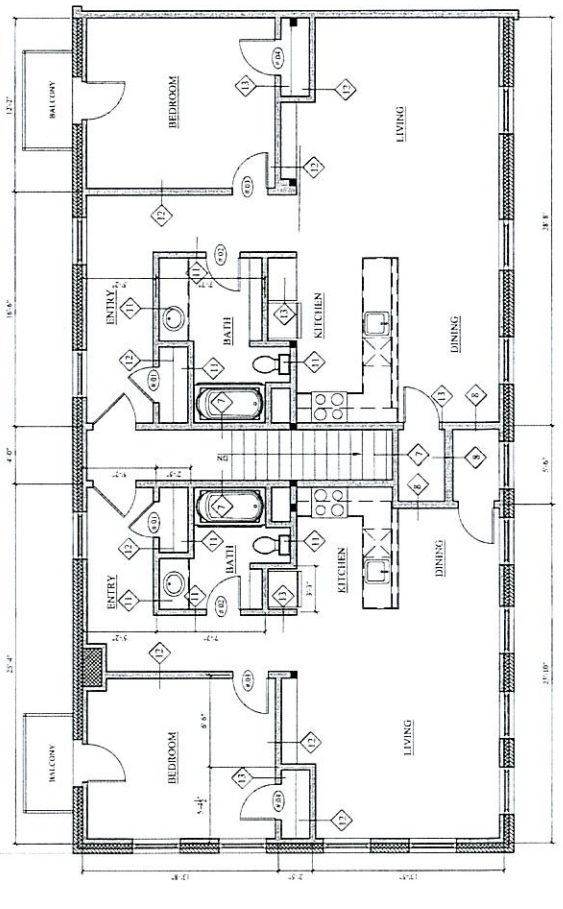
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Proposed Building 1 Ground Level Floor Plan
 1/8" = 1'-0"



Proposed Building 1 First Floor Plan
 1/8" = 1'-0"

141 Bridge Street
 Southbury, CT 06488
 SAVA, ARCHITECTS
 11704 42nd E.H.
 Greenwood Village, CO 80122
 John S. Sava, AIA, Principal

GW Design
 141 Bridge Road
 Southbury, CT 06488
 www.gw-design.com
 (860) 339-1233

The Development at:
**2 South Grove St.,
 Bradford, MA**
 September 22, 2017



General Notes:
 GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND UTILITIES PRIOR TO THE COMMENCEMENT OF THE WORK.
 ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.
 GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
 GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.

Drawing Title:
**Proposed
 Floor Plans**

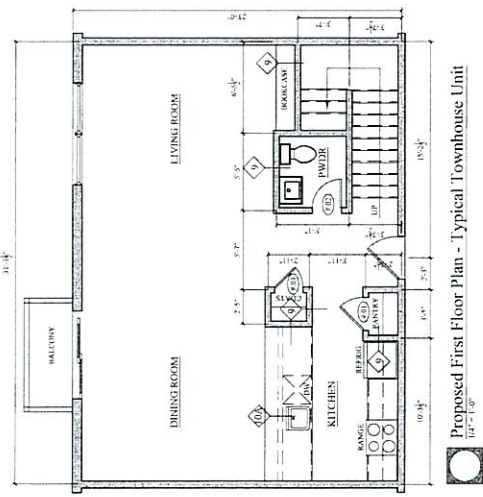
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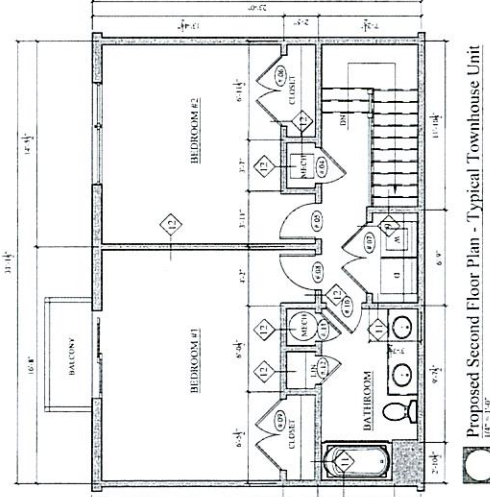
ISSUE DATES

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Drawing Sheet Number
A-1.7

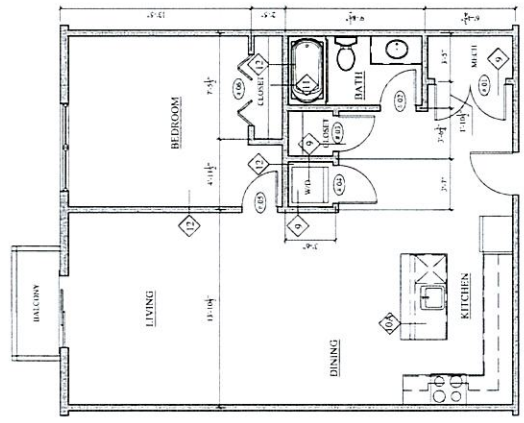


Proposed First Floor Plan - Typical Townhouse Unit
 1/4" = 1'-0"



Proposed Second Floor Plan - Typical Townhouse Unit
 1/4" = 1'-0"

Proposed Floor Plan - Typical (1) Bedroom Unit
 1/4" = 1'-0"



141 Bridge Road
 Needham Heights, MA 01905
 SAVA ARCHITECTS
 98878 4719152
 98878 4719153
 www.sava.com
 John S. Sava, AIA, Principal

GC Design
 41 Bridge Road
 Sudbury, MA 01951
 www.gc-design.com
 978 375 3233

The Development at:
2 South Grove St.
 Bradford, MA
 September 22, 2017



General Notes:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS STATE BOARD OF ARCHITECTURE AND PROFESSIONAL ENGINEERS.
 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MASSACHUSETTS STATE BOARD OF ARCHITECTURE AND PROFESSIONAL ENGINEERS.
 3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MASSACHUSETTS STATE BOARD OF ARCHITECTURE AND PROFESSIONAL ENGINEERS.
 4. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MASSACHUSETTS STATE BOARD OF ARCHITECTURE AND PROFESSIONAL ENGINEERS.
 5. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MASSACHUSETTS STATE BOARD OF ARCHITECTURE AND PROFESSIONAL ENGINEERS.

6. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MASSACHUSETTS STATE BOARD OF ARCHITECTURE AND PROFESSIONAL ENGINEERS.
 7. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MASSACHUSETTS STATE BOARD OF ARCHITECTURE AND PROFESSIONAL ENGINEERS.
 8. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MASSACHUSETTS STATE BOARD OF ARCHITECTURE AND PROFESSIONAL ENGINEERS.
 9. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MASSACHUSETTS STATE BOARD OF ARCHITECTURE AND PROFESSIONAL ENGINEERS.
 10. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MASSACHUSETTS STATE BOARD OF ARCHITECTURE AND PROFESSIONAL ENGINEERS.

Drawing Title:
**Proposed
 Floor Plans**

REVISIONS

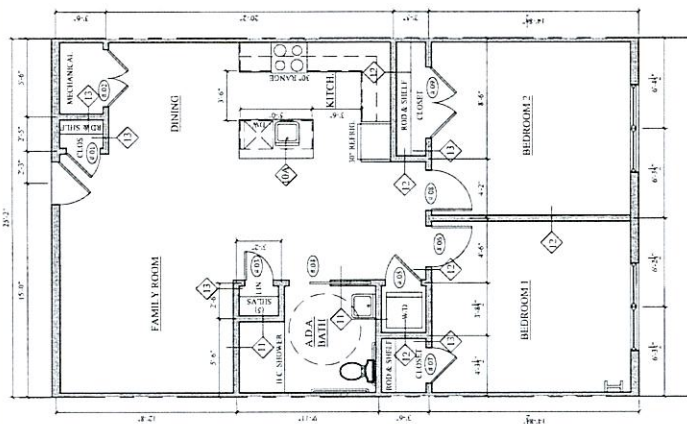
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ISSUE DATES

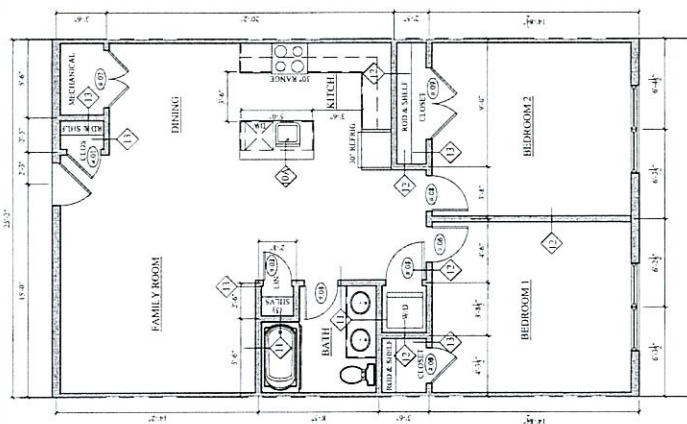
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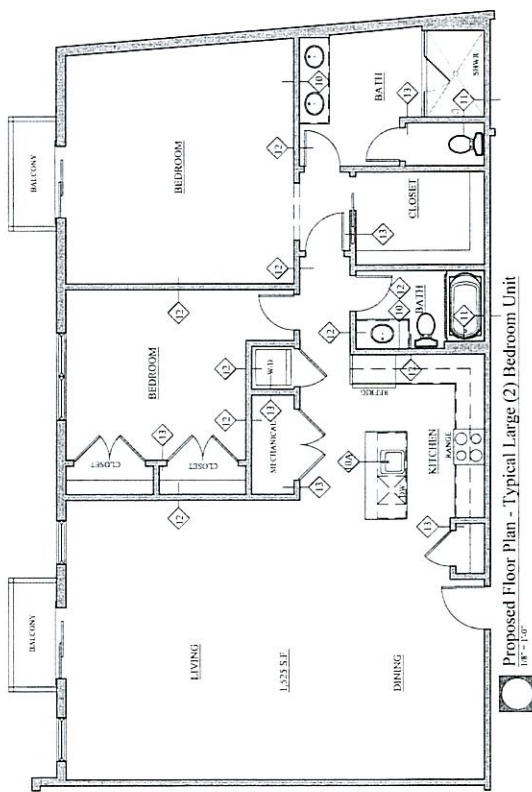
A-1.8



Proposed Floor Plan - Typical (2) Bedroom Unit
 1/8" = 1'-0"



Proposed Floor Plan - Modified (2) Bedroom Unit A
 1/8" = 1'-0"



Proposed Floor Plan - Typical Large (2) Bedroom Unit
 1/8" = 1'-0"



General Notes:
 GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND UTILITIES PRIOR TO THE COMMENCEMENT OF THE WORK.
 ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS BUILDING CODE, THE MASSACHUSETTS STATE BOARD OF BUILDING REGULATIONS, AND ALL APPLICABLE LOCAL ORDINANCES.
 GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT AND THE APPLICABLE AGENCIES.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT AND THE APPLICABLE AGENCIES.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
 ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT AND THE APPLICABLE AGENCIES.

Drawing Title:
**Proposed
 Floor Plans**

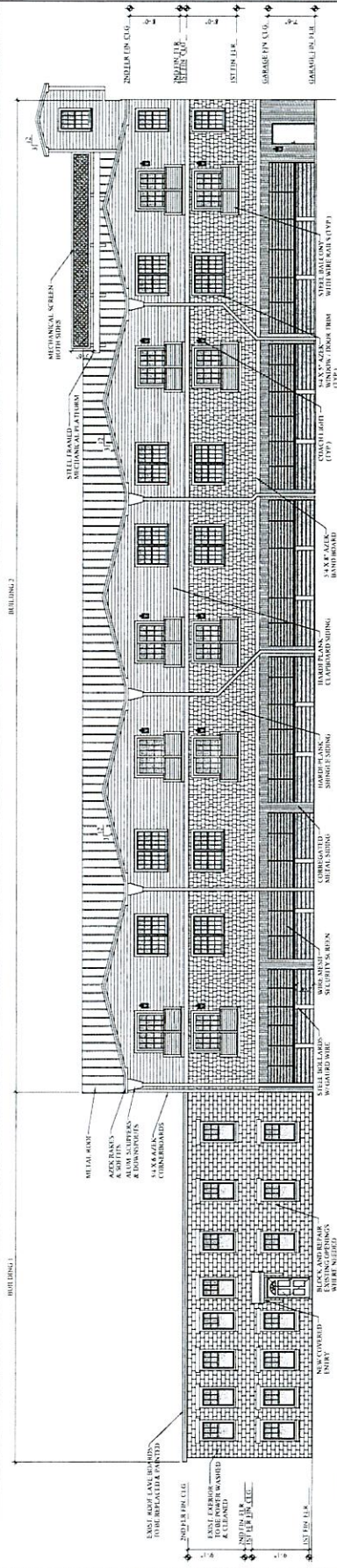
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01	DATE
02	DATE
03	DATE
04	DATE

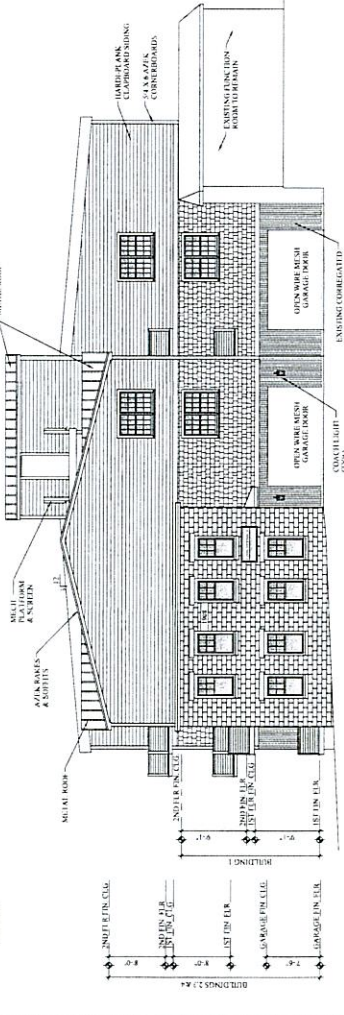
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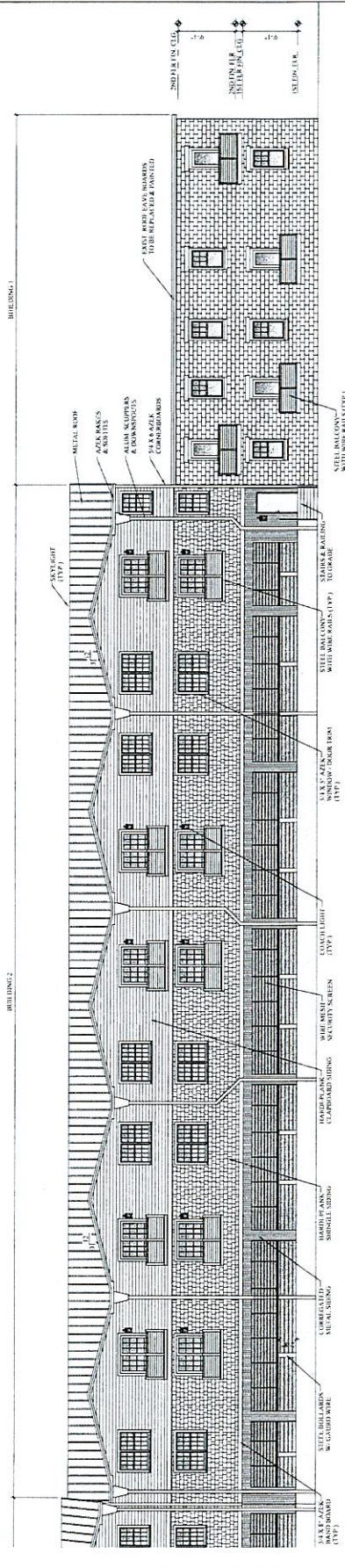
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A-3.0



Proposed South Elevation Buildings 1 & 2
 1/8" = 1'-0"

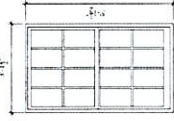


Proposed West Elevation Buildings 1 & 2
 1/8" = 1'-0"

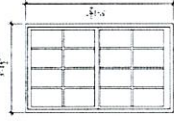


Proposed North Elevation Buildings 1 & 2
 1/8" = 1'-0"

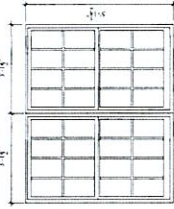
WINDOW SCHEDULE
177-178



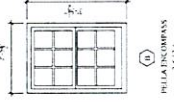
(A) PELLA COMPASS
2x2 S2
DOUBLE HUNG
MEETS AEROSPACE R4U



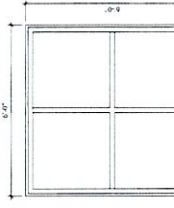
(B) PELLA COMPASS
2x2 S2
DOUBLE HUNG
MEETS AEROSPACE R4U



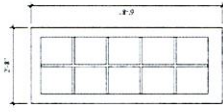
(C) PELLA COMPASS
2x2 S2
DOUBLE HUNG
MEETS AEROSPACE R4U



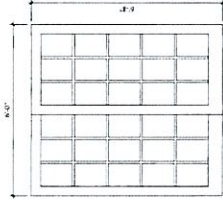
(D) PELLA COMPASS
2x2 S2
DOUBLE HUNG
MEETS AEROSPACE R4U



(E) PELLA COMPASS
2x2 S2
DOUBLE HUNG
MEETS AEROSPACE R4U



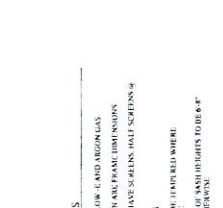
(F) PELLA COMPASS
2x2 S2
DOUBLE HUNG
MEETS AEROSPACE R4U



(G) PELLA COMPASS
2x2 S2
DOUBLE HUNG
MEETS AEROSPACE R4U



(H) PELLA COMPASS
2x2 S2
DOUBLE HUNG
MEETS AEROSPACE R4U



(I) PELLA COMPASS
2x2 S2
DOUBLE HUNG
MEETS AEROSPACE R4U

NOTES - WINDOWS

1. ALL GLASS TO BE LOW-E AND ARGON GAS
2. DIMENSIONS SHOWN ARE FRAME DIMENSIONS
3. ALL WINDOWS TO HAVE SCREENS, HALF SCREENS IF DOUBLE HUNG
4. WHITE CASSET LOCKS
5. ALL WINDOWS TO BE FINISHED WHERE REQUIRED BY CODE
6. ALL WINDOWS TO BE FINISHED TO MEET AEROSPACE R4U
7. FINISH NOTES TO APPLY

141 Bridge Street
Northampton, MA 01062
SAVA ARCHITECTS
517 N. MAIN ST.
NORTHAMPTON, MA 01062
401.578.4179 FAX
401.578.4179
John S. Sava, AIA, principal

GW Design
141 Bridge Street
Northampton, MA 01062
www.gwdesign.com
(413) 542-2222
(413) 542-2223

The Development at:
2 South Grove St.
Bradford, MA
September 22, 2017



General Notes:
1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING STRUCTURE AND UTILITIES PRIOR TO CONSTRUCTION.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS BUILDING CODE AND ALL APPLICABLE REGULATIONS.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
4. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
8. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.
9. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE DOCUMENTED THROUGHOUT THE PROJECT.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
11. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS BUILDING CODE AND ALL APPLICABLE REGULATIONS.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
13. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
14. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
16. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
17. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.
18. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE DOCUMENTED THROUGHOUT THE PROJECT.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
20. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS BUILDING CODE AND ALL APPLICABLE REGULATIONS.

Drawing Title:
Proposed Window Schedule

REVISIONS

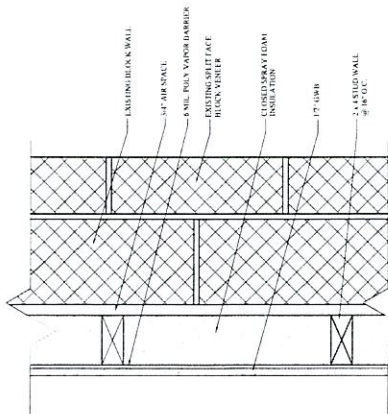
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ISSUE DATES

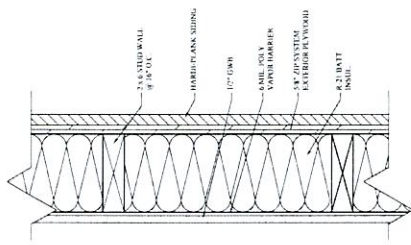
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Drawing Sheet Number:
A-5.0

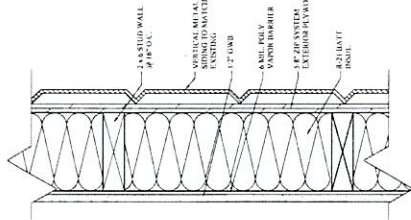
EXTERIOR WALL TYPES
3" = 1'-0"



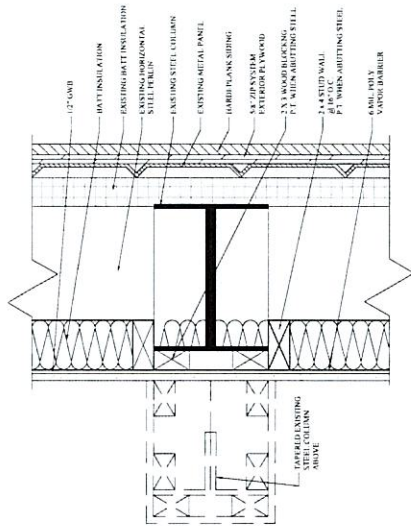
BUILDING 1
EXTERIOR WALL
NOT RATED



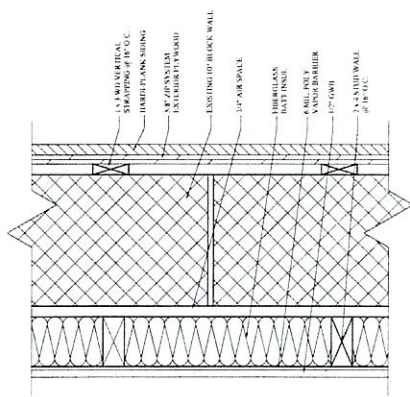
BUILDING 2 & 4
EXTERIOR WALL
NOT RATED



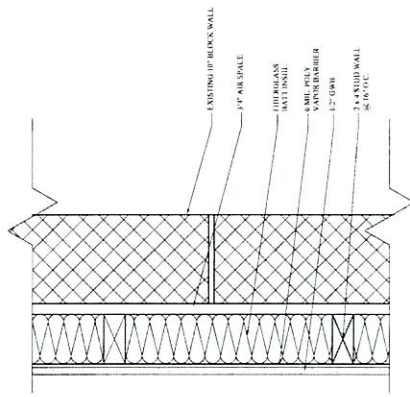
BUILDING 2
EXTERIOR WALL
NOT RATED



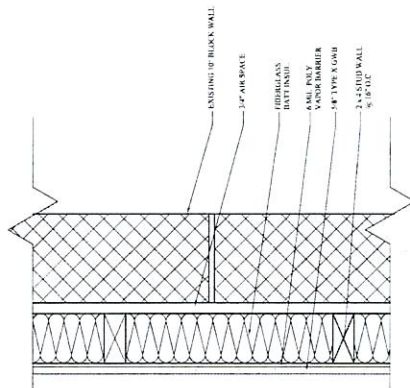
BUILDING 3
EXTERIOR WALL
NOT RATED



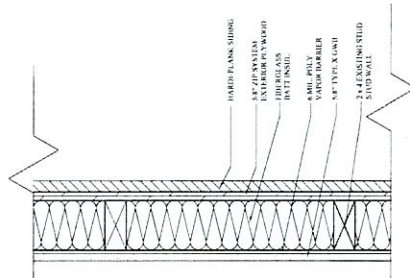
BUILDING 4
EXTERIOR WALL
NOT RATED



BUILDING 4
EXTERIOR WALL
NOT RATED



BUILDING 4
EXTERIOR WALL-STAIRMECH
1-HOUR RATED



BUILDING 5
EXTERIOR WALL
NOT RATED



General Notes:
1. EXISTING WALLS SHALL BE DEMOLISHED AND RECONSTRUCTED TO THE PROPOSED WALL TYPE.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2015 INTERNATIONAL BUILDING CODES, AS AMENDED BY THE 2015 SUPPLEMENTARY CODES, AND ALL CITY ORDINANCES.
3. THE CONTRACTOR SHALL VERIFY THE EXISTING WALL TYPE AND CONSTRUCTION WITH THE CITY RECORDS.
4. THE CONTRACTOR SHALL VERIFY THE EXISTING WALL TYPE AND CONSTRUCTION WITH THE CITY RECORDS.
5. THE CONTRACTOR SHALL VERIFY THE EXISTING WALL TYPE AND CONSTRUCTION WITH THE CITY RECORDS.
6. THE CONTRACTOR SHALL VERIFY THE EXISTING WALL TYPE AND CONSTRUCTION WITH THE CITY RECORDS.
7. THE CONTRACTOR SHALL VERIFY THE EXISTING WALL TYPE AND CONSTRUCTION WITH THE CITY RECORDS.
8. THE CONTRACTOR SHALL VERIFY THE EXISTING WALL TYPE AND CONSTRUCTION WITH THE CITY RECORDS.
9. THE CONTRACTOR SHALL VERIFY THE EXISTING WALL TYPE AND CONSTRUCTION WITH THE CITY RECORDS.
10. THE CONTRACTOR SHALL VERIFY THE EXISTING WALL TYPE AND CONSTRUCTION WITH THE CITY RECORDS.

Drawing Title:
Proposed Exterior Wall Types

REVISIONS:
 Date
 Date
 Date
 Date
 Date
 Date

ISSUE DATES:
 Date
 Date
 Date
 Date

Drawing Sheet Number:
A-6.0



General Notes:
 1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE 2015 INTERNATIONAL BUILDING CODE (IBC).
 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2015 INTERNATIONAL MECHANICAL CODE (IMC).
 3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2015 INTERNATIONAL PLUMBING AND MECHANICAL CODE (IPC).
 4. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2015 INTERNATIONAL ELECTRICAL CODE (IEC).
 5. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2015 INTERNATIONAL FIRE AND ALARM CODE (IFAC).
 6. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2015 INTERNATIONAL SCHEDULE OF MATERIALS (ISM).
 7. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2015 INTERNATIONAL CONSTRUCTION CODE (ICC).
 8. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC).
 9. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2015 INTERNATIONAL GREEN BUILDING CONSTRUCTION CODE (IGBC).
 10. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2015 INTERNATIONAL SCHEDULE OF FINISHES (ISF).
 11. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2015 INTERNATIONAL SCHEDULE OF EQUIPMENT (ISE).
 12. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2015 INTERNATIONAL SCHEDULE OF UTILITIES (ISU).
 13. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2015 INTERNATIONAL SCHEDULE OF OPERATIONS (ISO).
 14. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2015 INTERNATIONAL SCHEDULE OF MAINTENANCE (ISM).
 15. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2015 INTERNATIONAL SCHEDULE OF REPAIRS (ISR).
 16. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2015 INTERNATIONAL SCHEDULE OF REPLACEMENT (ISRE).
 17. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2015 INTERNATIONAL SCHEDULE OF RENOVATION (ISRENO).
 18. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2015 INTERNATIONAL SCHEDULE OF RESTORATION (ISREST).
 19. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2015 INTERNATIONAL SCHEDULE OF REPAIR AND MAINTENANCE (ISREMA).
 20. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2015 INTERNATIONAL SCHEDULE OF REPAIR AND MAINTENANCE (ISREMA).

**Drawing Title:
 Proposed
 Floor Types**

REVISIONS

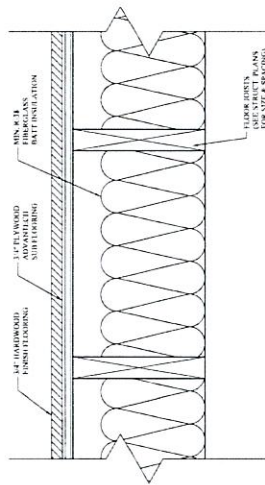
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ISSUE DATES

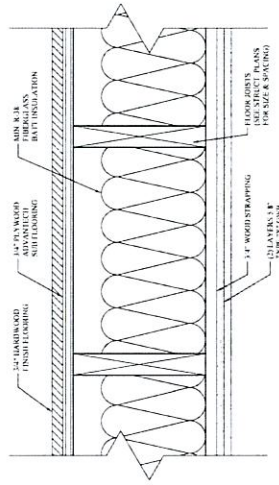
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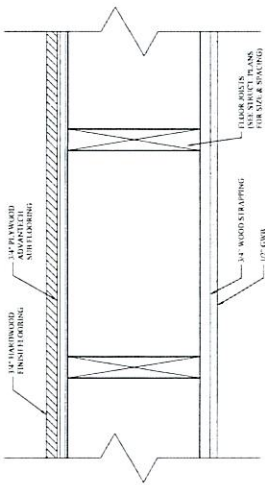
A-6.2



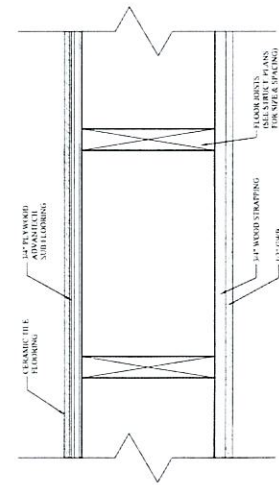
4 Floor Type 4
 3/4" = 1'-0"



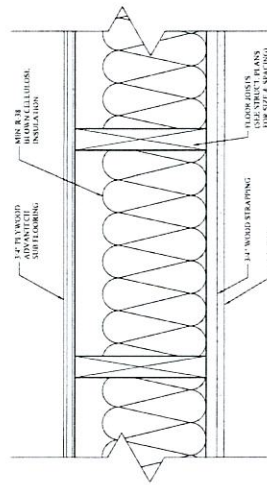
5 Floor Type 5-RATED
 3/4" = 1'-0"



1 Floor Type 1
 3/4" = 1'-0"



2 Floor Type 2
 3/4" = 1'-0"



3 Floor Type 3
 3/4" = 1'-0"

NOTE: ALL FLOOR ASSEMBLIES BETWEEN UNITS REQUIRE A 1-HOUR RATED ASSEMBLY

September 29, 2017

General Notes:

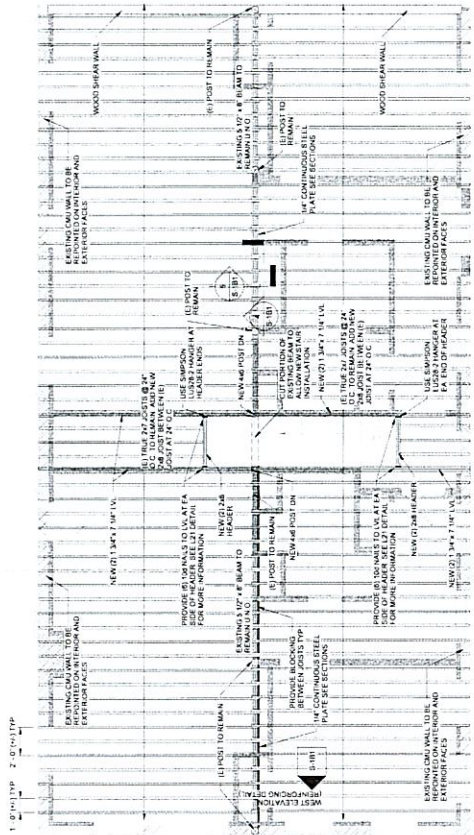
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS BUILDING CODE (780 CMR) AND ALL APPLICABLE LOCAL ORDINANCES.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS BUILDING CODE (780 CMR) AND ALL APPLICABLE LOCAL ORDINANCES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS BUILDING CODE (780 CMR) AND ALL APPLICABLE LOCAL ORDINANCES.
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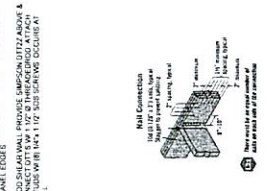
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- 1. Date: _____
 - 2. Date: _____
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- ISSUE DATES**
- 1. Date: _____
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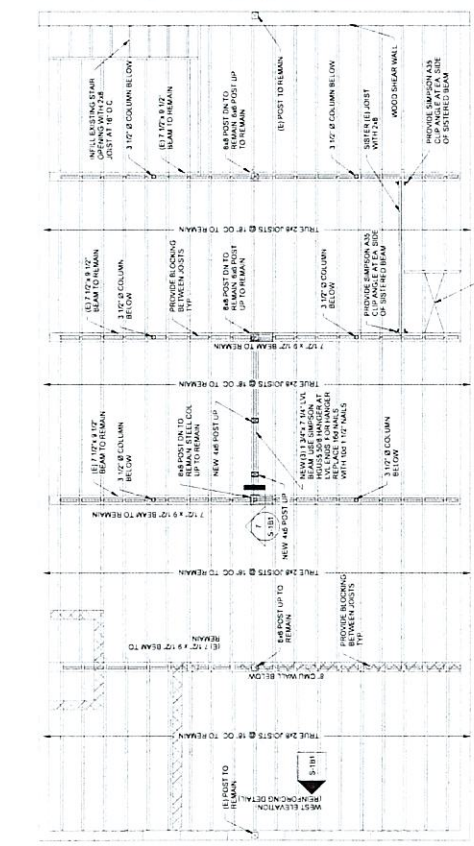
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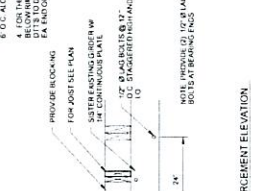
(2) SECOND FLOOR FRAMING PLAN
 1/4" = 1'-0"



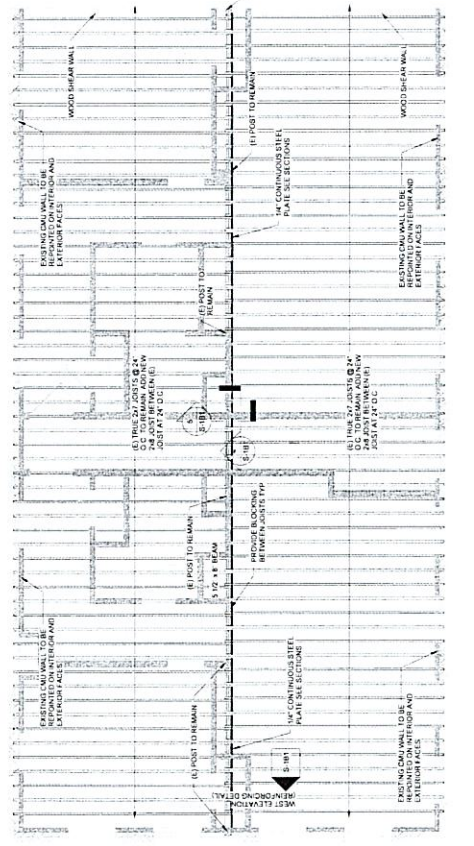
(4) GIRDER REINFORCEMENT ELEVATION
 3/4" = 1'-0"



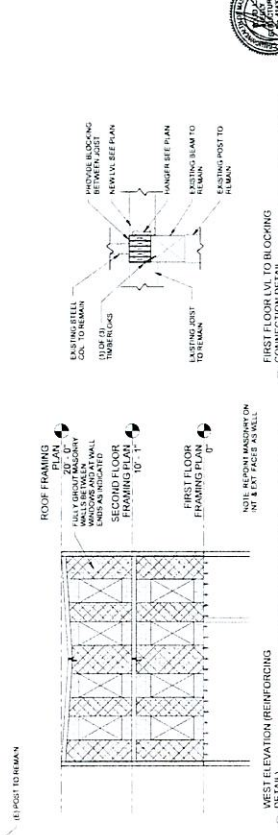
(1) FIRST FLOOR FRAMING PLAN
 1/4" = 1'-0"



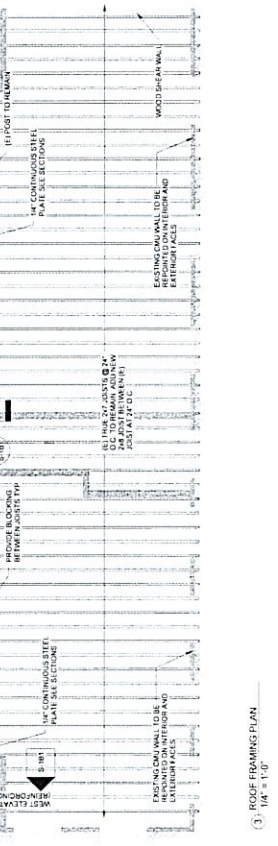
(3) GIRDER REINFORCEMENT SECTION
 3/4" = 1'-0"



(3) ROOF FRAMING PLAN
 1/4" = 1'-0"



(6) MESE ELEVATION (REINFORCING CONNECTION DETAIL)
 1/8" = 1'-0"



(7) FIRST FLOOR MESE TO BLOCKING CONNECTION DETAIL
 3/4" = 1'-0"



General Notes:

1. THE INFORMATION CONTAINED HEREIN IS FOR THE EXCLUSIVE USE OF THE CLIENT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SAVA ARCHITECTS. ANY UNAUTHORIZED USE OF THIS DOCUMENT IS PROHIBITED AND WILL BE AT THE USER'S SOLE RISK. THE USER SHALL INDEMNIFY AND HOLD HARMLESS SAVA ARCHITECTS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM SUCH UNAUTHORIZED USE.

2. THE USER SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE. SAVA ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY DELAYS OR COSTS INCURRED BY THE USER AS A RESULT OF SUCH REQUIREMENTS.

3. THE USER SHALL MAINTAIN ACCURATE RECORDS OF ALL CHANGES AND REVISIONS TO THIS DOCUMENT AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF SUCH RECORDS.

4. THE USER SHALL NOTIFY SAVA ARCHITECTS IMMEDIATELY IN WRITING OF ANY CHANGES TO THE PROJECT SCOPE, PROGRAM, OR SCHEDULE.

5. THE USER SHALL MAINTAIN ACCESS TO ALL PROJECT INFORMATION AND DOCUMENTS AT ALL TIMES.

6. SAVA ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM THE USER'S FAILURE TO OBTAIN NECESSARY PERMITS AND APPROVALS OR TO MAINTAIN ACCURATE RECORDS OF CHANGES AND REVISIONS.

7. SAVA ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM THE USER'S FAILURE TO NOTIFY SAVA ARCHITECTS IMMEDIATELY OF ANY CHANGES TO THE PROJECT SCOPE, PROGRAM, OR SCHEDULE.

8. SAVA ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM THE USER'S FAILURE TO MAINTAIN ACCESS TO ALL PROJECT INFORMATION AND DOCUMENTS AT ALL TIMES.

9. SAVA ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM THE USER'S FAILURE TO NOTIFY SAVA ARCHITECTS IMMEDIATELY OF ANY CHANGES TO THE PROJECT SCOPE, PROGRAM, OR SCHEDULE.

10. SAVA ARCHITECTS SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS, DAMAGES, LOSSES AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, ARISING OUT OF OR RESULTING FROM THE USER'S FAILURE TO MAINTAIN ACCESS TO ALL PROJECT INFORMATION AND DOCUMENTS AT ALL TIMES.

Drawing Title:

Overall Plan
 Buildings 1-5

REVISIONS:

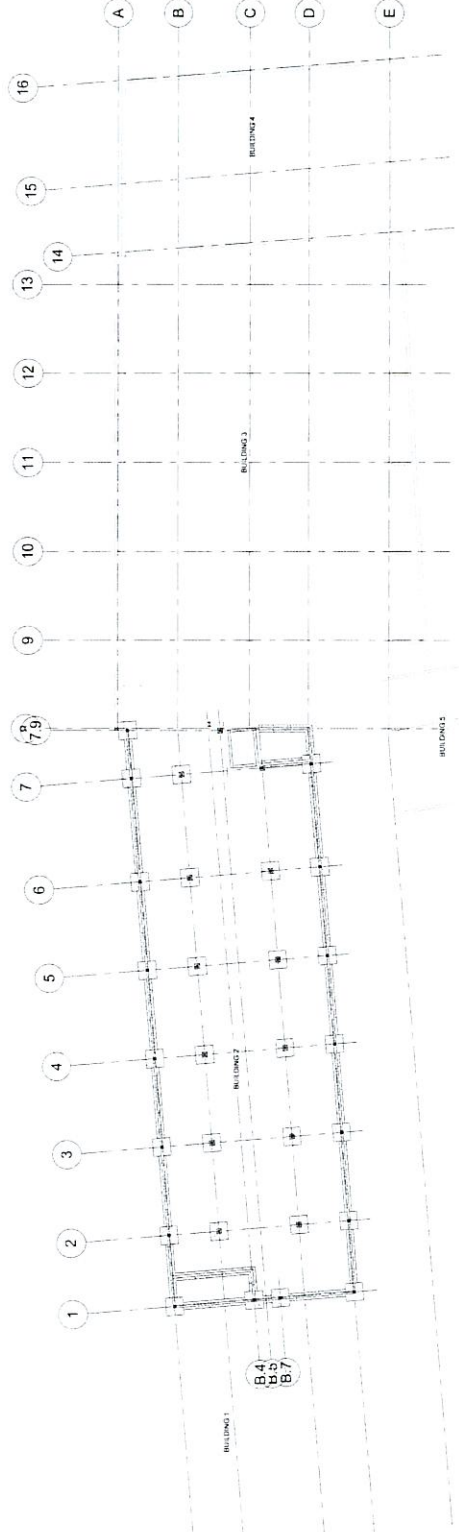
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- 3 Date: _____

ISSUE DATES

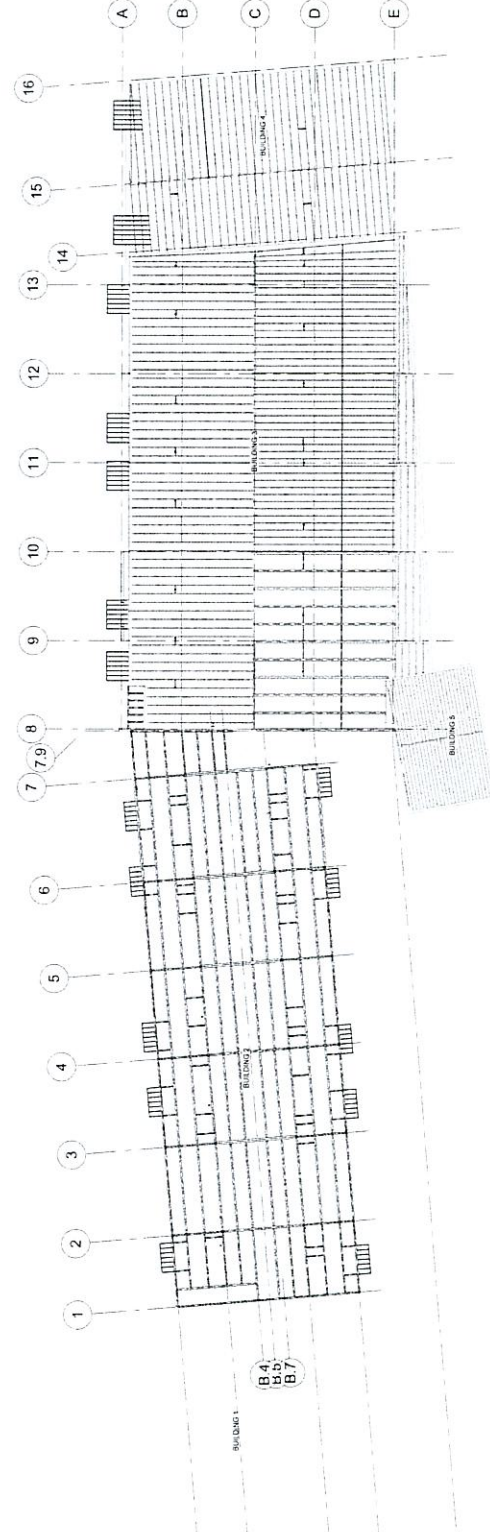
- 1 Date: _____
- 2 Date: _____
- 3 Date: _____

Drawing Sheet Number:

S-0.1



1. Ground Level - Overall Plan
 1/16" = 1'-0"



2. First Level - Overall Plan
 1/16" = 1'-0"

September 29, 2017

General Notes:
 1. CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND STRUCTURES UNLESS OTHERWISE NOTED.
 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND PERMITS.
 3. ALL MATERIALS AND METHODS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
 7. THE CONTRACTOR SHALL MAINTAIN THE SITE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND PERMITS.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AT ALL TIMES.
 9. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
 11. THE CONTRACTOR SHALL MAINTAIN THE SITE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND PERMITS.
 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AT ALL TIMES.
 13. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
 15. THE CONTRACTOR SHALL MAINTAIN THE SITE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND PERMITS.
 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AT ALL TIMES.
 17. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
 19. THE CONTRACTOR SHALL MAINTAIN THE SITE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND PERMITS.
 20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AT ALL TIMES.

Drawing Title:
 Overall Plan
 Buildings 1-5 (2)

REVISIONS:

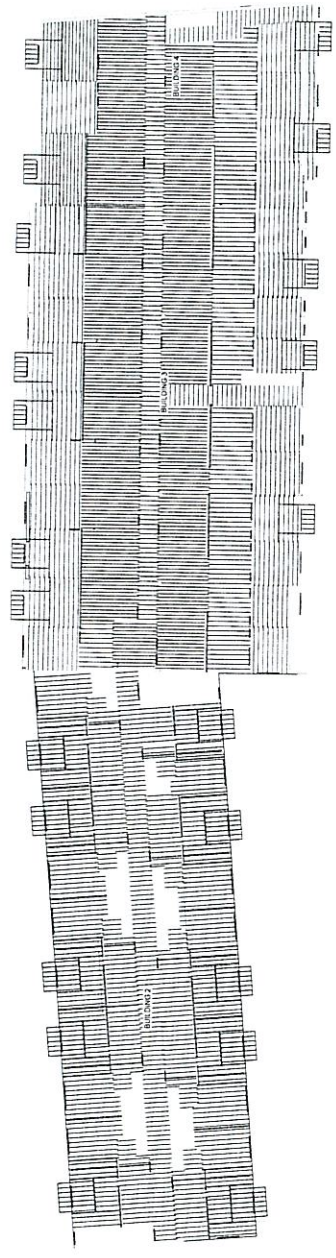
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ISSUE DATES:

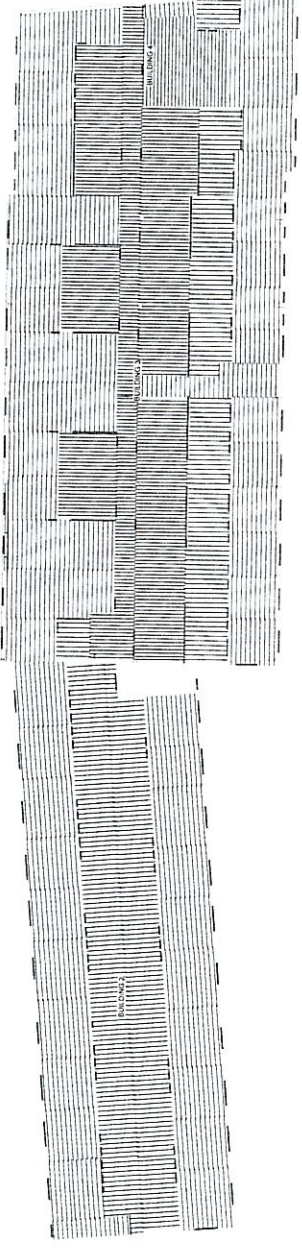
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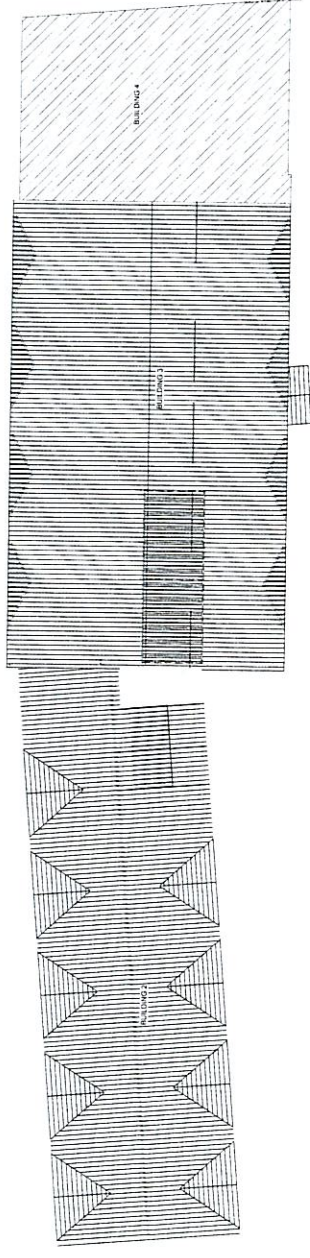
S-0.2



1. Second Level - Overall Plan
 1/16" = 1'-0"



2. Second Level Ceiling - Overall Plan
 1/16" = 1'-0"



3. Roof Level - Overall Plan
 1/16" = 1'-0"

September 29, 2017

General Notes:
 GENERAL CONTRACTOR SHALL MAKE ALL
 DIMENSIONS TO FACE UNLESS OTHERWISE
 NOTED. ALL DIMENSIONS SHALL BE TO THE
 CENTERLINE OF THE WALLS.
 ALL WORK SHALL BE PERFORMED IN
 ACCORDANCE WITH THE MASSACHUSETTS
 STATE BOARD OF BUILDING OFFICIALS
 GENERAL CONTRACTOR SHALL BE RESPONSIBLE
 FOR OBTAINING ALL NECESSARY PERMITS
 AND FOR COMPLETION OF ALL WORK
 IN ACCORDANCE WITH ALL APPLICABLE
 CODES AND REGULATIONS.
 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE
 FOR OBTAINING ALL NECESSARY PERMITS
 AND FOR COMPLETION OF ALL WORK
 IN ACCORDANCE WITH ALL APPLICABLE
 CODES AND REGULATIONS.
 GENERAL CONTRACTOR SHALL BE RESPONSIBLE
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 AND FOR COMPLETION OF ALL WORK
 IN ACCORDANCE WITH ALL APPLICABLE
 CODES AND REGULATIONS.
 GENERAL CONTRACTOR SHALL BE RESPONSIBLE
 FOR OBTAINING ALL NECESSARY PERMITS
 AND FOR COMPLETION OF ALL WORK
 IN ACCORDANCE WITH ALL APPLICABLE
 CODES AND REGULATIONS.

Drawing Title:
Foundation Details
Building 2

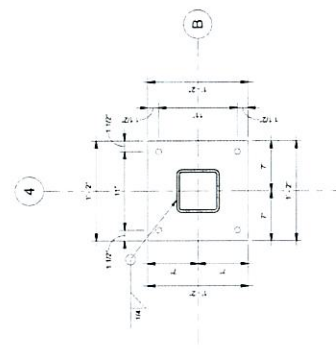
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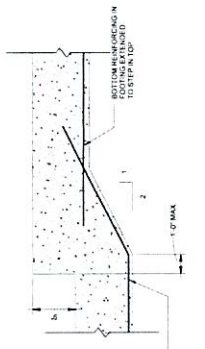
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2	Date:
3	Date:
4	Date:

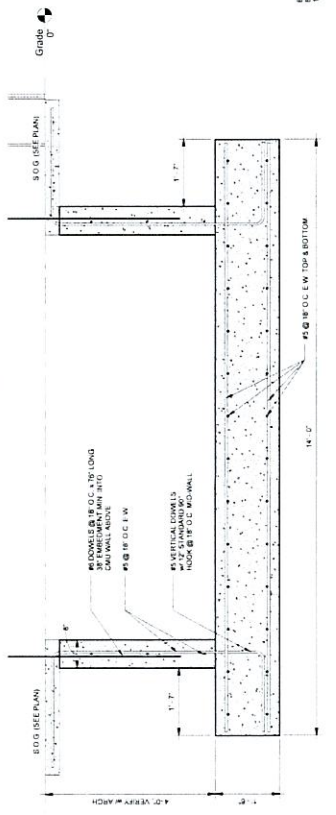
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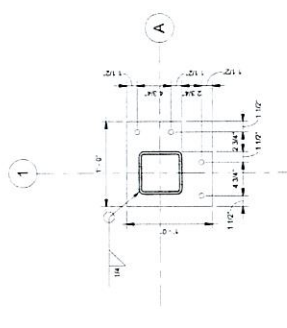
4 Base Plate at Interior Column
 1/12" = 1'-0"



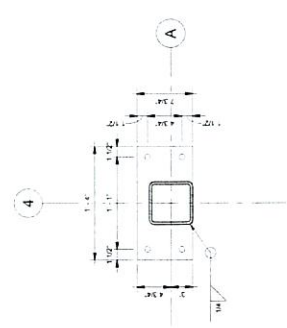
2 Typical Step Footing Detail
 1" = 1'-0"



1 Exterior Footing Detail
 3/4" = 1'-0"



5 Base Plate Detail at Corners
 1/12" = 1'-0"



3 Base Plate at Exterior Column
 1/12" = 1'-0"

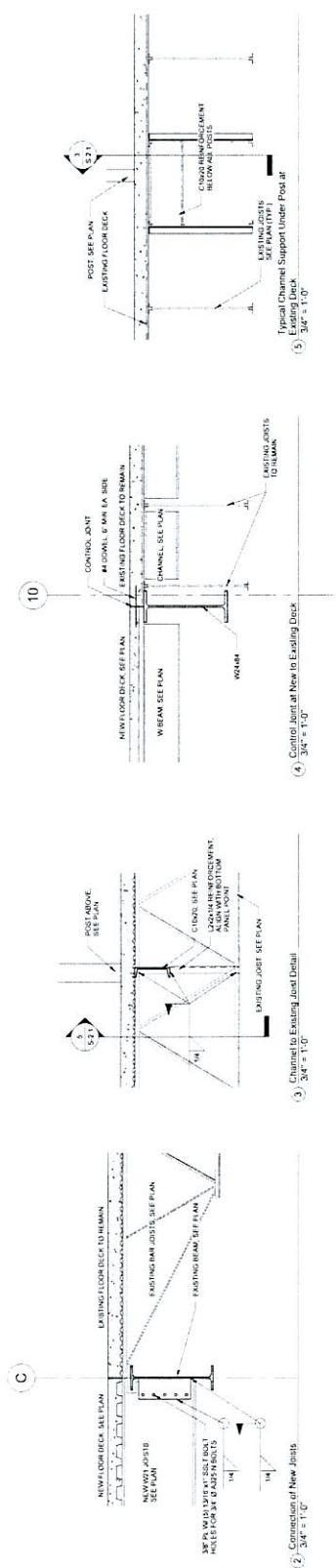
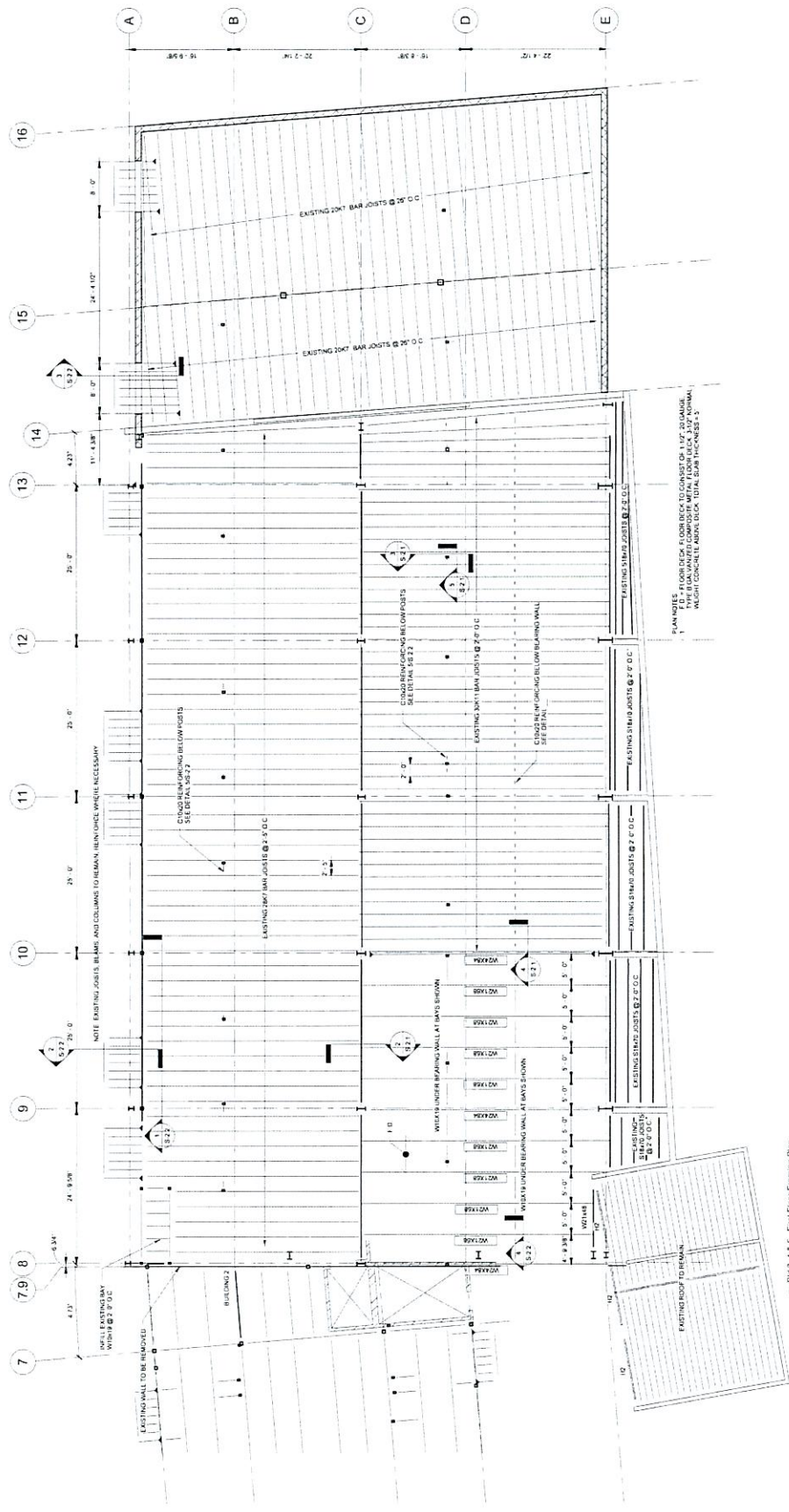
September 29, 2017

General Notes:
 1. ALL DIMENSIONS SHALL BE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND THE MASSACHUSETTS STATE BUILDING CODE.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS AND PROVIDING AS-BUILT DRAWINGS.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ENVIRONMENTAL FEATURES.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL HISTORIC FEATURES.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ARCHITECTURAL FEATURES.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL LANDSCAPE FEATURES.
 11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.
 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL STRUCTURES.
 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EQUIPMENT.
 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL MATERIALS.
 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL LABORERS.
 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL VISITORS.
 17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL NEIGHBORS.
 18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL THE PUBLIC.

Drawing Title:
 1st Floor Framing Plan
 Buildings 3, 4 & 5

- REVISIONS:**
- 1 Date:
 - 2 Date:
 - 3 Date:
 - 4 Date:
- ISSUE DATES**
- 1 Date:
 - 2 Date:
 - 3 Date:
 - 4 Date:

Drawing Sheet Number:
S-2.1



1-18' x 11'0"

2-34\"/>

3-34\"/>

4-34\"/>

5-34\"/>

September 29, 2017

General Notes:
 1. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE PRIOR TO THE START OF WORK.
 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL ORDINANCES.
 3. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF WORK.
 5. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL AUTHORITIES.
 6. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF WORK.
 8. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL AUTHORITIES.
 9. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF WORK.
 11. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL AUTHORITIES.
 12. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF WORK.
 14. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL AUTHORITIES.
 15. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF WORK.
 17. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL AUTHORITIES.
 18. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF WORK.
 20. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL AUTHORITIES.

**Drawing Title:
 Steel Framing
 Sections &
 Details**

REVISIONS:

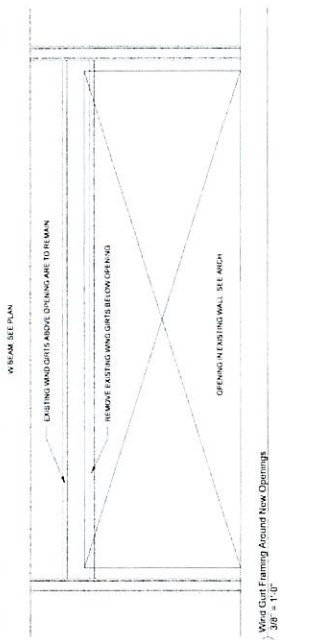
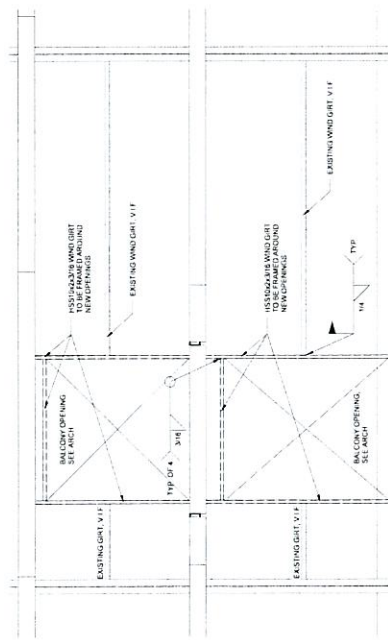
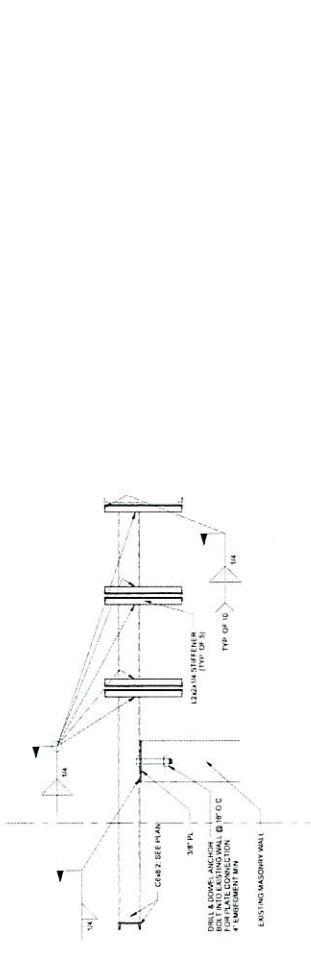
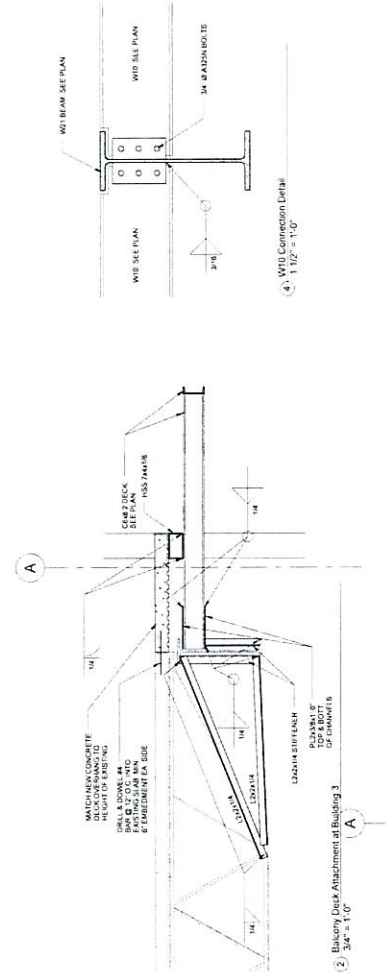
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ISSUE DATES

- Date
- Date
- Date

Drawing Sheet Number:

S-2.2



1) Wind Girts Framing Around New Openings
 3/8\"/>

3) Balcony Deck Attachment at Building 4
 3/4\"/>

General Notes:
 1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.
 2. ALL DIMENSIONS SHALL BE PERMANENT UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE NOTED.
 6. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE NOTED.
 7. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE NOTED.
 8. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE NOTED.
 9. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE NOTED.
 10. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE NOTED.

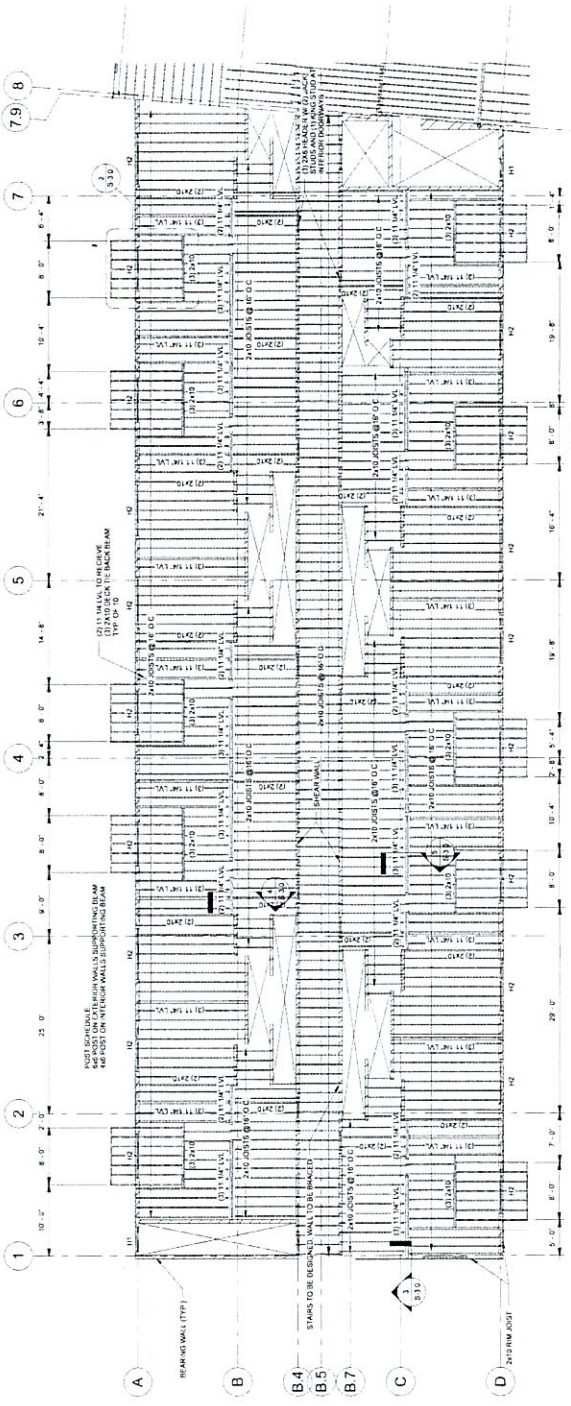
GENERAL NOTES:
 1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.
 2. ALL DIMENSIONS SHALL BE PERMANENT UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE NOTED.
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 8. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE NOTED.
 9. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE NOTED.
 10. ALL DIMENSIONS SHALL BE TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE NOTED.

Drawing Title:
2nd Floor Framing Plan & Details Building 2

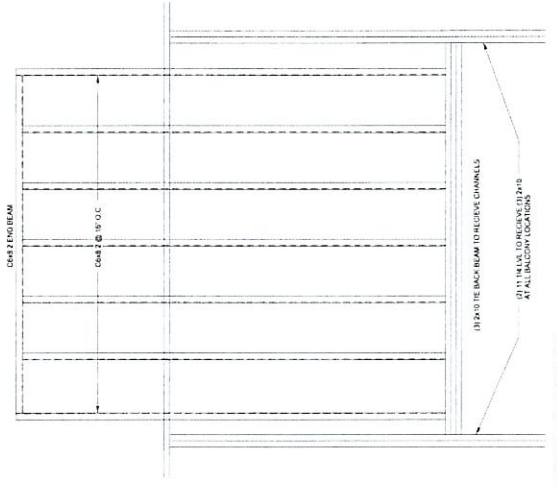
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ISSUE DATES:
 ☐ Date: _____
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 ☐ Date: _____
 ☐ Date: _____

Drawing Sheet Number:
S-3.0



1) Bid 2 - Second Floor Framing Plan
 1/8" = 1'-0"



2) Elevation of the Back Framing Plan
 3/4" = 1'-0"

NOTES:
 1. USE SIMPSON HANGER FOR 2x4 JOISTS WHERE INDICATED.
 2. USE SIMPSON HANGER FOR 2x4 AND 2x6 JOISTS WHERE INDICATED.
 3. USE SIMPSON HANGER FOR 2x4 AND 2x6 JOISTS WHERE INDICATED.
 4. ALL INTERIOR WALLS IN THIS WALL SHOULD BE 2x4 UNLESS NOTED OTHERWISE ON THE DRAWING. USE JACK-BELL AT EX. END.
 5. FLOOR SLABING TO BE 4" THICK AND GRCOR PARALLEL SPACING. CONNECT TO FRAMING AS BEAM IS SPACED @ 2' O.C. AT SHEET PERIMETER.
 6. HT 1/2" E.C. ALL BEAMS IN EXTERIOR AT EXTERIOR WALLS. THESE HEADINGS ARE SCHEDULED AS FOLLOWS:
 7. HT 1/2" E.C. ALL BEAMS IN EXTERIOR AT EXTERIOR WALLS. THESE HEADINGS ARE SCHEDULED AS FOLLOWS:
 8. COORDINATE EXACT DIMENSIONS OF STAIR OPENINGS WITH THE ARCHITECTURAL DRAWINGS.

3) TYP. BEAM/BEAM CONNECTION
 1/2" = 1'-0"

4) TYP. BEAM/BEAM CONNECTION
 1/2" = 1'-0"

5) Section Joist Connection to LVL Beam
 1/2" = 1'-0"

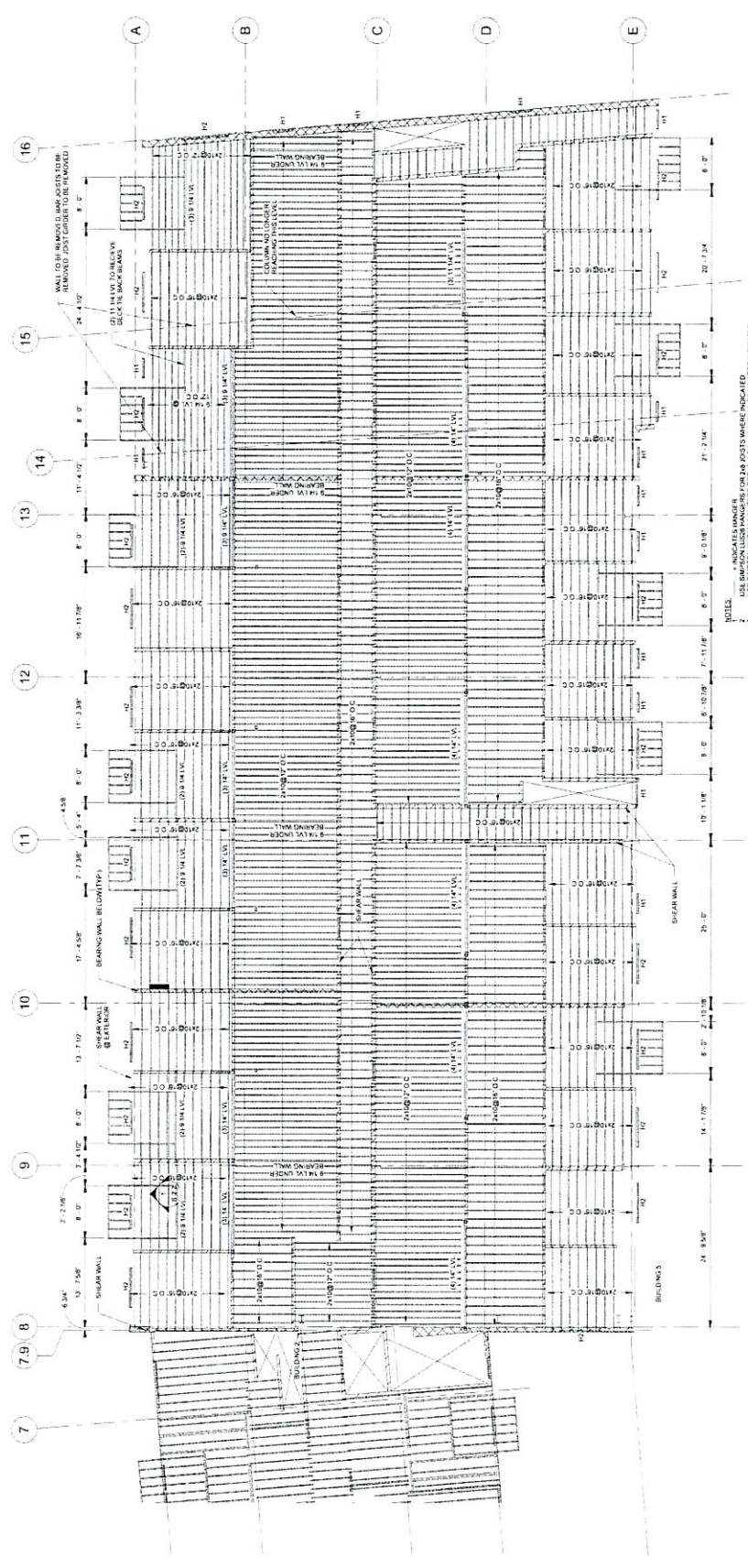
September 29, 2017

General Notes:
 1. CONSULT THE GENERAL CONTRACTOR FOR ALL DIMENSIONS OF THE BUILDING AND THE LOCATION OF THE BUILDING ON THE SITE.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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 8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 11. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 12. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

Drawing Title:
 2nd Floor Framing Plan
 Buildings 4 & 5

REVISIONS:
 1. Date: _____
 2. Date: _____
 3. Date: _____
 4. Date: _____
ISSUE DATES:
 1. Date: _____
 2. Date: _____
 3. Date: _____

Drawing Sheet Number:
S-3.1



- NOTES:**
1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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 10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 11. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 12. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.

COORDINATE EXACT DIMENSIONS OF 3/16" OPENINGS WITH THE ARCHITECTURAL DRAWINGS

General Notes:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE MASSACHUSETTS BUILDING CODE (780 CMR) AND ALL APPLICABLE LOCAL ORDINANCES.
 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MASSACHUSETTS BUILDING CODE (780 CMR) AND ALL APPLICABLE LOCAL ORDINANCES.
 3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MASSACHUSETTS BUILDING CODE (780 CMR) AND ALL APPLICABLE LOCAL ORDINANCES.
 4. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MASSACHUSETTS BUILDING CODE (780 CMR) AND ALL APPLICABLE LOCAL ORDINANCES.
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 13. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MASSACHUSETTS BUILDING CODE (780 CMR) AND ALL APPLICABLE LOCAL ORDINANCES.
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 15. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MASSACHUSETTS BUILDING CODE (780 CMR) AND ALL APPLICABLE LOCAL ORDINANCES.
 16. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MASSACHUSETTS BUILDING CODE (780 CMR) AND ALL APPLICABLE LOCAL ORDINANCES.
 17. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MASSACHUSETTS BUILDING CODE (780 CMR) AND ALL APPLICABLE LOCAL ORDINANCES.
 18. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MASSACHUSETTS BUILDING CODE (780 CMR) AND ALL APPLICABLE LOCAL ORDINANCES.
 19. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MASSACHUSETTS BUILDING CODE (780 CMR) AND ALL APPLICABLE LOCAL ORDINANCES.
 20. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MASSACHUSETTS BUILDING CODE (780 CMR) AND ALL APPLICABLE LOCAL ORDINANCES.

Drawing Title:
**2nd Floor Ceiling
 Framing Plan
 Buildings 4 & 5**

REVISIONS

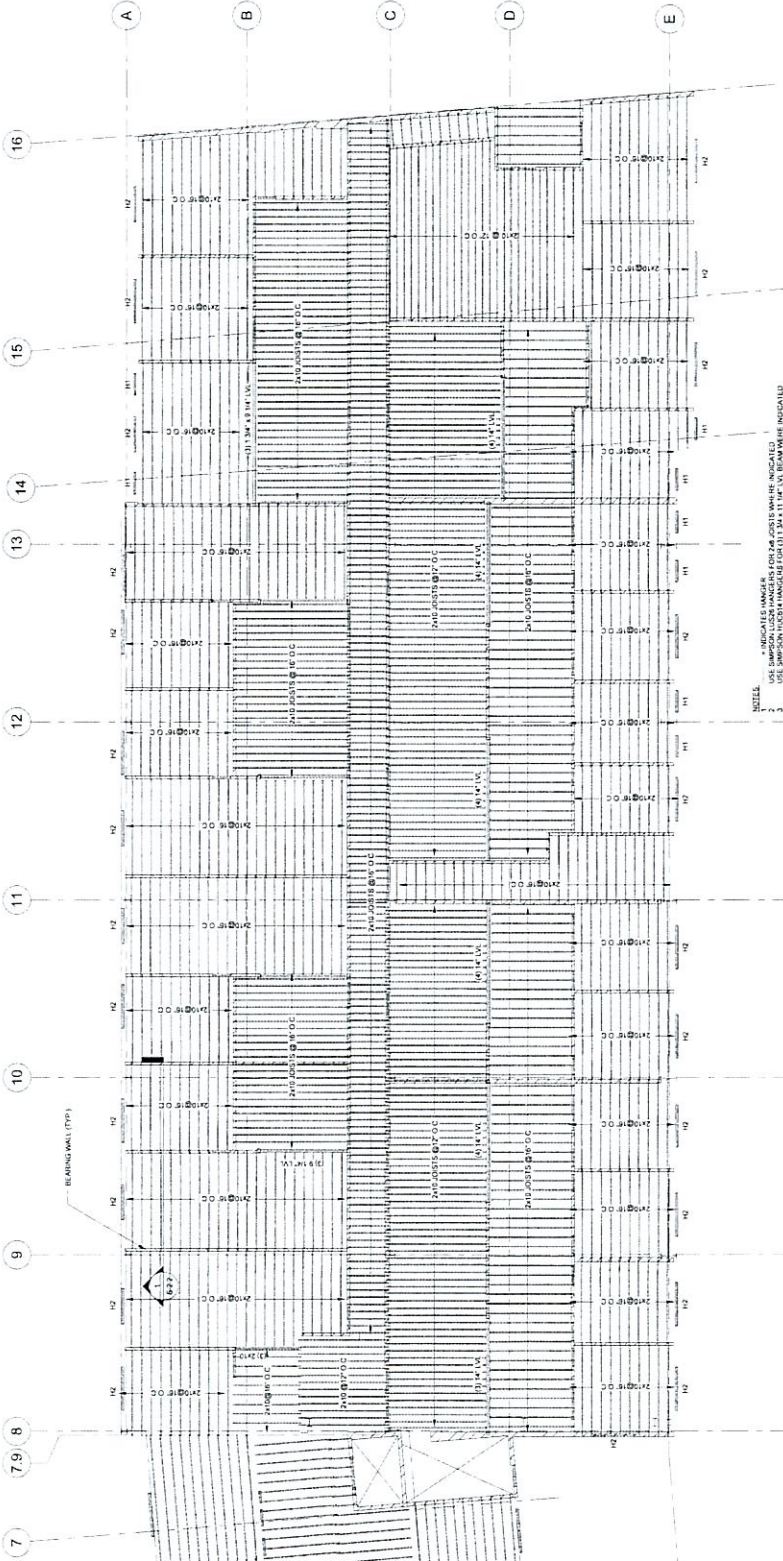
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ISSUE DATES

- Date:
- Date:
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- Date:

Drawing Sheet Number:

S-4.1



- NOTES**
1. INDICATE NUMBER OF JOISTS WITHIN INDICATED AREA.
 2. USE SIMPSON TIGHTENING TORQUE FOR ALL 3/4" DIA. BOLTS UNLESS OTHERWISE INDICATED.
 3. USE SIMPSON TIGHTENING TORQUE FOR ALL 3/4" DIA. BOLTS UNLESS OTHERWISE INDICATED.
 4. USE SIMPSON TIGHTENING TORQUE FOR ALL 3/4" DIA. BOLTS UNLESS OTHERWISE INDICATED.
 5. USE SIMPSON TIGHTENING TORQUE FOR ALL 3/4" DIA. BOLTS UNLESS OTHERWISE INDICATED.
 6. ALL INTERIOR WALLS IN 2ND FLOOR SHALL BE 2" MIN. UNLESS NOTED OTHERWISE ON THE DRAWINGS. USE 2" JACK STUDS AT ALL END JOIST BEAMS AND AT ALL JOIST BEAMS.
 7. FLOOR JOISTS SHALL BE 2" MIN. UNLESS NOTED OTHERWISE ON THE DRAWINGS. USE 2" JACK STUDS AT ALL JOIST BEAMS AND AT ALL JOIST BEAMS.
 8. FLOOR JOISTS SHALL BE 2" MIN. UNLESS NOTED OTHERWISE ON THE DRAWINGS. USE 2" JACK STUDS AT ALL JOIST BEAMS AND AT ALL JOIST BEAMS.
 9. FLOOR JOISTS SHALL BE 2" MIN. UNLESS NOTED OTHERWISE ON THE DRAWINGS. USE 2" JACK STUDS AT ALL JOIST BEAMS AND AT ALL JOIST BEAMS.
 10. FLOOR JOISTS SHALL BE 2" MIN. UNLESS NOTED OTHERWISE ON THE DRAWINGS. USE 2" JACK STUDS AT ALL JOIST BEAMS AND AT ALL JOIST BEAMS.
 11. FLOOR JOISTS SHALL BE 2" MIN. UNLESS NOTED OTHERWISE ON THE DRAWINGS. USE 2" JACK STUDS AT ALL JOIST BEAMS AND AT ALL JOIST BEAMS.
 12. FLOOR JOISTS SHALL BE 2" MIN. UNLESS NOTED OTHERWISE ON THE DRAWINGS. USE 2" JACK STUDS AT ALL JOIST BEAMS AND AT ALL JOIST BEAMS.
 13. FLOOR JOISTS SHALL BE 2" MIN. UNLESS NOTED OTHERWISE ON THE DRAWINGS. USE 2" JACK STUDS AT ALL JOIST BEAMS AND AT ALL JOIST BEAMS.
 14. FLOOR JOISTS SHALL BE 2" MIN. UNLESS NOTED OTHERWISE ON THE DRAWINGS. USE 2" JACK STUDS AT ALL JOIST BEAMS AND AT ALL JOIST BEAMS.
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 16. FLOOR JOISTS SHALL BE 2" MIN. UNLESS NOTED OTHERWISE ON THE DRAWINGS. USE 2" JACK STUDS AT ALL JOIST BEAMS AND AT ALL JOIST BEAMS.
 17. FLOOR JOISTS SHALL BE 2" MIN. UNLESS NOTED OTHERWISE ON THE DRAWINGS. USE 2" JACK STUDS AT ALL JOIST BEAMS AND AT ALL JOIST BEAMS.
 18. FLOOR JOISTS SHALL BE 2" MIN. UNLESS NOTED OTHERWISE ON THE DRAWINGS. USE 2" JACK STUDS AT ALL JOIST BEAMS AND AT ALL JOIST BEAMS.
 19. FLOOR JOISTS SHALL BE 2" MIN. UNLESS NOTED OTHERWISE ON THE DRAWINGS. USE 2" JACK STUDS AT ALL JOIST BEAMS AND AT ALL JOIST BEAMS.
 20. FLOOR JOISTS SHALL BE 2" MIN. UNLESS NOTED OTHERWISE ON THE DRAWINGS. USE 2" JACK STUDS AT ALL JOIST BEAMS AND AT ALL JOIST BEAMS.

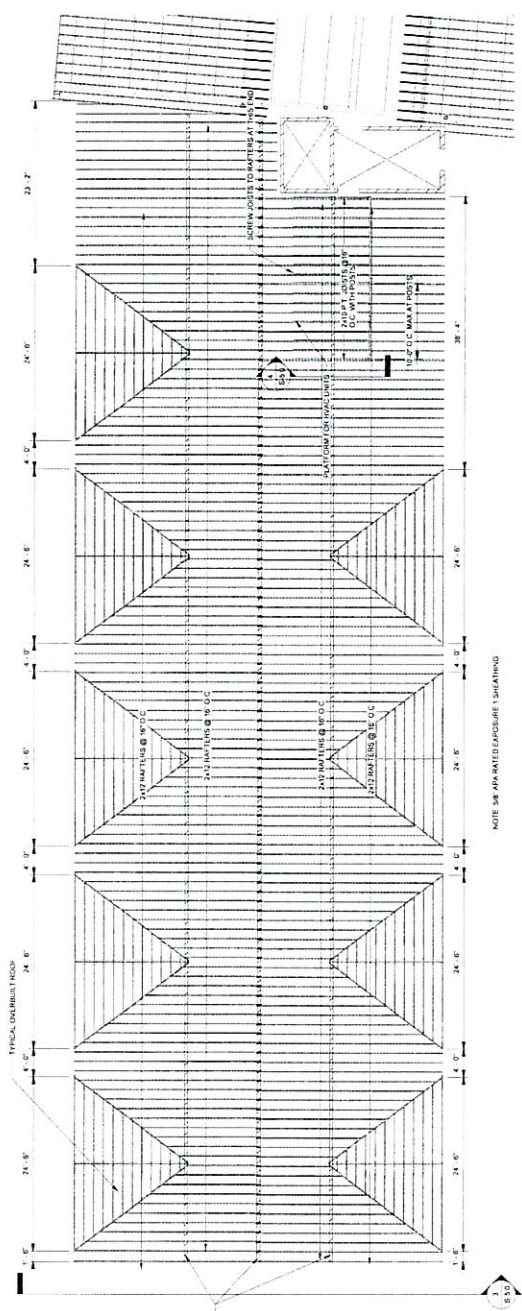
General Notes:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL AUTHORITIES.
 4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 5. ALL UTILITIES SHALL BE PROTECTED AND MARKED PRIOR TO ANY EXCAVATION WORK.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
 7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 8. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.
 9. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM THE ELEMENTS.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF ALL WASTE MATERIALS.
 11. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE SPECIFICATIONS AND DRAWINGS.
 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND UTILITIES.
 13. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
 14. THE CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY WORK SITE AT ALL TIMES.
 15. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM THE ELEMENTS.
 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF ALL WASTE MATERIALS.
 17. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE SPECIFICATIONS AND DRAWINGS.
 18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND UTILITIES.

Drawing Title:
Roof Framing Plan
Building 2

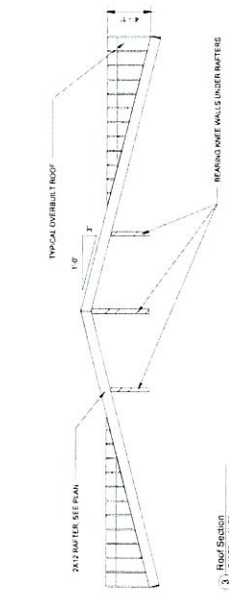
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ISSUE DATES:
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 2. Date: _____
 3. Date: _____
 4. Date: _____

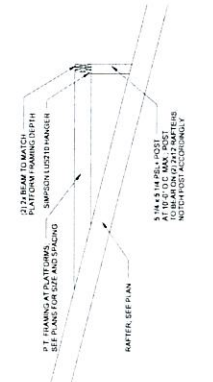
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S-5.0



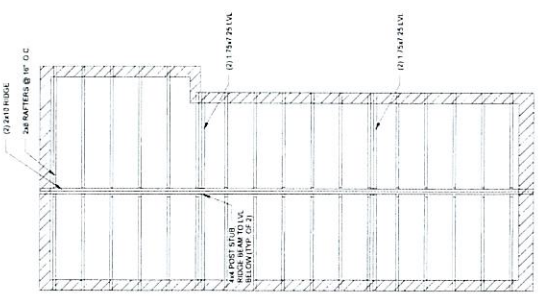
1. Bld 2 - Roof Framing Plan
 1/8" = 1'-0"



3. Roof Station
 3/16" = 1'-0"



4. HVAC Platform Framing
 3/8" = 1'-0"



2. Bld 2 - Roof Framing Plan
 3/8" = 1'-0"

General Notes
1. ALL WORK SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CITY AND STATE CODES, ORDINANCES, REGULATIONS AND PERMITS.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING, MECHANICAL, PLUMBING, AND ELECTRICAL (B, M, P, & E) CODES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL GOVERNMENT.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES LOCATIONS FROM THE LOCAL GOVERNMENT.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ADJACENT PROPERTY OWNER CONSENTS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ADJACENT PROPERTY OWNER CONSENTS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ADJACENT PROPERTY OWNER CONSENTS.
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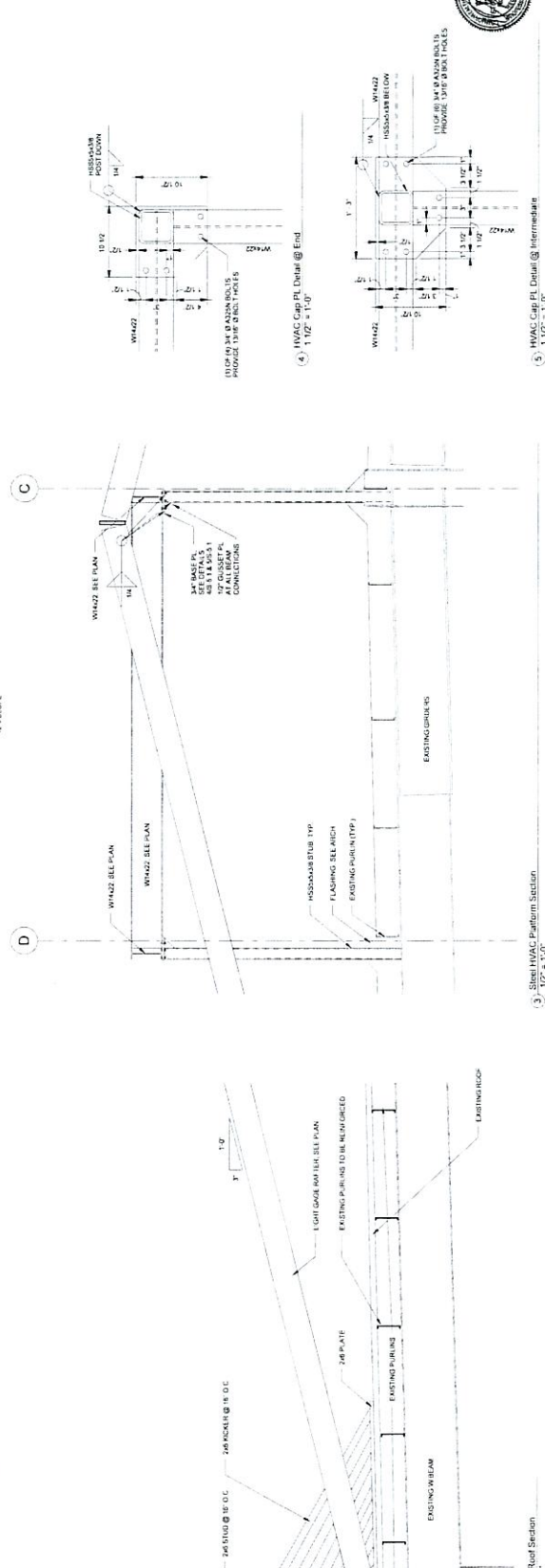
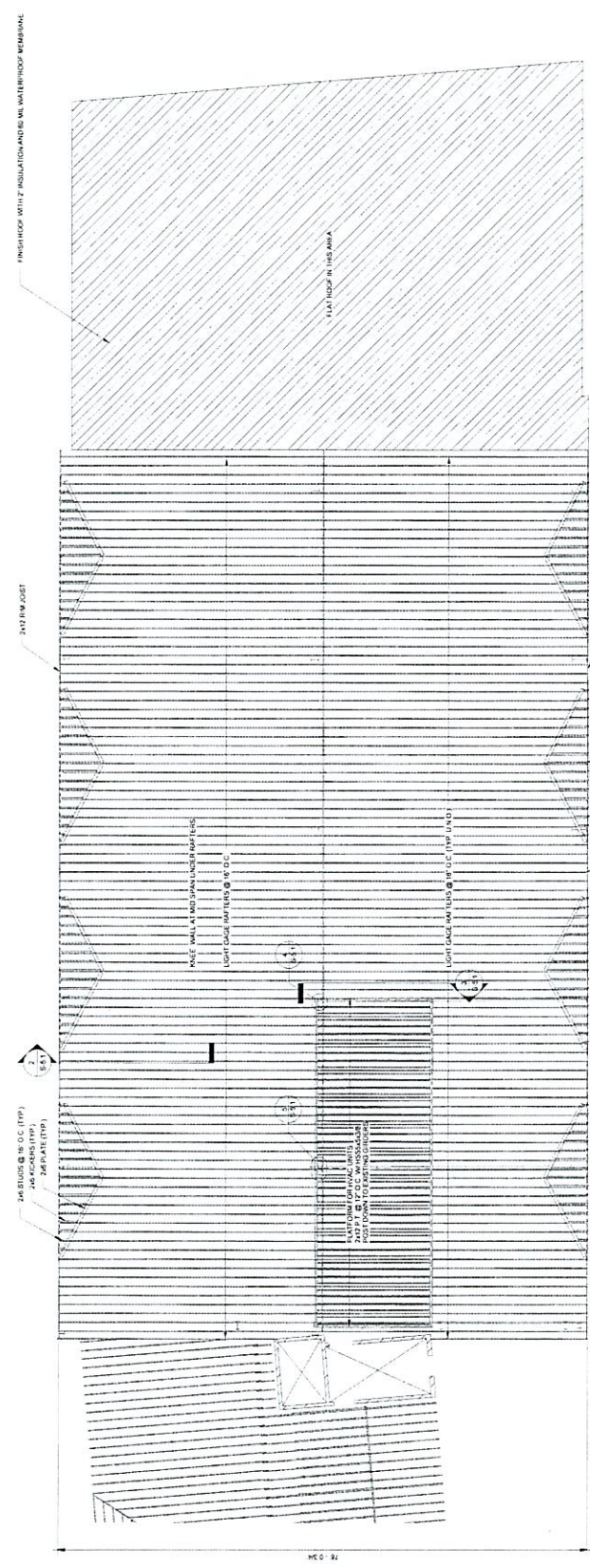
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ADJACENT PROPERTY OWNER CONSENTS.
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20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ADJACENT PROPERTY OWNER CONSENTS.

Drawing Title:
Roof Framing Plan
Buildings 3, 4 & 5

REVISIONS:

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□	Date:	
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Drawing Sheet Number:
S-5.1



1. BUILDINGS 3, 4 & 5 - Roof Plan
1/8\"/>

2. BUILDING 3 Roof Section
1/2\"/>

3. Slab MVAC Partium Section
1/2\"/>

4. MVAC Cap PL Detail @ End
1/2\"/>

5. MVAC Cap PL Detail @ Intermediate
1/2\"/>

The Development at:
**2 South Grove St.
 Bradford, MA**

October 28, 2016

General Note:
 CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF ALL EXISTING CONDITIONS AND MATERIALS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, STATE AND FEDERAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, STATE AND FEDERAL AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, STATE AND FEDERAL AGENCIES.

Drawing Title:
**FIRST FLOOR
 PART A
 HVAC PLANS**

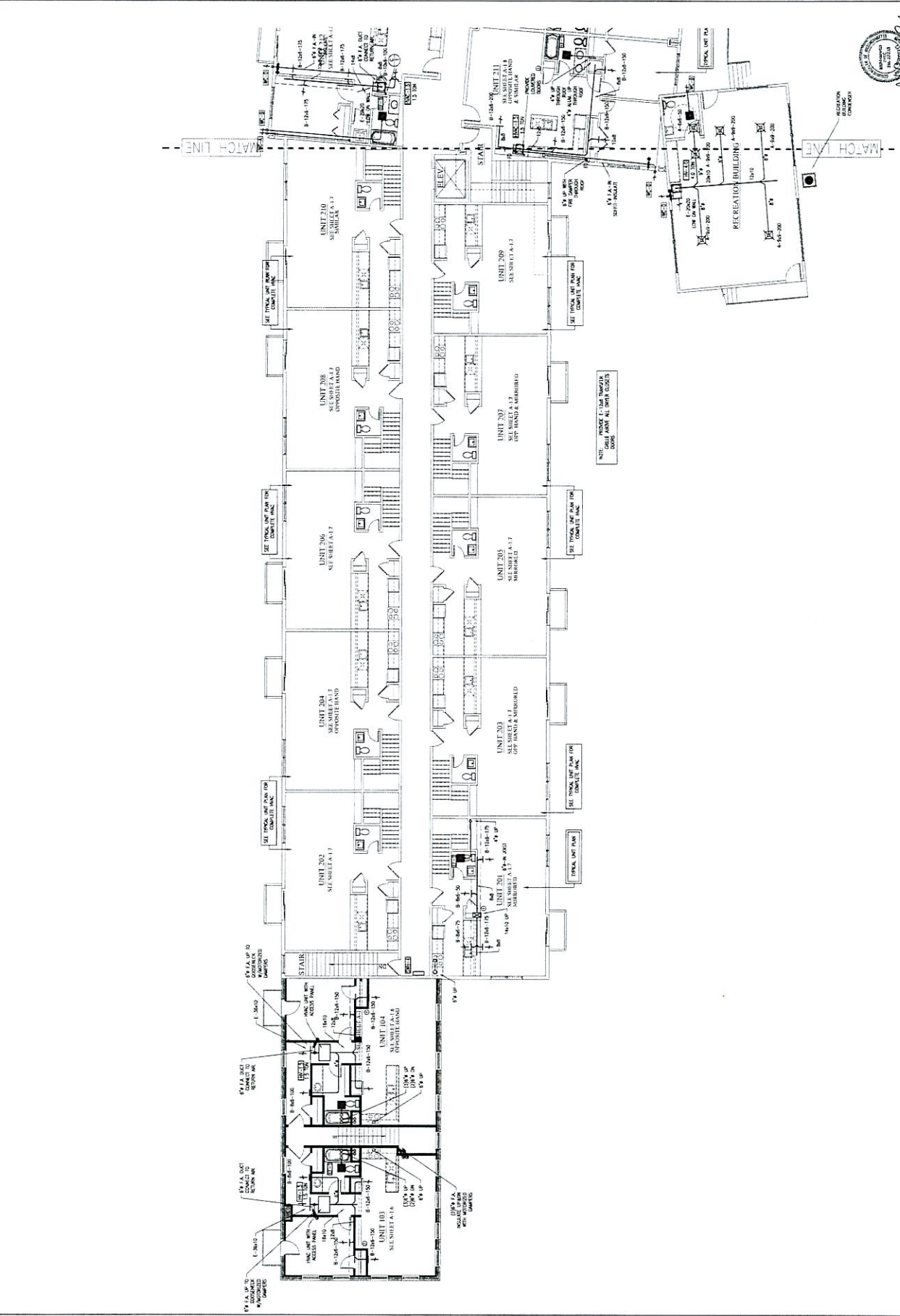
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<input type="checkbox"/>	Date:

ISSUE DATES:

<input type="checkbox"/>	Date: 05/26/2017
<input type="checkbox"/>	Date:
<input type="checkbox"/>	Date:
<input type="checkbox"/>	Date:

Drawing Sheet Number:
H-1.2



14 Bridge Road
 Massachusetts 01821
 SAVA ARCHITECTS
 978.452.5338
 www.sava-architects.com

GC Design
 14 Bridge Road
 Southbury, MA 01557
 978.357.3333
 www.gcdesign.com

The Development at:
**2 South Grove St.
 Bradford, MA**

October 28, 2016

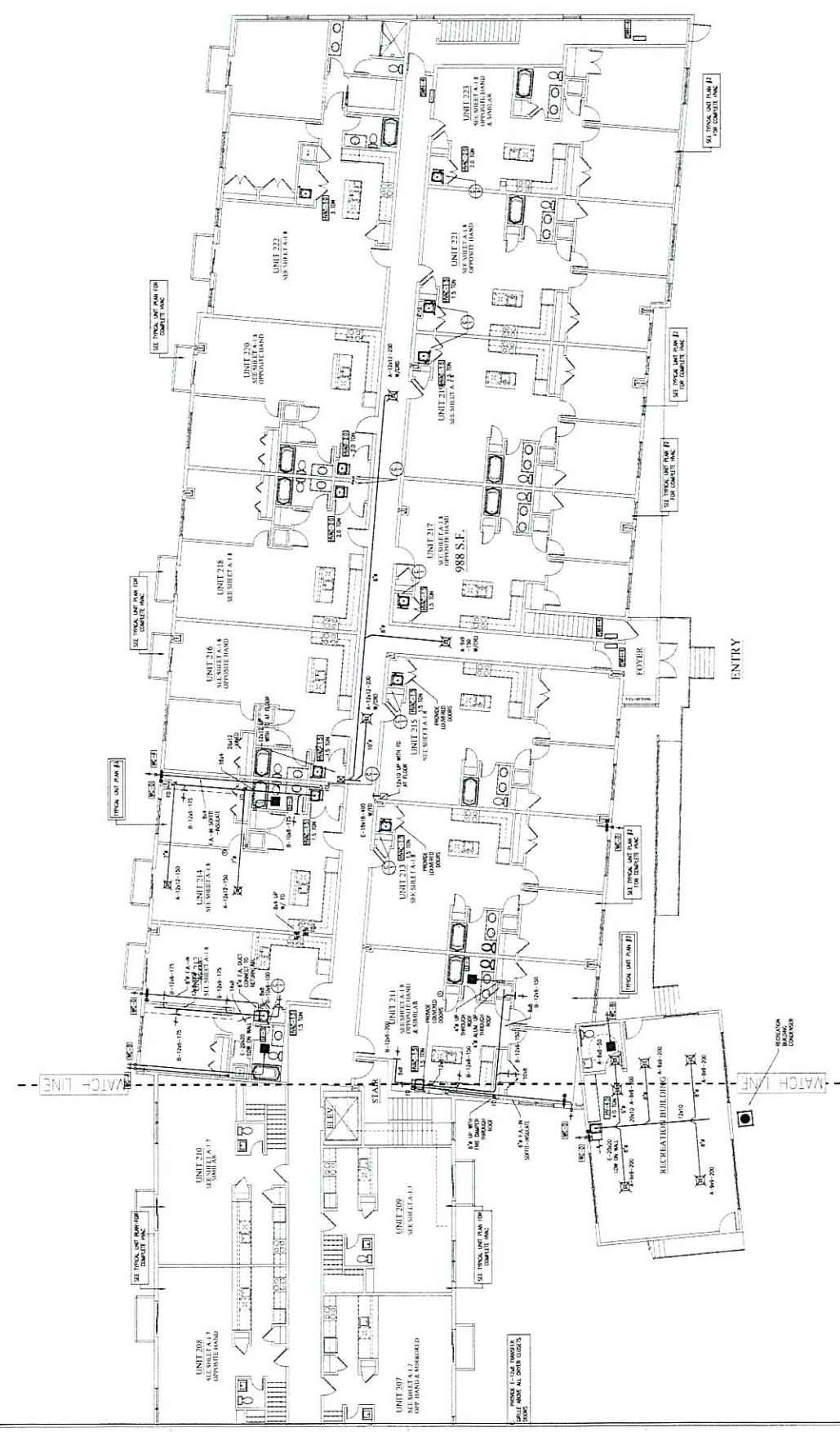
General Notes:
 1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING STRUCTURE AND UTILITIES BEFORE COMMENCING WORK.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS BUILDING CODE, STATE AND FEDERAL REQUIREMENTS, AND ALL APPLICABLE LOCAL ORDINANCES.
 3. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY UTILITIES INFORMATION AND SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES BEFORE COMMENCING WORK.
 5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
 7. THE CONTRACTOR SHALL MAINTAIN ALL RECORD DRAWINGS UP TO DATE.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BONDS.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

Drawing Title:
**FIRST FLOOR
 PART B
 HVAC PLANS**

REVISIONS:
 Date: _____
 Date: _____
 Date: _____
 Date: _____

ISSUE DATES:
 Date: 05/25/2017
 Date: _____
 Date: _____

Drawing Sheet Number:
H-1.3



141 Bridge Road
 Mansfield, MA 01947
 www.savaarchitects.com
SAVA ARCHITECTS
 508.548.4400
 508.548.4424
 508.548.4425
 508.548.4426
 508.548.4427
 508.548.4428

GW Design
 111 Bridge Road
 Mansfield, MA 01942
 www.gwdesign.com
 508.547.3233

The Development at:
**2 South Grove St.
 Bradford, MA**

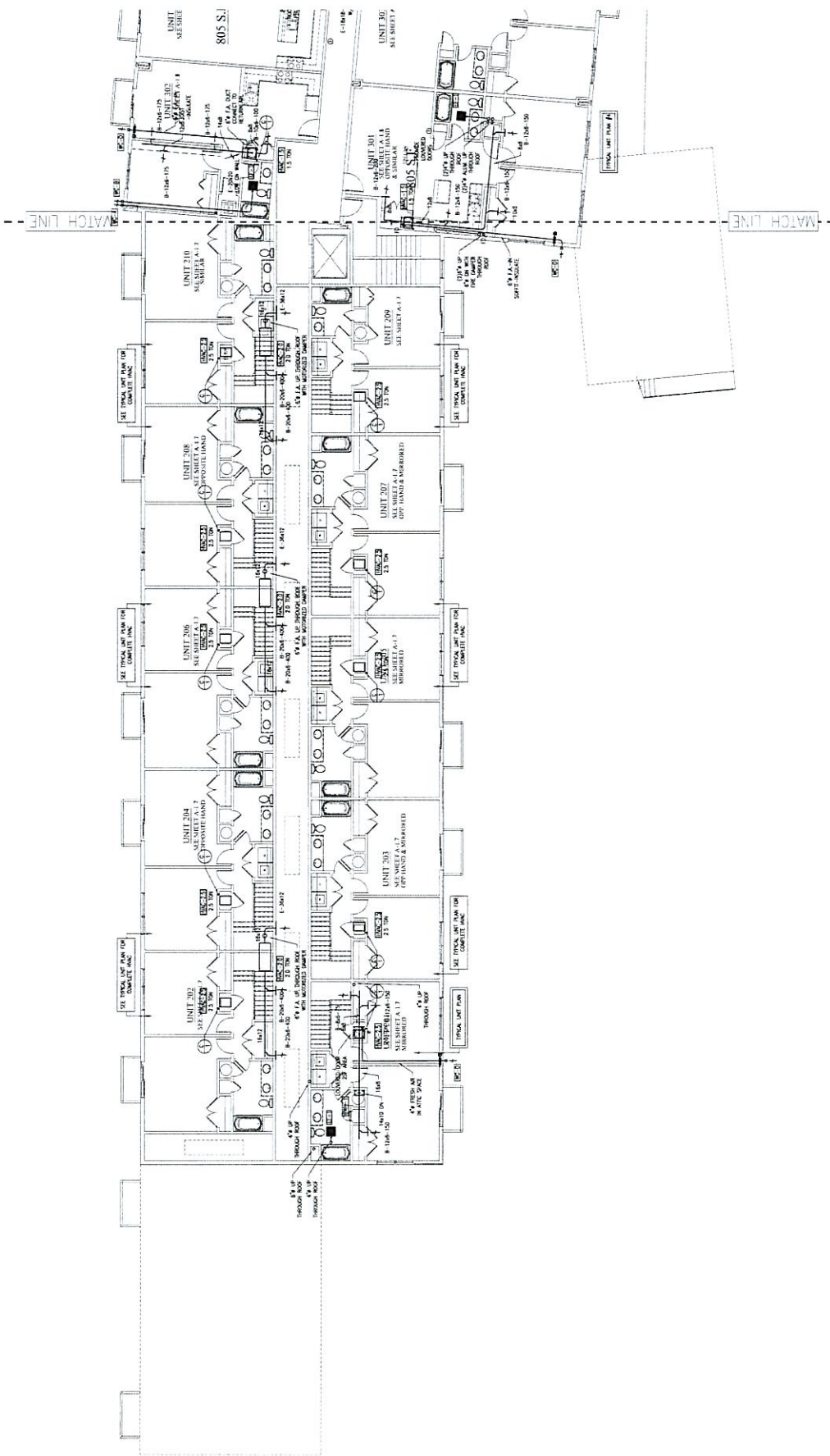
October 28, 2016

General Notes:
 1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2015 MASSACHUSETTS BUILDING CODE, ALL CITY ORDINANCES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
 3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2015 MASSACHUSETTS BUILDING CODE, ALL CITY ORDINANCES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
 5. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2015 MASSACHUSETTS BUILDING CODE, ALL CITY ORDINANCES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
 7. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2015 MASSACHUSETTS BUILDING CODE, ALL CITY ORDINANCES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.
 9. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2015 MASSACHUSETTS BUILDING CODE, ALL CITY ORDINANCES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES.

Drawing Title:
**SECOND FLOOR
 PART A
 HVAC PLANS**

REVISIONS:
 Date
 Date
 Date
 Date
ISSUE DATES:
 Date: 09/26/2017
 Date
 Date
 Date

Drawing Sheet Number:
H-1.4



141 Biology Road
 Needham Heights 01945
 www.savarchitects.com
 SAVA ARCHITECTS
 617.881.1111
 savarchitects.com
 100% GREEN BUILDING

GW Design

141 Biology Road
 Needham Heights 01945
 www.gwdesign.com
 617.881.1111

The Development at:
**2 South Grove St.
 Braintree, MA**

October 28, 2016

General Notes:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 MASSACHUSETTS STATE BOARD OF BUILDING REGULATIONS (780 CMR) AND ALL APPLICABLE LOCAL ORDINANCES AND REGULATIONS.
 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE 2015 MASSACHUSETTS STATE BOARD OF BUILDING REGULATIONS (780 CMR) AND ALL APPLICABLE LOCAL ORDINANCES AND REGULATIONS.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.
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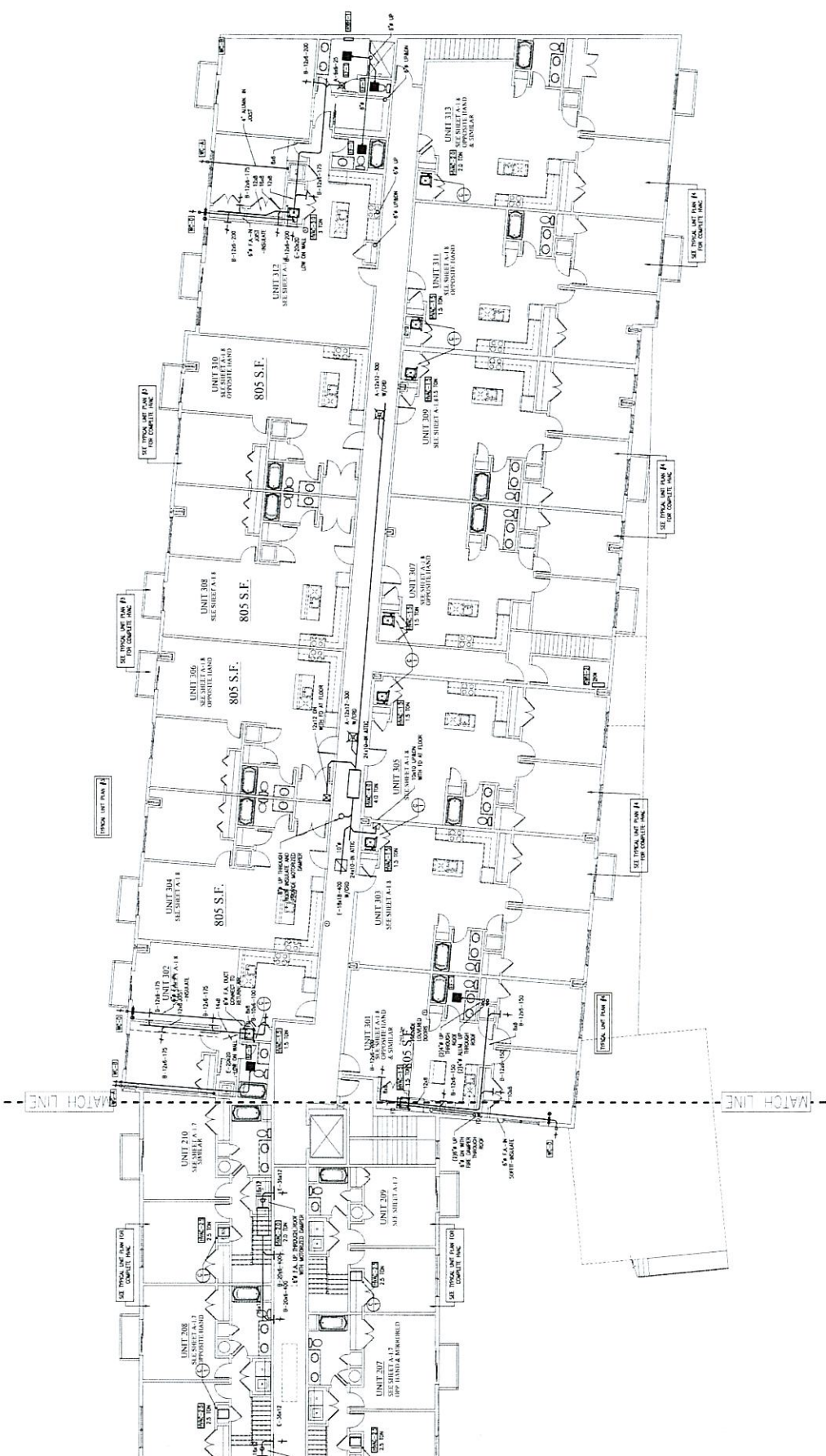
Drawing Title:
**SECOND FLOOR
 PART B
 HVAC PLANS**

REVISIONS:
 DATE
 DATE
 DATE
 DATE

ISSUE DATES
 DATE 05/26/2017
 DATE
 DATE
 DATE

Drawing Sheet Number:

H-1.5



General Notes:
 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL AUTHORITIES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL AUTHORITIES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL AUTHORITIES.
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 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL AUTHORITIES.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL AUTHORITIES.

Drawing Title:
HVAC NOTES

REVISIONS:
 1. Date: _____
 2. Date: _____
 3. Date: _____
 4. Date: _____

ISSUE DATES:
 1. Date: 09/16/2017
 2. Date: _____
 3. Date: _____

Drawing Sheet Number:
H-2.1

INSULATION NOTES

THE FOLLOWING SYSTEMS SHALL BE INSULATED
 DUCT LINE SHALL BE CLOSED CELL, R-5, GEM PROOF

GENERAL INSULATION REQUIREMENTS:
 1. SUPPLY & RETURN DUCTWORK FROM HVAC UNITS
 2. CONDENSATE DRAIN, 1" R-5
 3. DOMESTIC COLD WATER, 1/2" FOR CONDENSATION
 4. STORM DRAIN, 1/2" FOR CONDENSATION
 5. ALL UNLINED SUPPLY, RETURN AND TRANSFER DUCTWORK SHALL BE INSULATED WITH R-5 INSULATION AND COVERED WITH FIBERGLASS WETBATS FOR INSIDE TIGHT INSULATION

CONCRETE NOTES
 1. ALL CONCRETE SHALL BE CAST TO THE CORRECT GRADE AND FINISH.
 2. ALL CONCRETE SHALL BE CURED PROPERLY.
 3. ALL CONCRETE SHALL BE PROTECTED FROM DAMAGE.

MECHANICAL NOTES
 1. ALL MECHANICAL SYSTEMS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.
 2. ALL MECHANICAL SYSTEMS SHALL BE TESTED AND ADJUSTED PRIOR TO OPERATION.

ELECTRICAL NOTES
 1. ALL ELECTRICAL SYSTEMS SHALL BE INSTALLED ACCORDING TO THE NATIONAL ELECTRICAL CODE (NEC).
 2. ALL ELECTRICAL SYSTEMS SHALL BE TESTED AND ADJUSTED PRIOR TO OPERATION.

PLUMBING NOTES
 1. ALL PLUMBING SYSTEMS SHALL BE INSTALLED ACCORDING TO THE PLUMBING CODE.
 2. ALL PLUMBING SYSTEMS SHALL BE TESTED AND ADJUSTED PRIOR TO OPERATION.

INSULATION NOTES

CONTRACTOR SHALL PROVIDE THE MOST STRINGENT INSULATION REQUIREMENT FOR EACH ITEM
 DUCT LINE SHALL BE CLOSED CELL, R-5, GEM PROOF

REQ 2015 REQUIREMENTS:
 1. HANGING JOIST VENTS AND BUNGLES
 2. SUPPLY & RETURN DUCTWORK FROM HVAC UNITS
 3. CONDENSATE DRAIN, 1" R-5
 4. STORM DRAIN, 1/2" FOR CONDENSATION

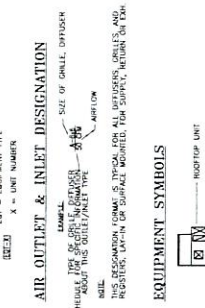
CONCRETE NOTES
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 2. ALL CONCRETE SHALL BE CURED PROPERLY.

MECHANICAL NOTES
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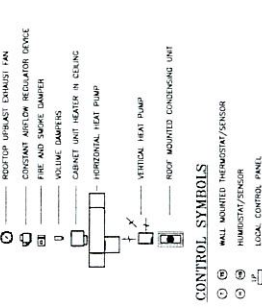
ELECTRICAL NOTES
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PLUMBING NOTES
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EQUIPMENT TAG NUMBERS



EQUIPMENT SYMBOLS



CONTROL SYMBOLS



CONTRACTOR SHALL PROVIDE THE MOST STRINGENT INSULATION REQUIREMENT FOR EACH ITEM
 DUCT LINE SHALL BE CLOSED CELL, R-5, GEM PROOF

MECHANICAL NOTES
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ELECTRICAL NOTES
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PLUMBING NOTES
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INSULATION NOTES

THE FOLLOWING SYSTEMS SHALL BE INSULATED
 DUCT LINE SHALL BE CLOSED CELL, R-5, GEM PROOF

CONCRETE NOTES
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MECHANICAL NOTES
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 1. ALL MECHANICAL SYSTEMS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.

ELECTRICAL NOTES
 1. ALL ELECTRICAL SYSTEMS SHALL BE INSTALLED ACCORDING TO THE NATIONAL ELECTRICAL CODE (NEC).

PLUMBING NOTES
 1. ALL PLUMBING SYSTEMS SHALL BE INSTALLED ACCORDING TO THE PLUMBING CODE.

MECHANICAL NOTES
 1. ALL MECHANICAL SYSTEMS SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS.

ELECTRICAL NOTES
 1. ALL ELECTRICAL SYSTEMS SHALL BE INSTALLED ACCORDING TO THE NATIONAL ELECTRICAL CODE (NEC).

PLUMBING NOTES
 1. ALL PLUMBING SYSTEMS SHALL BE INSTALLED ACCORDING TO THE PLUMBING CODE.



Professional Engineer
 State of Massachusetts

October 28, 2016

General Notes:

- 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS STATE BOARD OF REGISTRATION OF PROFESSIONAL ENGINEERS AND ARCHITECTS (MBRE) REGULATIONS AND THE MASSACHUSETTS STATE BOARD OF CONSTRUCTION (MBC) REGULATIONS.
- 2. ALL MATERIALS AND METHODS SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
- 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS STATE BOARD OF REGISTRATION OF PROFESSIONAL ENGINEERS AND ARCHITECTS (MBRE) REGULATIONS AND THE MASSACHUSETTS STATE BOARD OF CONSTRUCTION (MBC) REGULATIONS.
- 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS STATE BOARD OF REGISTRATION OF PROFESSIONAL ENGINEERS AND ARCHITECTS (MBRE) REGULATIONS AND THE MASSACHUSETTS STATE BOARD OF CONSTRUCTION (MBC) REGULATIONS.
- 5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS STATE BOARD OF REGISTRATION OF PROFESSIONAL ENGINEERS AND ARCHITECTS (MBRE) REGULATIONS AND THE MASSACHUSETTS STATE BOARD OF CONSTRUCTION (MBC) REGULATIONS.

Drawing Title:
HVAC
DETAILS

REVISIONS:

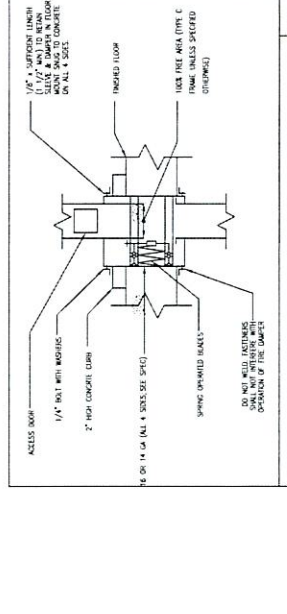
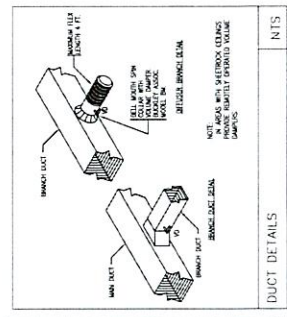
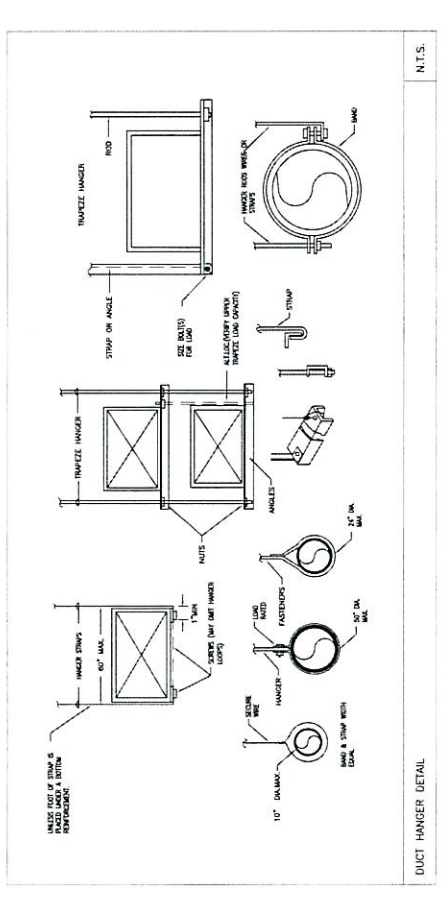
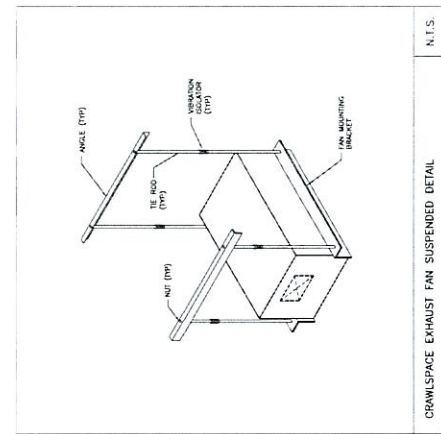
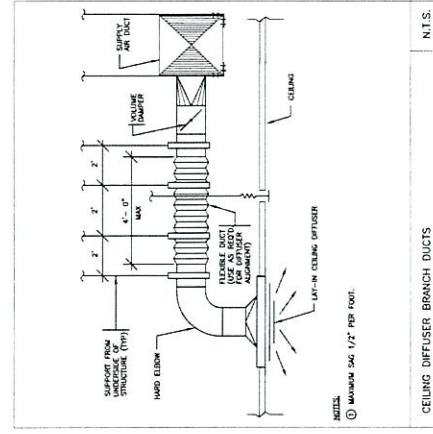
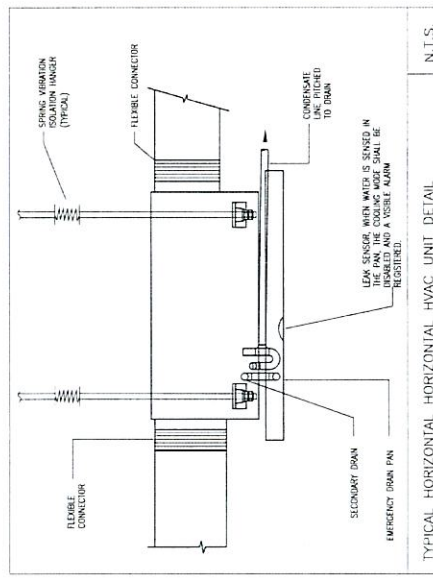
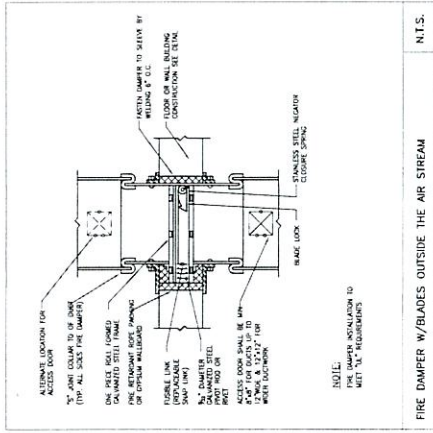
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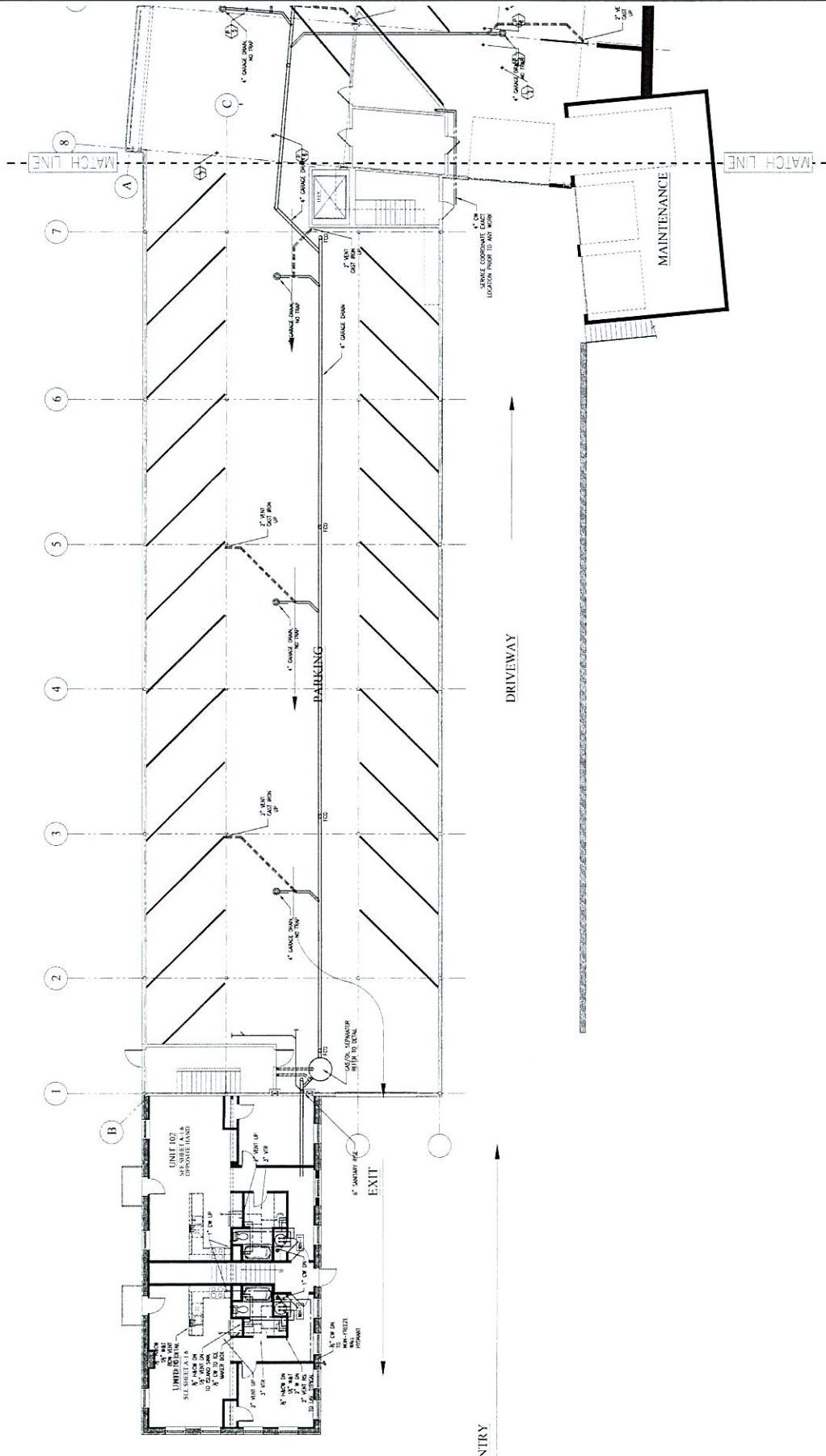
ISSUE DATES

- DATE 05/26/2017
- DATE
- DATE
- DATE

Drawing Sheet Number:

H-2.4





111 Bridge Road
 Middlebury, Vermont 05752
 www.sava-architects.com
SAVA ARCHITECTS
 802.249.4111
 802.249.4112
 sava@save-architects.com
 100% Green Building Professional

WC Design
 111 Bridge Road
 Middlebury, VT 05752
 www.wc-design.com
 (802) 249-3333

The Development at:
**2 South Grove St.
 Bradford, MA**

October 28, 2016

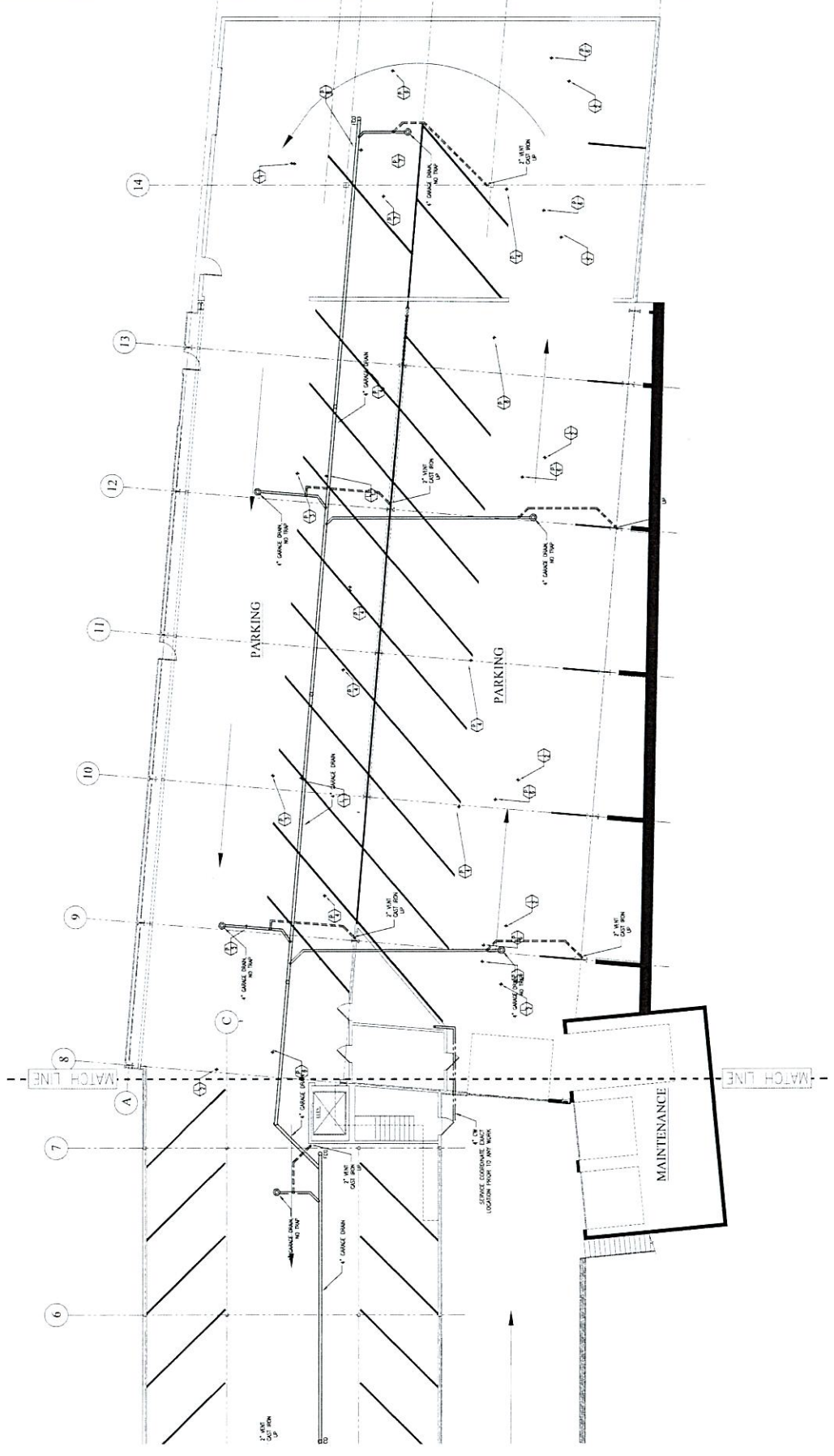
General Notes:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL CODES AND LOCAL ORDINANCES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL FIELD DATA AND SURVEY INFORMATION.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
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 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

Drawing Title:
**UNDER GROUND FLOOR
 PART B
 PLUMBING PLANS**

REVISORS:
 Date: Date:
 Date: Date:
 Date: Date:
ISSUE DATES:
 Date: 05/26/2017
 Date: Date:
 Date: Date:

Drawing Sheet Number:

P-1.1



October 28, 2016

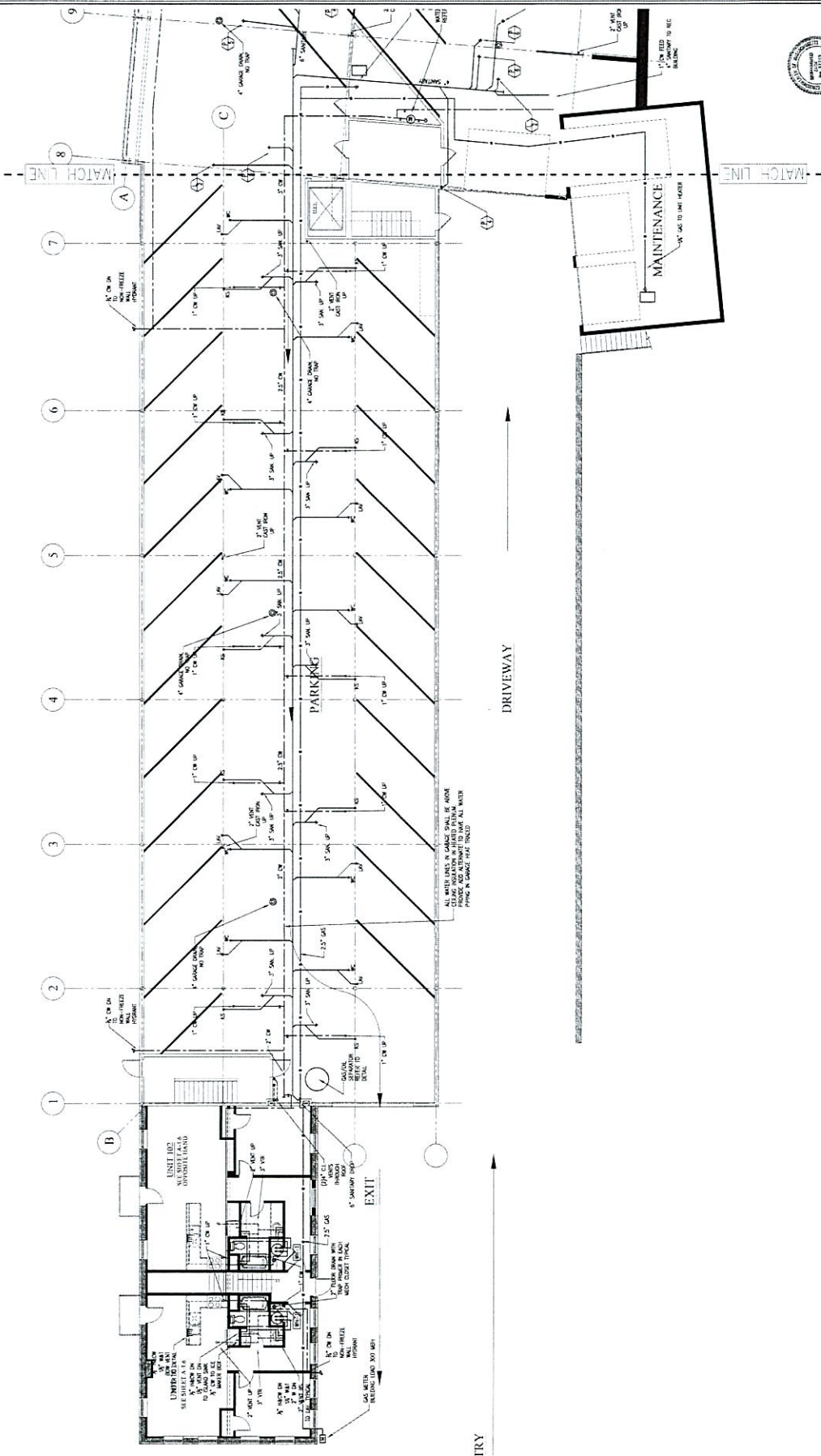
General Notes:
 1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS PLUMBING CODE AND THE LATEST EDITIONS OF THE MASSACHUSETTS GAS CODE.
 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS PLUMBING CODE AND THE LATEST EDITIONS OF THE MASSACHUSETTS GAS CODE.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL AUTHORITIES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL AUTHORITIES.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL AUTHORITIES.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL AUTHORITIES.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL AUTHORITIES.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL AUTHORITIES.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL AUTHORITIES.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL AUTHORITIES.

Drawing Title:
**GROUND FLOOR
 PART A
 PLUMBING PLANS**

REVISIONS
 Date:
 Date:
 Date:
 Date:

ISSUE DATES
 Date: 10/26/2017
 Date:
 Date:
 Date:

Drawing Sheet Number:
P-1.2



TRY

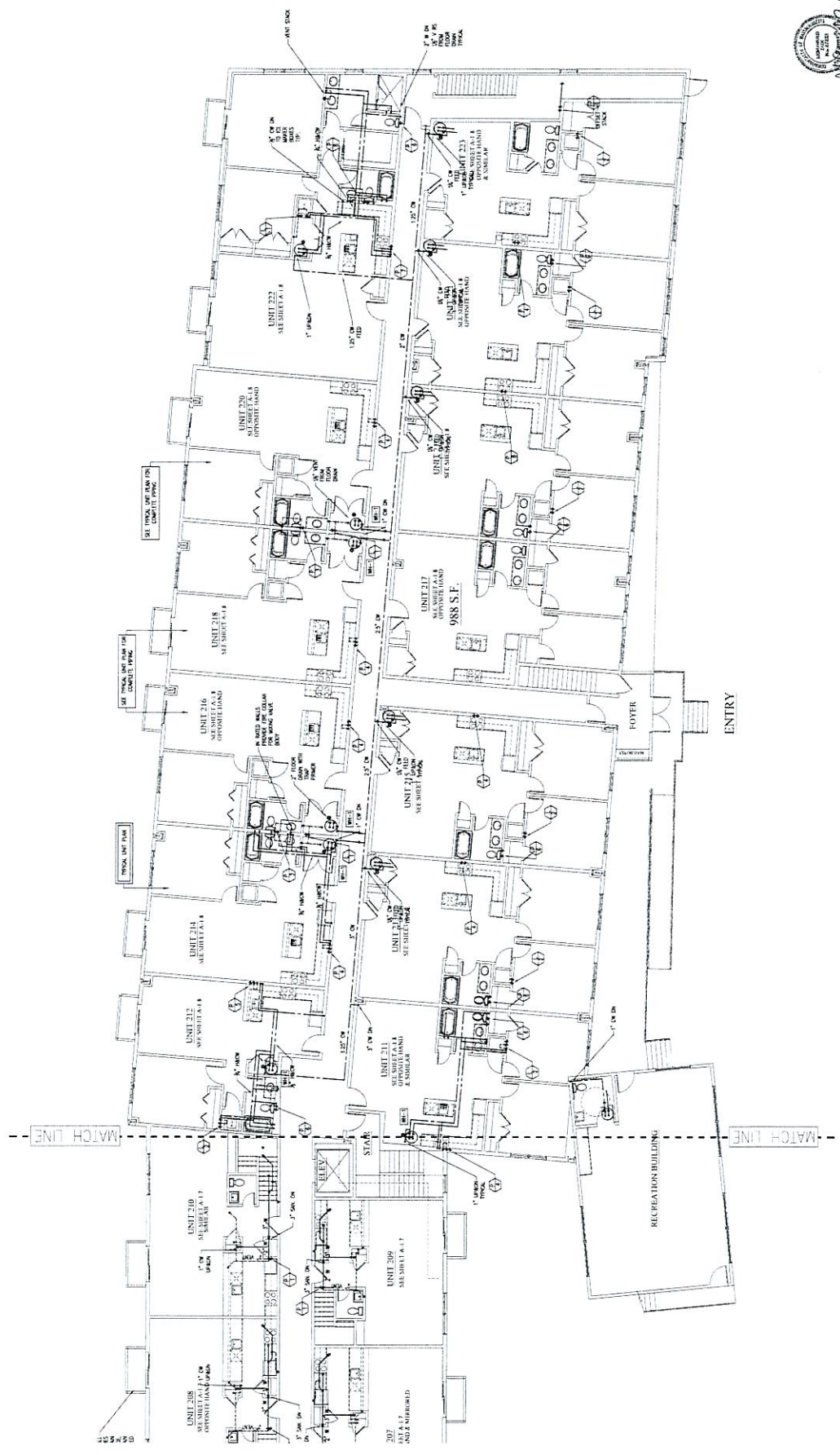
General Notes:
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 5. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL ADJACENT PROPERTIES.
 7. THE CONTRACTOR SHALL MAINTAIN THE BUILDING IN A SAFE AND SOUND CONDITION AT ALL TIMES.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL ADJACENT PROPERTIES.
 9. THE CONTRACTOR SHALL MAINTAIN THE BUILDING IN A SAFE AND SOUND CONDITION AT ALL TIMES.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL ADJACENT PROPERTIES.

Drawing Title:
 FIRST FLOOR
 PART B
 PLUMBING PLANS

- REVISIONS:**
 1: DBC
 2: DBC
 3: DBC
 4: DBC
- ISSUE DATES:**
 1: DBC 05/26/2017
 2: DBC
 3: DBC
 4: DBC

Drawing Sheet Number:

P-1.5



October 28, 2016

General Notes:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS STATE BOARD OF REGISTRATION OF PROFESSIONAL ENGINEERS AND ARCHITECTS (MARB) REGULATIONS AND THE MASSACHUSETTS STATE BOARD OF PROFESSIONAL LAND SURVEYORS (MBSLS) REGULATIONS. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MASSACHUSETTS STATE BOARD OF PROFESSIONAL ENGINEERS AND ARCHITECTS (MARB) REGULATIONS AND THE MASSACHUSETTS STATE BOARD OF PROFESSIONAL LAND SURVEYORS (MBSLS) REGULATIONS. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MASSACHUSETTS STATE BOARD OF PROFESSIONAL ENGINEERS AND ARCHITECTS (MARB) REGULATIONS AND THE MASSACHUSETTS STATE BOARD OF PROFESSIONAL LAND SURVEYORS (MBSLS) REGULATIONS.

Drawing Title:
 SECOND FLOOR
 PART A
 PLUMBING PLANS

REVISIONS:

1	Date:
2	Date:
3	Date:
4	Date:

ISSUE DATES:

1	Date: 05/26/2017
2	Date:
3	Date:
4	Date:

Drawing Sheet Number:
P-1.6



General Notes:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASSACHUSETTS PLUMBING CODE (MPC) AND THE NATIONAL PLUMBING CODE (NPC).
 2. THE CONTRACTOR SHALL VERIFY THE EXISTING PLUMBING AND ELECTRICAL CONDITIONS PRIOR TO THE START OF WORK.
 3. ALL WORK SHALL BE SUBJECT TO THE APPROVAL AND INSPECTION OF THE LOCAL PLUMBING AND ELECTRICAL INSPECTORS.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL PLUMBING AND ELECTRICAL INSPECTORS.
 5. ALL WORK SHALL BE SUBJECT TO THE APPROVAL AND INSPECTION OF THE LOCAL PLUMBING AND ELECTRICAL INSPECTORS.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL PLUMBING AND ELECTRICAL INSPECTORS.
 7. ALL WORK SHALL BE SUBJECT TO THE APPROVAL AND INSPECTION OF THE LOCAL PLUMBING AND ELECTRICAL INSPECTORS.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL PLUMBING AND ELECTRICAL INSPECTORS.
 9. ALL WORK SHALL BE SUBJECT TO THE APPROVAL AND INSPECTION OF THE LOCAL PLUMBING AND ELECTRICAL INSPECTORS.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL PLUMBING AND ELECTRICAL INSPECTORS.

Drawing Title:
**SECOND FLOOR
 PART B
 PLUMBING PLANS**

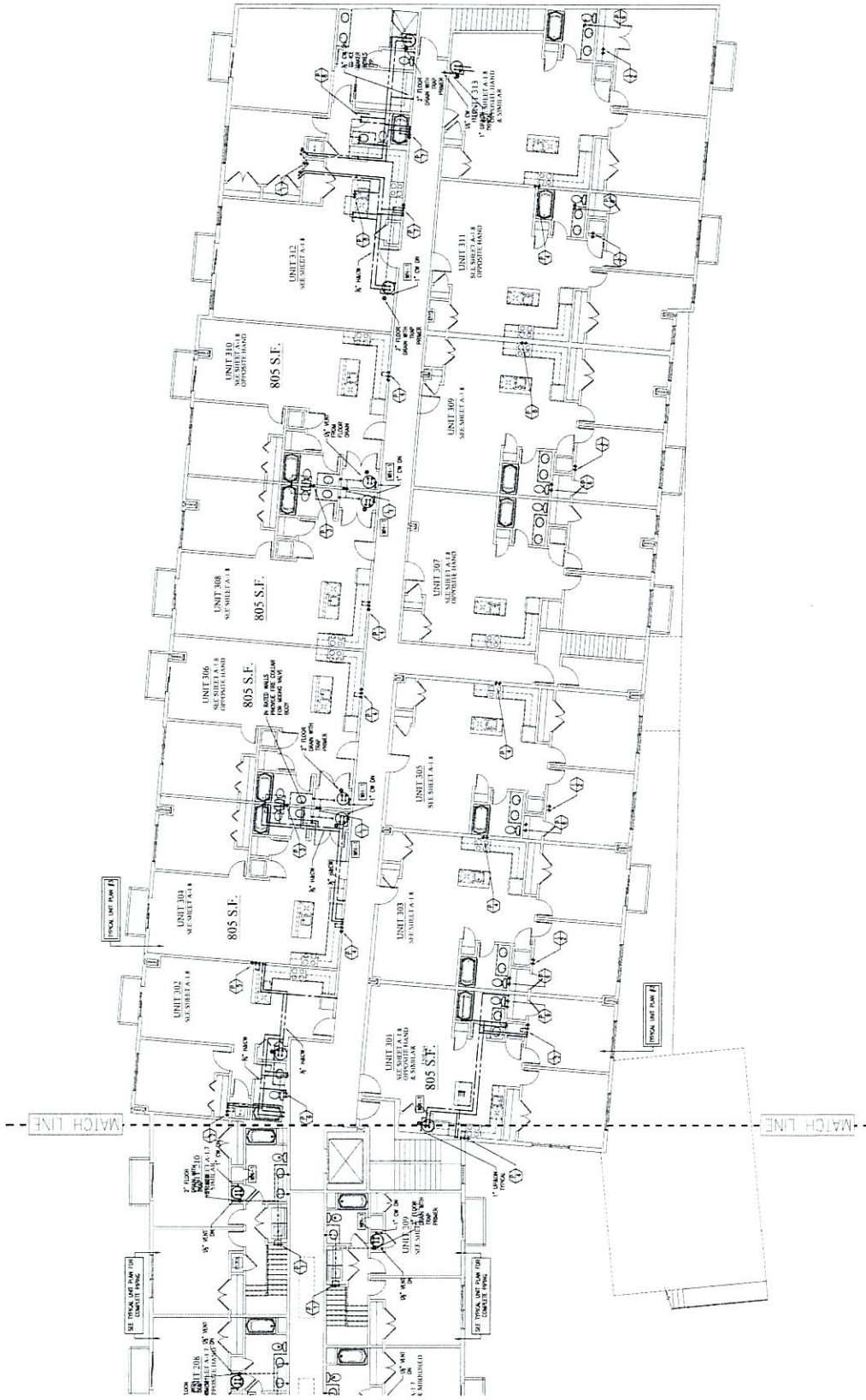
REVISIONS

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ISSUE DATES

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<input type="checkbox"/>	Date	
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<input type="checkbox"/>	Date	

Drawing Sheet Number:
P-1.7



General Notes:
 1. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE M.P.I.C. CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 5. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL AUTHORITIES.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE M.P.I.C. CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 9. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL AUTHORITIES.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

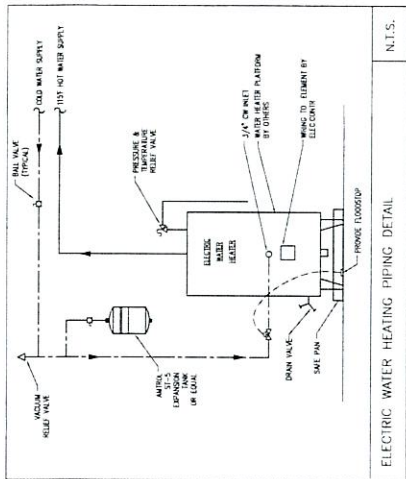
**Drawing Title:
 PLUMBING
 DETAILS**

REVISIONS:

- Date
- Date
- Date
- Date
- Date
- Date
- Date
- Date

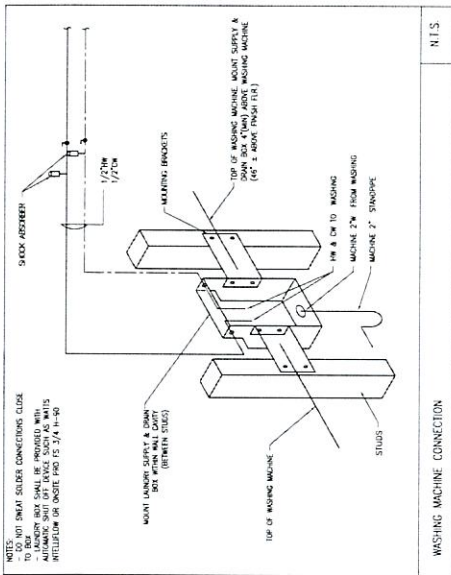
Drawing Sheet Number:

P-2.2



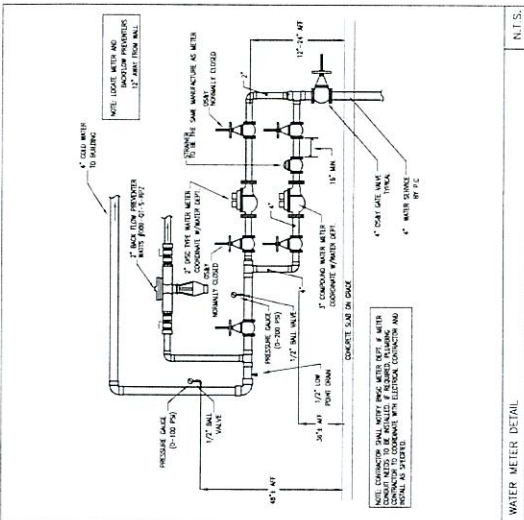
ELECTRIC WATER HEATING PIPING DETAIL

N.T.S.



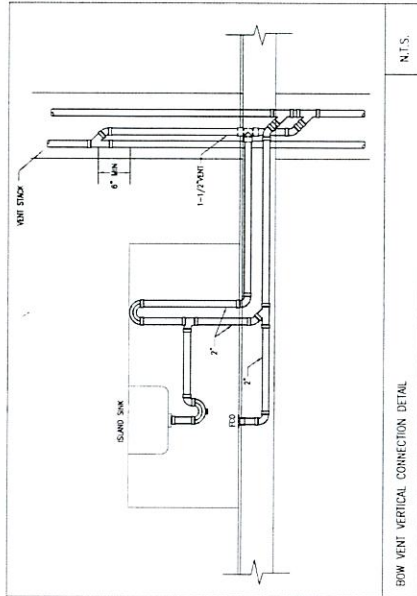
WASHING MACHINE CONNECTION

N.T.S.



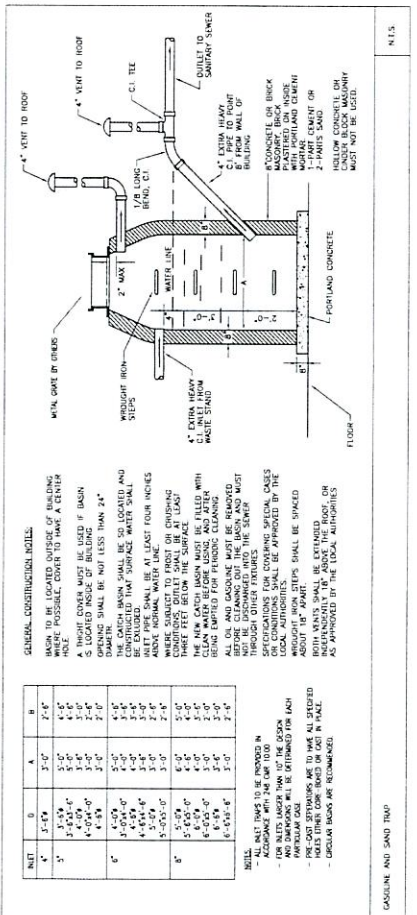
WATER METER DETAIL

N.T.S.



BOW VENT VERTICAL CONNECTION DETAIL

N.T.S.



GENERAL CONSTRUCTION NOTES

N.T.S.

GENERAL CONSTRUCTION NOTES:
 1. BASIN TO BE LOCATED OUTSIDE OF BUILDING.
 2. BASIN SHALL BE CONCRETE WITH A 4\"/>

INLET	D	A	B
4"	3'-0"	2'-6"	2'-6"
5"	3'-3"	3'-0"	3'-0"
6"	3'-6"	3'-3"	3'-3"
8"	4'-0"	3'-6"	3'-6"
10"	4'-6"	4'-0"	4'-0"
12"	5'-0"	4'-6"	4'-6"
14"	5'-6"	5'-0"	5'-0"
16"	6'-0"	5'-6"	5'-6"
18"	6'-6"	6'-0"	6'-0"
20"	7'-0"	6'-6"	6'-6"
24"	8'-0"	7'-6"	7'-6"

NOTES:
 1. ALL SIZES TO BE PROVIDED IN CONCRETE.
 2. FOR SIZES OTHER THAN 18\"/>

GASOLINE AND SAND TRAP

General Notes:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 MASSACHUSETTS PLUMBING CODE, AS AMENDED.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 MASSACHUSETTS MECHANICAL CODE, AS AMENDED.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 MASSACHUSETTS ELECTRICAL CODE, AS AMENDED.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 MASSACHUSETTS GAS CODE, AS AMENDED.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 MASSACHUSETTS PLUMBING, MECHANICAL AND ELECTRICAL CODES, AS AMENDED.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 MASSACHUSETTS PLUMBING, MECHANICAL AND ELECTRICAL CODES, AS AMENDED.
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 MASSACHUSETTS PLUMBING, MECHANICAL AND ELECTRICAL CODES, AS AMENDED.
 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 MASSACHUSETTS PLUMBING, MECHANICAL AND ELECTRICAL CODES, AS AMENDED.
 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 MASSACHUSETTS PLUMBING, MECHANICAL AND ELECTRICAL CODES, AS AMENDED.
 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2015 MASSACHUSETTS PLUMBING, MECHANICAL AND ELECTRICAL CODES, AS AMENDED.

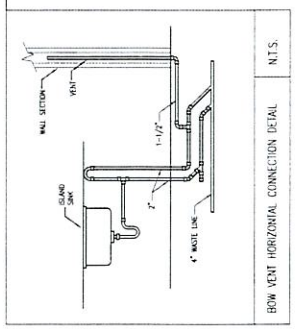
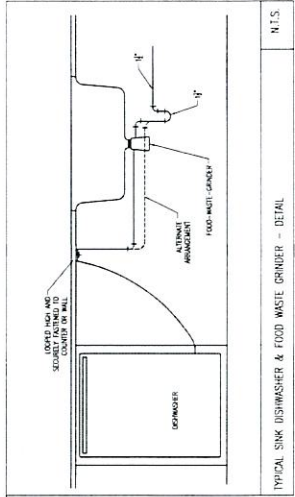
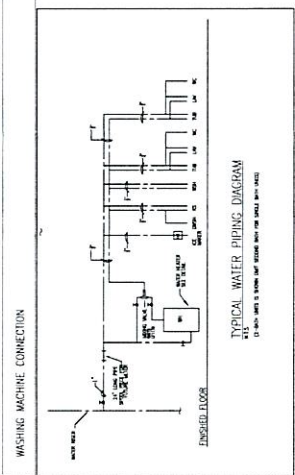
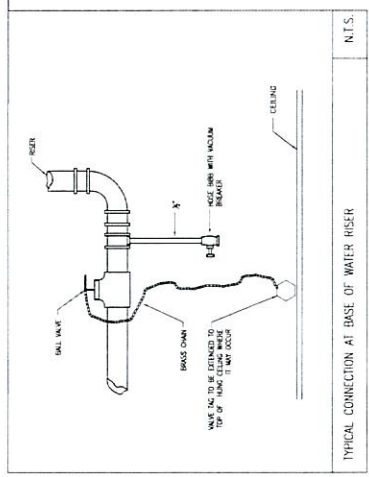
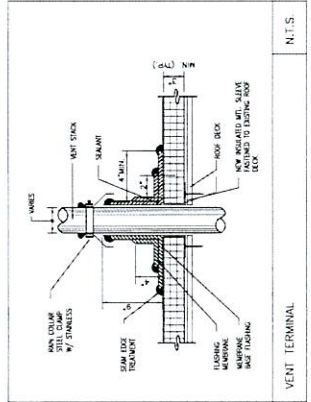
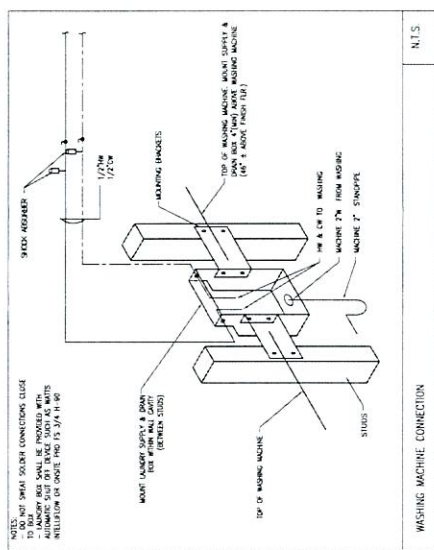
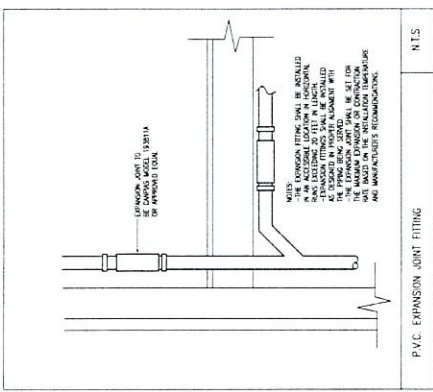
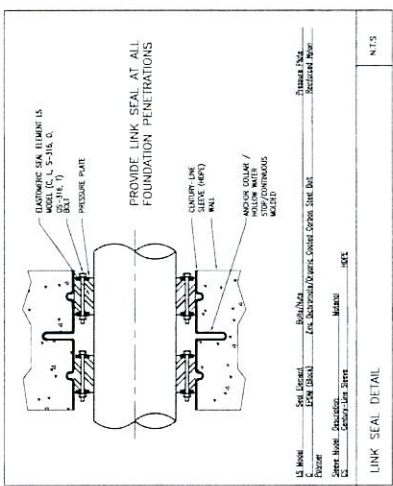
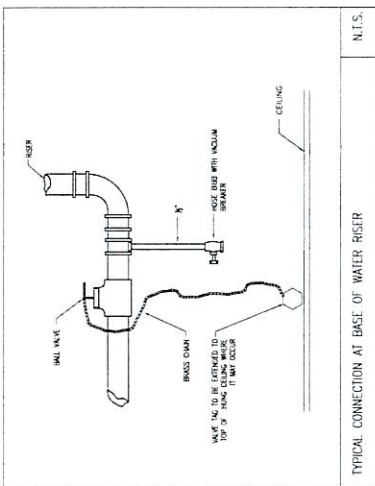
**Drawing Title:
 PLUMBING
 DETAILS**

REVISIONS
 Date
 Date
 Date
 Date

ISSUE DATES
 Date: 05/26/2017
 Date
 Date
 Date

Drawing Sheet Number:

P-2.3



General Notes:
 1. REFER TO ALL DRAWINGS FOR THE LATEST REVISIONS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, STATE, AND FEDERAL AGENCIES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, STATE, AND FEDERAL AGENCIES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, STATE, AND FEDERAL AGENCIES.
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 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE LOCAL, STATE, AND FEDERAL AGENCIES.
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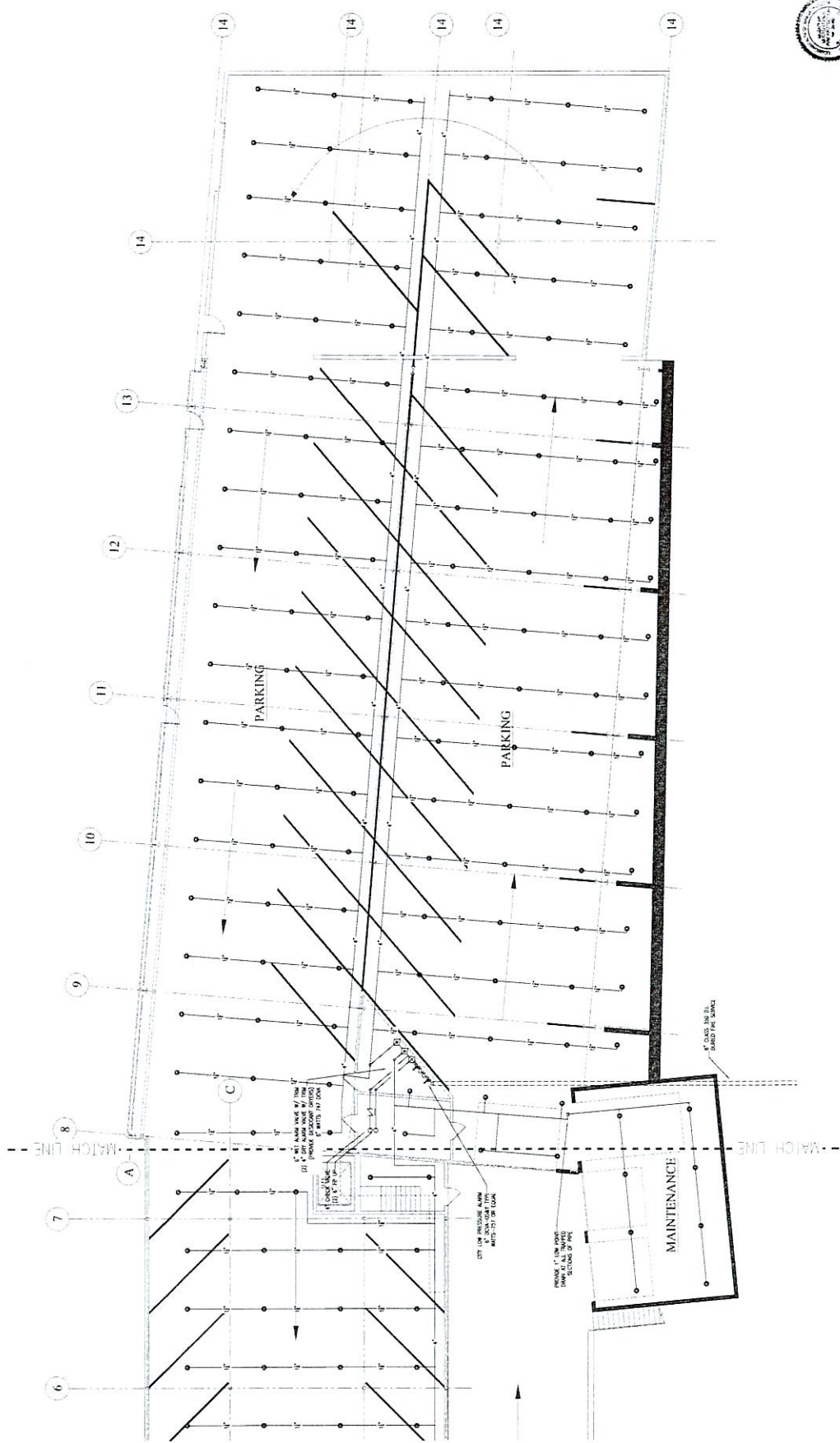
Drawing Title:
**GROUND FLOOR
 PART B
 SPRINKLER
 PLANS**

REVISIONS:
 1 Date
 2 Date
 3 Date
 4 Date

ISSUE DATES:
 1 Date 05/26/2017
 2 Date
 3 Date
 4 Date

Drawing Sheet Number:
FP-1.1

PROPOSED WORK SYMBOL
1-2 SPRINKLER 1" / 1" PIPE
3 SPRINKLER 1" / 1" PIPE
4-8 SPRINKLER 1" / 1" PIPE



The Development at:
**2 South Grove St.
 Bradford, MA**

October 28, 2016

General Notes:

1. GENERAL NOTES FOR THESE DRAWINGS SHALL BE SUPPLEMENTED BY THE GENERAL NOTES OF THE PROJECT MANUAL.
 2. ALL DIMENSIONS UNLESS OTHERWISE NOTED SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL AUTHORITIES.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL AUTHORITIES.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL AUTHORITIES.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL AUTHORITIES.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL AUTHORITIES.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL AUTHORITIES.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL AUTHORITIES.

Drawing Title:
**FIRST FLOOR
 PART A
 SPRINKLER
 PLANS**

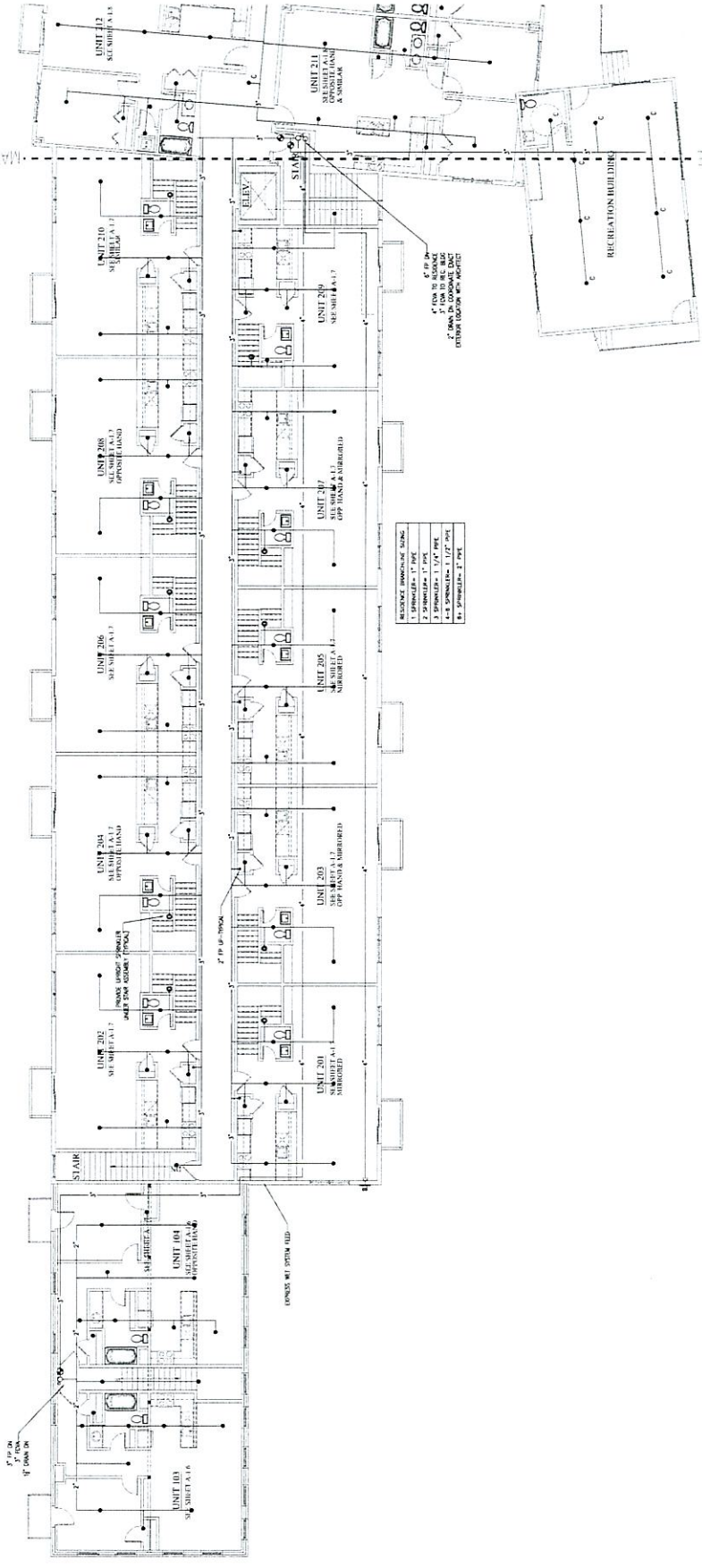
ISSUE DATES
 Date
 Date
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 Date

Drawing Sheet Number:
FP-1.2

DESIGN NOTES:
 1. REFER TO ALL DRAWINGS FOR THE LOCATION OF ALL SUPPLEMENTAL SPRINKLER HEAD LOCATIONS.
 2. REFER TO ALL DRAWINGS FOR THE LOCATION OF ALL SUPPLEMENTAL SPRINKLER HEAD LOCATIONS.
 3. REFER TO ALL DRAWINGS FOR THE LOCATION OF ALL SUPPLEMENTAL SPRINKLER HEAD LOCATIONS.
 4. REFER TO ALL DRAWINGS FOR THE LOCATION OF ALL SUPPLEMENTAL SPRINKLER HEAD LOCATIONS.
 5. REFER TO ALL DRAWINGS FOR THE LOCATION OF ALL SUPPLEMENTAL SPRINKLER HEAD LOCATIONS.
 6. REFER TO ALL DRAWINGS FOR THE LOCATION OF ALL SUPPLEMENTAL SPRINKLER HEAD LOCATIONS.
 7. REFER TO ALL DRAWINGS FOR THE LOCATION OF ALL SUPPLEMENTAL SPRINKLER HEAD LOCATIONS.
 8. REFER TO ALL DRAWINGS FOR THE LOCATION OF ALL SUPPLEMENTAL SPRINKLER HEAD LOCATIONS.
 9. REFER TO ALL DRAWINGS FOR THE LOCATION OF ALL SUPPLEMENTAL SPRINKLER HEAD LOCATIONS.
 10. REFER TO ALL DRAWINGS FOR THE LOCATION OF ALL SUPPLEMENTAL SPRINKLER HEAD LOCATIONS.

SYMBOL	DESCRIPTION
1	SPRINKLER - 1" PIPE
2	SPRINKLER - 1 1/2" PIPE
3	SPRINKLER - 1 1/4" PIPE
4	SPRINKLER - 1 1/2" PIPE

MATCH LINE



SYMBOL	DESCRIPTION
1	SPRINKLER - 1" PIPE
2	SPRINKLER - 1 1/2" PIPE
3	SPRINKLER - 1 1/4" PIPE
4	SPRINKLER - 1 1/2" PIPE



Angela M. W. [Signature]

October 28, 2016

General Notes:
 1. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING CONDITIONS AND THE REQUIREMENTS OF THE BUILDING DEPARTMENT AND ALL APPLICABLE CODES.
 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 6. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 7. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 8. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 9. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 10. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

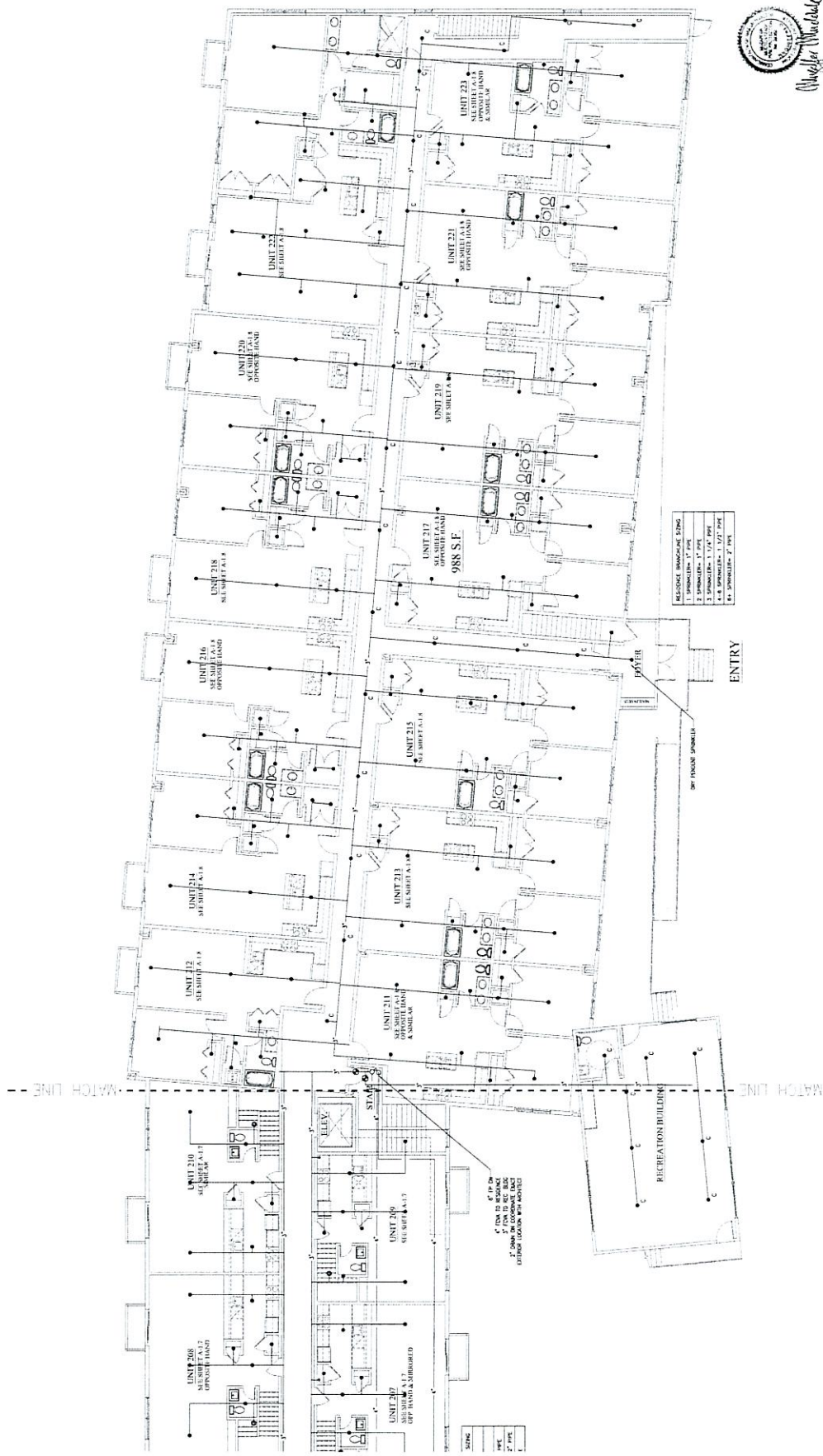
Drawing Title:
**FIRST FLOOR
 PART B
 SPRINKLER
 PLANS**

REVISIONS
 01 Date
 02 Date
 03 Date
 04 Date
 05 Date
 06 Date
 07 Date
 08 Date
 09 Date
 10 Date

FP-1.3
 Drawing Sheet Number:

- EXISTING NOTES:**
1. EXISTING HEAD LOCATIONS IN THIS DRAWING SHALL BE AS SHOWN. THE COORDINATE SHALL BE TO THE CENTER OF THE HEAD UNLESS OTHERWISE NOTED.
 2. HYDRANT DESIGN BASED ON ASSUMED WATER FLOW DATA. NO INFORMATION REGARDING WATER FLOW DATA IS AVAILABLE AT THE TIME THESE DRAWINGS WERE PREPARED. THE DESIGNER SHALL BE SUBJECT TO CHANGE WHEN THE WATER SERVICE INFORMATION FOR THE BUILDING IS PROVIDED FOR REVIEW.
 3. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.

SYMBOL	DESCRIPTION	SCALE
(Symbol)	1. SPRINKLER	1" = 1'-0"
(Symbol)	2. HYDRANT	1" = 1'-0"
(Symbol)	3. SPRINKLER	1" = 1'-0"
(Symbol)	4. SPRINKLER	1" = 1'-0"



SYMBOL	DESCRIPTION	SCALE
(Symbol)	1. SPRINKLER	1" = 1'-0"
(Symbol)	2. HYDRANT	1" = 1'-0"
(Symbol)	3. SPRINKLER	1" = 1'-0"
(Symbol)	4. SPRINKLER	1" = 1'-0"

SYMBOL	DESCRIPTION	SCALE
(Symbol)	1. SPRINKLER	1" = 1'-0"
(Symbol)	2. HYDRANT	1" = 1'-0"
(Symbol)	3. SPRINKLER	1" = 1'-0"
(Symbol)	4. SPRINKLER	1" = 1'-0"

October 28, 2016

General Notes:
 GENERAL CONTRACTOR SHALL MAKE ALL NECESSARY COORDINATION WITH ALL OTHER TRADES AND CONTRACTORS FOR THE PROVISION OF THE WORK SHOWN ON THESE DRAWINGS. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) CODES AND STANDARDS, THE MASSACHUSETTS STATE FIRE MARSHAL'S (SFM) REGULATIONS, AND THE MASSACHUSETTS STATE BOARD OF FIRE OFFICIALS (SBOFO) REGULATIONS. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL FIRE DEPARTMENT AND THE STATE FIRE MARSHAL'S OFFICE. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL FIRE DEPARTMENT AND THE STATE FIRE MARSHAL'S OFFICE. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL FIRE DEPARTMENT AND THE STATE FIRE MARSHAL'S OFFICE.

Drawing Title:
**SECOND FLOOR
 PART A
 SPRINKLER
 PLANS**

REVISIONS:

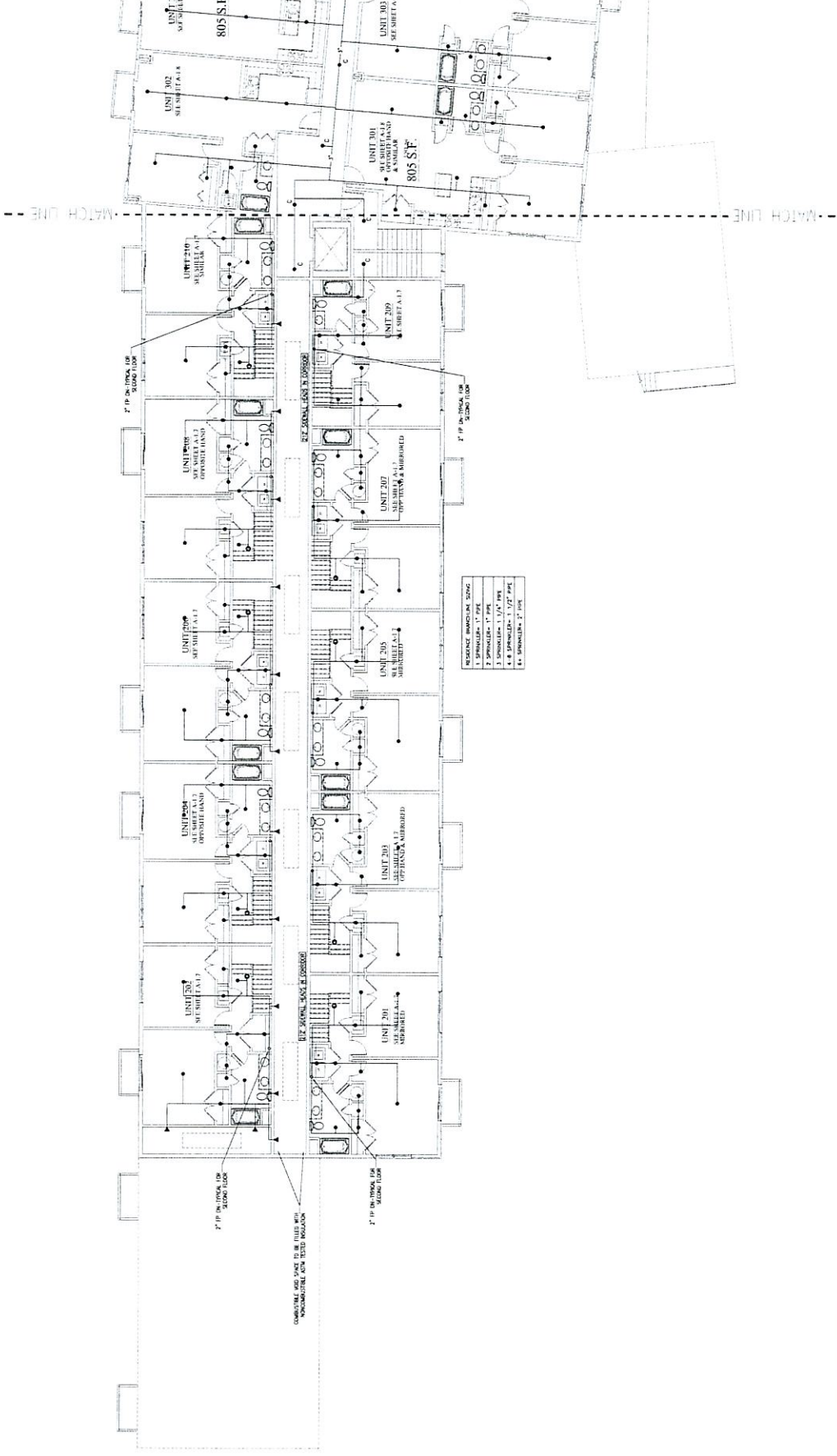
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- 8. Date
- 9. Date
- 10. Date

Drawing Sheet Number:

FP-1.4

- DESIGNER'S NOTE:**
1. UNITS HEAD LOCATIONS IN THIS DRAWING ARE BASED ON THE COORDINATE SPRINKLER HEAD LOCATIONS SHOWN ON THE ELECTRICAL DRAWINGS.
 2. FIREALARM DESIGN MODEL ON ASSUMING WORK FROM DATA. NO INFORMATION REGARDING THE EXISTING SPRINKLER SYSTEM IS AVAILABLE AT THE TIME THESE DRAWINGS WERE PREPARED. CONTRACTOR SHALL VERIFY THE EXISTING SPRINKLER SYSTEM STATUS AND INFORMATION THE BUILDING IS PROVIDED TO THE OWNER.
 3. ALL SPRINKLERS WITH METAL OVERSPEWERS SHALL BE 2" P AND SUPPLIED WITH 2" PIP.

SYMBOL	DESCRIPTION
(Symbol)	1. SPRINKLER - 1" PIP
(Symbol)	2. SPRINKLER - 1" PIP
(Symbol)	3. SPRINKLER - 1" PIP
(Symbol)	4. SPRINKLER - 2" PIP



SYMBOL	DESCRIPTION
(Symbol)	1. SPRINKLER - 1" PIP
(Symbol)	2. SPRINKLER - 1" PIP
(Symbol)	3. SPRINKLER - 1" PIP
(Symbol)	4. SPRINKLER - 2" PIP

CONCRETE AND SPACE TO BE FILLED WITH NON-COMBUSTIBLE FIBER REINFORCED CONCRETE

2" PIP IN TYPICAL FOR SECOND FLOOR

2" PIP IN TYPICAL FOR SECOND FLOOR

2" PIP IN TYPICAL FOR SECOND FLOOR

2" PIP IN TYPICAL FOR SECOND FLOOR

2" PIP IN TYPICAL FOR SECOND FLOOR

2" PIP IN TYPICAL FOR SECOND FLOOR

2" PIP IN TYPICAL FOR SECOND FLOOR

2" PIP IN TYPICAL FOR SECOND FLOOR

2" PIP IN TYPICAL FOR SECOND FLOOR

MATCH LINE

MATCH LINE

October 28, 2016

General Notes:
 1. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES CAUSED BY THE CONTRACTOR'S WORK.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF BRADFORD AND THE STATE OF MASSACHUSETTS.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF BRADFORD AND THE STATE OF MASSACHUSETTS.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF BRADFORD AND THE STATE OF MASSACHUSETTS.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF BRADFORD AND THE STATE OF MASSACHUSETTS.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF BRADFORD AND THE STATE OF MASSACHUSETTS.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF BRADFORD AND THE STATE OF MASSACHUSETTS.
 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF BRADFORD AND THE STATE OF MASSACHUSETTS.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF BRADFORD AND THE STATE OF MASSACHUSETTS.
 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF BRADFORD AND THE STATE OF MASSACHUSETTS.

Drawing Title:
**SECOND FLOOR
 PART B
 SPRINKLER
 PLANS**

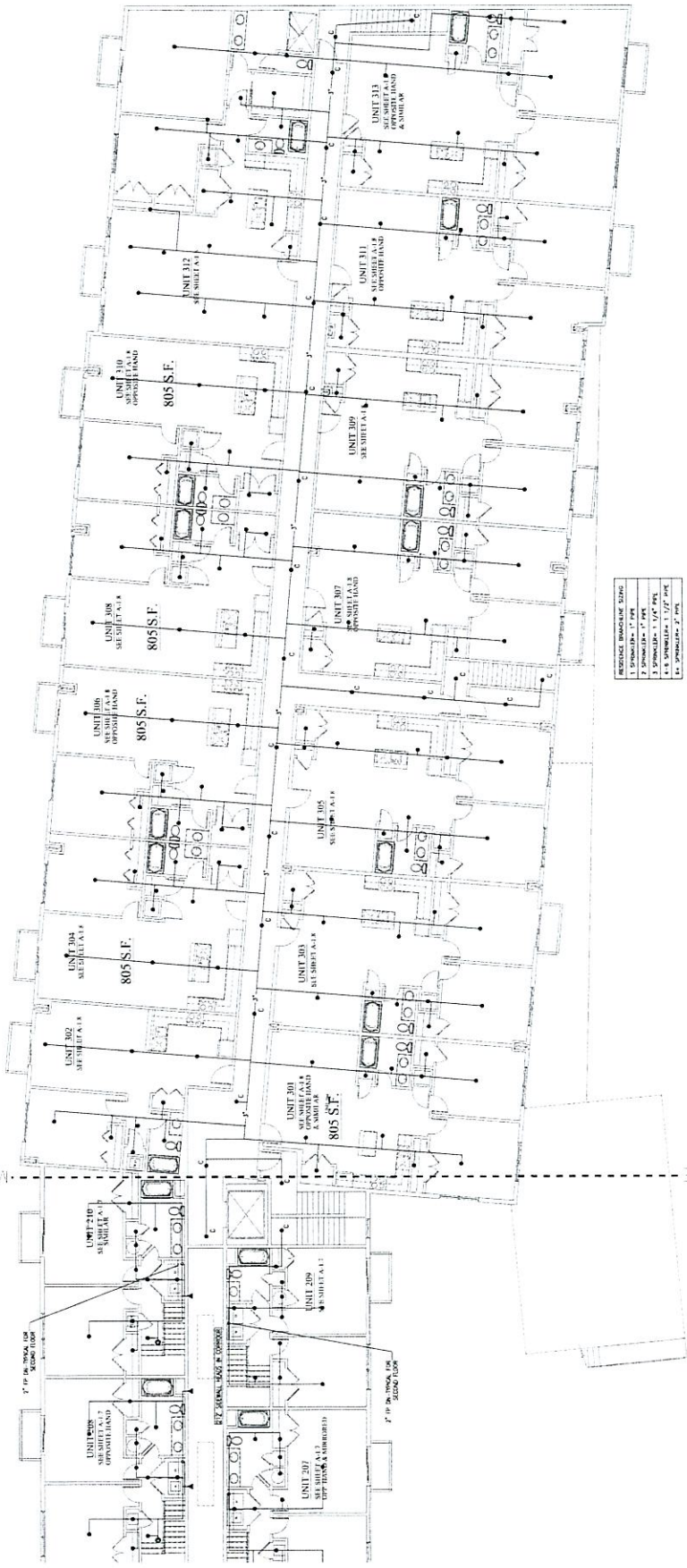
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ISSUE DATES:
 Date: 05/26/2017
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Drawing Sheet Number:
FP-1.5

- WORKING NOTES:**
1. GENERAL HEAD LOCATIONS IN SUBSTANCES ARE SUBJECT TO CHANGE WITH MECHANICAL & ELECTRICAL DEMANDS.
 2. HYDRANTIC DESIGN BASED ON ASSUMED WATER FLOW RATE AND PRESSURE AVAILABLE AT THE TIME THE APPROXIMATE SUBJECT TO CHANGE WITH THE WATER SUPPLY INFORMATION FOR THE BUILDING FOR REVIEW FOR REVIEW.
 3. ALL SPRINKLERS WITH WASH DOWN SPACERS SHALL BE 21/2" AND SUPPLIED FROM STEEL PIPE.

SPRINKLER RATING	
1	SPRINKLER - 1" PIPE
2	SPRINKLER - 1 1/4" PIPE
3	SPRINKLER - 1 1/2" PIPE
4	SPRINKLER - 2" PIPE



SPRINKLER RATING	
1	SPRINKLER - 1" PIPE
2	SPRINKLER - 1 1/4" PIPE
3	SPRINKLER - 1 1/2" PIPE
4	SPRINKLER - 2" PIPE



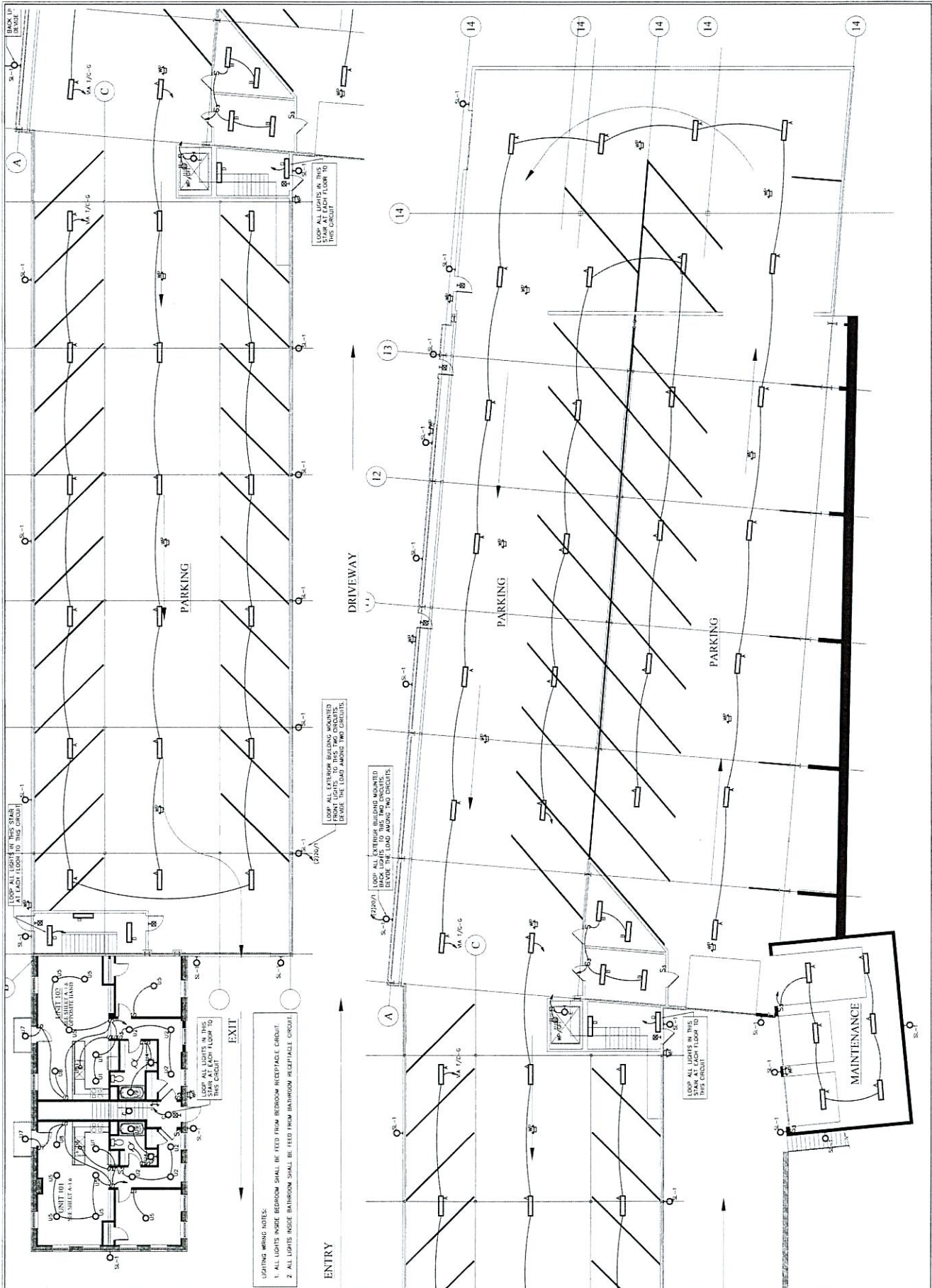


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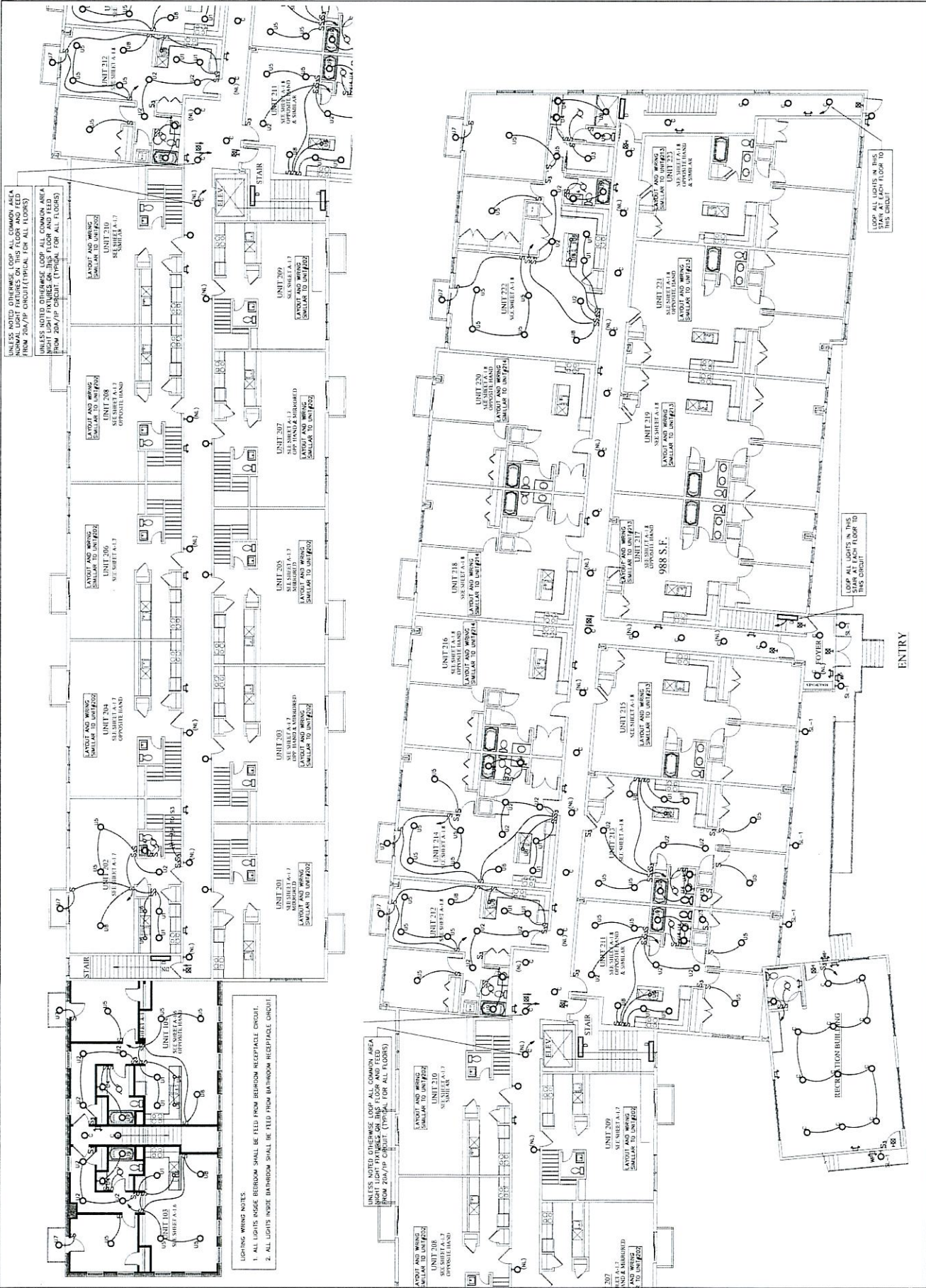
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- LIGHTING WORK NOTES:
1. ALL LIGHTS INSIDE BUILDING SHALL BE FEED FROM RECESSED INTERFACE CIRCUIT.
 2. ALL LIGHTS INSIDE BATHROOM SHALL BE FEED FROM BATHROOM RECEPTACLE CIRCUIT.



June 16, 2017

General Notes:



Drawing Title:
**Proposed
 Second Floor
 Lighting Plan**

REVISIONS:

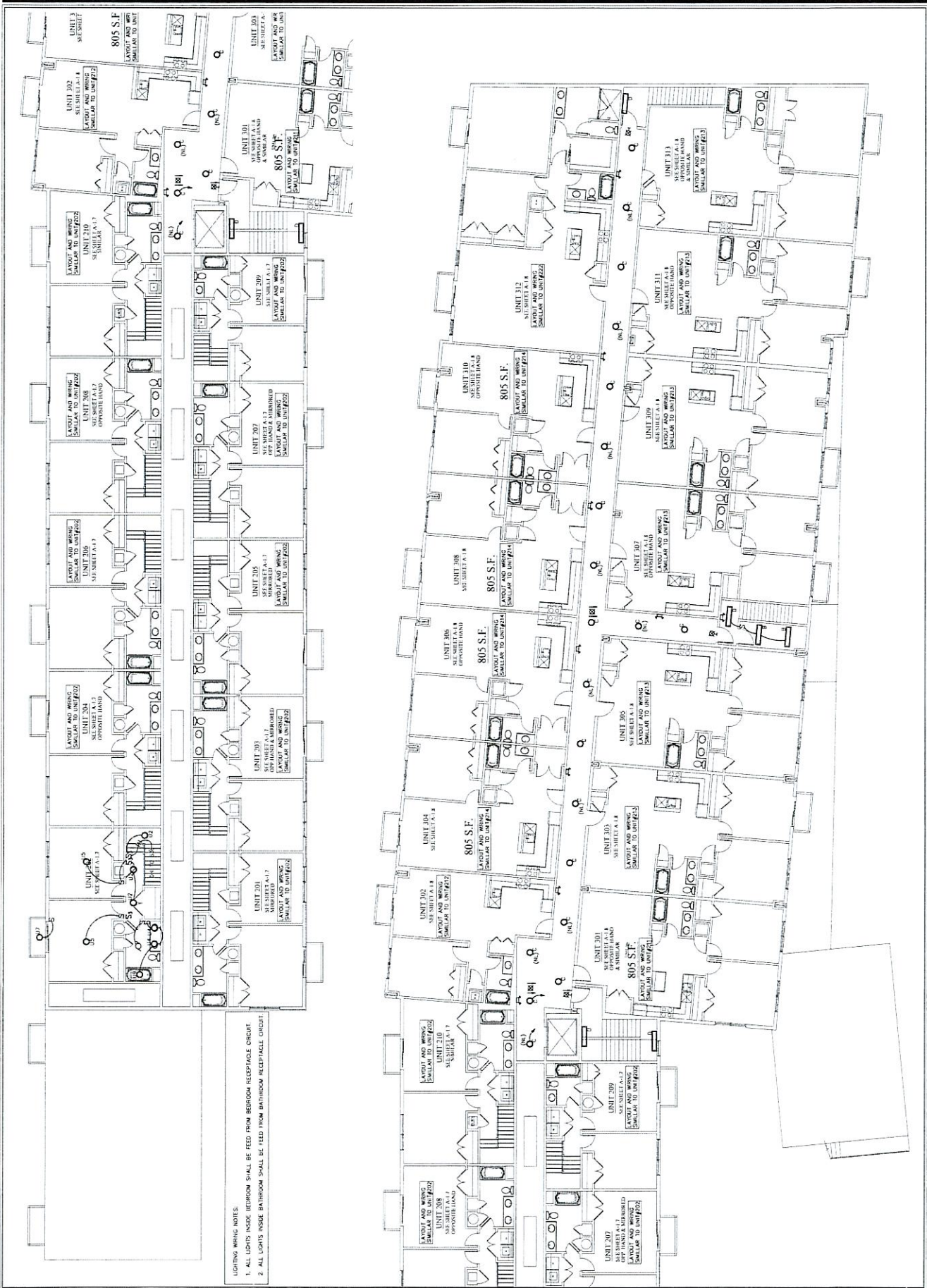
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ISSUE DATES:

- 1 Date
- 2 Date
- 3 Date
- 4 Date

Drawing Sheet Number:

E-1.2



LIGHTING WIRING NOTES:
 1. ALL LIGHTS INSIDE BEDROOM SHALL BE FEED FROM BEDROOM RECEPTACLE CIRCUIT.
 2. ALL LIGHTS INSIDE BATHROOM SHALL BE FEED FROM BATHROOM RECEPTACLE CIRCUIT.

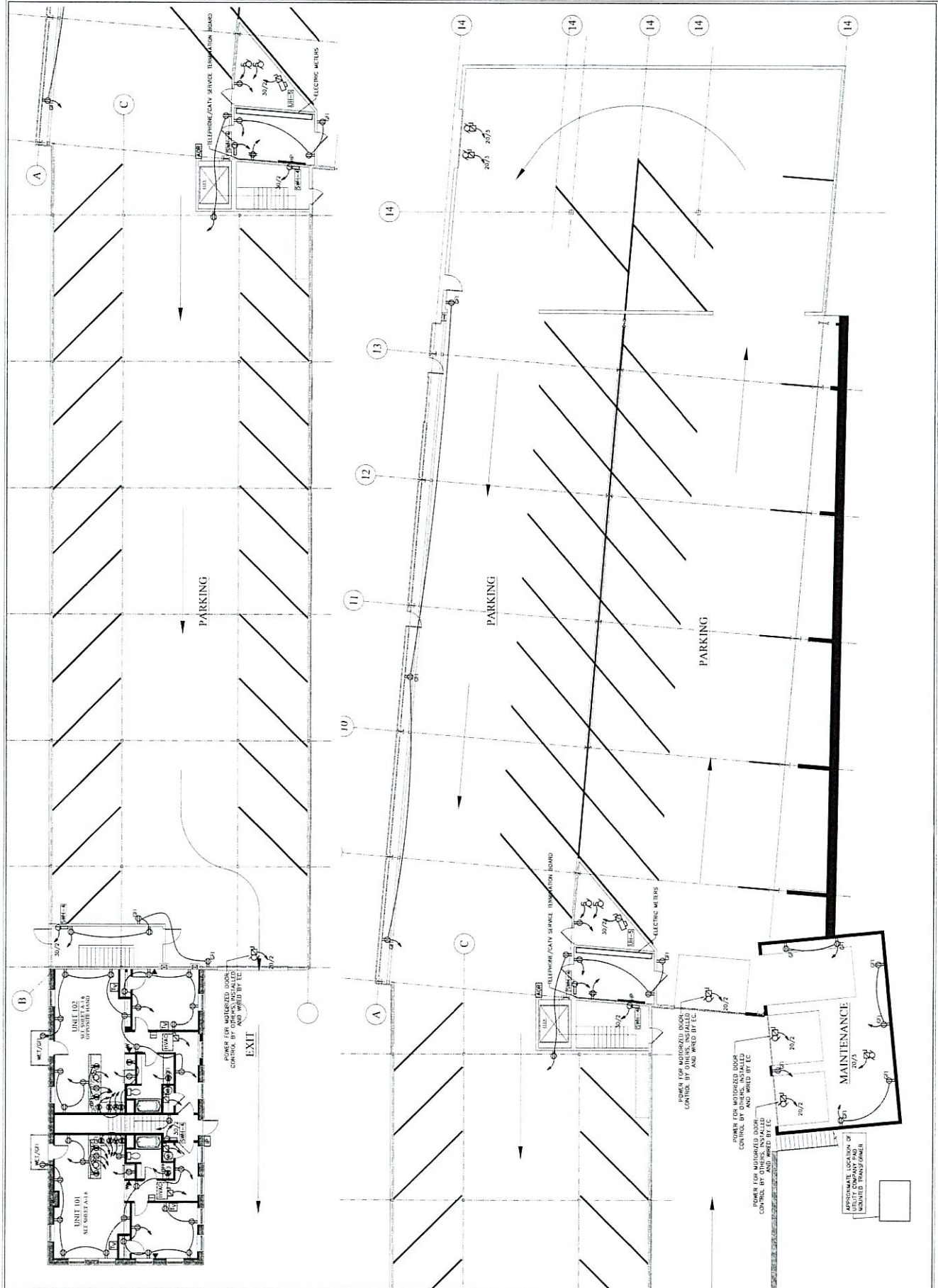


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ISSUE DATES:

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Manoffe Woodruff

Drawing Title:
**Proposed
 First Floor
 Power Plan**

REVISIONS:

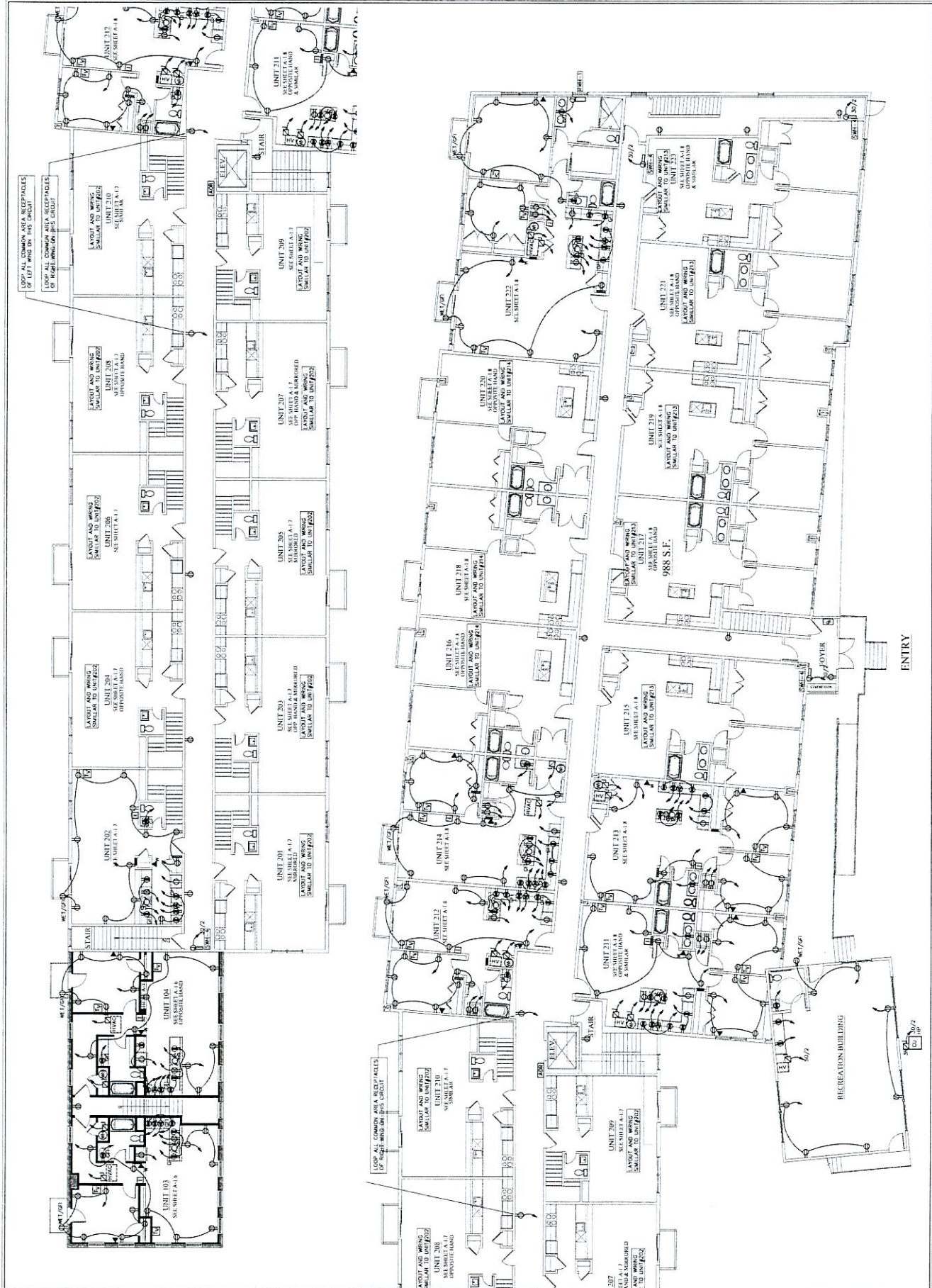
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ISSUE DATES

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Drawing Sheet Number:

E-1.4





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ISSUE DATES:

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Drawing Sheet Number:



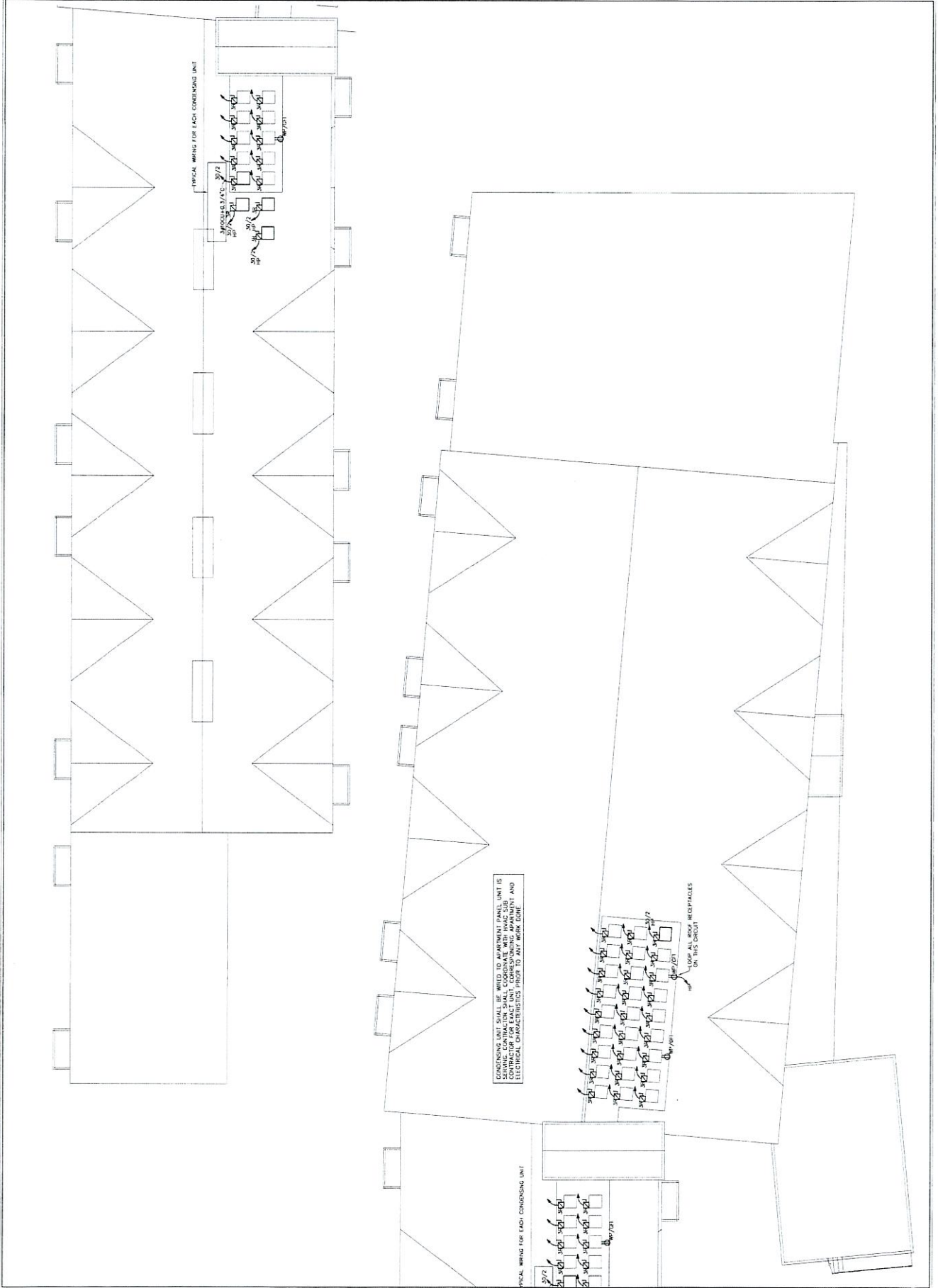


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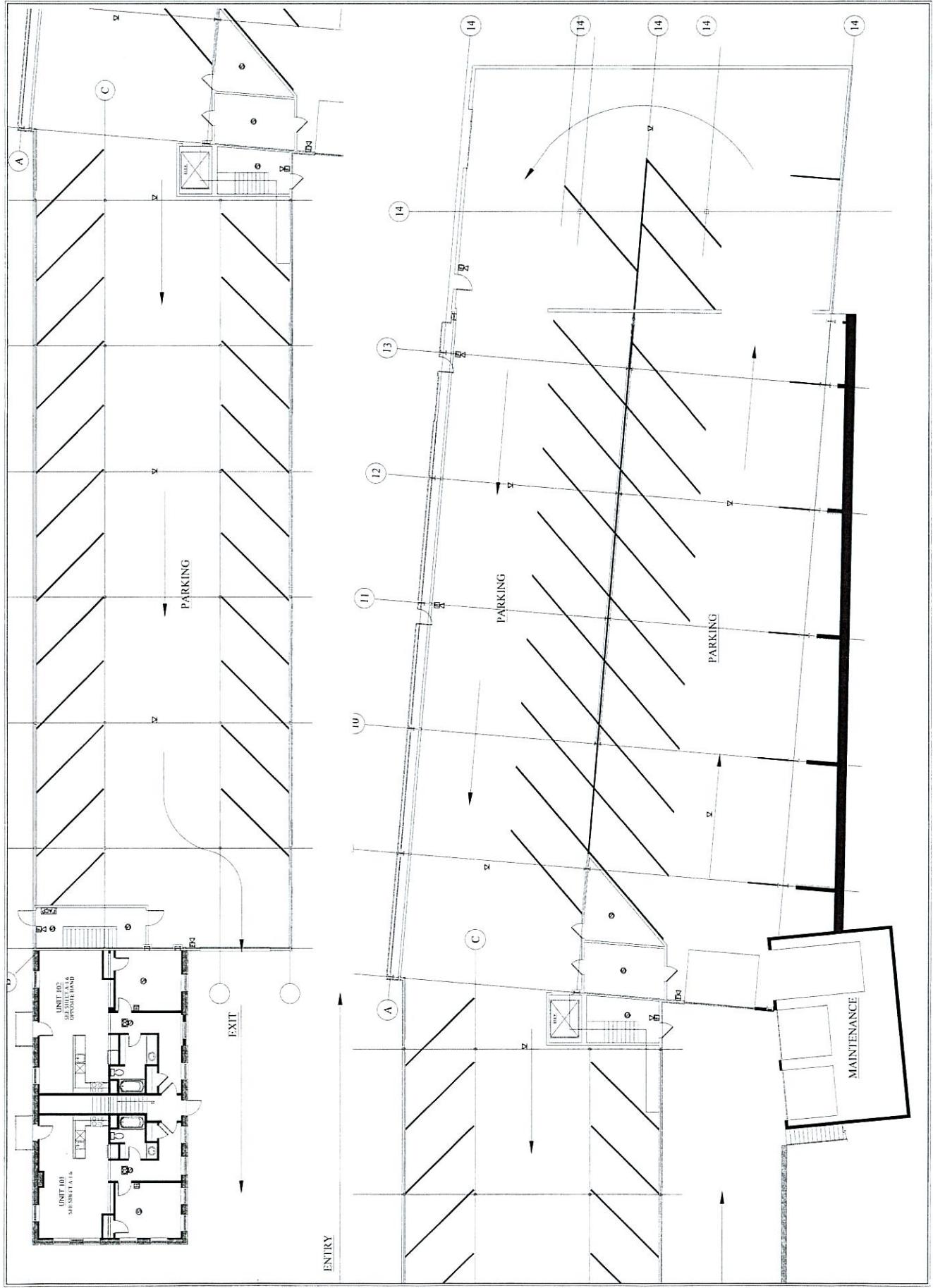


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June 16, 2017

General Notes:

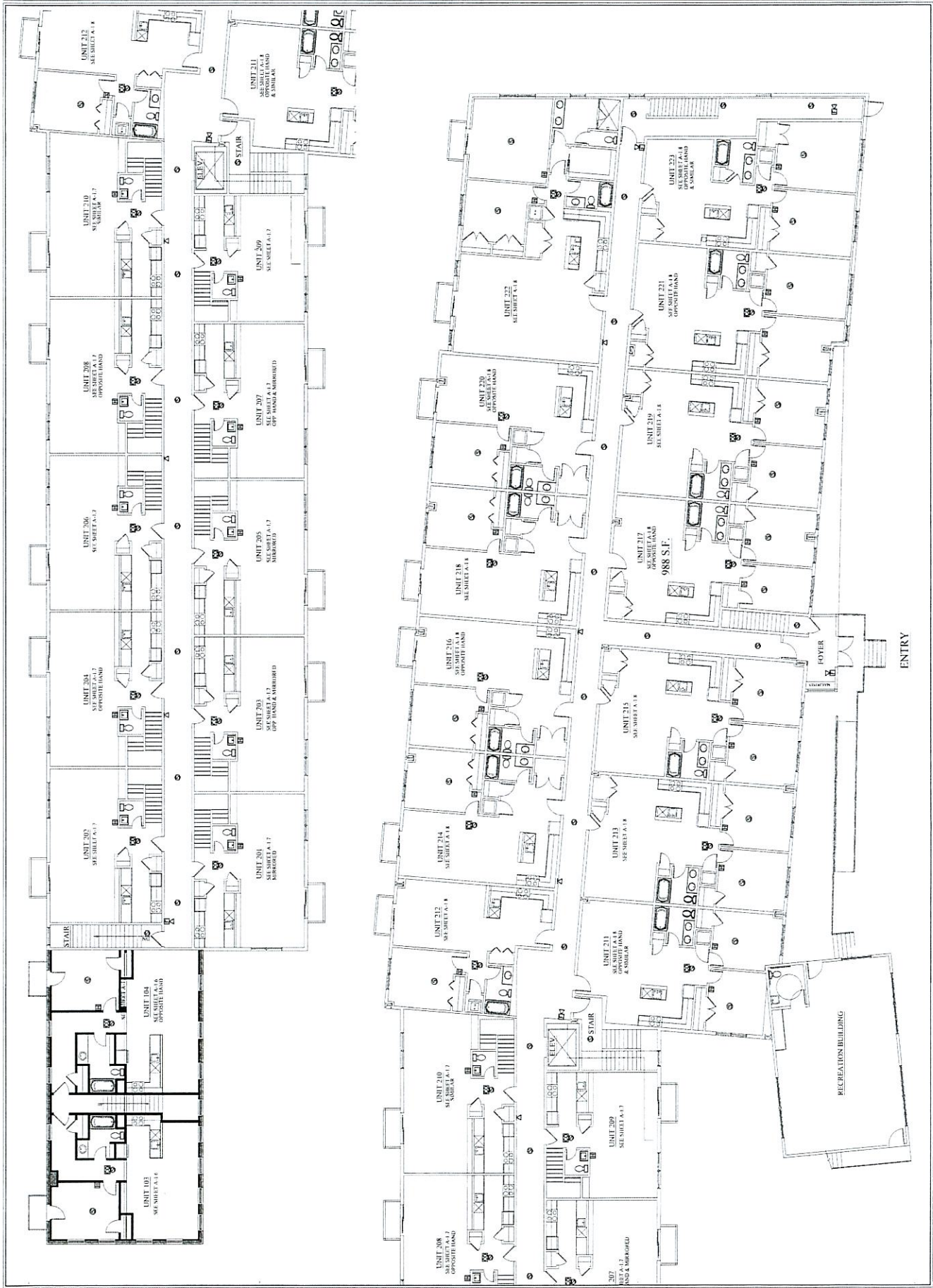


Drawing Title:
**Proposed
 First Floor
 Fire Alarm Plan**

- REVISIONS
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ISSUE DATES
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Drawing Sheet Number:
FA-1.1





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ISSUE DATES:

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Fire2 Review

Record No.SPWD-26-1

Status Completed

Became Active March 30, 2026

Type Approval

Due Date None

Assignee Robert Irvine

Record No: SPWD-26-1

City Council – Waterfront District Permit

Status: Active

Submitted On: 3/9/2026

Primary Location

2 SOUTH GROVE ST Unit MAIN
BLDNG
Bradford, MA 01835

Owner

SOUTH GROVE STREET OWNER LLC
MERRIMACK STREET 290
LAWRENCE, MA 01843

Applicant

 Robert Harb
 978-373-5611
 bobharb@aol.com
 40 Kenoza Avenue
Haverhill, MA 01830

Step Activity

OpenGov system activated this step	03/30/2026 at 1:55 pm
OpenGov system assigned this step to Robert Irvine	03/30/2026 at 1:56 pm
Robert Irvine added comment "T..."	03/30/2026 at 2:41 pm
Robert Irvine approved this step	03/30/2026 at 2:41 pm

South Grove St

A	B	C	D	E	F	G	H	I	J	K	L
ParcelID	StreetNum	AltStreetNm	StreetName	LocCity	CondoUnit	Owner1	BillingAddress	City	State	Zip	
1	701-630-8	25	SOUTH RIVER ST	Haverhill		FRASCONE GEORGE E	25 SO RIVER ST	BRADFORD	MA	01835	
2	701-630-9	38	RAILROAD ST	Haverhill		38RSB LLC	42 BRENTWOOD RD	CHELMSFORD	MA	01824	
3	701-630-A		RAILROAD ST	Haverhill		CITY OF HAVERHILL	4 SUMMER ST	HAVERHILL	MA	01830	
4	701-630-B		RAILROAD ST	Haverhill		CITY OF HAVERHILL	4 SUMMER ST	HAVERHILL	MA	01830	
5	701-630-C		RAILROAD ST	Haverhill		CITY OF HAVERHILL	4 SUMMER ST	HAVERHILL	MA	01830	
6	701-631-1	47	RAILROAD ST	Haverhill		EARLY CONTRACTORS INC	50 SOUTH MAIN ST	BRADFORD	MA	01835	
7	701-631-10	32	SOUTH KIMBALL ST	Haverhill		RODRIGUEZ JOHN III ETUX	32 SO KIMBALL ST	BRADFORD	MA	01835	
8	701-631-11	16	SOUTH CHARLES ST	BRADFORD		ROGERS GINA	10865 ALTA ST	GRASS VALLEY	CA	95945	
9	701-631-11A	28	SOUTH KIMBALL ST	BRADFORD		COBBETT REALTY TRUST	28 SOUTH KIMBALL ST	HAVERHILL	MA	01835	
10	701-631-12	14	SOUTH CHARLES ST	BRADFORD		LEBLANC JOSEPH E	14 SO CHARLES ST	BRADFORD	MA	01835	
11	701-631-13	12	SOUTH CHARLES ST	BRADFORD		PAULINO MAGNOLIA A	12 SO CHARLES STREET	BRADFORD	MA	01835	
12	701-631-14	6	SOUTH CHARLES ST	BRADFORD		LAUREANO DENISE	6 SOUTH CHARLES ST	BRADFORD	MA	01835	
13	701-631-14	6	SOUTH CHARLES ST	BRADFORD		MARCELLINO MARCELO D	4 SOUTH CHARLES ST	BRADFORD	MA	01835	
14	701-631-15	4	SOUTH CHARLES ST	Haverhill		BUFFUM CYNTHIA A	1 SOUTH GROVE ST	BRADFORD	MA	01835	
15	701-631-2	1	SOUTH GROVE ST	Haverhill		JUSTICE STACEY C	5 SOUTH GROVE ST	BRADFORD	MA	01835	
16	701-631-4	5	SOUTH GROVE ST	Haverhill		NICHOLAS WILLIAM E III	3 S GROVE ST	BRADFORD	MA	01835	
17	701-631-4A	3	SOUTH GROVE ST	Haverhill		LAPIERRE BETH	7 SOUTH GROVE ST	HAVERHILL	MA	01835	
18	701-631-5	7	SOUTH GROVE ST	Haverhill		MATTHIEU RONALD	645 HILLDALE AV	HAVERHILL	MA	01832	
19	701-631-6	9	SOUTH GROVE ST	Haverhill		FLAHERTY PATRICK J-ETAL	13 SOUTH GROVE STREET	BRADFORD	MA	01835	
20	701-631-7	13	SOUTH GROVE ST	Haverhill		MOULISON JAMES F-ETUX	38 SOUTH KIMBALL ST	BRADFORD	MA	01835	
21	701-631-8	38	SOUTH KIMBALL ST	Haverhill		SAADI INVESTMENT TRUST	489 EAST BROADWAY	HAVERHILL	MA	01830	
22	701-631-9	34	SOUTH KIMBALL ST	Haverhill		LANTIGUA WILLY	15 RAILROAD ST	BRADFORD	MA	01835	
23	701-632-2	15	RAILROAD ST	Haverhill		GOULD LESLIE-ANN-ETUX	1 SOUTH CHARLES ST	BRADFORD	MA	01835	
24	701-632-3	1	SOUTH CHARLES ST	BRADFORD		GREENE JESSICA	5 SO CHARLES ST	BRADFORD	MA	01835	
25	701-632-3A	5	SOUTH CHARLES ST	BRADFORD		RODRIGUEZ JOSE H ETUX	7 SO CHARLES STREET	BRADFORD	MA	01835	
26	701-632-4	7	SOUTH CHARLES ST	BRADFORD		BUSWELL TRAVIS N-ETUX	11 SOUTH CHARLES ST	BRADFORD	MA	01835	
27	701-632-5	11	SOUTH CHARLES ST	BRADFORD		HADLEY SCOTT	15 SOUTH CHARLES ST	BRADFORD	MA	01835	
28	701-632-6	13	SOUTH CHARLES ST	Haverhill		EDWARD A BONENFANT TRUST	33 SO KIMBALL ST	BRADFORD	MA	01835	
29	701-634-6	33	SOUTH KIMBALL ST	Haverhill		MARTE TAIASHA	35 SOUTH KIMBALL ST	BRADFORD	MA	01835	
30	701-634-7	35	SOUTH KIMBALL ST	Haverhill		McLEAN ASHLEE	8-10 SOUTH GROVE ST	BRADFORD	MA	01835	
31	702-634-10	8	SOUTH GROVE ST	Haverhill		BUTTERFIELD BRANDYN	11 STONE ST	BRADFORD	MA	01835	
32	702-634-11	11	STONE ST	Haverhill		CAMERANO LINDSAY-ETAL	6 SOUTH GROVE ST	BRADFORD	MA	01835	
33	702-634-11A	6	SOUTH GROVE ST	Haverhill		FERNALD SHAWN M ETUX	1 STONE AVE	BRADFORD	MA	01835	
34	702-634-11B	9	STONE ST	Haverhill		MULLIN PAUL ETUX	3 COLE AV	BRADFORD	MA	01835	
35	702-634-12	3	COLE AVE	Haverhill		BENS LUGG FAMILY REVOCABLE TRU	6 COLLEGE CIRCLE	ANDOVER	MA	01810	
36	702-634-5	44	SOUTH KIMBALL ST	Haverhill		FULLER CARRIE J	1 COLE AVE	BRADFORD	MA	01835	
37	702-634-5A	1	COLE AVE	Haverhill		THOMAS JORDAN-ETAL	42 SOUTH KIMBALL ST	BRADFORD	MA	01835	
38	702-634-6	42	SOUTH KIMBALL ST	Haverhill		GRANILLOS ANA R	18 SOUTH GROVE ST	BRADFORD	MA	01835	
39	702-634-8	18	SOUTH GROVE ST	Haverhill		WALL JOSEPH W	12 SOUTH GROVE ST	BRADFORD	MA	01835	
40	702-634-9	12	SOUTH GROVE ST	Haverhill		CIOTO AND JOHNSON DEVELOPMENT LLC	256 WASHINGTON ST	BOXFORD	MA	01921	
41	702-635-1	58	RAILROAD ST	Haverhill		CIOTO AND JOHNSON DEVELOPMENT LLC	256 WASHINGTON ST	BOXFORD	MA	01921	
42	702-635-2	60	RAILROAD ST	Haverhill		T AND A REALTY TRUST	20 SOUTH MILL ST	BRADFORD	MA	01843	
43	702-635-4		SOUTH MILL ST	Haverhill		SOUTH GROVE STREET OWNER LLC	290 MERRIMACK ST, Unit 210	LAWRENCE	MA	01843	
44	702-636-1	2	SOUTH GROVE ST	Haverhill		JALBERT PAULA J	4 COLE AVE	BRADFORD	MA	01835	
45	702-636-15	4	COLE AVE	Haverhill		LAVALLEE ROBERT-ETUX	2 COLE AVE	BRADFORD	MA	01835	
46	702-636-15	2	COLE AVE	Haverhill		ALLEN JAMES A-ETUX	4 SOUTH GROVE ST	BRADFORD	MA	01835	
47	702-636-1B	4	SOUTH GROVE ST	Haverhill		SOUTH GROVE STREET OWNER LLC	290 MERRIMACK ST, Unit 210	LAWRENCE	MA	01843	
48	702-636-1C		SOUTH GROVE ST	Haverhill		THE ANGELA MARIA REALTY TRUST	58 SO KIMBALL ST	BRADFORD	MA	01835	
49	702-636-2	58	SOUTH KIMBALL ST	Haverhill		FIFTY FOUR SOUTH KIMBALL REALTY TRUST	58 SOUTH KIMBALL ST	BRADFORD	MA	01835	
50	702-636-3	54	SOUTH KIMBALL ST	Haverhill		GUZMAN HECTOR PAULA	50 SOUTH KIMBALL ST	HAVERHILL	MA	01835	
51	702-636-4	50	SOUTH KIMBALL ST	Haverhill		BOYD CATHERINE M-ETUX	24 SOUTH GROVE ST	BRADFORD	MA	01835	
52	702-637-10	24	SOUTH GROVE ST	Haverhill		NOONAN DENNIS E-ETUX	41 SO KIMBALL ST	BRADFORD	MA	01835	
53	702-637-2	41	SOUTH KIMBALL ST	Haverhill							

	A	B	C	D	E	F	G	H	I	J	K	L
54	702-637-3	43		SOUTH KIMBALL ST	HAVERRILL		FOLEY CHARLES J III	43 SOUTH KIMBALL ST	BRADFORD	MA	01835	
55	702-637-4	5		POND ST	HAVERRILL		FIV PARTNERS SOLUTIONS, LLC	35 VILLAGE RD, Unit 100	MIDDLETON	MA	01949	
56	702-638-1	2		POND ST	HAVERRILL		MARTINEZ MARIA	2 POND ST	BRADFORD	MA	01835	
57	702-638-15A	3		COTTAGE PL	HAVERRILL		BYERLEY JACKI	3 COTTAGE PLACE	BRADFORD	MA	01835	
58	702-638-2	55		SOUTH KIMBALL ST	HAVERRILL		ADHAMI MIRIOLA	55 SOUTH KIMBALL ST	BRADFORD	MA	01835	
59	702-638-22	6		POND ST	HAVERRILL		CHISNALL JODIE P	6 POND ST	BRADFORD	MA	01835	
60	702-638-3	57		SOUTH KIMBALL ST	HAVERRILL		DOYLE KATHLEEN M-ETALI	57 SO KIMBALL ST	BRADFORD	MA	01835	
61	702-638-4-59A	59		SOUTH KIMBALL ST	HAVERRILL	A	BRADISH SCOTT M ETUX	59 SOUTH KIMBALL ST #A	BRADFORD	MA	01835	
62	702-638-4-59B	59		SOUTH KIMBALL ST	HAVERRILL	B	HAMIDINE MILOUD-ETUX	59B SOUTH KIMBALL ST	BRADFORD	MA	01835	
63	702-638-6	61		SOUTH KIMBALL ST	HAVERRILL		THE JANE C. HUCKS IRREVOCABLE TRUST	1 SOUTH MAPLE ST	HAVERRILL	MA	01835	
64	702-638-6A	2		COTTAGE PL	HAVERRILL		DOHERTY THEODORE JOSEPH	2 COTTAGE PLACE	HAVERRILL	MA	01835	
65	702-638-7	63		SOUTH KIMBALL ST	HAVERRILL		WHEELER LINDA M-LIFE EST	63 SOUTH KIMBALL ST	BRADFORD	MA	01835	
66	702-638-8	65		SOUTH KIMBALL ST	HAVERRILL		SHEPHARD JEFFREY M.	65 SOUTH KIMBALL STREET	HAVERRILL	MA	01835	
67	728-707-1	72		SOUTH KIMBALL ST	HAVERRILL		PRIMROSE PLACE, LLC	145 LAKE SHORE ROAD	BOXFORD	MA	01921	
68	728-707-1A	66		SOUTH KIMBALL ST	HAVERRILL		INNOVATION CLEANING CO., LLC	66 SOUTH KIMBALL ST	BRADFORD	MA	01835	
69	728-708-2	100		SOUTH KIMBALL ST	HAVERRILL		100 SOUTH KIMBALL, LLC	P.O. BOX 40	MARBLEHEAD	MA	01945	
70	728-708-B			RAILROAD ST	HAVERRILL		CITY OF HAVERRILL	4 SUMMER ST	HAVERRILL	MA	01830	

701-630-8
FRASCONE GEORGE E ✓
25 SO RIVER ST
BRADFORD, MA 01835

701-630-9
38RSB LLC ✓
42 BRENTWOOD RD
CHELMSFORD, MA 01824

701-630-A
CITY OF HAVERHILL ✓
4 SUMMER ST
HAVERHILL, MA 01830

701-630-B
CITY OF HAVERHILL
4 SUMMER ST
HAVERHILL, MA 01830
Duplicate

701-630-C
CITY OF HAVERHILL
4 SUMMER ST
HAVERHILL, MA 01830
Duplicate

701-631-1
EARLY CONTRACTORS INC ✓
50 SOUTH MAIN ST
BRADFORD, MA 01835

701-631-10
RODRIGUEZ JOHN III ETUX ✓
32 SO KIMBALL ST
BRADFORD, MA 01835

701-631-11
ROGERS GINA ✓
10865 ALTA ST
GRASS VALLEY, CA 95945

701-631-11A
COBBETT REALTY TRUST ✓
28 SOUTH KIMBALL ST
HAVERHILL, MA 01835

701-631-12
LEBLANC JOSEPH E ✓
14 SO CHARLES ST
BRADFORD, MA 01835

701-631-13
PAULINO MAGNOLIA A ✓
12 SO CHARLES STREET
BRADFORD, MA 01835

701-631-14
LAUREANO DENISE ✓
6 SOUTH CHARLES ST
BRADFORD, MA 01835

701-631-15
MARCELLINO MARCELO D ✓
4 SOUTH CHARLES ST
BRADFORD, MA 01835

701-631-2
BUFFUM CYNTHIA A ✓
1 SOUTH GROVE ST
BRADFORD, MA 01835

701-631-4
JUSTICE STACEY C ✓
5 SOUTH GROVE ST
BRADFORD, MA 01835

701-631-4A
NICHOLAS WILLIAM E III ✓
3 S GROVE ST
BRADFORD, MA 01835

701-631-5
LAPIERRE BETH ✓
7 SOUTH GROVE ST
HAVERHILL, MA 01835

701-631-6
MATTHIEU RONALD ✓
645 HILLDALE AV
HAVERHILL, MA 01832

701-631-7
FLAHERTY PATRICK J-ETAL ✓
13 SOUTH GROVE STREET
BRADFORD, MA 01835

701-631-8
MOULISON JAMES F-ETUX ✓
38 SOUTH KIMBALL ST
BRADFORD, MA 01835

701-631-9
SAADI INVESTMENT TRUST ✓
489 EAST BROADWAY
HAVERHILL, MA 01830

701-632-2
LANTIGUA WILLY ✓
15 RAILROAD ST
BRADFORD, MA 01835

701-632-3
GOULD LESLIE-ANN-ETUX ✓
1 SOUTH CHARLES ST
BRADFORD, MA 01835

701-632-3A
GREENE JESSICA ✓
5 SO CHARLES ST
BRADFORD, MA 01835

701-632-4
RODRIGUEZ JOSE H ETUX ✓
7 SO CHARLES STREET
BRADFORD, MA 01835

701-632-5
BUSWELL TRAVIS N-ETUX ✓
11 SOUTH CHARLES ST
BRADFORD, MA 01835

701-632-6
HADLEY SCOTT ✓
15 SOUTH CHARLES ST
BRADFORD, MA 01835

701-634-6
EDWARD A BONENFANT TRUST ✓
33 SO KIMBALL ST
BRADFORD, MA 01835

701-634-7
MARTE TAISHA ✓
35 SOUTH KIMBALL ST
BRADFORD, MA 01835

702-634-10
McLEAN ASHLEE ✓
8-10 SOUTH GROVE ST
BRADFORD, MA 01835

702-634-11
BUTTERFIELD BRANDYN
11 STONE ST
BRADFORD, MA 01835 ✓

702-634-12
MULLIN PAUL ETUX
3 COLE AV
BRADFORD, MA 01835 ✓

702-634-6
THOMAS JORDAN-ETAL
42 SOUTH KIMBALL ST
BRADFORD, MA 01835 ✓

702-635-1
CIOTO AND JOHNSON DEVELOPMENT LLC
256 WASHINGTON ST
BOXFORD, MA 01921 ✓

702-636-1
SOUTH GROVE STREET OWNER LLC
290 MERRIMACK ST, Unit 210
LAWRENCE, MA 01843 ✓

702-636-1B
ALLEN JAMES A-ETUX
4 SOUTH GROVE ST
BRADFORD, MA 01835 ✓

702-636-3
FIFTY FOUR SOUTH KIMBALL REALTY TRUST
58 SOUTH KIMBALL ST
BRADFORD, MA 01835 ✓

702-637-2
NOONAN DENNIS E-ETUX
41 SO KIMBALL ST
BRADFORD, MA 01835 ✓

702-638-1
MARTINEZ MARIA
2 POND ST
BRADFORD, MA 01835 ✓

702-638-22
CHISNALL JODIE P
6 POND ST
BRADFORD, MA 01835 ✓

702-634-11A
CAMERANO LYNDASAY-ETAL
6 SOUTH GROVE ST
BRADFORD, MA 01835 ✓

702-634-5
BENS LUGG FAMILY REVOCABLE TRU
6 COLLEGE CIRCLE
ANDOVER, MA 01810 ✓

702-634-8
GRANILLOS ANA R
18 SOUTH GROVE ST
BRADFORD, MA 01835 ✓

702-635-2
CIOTO AND JOHNSON DEVELOPMENT LLC
256 WASHINGTON ST
BOXFORD, MA 01921 ✓ Duplicate

702-636-14
JALBERT PAULA J
4 COLE AVE
BRADFORD, MA 01835 ✓

702-636-1C
SOUTH GROVE STREET OWNER LLC
290 MERRIMACK ST, Unit 210
LAWRENCE, MA 01843 ✓

702-636-4
GUZMAN HECTOR PAULA
50 SOUTH KIMBALL ST
HAVERHILL, MA 01835 ✓

702-637-3
FOLEY CHARLES J III
43 SOUTH KIMBALL ST
BRADFORD, MA 01835 ✓

702-638-15A
BYERLEY JACKI
3 COTTAGE PLACE
BRADFORD, MA 01835 ✓

702-638-3
DOYLE KATHLEEN M-ETALI
57 SO KIMBALL ST
BRADFORD, MA 01835 ✓

702-634-11B
FERNALD SHAWN M ETUX
1 STONE AVE
BRADFORD, MA 01835 ✓

702-634-5A
FULLER CARRIE J
1 COLE AVE
BRADFORD, MA 01835 ✓

702-634-9
WALL JOSEPH W
12 SOUTH GROVE ST
BRADFORD, MA 01835 ✓

702-635-4
T AND A REALTY TRUST
20 SOUTH MILL ST
BRADFORD, MA 01835 ✓

702-636-15
LAVALLEE ROBERT-ETUX
2 COLE AVE
BRADFORD, MA 01835 ✓

702-636-2
THE ANGELA MARIA REALTY TRUST
58 SO KIMBALL ST
BRADFORD, MA 01835 ✓

702-637-10
BOYD CATHERINE M-ETUX
24 SOUTH GROVE ST
BRADFORD, MA 01835 ✓

702-637-4
FJV PARTNERS SOLUTIONS, LLC
35 VILLAGE RD, Unit 100
MIDDLETON, MA 01949 ✓

702-638-2
ADHAMI MIRJOLA
55 SOUTH KIMBALL ST
BRADFORD, MA 01835 ✓

702-638-4-59A
BRADISH SCOTT M ETUX
59 SOUTH KIMBALL ST #A
BRADFORD, MA 01835 ✓

702-638-4-59B
HAMIDINE MILOUD-ETUX ✓
59B SOUTH KIMBALL ST
BRADFORD, MA 01835

702-638-7
WHEELER LINDA M-LIFE EST ✓
63 SOUTH KIMBALL ST
BRADFORD, MA 01835

728-707-1A
INNOVATION CLEANING CO., LLC ✓
66 SOUTH KIMBALL ST
BRADFORD, MA 01835

702-638-6
THE JANE C. HUCKS IRREVOCABLE TRUST
1 SOUTH MAPLE ST ✓
HAVERHILL, MA 01835

702-638-8
SHEPHARD JEFFREY M. ✓
65 SOUTH KIMBALL STREET
HAVERHILL, MA 01835

728-708-2
100 SOUTH KIMBALL, LLC ✓
P.O. BOX 40
MARBLEHEAD, MA 01945

702-638-6A
DOHERTY THEODORE JOSEPH ✓
2 COTTAGE PLACE
HAVERHILL, MA 01835

728-707-1
PRIMROSE PLACE, LLC ✓
145 LAKE SHORE ROAD
BOXFORD, MA 01921

728-708-B
~~CITY OF HAVERHILL
4 SUMMER ST
HAVERHILL, MA 01830~~

Duplicate.

(65)

Event Permit

EVNT-26-5

Submitted On: Mar 17, 2026

Applicant

 Jeff Grassie
 9788727535
@ jeffgrassie@yahoo.com

Primary Location

10 CHURCH ST
Bradford, MA 01835

12.3.1

Organization Information

Organization

Haverhill Farmers Market

Organization Phone

978-872-7535

Organization Address

1153 West Lowell Ave.

Organization City

Haverhill

Organization State

Ma

Organization Zip

01832

Is the Organization Tax Exempt?

Yes

Is the Organization Non-Profit?

Yes

Is the Organization a House of Worship?

No

MAR 30 PM 4:02
HAUG CITY CLERK

Contact Information

Contact Name

Jeff Grassie

Contact Title

Farmers Market Manager

Contact Phone

978-872-7535

Contact Email

jeffgrassie@yahoo.com

Contact Address

1153 West Lowell Ave.

Contact City

Haverhill

Contact State

Ma

Contact Zip

01832

Property Owner Information

Property Owner Name

Peter Mills

Property Owner Phone

978-621-5152

Property Owner Address

10 Church Street(Bradford Common)

Property Owner City

Haverhill

Property Owner State

Ma

Property Owner Zip

01830

Is the Applicant the Property Owner?

No

Event Information

Description of event

Haverhill Farmers Market
Saturday's from 9-1pm, June 20-October 31

Type of Event

Other

IF OTHER, Please Specify

Farmers Market

Event Date

06/20/2026

Event Location

Bradford Common 10 Church Street

is the Event on Bradford Common?

Yes

Is the Event on City Property?

No

Event Venue

Outdoor

Number of Anticipated Attendees

900

Do attendees need to purchase a ticket to attend?

No

Is this event open to the public? Or private?

Public

Are You Requesting Additional Fees Be Waived? (APPLICATION FEE IS NOT WAIVABLE)

Yes

Event Start Time

9

Event End Time

1

Will Food Be Served/Sold at the Event?

Yes

IF YES TO FOOD, By What Means?

Food Stands

IF YES To FOOD, How Will it be Cooked?

Other

IF OTHER COOKING, Please Explain

electricity

Any Helpful Comments about Food

--

Special Considerations (i.e. fireworks)

No fireworks

Parking Information

Number of Parking Spaces Onsite

100

Have Off-site Parking Arrangements Been Made?

Yes

IF YES, Please Provide Details of Offsite Arrangements

Sacred Hearts Church & School parking lots

Are There Charges/Fees for Parking?

No

Sanitation Information

Number of Public Restrooms Available

Type of Toilets

Please Describe Plans for Solid Waste Disposal & Recycling

There are bathrooms in the church to us

General Release & Indemnity Agreement

Yes

true

Terms of Understanding

Yes

true



Building Inspector Approval

Record No. EVNT-26-5

Status Completed

Became Active March 17, 2026

Type Approval

Due Date None

Assignee Tom Bridgewater

Record No: EVNT-26-5

Event Permit

Status: Active

Submitted On: 3/17/2026

Applicant



Jeff Grassie



978-872-7535



jeffgrassie@yahoo.com



1153 West Lowell Ave.

Haverhill, MA 01832-1155

Messages

No comments yet.



Fire Inspector Approval

Record No. EVNT-26-5

Status Completed

Became Active March 17, 2026

Type Approval

Due Date None

Assignee Eric Tarpy

Record No: EVNT-26-5

Event Permit

Status: Active

Submitted On: 3/17/2026

Applicant

 Jeff Grassie
 978-872-7535
 jeffgrassie@yahoo.com
 1153 West Lowell Ave.
Haverhill, MA 01832-1155

Messages

Eric Tarpy

March 17, 2026 at 3:29 pm

Cones to be placed to prevent parking at entrance to Church Street (on bend) from South Main Street to allow for fire apparatus access to Church Street.



Health Inspector Approval

Record No. EVNT-26-5

Status Completed

Became Active March 17, 2026

Type Approval

Due Date None

Assignee Neil Gouveia

Record No: EVNT-26-5

Event Permit

Status: Active

Submitted On: 3/17/2026

Applicant



Jeff Grassie



978-872-7535



jeffgrassie@yahoo.com



1153 West Lowell Ave.

Haverhill, MA 01832-1155

Messages

No comments yet.



Police Department Approval

Record No. EVNT-26-5

Status Completed

Became Active March 17, 2026

Type Approval

Due Date None

Assignee Kevin Lynch

Record No: EVNT-26-5


Event Permit

Status: Active

Submitted On: 3/17/2026

Applicant

 Jeff Grassie

 978-872-7535

 jeffgrassie@yahoo.com

 1153 West Lowell Ave.

Haverhill, MA 01832-1155

Messages

No comments yet.



Public Works Director Approval

Record No. EVNT-26-5

Status Completed

Became Active March 17, 2026

Type Approval

Due Date None

Assignee Robert Kimball

Record No: EVNT-26-5

Event Permit

Status: Active

Submitted On: 3/17/2026

Applicant



Jeff Grassie



978-872-7535



jeffgrassie@yahoo.com



1153 West Lowell Ave.

Haverhill, MA 01832-1155

Messages

No comments yet.

The First Church of Christ, Bradford

**10 Church Street
Bradford, Massachusetts 01835
978-374-1141
office @fccbradford.org**

January 27, 2026

Dear City Council President Thomas and members of Haverhill City Council:

Please be advised the Trustees of the First Church of Christ – Bradford, MA. grant permission to use of the Bradford Common to the Haverhill FARMERS MARKET c/o Jeff Grassie for each Saturday from 9AM to 1PM between June 20th thru October 31st 2026

Our approval is contingent upon meeting all Haverhill City Council, Haverhill Police Department and our Board of Trustees requirements.

Please contact us thru the Church office (telephone number and e-mail address above) if you have any questions or concerns,

Very truly yours; *Steven R Esty*

Steven Esty, President Board of Trustees



Department of the Treasury
Internal Revenue Service
Tax Exempt and Government Entities

CREATIVE HAVERHILL INC
PO BOX 205
HAVERHILL, MA 01831-0205

Date:

July 23, 2019

Person to contact:

Name: Mr. Flammer

ID number: 0203064

Employer ID number:

22-2539427

Form 990 required:

Yes

(they are our Fiscal Agent)

Dear Sir or Madam:

We're responding to your request dated June 4, 2019 about your tax-exempt status.

We issued you a determination letter in May, 1987 recognizing you as tax-exempt under Internal Revenue Code (IRC) Section 501(c)(3).

We also show you're not a private foundation as defined under IRC Section 509(a) because you're described in IRC Sections 509(a)(1) and 170(b)(1)(A)(vi).

Donors can deduct contributions they make to you as provided in IRC Section 170. You're also qualified to receive tax-deductible bequests, legacies, devises, transfers, or gifts under IRC Sections 2055, 2106, and 2522.

In the heading, we indicated whether you must file an annual information return. If you're required to file a return, you must file one of the following by the 15th day of the 5th month after the end of your annual accounting period.

- Form 990, Return of Organization Exempt From Income Tax
- Form 990-EZ, Short Form Return of Organization Exempt From Income Tax
- Form 990-N, Electronic Notice (e-Postcard) for Tax-Exempt Organizations Not Required to File Form 990 or Form 990EZ
- Form 990-PF, Return of Private Foundation or Section 4947(a)(1) Trust Treated as Private Foundation

According to IRC Section 6033(j), if you don't file a required annual information return or notice for 3 consecutive years, we'll revoke your tax-exempt status on the due date of the 3rd required return or notice.

Letter 4168 (2-2018)
Catalog Number 68866G

General Release & Indemnity Agreement

The Above organization in consideration of the permit granted by the City Council as above requested hereby remises, releases and forever discharges the City of Haverhill, its respectful employees, agents and attorneys from all manner of actions, causes of actions, debts, dues, claims and demands both in law and in equity, more especially any and all claims as a result of the issuance of this permit or use of any City Property, including, but not limited to, property damages and personal injuries resulting from the same.

Signature of Authorized
Agent of Organization:

John Cassio

Date:

3/17/26

Signature Witnessed By: _____

Date: _____

City Council will hear this request for application on:

_____ at _____
(date) (time)

Applicant must attend: Yes _____ No _____

Licensee is solely responsible for the cost of any damage that occurs to public property or extraordinary expense necessary for the public safety as a result of the public event, exhibition, show or amusement.

Licensee shall be responsible for the cost of any police or fire official(s) required by the City Council to be attendance at the event.

Market Certificates

+ Add Certificate ▾

🔍 Search certificates...

City of Haverhill 4 Summer Street Haverhill, Ma. 01830 

First Church of Christ 10 Church Street Bradford, MA 01835

 Delete

 Download Certificate

Creative Haverhill 

351 S. Main Street
Haverhill, MA 01835

 Delete

 Download Certificate

Haverhill Farmers Market 

51 Merrimack St
Haverhill, MA 01830


 Delete

 Download Certificate

City of Haverhill 

4 Summer Street
Haverhill, MA 01830

 Delete

 Download Certificate



Event Permit

EVNT-26-6

Submitted On: Mar 23, 2026

Applicant

 Dustin MacIver
 978-914-5877
@ dustinmaciver@gmail.com

Primary Location

10 CHURCH ST
Bradford, MA 01835

12.3.2

Organization Information

Organization

Haverhill Garden Club

Organization Phone

978-846-1516

Organization Address

19 Lakeside Street

Organization City

Haverhill

Organization State

Massachusetts

Organization Zip

01830

Is the Organization Tax Exempt?

Yes

Is the Organization Non-Profit?

Yes

APR 1 AM8:22
HAUCITYCLERK

Is the Organization a House of Worship?

No

Contact Information

Contact Name

Dustin MacIver

Contact Title

Plant Sale Co-Chair

Contact Phone

978-914-5877

Contact Email

DustinMacIver@gmail.com

Contact Address

1019 West Lowell Ave

Contact City

Haverhill

Contact State

MA

Contact Zip

01832

Property Owner Information

Property Owner Name

Trustees of the First Church of Christ - Bradford, MA

Property Owner Phone

978-374-1141

Property Owner Address

10 Church Street

Property Owner City

Bradford

Property Owner State

MA

Property Owner Zip

01835

Is the Applicant the Property Owner?

No

Event Information

Description of event

The Haverhill Garden Club's annual plant sale which raises funds to support students pursuing higher education in agriculture.

Type of Event

Other

IF OTHER, Please Specify

Plant Sale

Event Date

05/16/2026

Event Location

Bradford Common

is the Event on Bradford Common?

Yes

Is the Event on City Property?

No

Event Venue

Outdoor

Number of Anticipated Attendees

500

Do attendees need to purchase a ticket to attend?

No

Is this event open to the public? Or private?

Public

Are You Requesting Additional Fees Be Waived? (APPLICATION FEE IS NOT WAIVABLE)

Yes

Event Start Time

8:00 AM

Event End Time

12:00 PM

Will Food Be Served/Sold at the Event?

No

Any Helpful Comments about Food

--

Special Considerations (i.e. fireworks)

N/A

Parking Information

Number of Parking Spaces Onsite

15

Have Off-site Parking Arrangements Been Made?

Yes

IF YES, Please Provide Details of Offsite Arrangements

As with past events, Haverhill Garden Club members and plant sale visitors must park only in permitted areas. The club will actively enforce this by placing cones around the common to restrict parking to approved spaces, and will emphasize that all off-street parking must be in valid, designated spots only

Are There Charges/Fees for Parking?

No

Sanitation Information

Number of Public Restrooms Available

Type of Toilets

Please Describe Plans for Solid Waste Disposal & Recycling

As with past events, the Haverhill Garden Club will handle all trash disposal using on-site receptacles. Any large recyclable items will be collected and removed by the club for proper off-site disposal.

General Release & Indemnity Agreement

Yes

true

Terms of Understanding

Yes

true



City Clerk Approval

Record No. EVNT-26-6

Status Completed

Became Active March 25, 2026

Type Approval

Due Date None

Assignee Natalia Hernandez

Record No: EVNT-26-6

Event Permit

Status: Active

Submitted On: 3/23/2026

Applicant



Dustin MacIver



978-914-5877



dustinmaciver@gmail.com



1019 W Lowell Ave

Haverhill, MA 01832-1146

Messages

Kaitlin Wright

April 1, 2026 at 8:21 am

Please be sure to submit an updated certificate of insurance prior to the event.



Building Inspector Approval

Record No. EVNT-26-6

Status Completed

Became Active March 26, 2026

Type Approval

Due Date None

Assignee Tom Bridgewater

Record No: EVNT-26-6

Event Permit

Status: Active

Submitted On: 3/23/2026

Applicant



Dustin MacIver



978-914-5877



dustinmaciver@gmail.com



1019 W Lowell Ave

Haverhill, MA 01832-1146

Messages

No comments yet.



Fire Inspector Approval

Record No. EVNT-26-6

Status Completed

Became Active March 26, 2026

Type Approval

Due Date None

Assignee Eric Tarpy


Record No: EVNT-26-6

Event Permit

Status: Active

Submitted On: 3/23/2026

Applicant

 Dustin MacIver

 978-914-5877

 dustinmaciver@gmail.com

 1019 W Lowell Ave

Haverhill, MA 01832-1146

Messages

No comments yet.



Police Department Approval

Record No. EVNT-26-6

Status Completed

Became Active March 26, 2026

Type Approval

Due Date None

Assignee Kevin Lynch

Record No: EVNT-26-6

Event Permit

Status: Active

Submitted On: 3/23/2026

Applicant



Dustin MacIver



978-914-5877



dustinmaciver@gmail.com



1019 W Lowell Ave

Haverhill, MA 01832-1146

Messages

No comments yet.



Public Works Director Approval

Record No. EVNT-26-6

Status Completed

Became Active March 26, 2026

Type Approval

Due Date None

Assignee Robert Kimball

Record No: EVNT-26-6

Event Permit

Status: Active

Submitted On: 3/23/2026

Applicant



Dustin MacIver



978-914-5877



dustinmaciver@gmail.com



1019 W Lowell Ave

Haverhill, MA 01832-1146

Messages

No comments yet.

TAYLOR RENTAL CENTER

531 BROADWAY
HAVERHILL, MA 01832
www.mypartyplus.com

978-374-0136 Phone

Status: Reservation
Contract #: 72723

Event Beg: Fri 5/15/2026 8:00AM
Event End: Mon 5/18/2026 4:00PM
Operator: Andy R

Customer #: 5449

HAVERHILL GARDEN CLUB
166 CEDAR ST
HAVERHILL MA 01830

Phone 978-373-0441
Mobile 978-837-2093

Qty	Key	Items	Part#	Status	Each	Price
25	071-0901-1	TABLE, BANQUET 8'		Reserved	\$10.95	\$273.75
8	071-1101-1	CHAIR, BROWN SAMSONITE	W/#45	Reserved	\$1.95	\$15.60
1	MISC	DELIVERY, MISCELLANEOUS CHARGE		Selling	\$150.00	\$150.00

Delivery Fri 5/15/2026

TRUDI 978-973-4555
WILL BE THERE
BRADFORD COMMON
HAVERHILL MA 01830

Pickup Mon 5/18/2026

TRUDI 978-973-4555
WILL BE THERE
BRADFORD COMMON
HAVERHILL MA 01830

deliver to Bradford commons
DUSTIN MACIVER- 978-914-5877
CALL TRUDI OR DUSTIN ON THE WAY

What day is the event: 5/18/24

Cancellations will result in a 25% reservation fee

Payments made on this contract:

Rental/Sale Paid	\$0.00	Fri 12/26/2025 1:10PM Credit Card M/C 5*****7354 Auth:072369
Total	\$0.00	

Check Credit Card Deposit Received	\$0.00
------------------------------------	--------

Rental Contract

The back of this contract contains important terms and conditions, including Taylor's disclaimer of all liability for injury or damage and details of Renter's responsibilities to care for and return the item(s) rented. They are part of this contract- Read them. "I have read and understand the terms & conditions listed on the face and reverse hereof, specifically item 3."

Delivery is door to door only, no exceptions will be made.
"Please" keep all rented equipment secure.
You are responsible for theft.
Tables & chairs must be folded & stacked for pick up.
Folding and stacking charges are \$5.00 per table & 1.00 per chair.
Reservation fees are non-refundable or non transferable.

All delivery and pick up times are estimated and are subject to change with or without notice

Signature:

HAVERHILL GARDEN CLUB

Rental:	\$289.35
Damage Waiver:	\$28.94
Delivery Charge:	\$150.00
Subtotal:	\$468.29
Total:	\$468.29
Paid:	\$0.00
Amount Due:	\$468.29

Haverhill Garden Club

c/o Kathleen Fitts
31 Eastland Terrace
Haverhill, MA 01830
508-265-4820
haverhillgardenclub@gmail.com

March 23, 2026

Haverhill City Council
4 Summer Street
Haverhill, MA 01830

HAU CITY CLERK MAR23'26 14:46

Dear Councilors,

The Haverhill Garden Club, in consideration of the permit granted by the City Council, hereby remises, releases and forever discharges the City of Haverhill, its respective employees, agents and attorneys from all manner of actions, causes of actions, debts, dues, claims and demands both in law and in equity, more especially any and all claims as a result of the issuance of this permit or use of any City Property, including, but not limited to, property damages and personal injuries resulting from the same.

We understand that the garden club is solely responsible for the cost of any damage that occurs to public property or extraordinary expense necessary for the public safety as a result of the public event, exhibition, show or amusement. The club shall be responsible for the cost of any police or fire official(s) required by the City Council to be attendance at the event.

Sincerely,



Kathleen Fitts
Secretary



Request for Taxpayer Identification Number and Certification

Give this Form to the
requestor or the
department you are doing
business with.

► Online instructions at: macomptroller.org/wp-content/uploads/instructions_w-9.pdf

1 Business name/Taxpayer (as shown on your income tax return). Name is required on this line; do not leave this line blank.

Haverhill Garden Club

2 Business name/disregarded entity name/dba, if different from above.

3 Check appropriate box for federal tax classification of the person whose name is entered on line 1.
Check only **one** of the following seven boxes.

Individual/sole proprietor or single-member LLC C Corporation S Corporation Partnership Trust/estate

Limited liability company. Enter the tax classification (C=C corporation, S=S corporation, P=Partnership) ► _____

Note: Check the appropriate box in the line above for the tax classification of the single-member owner. Do **not** check LLC if the LLC is classified as a single-member LLC that is disregarded from the owner unless the owner of the LLC is another LLC that is not disregarded from the owner for U.S. federal tax purposes. Otherwise, a single-member LLC that is disregarded from the owner should check the appropriate box for the tax classification of its owner.

Other (see instructions) ► **non profit**

4 Exemptions (codes apply only to certain entities, not individuals; see instructions on Page 4):

Exempt payee code (if any): _____

Exemption from FATCA reporting code (if any): _____

(Applies to accounts maintained outside the U.S.)

5 Legal Address (number, street, and apt. or suite no.) See instructions.

19 Lakeside Street

6 City, state, and ZIP code

Haverhill, MA 01830

Requester's name and address (optional)

Carol Ann Goldberg-Aydin

19 Lakeside Street

Haverhill, MA 01830

7 Remittance Address (if different from Legal Address)

Print or type.
See Specific Instructions on page 3.

Part I Taxpayer Identification Number (TIN)

Enter your TIN in the appropriate box. The TIN provided must match the name given on line 1 to avoid backup withholding. For individuals, this is generally your social security number (SSN). However, for a resident alien, sole proprietor, or disregarded entity, see the instructions for Part I, on Page 5. For other entities, it is your employer identification number (EIN). If you do not have a number, see *How to get a TIN*, on Page 5.

Social security number

____ - ____ - _____

or

Employer identification number

0 4 - 6 1 7 3 4 5 5

Note: If the account is in more than one name, see the instructions for line 1. Also see *What Name and Number to Give the Requester* for guidelines on whose number to enter.

DUNS Number

Please confirm with the state agency if this is required for vendors receiving federal funds.

Unique Entity Identifier (SAM)

As of April 4, 2022, all vendors that receive federal grant funds must submit their Unique Entity Identifier registered in the System of Awards Management (SAM).

Part II Certification

Under penalties of perjury, I certify that:

- The number shown on this form is my correct taxpayer identification number (or I am waiting for a number to be issued to me); and
- I am not subject to backup withholding because: (a) I am exempt from backup withholding, or (b) I have not been notified by the Internal Revenue Service (IRS) that I am subject to backup withholding as a result of a failure to report all interest or dividends, or (c) the IRS has notified me that I am no longer subject to backup withholding; and
- I am a U.S. citizen or other U.S. person (defined below); and
- The FATCA code(s) entered on this form (if any) indicating that I am exempt from FATCA reporting is correct.

Certification instructions. You check the following box if you have been notified by the IRS that you are currently subject to backup withholding because you have failed to report all interest and dividends on your tax return. For real estate transactions, item 2 does not apply. For mortgage interest paid, acquisition or abandonment of secured property, cancellation of debt, contributions to an individual retirement arrangement (IRA), and generally, payments other than interest and dividends, you are not required to sign the certification, but you must provide your correct TIN. See the instructions for Part II, on Page 5.

Item 2 does not apply.

5. I am an active Commonwealth of Massachusetts state employee: (check one) Yes No

If yes, I certify compliance with the Massachusetts State Ethics Commission requirements at <https://www.mass.gov/ethics>.

Sign Here

Signature of U.S. person ►

Date ► 01/04/2024

The First Church of Christ, Bradford
10 Church Street
Bradford, Massachusetts 01835
978-374-1141
office @fccbradford.org

March 6, 2026

Dear City Council President Thomas and members of Haverhill City Council:

Please be advised the Trustees of the First Church of Christ – Bradford, MA. grant permission to use of the Bradford Common to: Haverhill Garden Club c/o Dustin Maciver on Saturday May 16, 2026.

Our approval is contingent upon meeting all Haverhill City Council, Haverhill Police Department and our Board of Trustees requirements.

Please contact us thru the Church office (telephone number and e-mail address above) if you have any questions or concerns,

Very truly yours; *Steven R Esty*

Steven Esty, President Board of Trustees



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

04/01/2025

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Alera Group, Inc. 500 Faunce Corner Road Dartmouth MA 02747	CONTACT NAME: Kathleen Fuller PHONE (A/C, No, Ext): (508) 995-4553 E-MAIL ADDRESS: kathleen.fuller@aleragroup.com	FAX (A/C, No): (508) 995-4525
	INSURER(S) AFFORDING COVERAGE	
INSURED Garden Club Federation of Massachusetts, Inc. 400 5th Ave Ste 110 Waltham MA 02451	INSURER A: Philadelphia Indemnity Ins. Co NAIC # 18058	
	INSURER B:	
	INSURER C:	
	INSURER D:	
	INSURER E:	
	INSURER F:	

COVERAGES

CERTIFICATE NUMBER: 25-26 GL BAP UMB

REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC OTHER:	Y		PHPK2681203	05/01/2025	05/01/2026	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 1,000,000 MED EXP (Any one person) \$ 20,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 3,000,000 PRODUCTS - COMP/OP AGG \$ 3,000,000
A	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO OWNED AUTOS ONLY <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS NON-OWNED AUTOS ONLY			PHPK2681203	05/01/2025	05/01/2026	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input checked="" type="checkbox"/> RETENTION \$ 10,000			PHUB909608	05/01/2025	05/01/2026	EACH OCCURRENCE \$ 1,000,000 AGGREGATE \$ 1,000,000
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below		N/A				PER STATUTE OTH-ER E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Haverhill Garden Club-May 17, 2025 Plant Sale.

City of Haverhill is additional insured as respect the general liability when required by written contract.

CERTIFICATE HOLDER**CANCELLATION**City of Haverhill
4 Summer St

Haverhill

MA 01830

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE



AGENCY CUSTOMER ID: 00136653

LOC #: _____

ADDITIONAL REMARKS SCHEDULE

Page _____ of _____

AGENCY Alera Group, Inc.		NAMED INSURED Garden Club Federation of Massachusetts, Inc.	
POLICY NUMBER		EFFECTIVE DATE:	
CARRIER	NAIC CODE		

ADDITIONAL REMARKS

THIS ADDITIONAL REMARKS FORM IS A SCHEDULE TO ACORD FORM,

FORM NUMBER: 25 **FORM TITLE:** Certificate of Liability Insurance: Notes

Coverage is excluded for the following events:

- Parades sponsored by the Insured
- Shooting activities
- Fireworks
- Carnivals and fairs with mechanical rides sponsored by the Insured
- Events including contact sports
- Rodeos sponsored by the Insured
- Political Rallies
- Any event with greater than 2,500 people at any one time (including otherwise acceptable events)
- Any event with liquor provided by the Insured if a license is required for such activity.



MASSACHUSETTS DEPARTMENT OF REVENUE

Form ST-2

Certificate of Exemption

HAVERHILL GARDEN CLUB
226 KENOZA ST
HAVERHILL MA 01830-4319

MA Taxpayer ID: 11170999
Certificate Number: 163502080

This certifies that the organization named above is an exempt purchaser under Chapter 64H, section 6(d) or (e) of the Massachusetts General Laws. All purchases of tangible personal property by this organization are exempt from taxation to the extent that such property is used in the conduct of the business of the purchaser. Misuse of this certificate by any tax-exempt organization or unauthorized use of this certificate by any individual will lead to revocation. Willful misuse of this certificate is subject to criminal sanctions of up to one year in prison and \$10,000 (\$50,000 for corporations) in fines. This certificate is non-transferable and may be suspended or revoked for failure to comply with state laws and regulations.

Effective Date: December 9, 2019

Expiration Date: December 8, 2029

Tag Day Permit

TAGD-26-8

Submitted On: Mar 31, 2026

Applicant

 Karen Doody
 6177338665
@ kph305@hotmail.com

12.5.1

APR 2 PM 1:58
HAVERHILL CITY CLERK

Organization Information

Organization

Haverhill High School Varsity Lacrosse

Organization Phone

978-374-5700

Organization Address

137 Monument St.

Organization City

Haverhill

Organization State

MA

Organization Zip

01830

Is the Organization Tax Exempt?

No

Is the Organization Non-Profit?

No

Is your organization affiliated with the Haverhill Public School system?

Yes

Is the Applicant a Haverhill Resident

Yes

Off-Street Locations Information [OFF-STREET LOCATIONS NOT PERMITTED]

How Many Locations Will You Cover?

4

Location 1

400 Lowell Ave. Haverhill

Location 2

2 Water St. Haverhill

Location 3

285 Lincoln Ave Haverhill

Location 4

781 River St. Haverhill

Date Information -MAXIMUM 3 CONSECUTIVE DAYS

How Many Dates Will the Event Include?

1

Date #1

05/09/2026



City Clerk Approval

Record No. TAGD-26-8

Status Completed

Became Active March 31, 2026

Type Approval

Due Date None

Assignee Kaitlin Wright

Record No: TAGD-26-8

Tag Day Permit

Status: Active

Submitted On: 3/31/2026

Applicant

 Karen Doody
 617-733-8665
 kph305@hotmail.com
 57 Eastland Ter
Haverhill, MA 01830

Messages

No comments yet.



Police Approval

Record No. TAGD-26-8

Status Completed

Became Active March 31, 2026

Type Approval

Due Date None

Assignee Kevin Lynch

Record No: TAGD-26-8

Tag Day Permit

Status: Active

Submitted On: 3/31/2026

Applicant



Karen Doody



617-733-8665



kph305@hotmail.com



57 Eastland Ter
Haverhill, MA 01830

Messages

No comments yet.



Re: Tagging Request

From Paris Kyriakou <dropcafe22@gmail.com>

Date Mon 3/23/2026 2:55 PM

To Karen Doody <kph305@hotmail.com>

Hello Karen!!

Yes absolutely that works for us

Please email me again when we get closer

Thank you

On Fri, Mar 20, 2026 at 1:34 PM Karen Doody <kph305@hotmail.com> wrote:

Hello,

My name is Karen Doody and I'm writing to request permission for the Haverhill High Girls Lacrosse Team to hold a tag day at Drop Cafe the weekend of May 9th to assist in team fundraising. I am in the process of obtaining a permit from the city of Haverhill, however, to obtain that I need a letter with permission from the businesses we plan to tag at. If you are able to send permission by responding to this email, I will submit that to the city website.

My contact information is as follows: Karen Doody, [57 Eastland Ter. Haverhill, MA](#) 10830.

This is my personal email and my phone number is 617-733-8665. I'm writing on behalf of the Haverhill High Girls Lacrosse boosters. The Haverhill High Boosters EIN# is 20-5785450 if you need that information. We are raising funds to upgrade equipment as needed, provide scholarships to graduating seniors, and for team banquet expenses at the conclusion of the season. Thank you very much for your consideration!

Karen



March 30, 2026

Karen Doody
HHS Lacrosse
Kph305@hotmail.com

Dear Karen:

This letter is to inform you that your organization has been granted permission to hold a fund-raising event at the store listed below between the hours of 9:00AM – 3:00PM. **However, it is the responsibility of the organization to acquire the appropriate permits if required by the town.** At the request of our customers, we have put into effect the following guidelines your volunteers are required to adhere to. DeMoulas Super Markets, Inc. has the right to curtail any fund-raising events we feel necessary.

1. Upon arriving at the store you must check in with the store manager.
2. Children under the age of fourteen are required to have adult supervision with them at all times.
3. There should never be more than two people from your organization at the store at any given time.
4. Fund-raising events should take place outside the store at least 10 feet away from the entrance/exit doors. Do not interrupt the flow of traffic entering and exiting the building.
5. All volunteers representing your organization must be well groomed and properly attired. They should present themselves in a courteous and friendly manner at all times.
6. Volunteers must allow the customer to approach them.
7. The person representing you should be located at the entrance door only.
8. If a table is being set up, discuss with the store manager where it should be located.
9. **Due to the numerous requests we receive to fundraise, if you must reschedule the dates you were approved for you will need to resubmit a new letter with new dates at least 2 weeks in advance.**

If you have any questions pertaining to this notice, please contact Lori Page at (978) 851-8000 or fundraising@demoulasmaketbasket.com. We wish you luck in your endeavor!

DeMoulas Super Markets, Inc.

STORE LOCATION: Haverhill #9

DATE(S): May 9



March 30, 2026

Karen Doody
HHS Lacrosse
Kph305@hotmail.com

Dear Karen:

This letter is to inform you that your organization has been granted permission to hold a fund-raising event at the store listed below between the hours of 9:00AM – 3:00PM. **However, it is the responsibility of the organization to acquire the appropriate permits if required by the town.** At the request of our customers, we have put into effect the following guidelines your volunteers are required to adhere to. DeMoulas Super Markets, Inc. has the right to curtail any fund-raising events we feel necessary.

1. Upon arriving at the store you must check in with the store manager.
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9. **Due to the numerous requests we receive to fundraise, if you must reschedule the dates you were approved for you will need to resubmit a new letter with new dates at least 2 weeks in advance.**

If you have any questions pertaining to this notice, please contact Lori Page at (978) 851-8000 or fundraising@demoulasmaketbasket.com. We wish you luck in your endeavor!

DeMoulas Super Markets, Inc.

STORE LOCATION: Haverhil #15

DATE(S): May 9



March 30, 2026

Karen Doody
HHS Lacrosse
Kph305@hotmail.com

Dear Karen:

This letter is to inform you that your organization has been granted permission to hold a fund-raising event at the store listed below between the hours of 9:00AM – 3:00PM. **However, it is the responsibility of the organization to acquire the appropriate permits if required by the town.** At the request of our customers, we have put into effect the following guidelines your volunteers are required to adhere to. DeMoulas Super Markets, Inc. has the right to curtail any fund-raising events we feel necessary.

1. Upon arriving at the store you must check in with the store manager.
2. Children under the age of fourteen are required to have adult supervision with them at all times.
3. There should never be more than two people from your organization at the store at any given time.
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9. **Due to the numerous requests we receive to fundraise, if you must reschedule the dates you were approved for you will need to resubmit a new letter with new dates at least 2 weeks in advance.**

If you have any questions pertaining to this notice, please contact Lori Page at (978) 851-8000 or fundraising@demoulasmaketbasket.com. We wish you luck in your endeavor!

DeMoulas Super Markets, Inc.

STORE LOCATION: Haverhill #48

DATE(S): May 9

Second Hand Clothing License

138940

Submitted On: Mar 26, 2026

Applicant

👤 Rev. Christopher Wallace
☎ 9783727721
@ allsaintsbusmgr@gmail.com

Primary Location

120 BELLEVUE AVE
Haverhill, MA 01832

12.7.11.1

Business Information

Applicant's Relationship to Owner

Owner

Type of Business Structure

Corporation

Business Name

All Saints Parish

MAR 30 PM4:03
HAVCITYCLERK



City Clerk Approval

Record No.138940

Status Completed

Became Active March 26, 2026

Type Approval

Due Date None

Assignee Natalia Hernandez

Record No: 138940


Second Hand Clothing License


Status: Active

Submitted On: 3/26/2026

Applicant

 Rev. Christopher Wallace

 978-372-7721

 allsaintsbusmgr@gmail.com

 120 Bellevue Avenue

Haverhill, MA 01832

Messages

No comments yet.



Police Department Approval

Record No.138940

Status Completed

Became Active March 26, 2026

Type Approval

Due Date None

Assignee Kevin Lynch

Record No: 138940


Second Hand Clothing License

Status: Active

Submitted On: 3/26/2026

Applicant

 Rev. Christopher Wallace

 978-372-7721

 allsaintsbusmgr@gmail.com

 120 Bellevue Avenue

Haverhill, MA 01832

Messages

No comments yet.

15.2

CITY COUNCIL

- Timothy J. Jordan**, *President*
- John A. Michitson**, *Vice President*
- Thomas J. Sullivan**
- Colin F. LePage**
- Melissa J. Lewandowski**
- Catherine P. Rogers**
- Shaun P. Toohey**
- Michael S. McGonagle**
- Daniel R. Diodati**
- Devan Ferreira**
- Ralph T. Basiliere**



CITY HALL, ROOM 204
 4 SUMMER STREET
 TELEPHONE: 978-374-2328
 FACSIMILE: 978-374-2329
WWW.CITYOFHAVERHILL.GOV
CITYCOUNCIL@HAVERHILLMA.GOV

CITY OF HAVERHILL


HAVERHILL, MASSACHUSETTS 01830-5843

April 2, 2026

APR 2 PM 12:12
HAVCITYCLERK

To: President and Members of the City Council

Vice President Michitson and Councilor Ferreira submit the summary of minutes and recommendations of the Planning and Development Committee meeting held on March 30, 2026 for acceptance and approval.

John A. Michitson
 Vice President John A. Michitson 

Devan Ferreira
 Councilor Devan Ferreira 

(Meeting: 4.7.26)

CITY COUNCIL

Timthoy J. Jordan, *President*
John A. Michitson, *Vice President*
Thomas J. Sullivan
Colin F. LePage
Melissa J. Lewandowski
Catherine P. Rogers
Shaun P. Toohey
Michael S. McGonagle
Daniel R. Diodati
Devan Ferreira
Ralph T. Basiliere



CITY HALL, ROOM 204
4 SUMMER STREET
TELEPHONE: 978-374-2328
FACSIMILE: 978-374-2329
WWW.CITYOFHAVERHILL.GOV
CITYCOUNCIL@HAVERHILLMA.GOV

CITY OF HAVERHILL

HAVERHILL, MASSACHUSETTS 01830-5843

MINUTES/SUMMARY OF THE PLANNING AND DEVELOPMENT COMMITTEE MEETING

March 30, 2026

A Planning and Development Committee Meeting was held on Monday, March 30, 2026 at 6:00 PM in the City Council Chambers, Room 202

Committee Members: Committee Chair, John Michitson, Councilor Catherine Rogers and Councilor Daniel Diodati

Councilors Present: Councilor Devan Ferreira and Councilor Sullivan

City Officials: Mayor Melinda Barrett, Robert Moore, Conservation Department, Robert Ward, DPW Director

The following items were discussed:

- Doc. 94-B Motion by Councilor Ferreira to look at updating the standards of Ch. 250 Article VI of the Haverhill Zoning Code regarding water use restrictions established in 2016.
- Doc.1-F Motion by Councilor Lewandowski to send for discussion relative to establishing or formalizing an ordinance regarding water conservation program.

Councilor Ferreira discussed a proposal that updates the water use ordinance to promote earlier conservation, clearer rules and fair enforcement for all users, including private wells. It would introduce seasonal watering limits (May-September, no watering 9AM-5PM) no matter the drought status, require irrigation safeguards during droughts, add a color-coded drought system for communication, restrict non-essential uses like surface washing, and increase fines for repeat violations.

Councilor Diodati asked for an explanation about why private well owners would be involved in the water ban. Robert Ward explained that surface water and groundwater are connected in one system. Private wells shallow or deep draw from this aquifer and increased use can lower groundwater levels, reducing recharge to sources like Crystal Lake. Councilor Diodati asked about violations and how that would be handled. Robert Ward stated we spoke with Richard

CITY COUNCIL

Timthoy J. Jordan, *President*
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Catherine P. Rogers
Shaun P. Toohey
Michael S. McGonagle
Daniel R. Diodati
Devan Ferreira
Ralph T. Basiliere



CITY HALL, ROOM 204
4 SUMMER STREET
TELEPHONE: 978-374-2328
FACSIMILE: 978-374-2329

WWW.CITYOFHAVERHILL.GOV
CITYCOUNCIL@HAVERHILLMA.GOV

CITY OF HAVERHILL

HAVERHILL, MASSACHUSETTS 01830-5843

MacDonald (Inspectional Services) in preparing to enforce outdoor watering rules for the first time, including issuing violations and tracking them through a centralized billing system.

A discussion took place about the water levels of Millvale, Kenoza and Crystal Lake.

Mayor Barrett asked if there was suggested language for the updated wording for the private wells. Councilor confirmed she did have language. Chairperson Michitson stated the goal is to provide what needs to be done and have the wording handled through the regular process. Councilor Ferreira explained that the intent is to reinforce that all users draw from the same shared water source and to encourage consistent conservation practices. Mayor Barrett raised concerns about impacts on high-volume users such as golf courses, as well as the need for potential exemptions. Councilor Rogers expressed hesitation about implementing restrictions and issuing fines during non-drought conditions, emphasizing education, while Councilor Diodati supported the conservation goals but questioned increasing fines and suggested a warning-based approach may be more appropriate. Bob Ward provided context on current water restriction levels, noting that existing measures are typically triggered at higher drought stages and that most irrigation systems already operate during early morning hours. The discussion also addressed enforcement challenges, definitions of non-essential watering, and the balance between proactive conservation and practical implementation. **Motion by Councilor Diodati to send these bullet points to you taking into consideration the comments made by the committee based upon the fine amounts and when we fine.** Chair Michitson concluded that the proposal, along with the minutes and committee feedback, would be forwarded to the appropriate departments for further review, refinement of language, and development of recommendations, after which Chair Michitson will determine whether the item returns to the committee or advances to the full council.

Potential Recommendations:

- Expand ordinance applicability to include private well users
- Establish seasonal non-essential watering restriction (May–September, 9 AM–5 PM), regardless of drought status
- Consider initiating non-essential watering restrictions at the watch level
- Require moisture sensors for automated irrigation systems
- Require accessible shut-off valves for irrigation systems
- Maintain existing exemptions (e.g., agriculture, necessary uses, certain commercial users)

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Colin F. LePage
Melissa J. Lewandowski
Catherine P. Rogers
Shaun P. Toohey
Michael S. McGonagle
Daniel R. Diodati
Devan Ferreira
Ralph T. Basiliere



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HAVERHILL, MASSACHUSETTS 01830-5843

- Review and clarify enforcement approach, with emphasis on warnings and education prior to fines
- Further define “non-essential watering” within the ordinance

Councilor Ferreira on behalf of Councilor Lewandowski, discussed making water use clearer (switching bills to read gallons instead of units and daily averages) and improving awareness through more frequent billing and better outreach through social media, email and alert systems.

Chair Michitson stated Dan, going back to your motion. I think we need to send the minutes to the Water Department and ask them to come back with their recommendations in more formal wording.

Councilor Diodati stated the idea is to send the public education bullet points as well as the meeting minutes to the Water Department and let them come back for a recommendation.

Chair Michitson stated there is a motion from Councilor Diodati and a Second from Councilor Rogers.

3 YEAS, 0 NAYS

PASSED

Councilor Ferreira stated the last thing I had was the Water Resource Commission and proposal on behalf of Councilor Lewandowski. She proposed a Water Resource Commission that would be a 6-member, Mayor appointed advisory group, including a City Council member, created to support, but not replace, the Council’s role as water commissioners. The purpose would be to coordinate with local boards, regional organizations, and DPW and to provide recommendations on water quality, supply protection, conservation, environmental health, and sustainable growth. It would promote public engagement and responsible water use. Mayor stated I think this should be in Natural Resources during those meetings you could discuss water. You could put this on next Tuesday to have it go to the Natural Resources committee meeting. **Motion by Councilor Diodati to send to Natural Resource Committee.** Councilor Ferreira noted I think having a liaison from council on this commission makes sense. Chair Michitson stated we have a motion for the commission portion to send to Natural Resource Committee.

Motion by Councilor Diodati to send to Natural Resource Committee. Second by Councilor Rogers.

3 YEAS, 0 NAYS

PASSED

Steve Costa (70 Jackson Street Ext) addressed the committee. He stated that public concern about water use is largely driven by misunderstanding and misinformation especially on social media. He emphasized

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HAVERHILL, MASSACHUSETTS 01830-5843

the claims about over development straining the water system have been disrupted by local officials and water supply maybe be divided by geographic sectors rather than shared across the city. He stressed the need for better public education on how the water system works.

Al Perreira (39 Smith Street) addressed the committee. He went over photographs of Kenoza Lake that he took. He questioned whether commercial water use is being monitored or justified, suggesting businesses should be held accountable just like residents. Robert Ward stated most businesses are cost aware and try to avoid wasting water. Chair Michitson stated do we have trend data that analyzes industry. Robert Ward confirmed there is data available to assess trends across industrial users. He stated in our budget every year we look at residential and commercial usage and it is steady. Mayor Barrett noted the city could do tiered billing. It is something that could be looked at. Al Perreira recommends an independent audit to build trust, he opposes raising fines without previous enforcement and suggests golf courses invest in water conservation measures.

Motion by Councilor Diodati to adjourn. Second by Councilor Rogers.

3 YEAS, 0 NAYS

Adjourned: 19:43

Respectfully submitted,

John A. Michitson
John A. Michitson

Chairperson
Planning and Development Committee

From: Devan Ferreira <DFerreira@haverhillma.gov>

Date: March 30, 2026 at 08:04:18 EDT

To: John Michitson <JMichitson@haverhillma.gov>

Subject: Lewandowski proposal P&D

On behalf of Councilor Lewandowski for tonight's P&D meeting.

Proposal to create:

- **The Water Resources Commission (hereinafter "WRC") would , if created by Council and voted to be established, be responsible for the following:**

- Coordinating with all other boards(conservation, Board of Health, Inspections, Building, etc) and committees in the community(ex: Merrimack Valley Watershed Council, MVPC), as well as DPW to provide guidance and recommendations to the City Council who also serve as Haverhill's water commissioners on issues to include byut not limited to:

- Protecting the quantity, quality and value of water resources

- Protecting environmental health

- Engaging with citizenship regarding responsible water use practices

- Enhancing ideas and strategies to reach net zero growth,

- Developing ongoing water conservation measures and

- Any and all matters to better protect our water resources

The WRC would be comprised of 6 members appointed by the Mayor, consisting of a Chair, Vice Chair and at least one member would be a Council member/liaison.

If established, we would add a page to the City website headed "Water Resources Commission" with contact email etc and a link to Water Resource Updates.

This page would also contain a paragraph or two of introduction

“Water is a precious resource, key to ensuring public health and safety. Protecting the quantity, quality and value of water ensures Haverhill remains a sustainable and special place to live work and play for generations to come. Formed in (year), the Haverhill Water Resources Committee was created by the City Council and Mayor Elect. The WRC is responsible for : (list of above items).

All are welcome to attend WRC meetings,. Those interested in serving on the WRC should submit an application form to (Mayor).

Proposed: *changes to Article VI Water Use Restriction ordinance:*

- Update wording to ensure that ordinance applies to private well owners
- Mandatory non-essential watering restrictions from May to September (no watering between 9am to 5pm)
- Require moisture sensors and accessible shut off valves for lawn irrigation systems

In section 250-25.1:

- Assign colors to each drought status level

“Watch” = Blue

“Warning”=Yellow

“Critical”=Orange

“Emergency”=Red

- Add non-essential watering restrictions (no watering between 9am to 5pm daily) to start at “Watch” level
- Prohibit hard surface washing (sidewalks, etc) at Warning, Critical and Emergency levels

Proposed: *Increase fines for enforcement*

- 1st violation is warning, increase 2nd violation from \$50 to \$100, increase 3rd violation from \$100 to \$200.

Document # 10-I

Ordinance re: Vehicles and Traffic; Amend Ch 240,
be further amended by **ADDING** the following to Ch 240, § 85 schedule B:

Parking Restrictions and

Prohibitions: on **Research Drive**

IN CITY COUNCIL: MARCH 24, 2026

File 10 Days

16.1



File 10 days

14.3

Haverhill

Engineering Department, Room 300
978-374-2335

Lisa E. DeMeo, P.E.
City Engineer/Assistant Director of Public Works
ldemeo@haverhillma.gov

MAR 13 AM 9:35
HAVCITYCLERK

March 12, 2026

MEMO TO: CITY COUNCIL PRESIDENT TIMOTHY JORDAN AND MEMBERS OF THE CITY COUNCIL

Subject: *Research Dr, TSO-26-1 – No Parking Ordinance*

As requested by Traffic & Safety, attached is an Ordinance for No Parking on both sides of Research Drive between Creek Brook Drive and Broadway.

Please contact me if you have any questions.

Sincerely,

Lisa E. DeMeo, P.E.
City Engineer

C: Mayor Barrett, Ward, Kimball, Wright, Lynch, Mead



DOCUMENT

CITY OF HAVERHILL

In Municipal Council

ORDERED:

MUNICIPAL ORDINANCE

CHAPTER 240

AN ORDINANCE RELATING TO VEHICLES AND TRAFFIC

BE IT ORDAINED by the City Council of the City of Haverhill that the Code of the City of Haverhill, Chapter 240, as amended, be further amended by **ADDING** the following to § 240-85 Schedule B: Parking Restrictions and Prohibitions:

Research Drive	No Parking	24 hrs
Both sides, between		
Creek Brook Dr & Broadway		

APPROVED AS TO LEGALITY:

City Solicitor

Thank you for placing your order with us.

From North of Boston <noreply@wave2adportal.com>

Date Wed 3/18/2026 9:05 AM

To CityClerk <cityclerk@haverhillma.gov>

Cc cmacdonald@northofboston.com <cmacdonald@northofboston.com>; Kaitlin Wright <kwright@haverhillma.gov>; Natalia Hernandez <NHernandez@HaverhillMa.gov>

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<h4>Job Details</h4> <p>Order Number: W0142659 Business Type: All Other Public Notices Notice Size: Public Notices Notice Estimate: \$69.23 Referral Code: Research Drive Parking Ord.</p> <h4>Account Details</h4> <p>Haverhill Clerk 4 SUMMER ST STE 118 HAVERHILL, MA 01830 978-374-2312 cityclerk@cityofhaverhill.com HAVERHILL CITY CLERK</p>	<h4>Schedule for notice number W01426590</h4> <p>Thu Mar 26, 2026 Haverhill Gazette Public All Zones Notices</p> <table border="1"><tr><td colspan="3" style="text-align: center;">CITY OF HAVERHILL In Municipal Council</td></tr><tr><td colspan="3">ORDERED:</td></tr><tr><td colspan="3">AN ORDINANCE RELATING TO VEHICLES AND TRAFFIC</td></tr><tr><td colspan="3">BE IT ORDAINED by the City Council of the City of Haverhill that the Code of the City of Haverhill, Chapter 240, §85, Schedule B: Parking Restrictions and Prohibitions, as amended, is hereby further amended by ADDING the following:</td></tr><tr><td>Research Drive: Both Sides, between Creek Brook Dr & Broadway</td><td>No Parking</td><td>24 hours</td></tr><tr><td colspan="3">HG - Publication Dates</td></tr></table>	CITY OF HAVERHILL In Municipal Council			ORDERED:			AN ORDINANCE RELATING TO VEHICLES AND TRAFFIC			BE IT ORDAINED by the City Council of the City of Haverhill that the Code of the City of Haverhill, Chapter 240, §85, Schedule B: Parking Restrictions and Prohibitions, as amended, is hereby further amended by ADDING the following:			Research Drive: Both Sides, between Creek Brook Dr & Broadway	No Parking	24 hours	HG - Publication Dates		
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Document # 10-H

Ordinance re: Vehicles and Traffic; Amend Ch 240, be further amended

by ADDING the following to § 240-85 schedule B:

Parking Restrictions and Prohibitions:

111 Middlesex St

IN COUNCIL: March 24, 2026

File 10 days

16.2



File 10 days

4.2

Haverhill

Lisa E. DeMeo, P.E.
City Engineer/Assistant director of Public Works
Phone: 978-374-2335
ldemeo@haverhillma.gov

MAR 17 PM 2:01
HAVCITYCLERK

March 17, 2026

MEMO TO: CITY COUNCIL PRESIDENT TIMOTHY JORDAN AND MEMBERS OF THE CITY COUNCIL

Subject: *Middlesex Street #111 – HPS-26-5 - Add Handicap Parking*

As requested, attached is the subject Ordinance to add handicap parking.
Please contact me if you have any questions.

Sincerely,

Lisa E. DeMeo, P.E.
City Engineer

C: Mayor Barrett, Lt. Lynch, K. Wright, R. Ward, L. Mead, R. Kimball



DOCUMENT

CITY OF HAVERHILL

In Municipal Council

ORDERED:

AN ORDINANCE RELATING TO VEHICLES AND TRAFFIC

BE IT ORDAINED by the City Council of the City of Haverhill that the Code of the City of Haverhill, Chapter 240, §85, Schedule B: Parking Restrictions and Prohibitions, as amended, is hereby further amended by **ADDING** the following:

**Middlesex Street:
In front of #111**

**No Parking
(except for 1 24-hour
handicap parking space)**

24 hours

APPROVED AS TO LEGALITY

City Solicitor

Thank you for placing your order with us.

From North of Boston <noreply@wave2adportal.com>
Date Wed 3/18/2026 8:57 AM
To CityClerk <cityclerk@haverhillma.gov>
Cc cmacdonald@northofboston.com <cmacdonald@northofboston.com>; Kaitlin Wright <kwright@haverhillma.gov>; Natalia Hernandez <NHernandez@HaverhillMa.gov>

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<p>Job Details</p> <p>Order Number: W0142658 Business Type: All Other Public Notices Notice Size: Public Notices Notice Estimate: \$69.23 Referral Code: 111 Middlesex St. Parking Ord.</p> <p>Account Details</p> <p>Haverhill Clerk 4 SUMMER ST STE 118 HAVERHILL, MA 01830 978-374-2312 cityclerk@cityofhaverhill.com HAVERHILL CITY CLERK</p>	<p>Schedule for notice number W01426580</p> <p>Thu Mar 26, 2026 Haverhill Gazette Public All Zones Notices</p> <table border="1"><tr><td colspan="3">CITY OF HAVERHILL In Municipal Council</td></tr><tr><td colspan="3">ORDERED:</td></tr><tr><td colspan="3">AN ORDINANCE RELATING TO VEHICLES AND TRAFFIC</td></tr><tr><td colspan="3">BE IT ORDAINED by the City Council of the City of Haverhill that the Code of the City of Haverhill, Chapter 240, §85, Schedule B: Parking Restrictions and Prohibitions, as amended, is hereby further amended by ADDING the following:</td></tr><tr><td>Middlesex Street: In front of #111</td><td>No Parking (except for 1 24-hour handicap parking space)</td><td>24 hours</td></tr><tr><td colspan="3">HG - Publication Dates</td></tr></table>	CITY OF HAVERHILL In Municipal Council			ORDERED:			AN ORDINANCE RELATING TO VEHICLES AND TRAFFIC			BE IT ORDAINED by the City Council of the City of Haverhill that the Code of the City of Haverhill, Chapter 240, §85, Schedule B: Parking Restrictions and Prohibitions, as amended, is hereby further amended by ADDING the following:			Middlesex Street: In front of #111	No Parking (except for 1 24-hour handicap parking space)	24 hours	HG - Publication Dates		
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ORDERED:																			
AN ORDINANCE RELATING TO VEHICLES AND TRAFFIC																			
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HG - Publication Dates																			

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Document # 10-G

Ordinance re: Vehicles and Traffic; Amend Ch 240,
be further amended by ADDING the following to § 240-85 schedule B:
Parking Restrictions and Prohibitions:

53 Auburn St

IN CITY COUNCIL: March 24, 2026

File 10 days

16.3

File 10 days

14.1



Haverhill

Lisa E. DeMeo, P.E.
City Engineer/Assistant director of Public Works
Phone: 978-374-2335
ldemeo@haverhillma.gov

MAR 17 PM 2:01
HAVCITYCLERK

March 17, 2026

**MEMO TO: CITY COUNCIL PRESIDENT TIMOTHY JORDAN AND
MEMBERS OF THE CITY COUNCIL**

Subject: *Auburn Street #53 – HPS-26-7 - Add Handicap Parking*

As requested, attached is the subject Ordinance to add handicap parking.
Please contact me if you have any questions.

Sincerely,

Lisa E. DeMeo, P.E.
City Engineer

C: Mayor Barrett, Lt. Lynch, K. Wright, R. Ward, L. Mead, R. Kimball



DOCUMENT

CITY OF HAVERHILL

In Municipal Council

ORDERED:

AN ORDINANCE RELATING TO VEHICLES AND TRAFFIC

BE IT ORDAINED by the City Council of the City of Haverhill that the Code of the City of Haverhill, Chapter 240, §85, Schedule B: Parking Restrictions and Prohibitions, as amended, is hereby further amended by **ADDING** the following:

Auburn Street:	No Parking	24 hours
In front of #53	(except for 1 24-hour handicap parking space)	

APPROVED AS TO LEGALITY

City Solicitor

Thank you for placing your order with us.

From North of Boston <noreply@wave2adportal.com>

Date Wed 3/18/2026 9:07 AM

To CityClerk <cityclerk@haverhillma.gov>

Cc cmacdonald@northofboston.com <cmacdonald@northofboston.com>; Kaitlin Wright <kwright@haverhillma.gov>; Natalia Hernandez <NHernandez@HaverhillMa.gov>

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<h4>Job Details</h4> <p>Order Number: W0142660 Business Type: All Other Public Notices Notice Size: Public Notices Notice Estimate: \$69.23 Referral Code: 53 Auburn St. Parking ord.</p> <h4>Account Details</h4> <p>Haverhill Clerk 4 SUMMER ST STE 118 HAVERHILL, MA 01830 978-374-2312 cityclerk@cityofhaverhill.com HAVERHILL CITY CLERK</p>	<h4>Schedule for notice number W01426600</h4> <p>Thu Mar 26, 2026 Haverhill Gazette Public <i>All Zones</i> Notices</p> <table border="1"><tr><td colspan="3" style="text-align: center;">CITY OF HAVERHILL In Municipal Council</td></tr><tr><td colspan="3">ORDERED: AN ORDINANCE RELATING TO VEHICLES AND TRAFFIC BE IT ORDAINED by the City Council of the City of Haverhill that the Code of the City of Haverhill, Chapter 240, §85, Schedule B: Parking Restrictions and Prohibitions, as amended, is hereby further amended by ADDING the following:</td></tr><tr><td>Auburn Street: In front of #53</td><td>No Parking (except for 1 24-hour handicap parking space)</td><td>24 hours</td></tr><tr><td colspan="3">HG - Publication Dates</td></tr></table>	CITY OF HAVERHILL In Municipal Council			ORDERED: AN ORDINANCE RELATING TO VEHICLES AND TRAFFIC BE IT ORDAINED by the City Council of the City of Haverhill that the Code of the City of Haverhill, Chapter 240, §85, Schedule B: Parking Restrictions and Prohibitions, as amended, is hereby further amended by ADDING the following:			Auburn Street: In front of #53	No Parking (except for 1 24-hour handicap parking space)	24 hours	HG - Publication Dates		
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16.4

Document # I-V

Ordinance - Amend Chapter 116 of Article III – Improvement and Maintenance of the Waterways

IN CITY COUNCIL: March 24, 2026

File 10 Days

10 YEAS, 0 NAYS, 1 ABSENT

Attest: Kaitlin M. Wright
Kaitlin M. Wright, CMC
City Clerk

File 10 Days 5.3

16.4.1



**CITY OF HAVERHILL
MASSACHUSETTS**

MELINDA E. BARRETT
MAYOR

CITY HALL, ROOM 100
FOUR SUMMER STREET
HAVERHILL, MA 01830
PHONE 978-374-2300
FAX 978-373-7544
MAYOR@HAVERHILLMA.GOV
WWW.HAVERHILLMA.GOV

March 20, 2026

To: City Council President Timothy J. Jordan and Members of the Haverhill City Council
From: Mayor Melinda E. Barrett
Re: Ordinance Relating to Amendment to Chapter 116 of the Haverhill City Ordinances

Dear Mr. President and Members of the City Council:

I respectfully submit the attached Ordinance to amend Chapter 116 of Article III – Improvement and Maintenance of the Waterways.

I recommend approval

Very truly yours,

Melinda E. Barrett
Mayor



Document
CITY OF HAVERHILL
In Municipal Council

MAR 20 AM 11:05
HARRINGTON

Ordered:

MUNICIPAL ORDINANCE

CHAPTER 116

**AN ORDINANCE RELATING TO AMENDMENT TO CHAPTER 116 OF THE
HAVERHILL CITY ORDINANCES**

BE IT ORDAINED by the City Council of the City of Haverhill that §116 of Article III – **IMPROVEMENT AND MAINTENANCE OF THE WATERWAYS**, of the Code of the City of Haverhill, as amended, being and is hereby further amended as follows:

§ 116-10. Waterways improvement and maintenance fund.

A Waterways Improvement and Maintenance Fund for the purpose of funding management, enforcement and improvements to waterways within the City shall be established. All waterways management fees and fines collected as a result thereof shall be deposited into this account, with the exception of the first \$5 of any waterways management fee which shall be paid into the general fund to cover administrative costs. The Mayor, with a recommendation from the Harbor Commission, shall propose appropriations from the fund to be approved by the Council.

§ 116-11. Boat registration required.

All motor-driven boats that are moored or docked within the City of Haverhill in excess of two weeks in any calendar year shall register with the City Treasurer and pay an annual waterways management fee. A waterways sticker shall be displayed as evidence that the fee has been paid.

§ 116-12. Waterways management fee.

A waterways management fee shall be assessed at the rate per linear foot as provided herein, but not less than \$20. Any boat with a marina contract in excess of one month shall be subject to a waterways management fee; however, if the boat owner provides proof of the payment of a waterways management fee to another city or town within the commonwealth no such fee shall be due. Replacement stickers may be obtained for a fee of \$10. No waterways sticker shall be issued to any boat owner who owes boat excise tax.

2026 Rate: \$3.00 per linear foot.

2027 Rate: \$4.00 per linear foot.

2028 Rate: \$5.00 per linear foot.

§ 116-13. Waterways sticker.

A reflective, adhesive-backed sticker approximately three inches by three inches, which shall change in color each year, shall be issued. The stickers shall be consecutively numbered and recorded, along with boat and owner information. The stickers shall be displayed on the top, starboard side of the transom of the boat.

A Waterways Sticker MUST be purchased and properly adhered to the boat PRIOR TO the boat being moored or docked for the season. Violations shall be assessed according to § 116-16 of this Article.

New boats: The owner of a new boat that is to be moored or docked in Haverhill, has two (2) weeks from the date of purchase to obtain a valid waterways sticker. After two (2) weeks, the owner shall be subject to penalties outlined in § 116-16 of this Article.

§ 116-14. Marina information to be provided.

All marinas within the City shall annually provided a complete listing of all motor-driven boats which are berthed at their docks or use their moorings no later than July 1 of each year to the City Treasurer. All slips and moorings, including those vacant, shall be included. The annual listing shall provided the boat owner's name; home address and telephone contact information; the name, color, size and type of boat and motor; boat registration number; and assigned slip or mooring. A supplemental listing shall be provided on August 1 and September 1 of each year, which shall include all boats not listed in the July 1 listing.

Marinas shall not allow boats to dock in dock slips or on moorings unless the owner of the boat has purchased a valid waterways sticker and said waterways sticker is properly applied to the boat as outlined in § 116-13 of this Article.

All dock owners shall grant the Harbormaster or the Harbormaster's designee access to its docks for the purpose of ensuring waterways sticker compliance of all boats on dock slips.

§ 116-15. Violations and penalties: marinas.

Marinas which fail to submit the listing required in § 116 shall be subject to a fine of \$50 per day for every day after the listing is due.

Marinas which fail to grant access to the Harbormaster or the Harbormaster's designee to its docks for waterways sticker compliance enforcement shall be subject to a fine of \$500.00 for each refusal.

All fines may be imposed under the provisions of G.L. c. 40, § 21D and shall be enforced by the Harbormaster or the Harbormaster's designee.

Seasonal dock permits, as outlined in § 116-5 and § 116-17 of this Chapter shall not be issued to any marina which owes outstanding fines from prior seasons.

§ 116-16. Violations and penalties: boat owners.

Boat owners who keep boats in Haverhill waters and who fail to register and pay an annual waterways fee as required or who fail to properly display the required sticker as required shall pay the following fines:

Prior to issuance of fines, violators shall be given a warning with the opportunity for corrective action. All corrective action (i.e. register boat; purchase waterways sticker) must take place within ten (10) business days from the date of the warning.

- | | |
|------------------------------|----------------|
| First offense: | \$50.00 fine. |
| Second offense: | \$100.00 fine. |
| Third or subsequent offense: | \$150.00 fine. |

Violators shall have ten (10) business days to resolve the issue. After ten (10) business days, if the issue is not resolved the violator is subject to the penalty for a subsequent offense.

These fines may be imposed under the provisions of G.L. Ch. 40, § 21D by the Haverhill police, the Harbormaster or the Harbormaster's designee.

§ 116-17. Dock permits.

All docks must be permitted pursuant to Article I, § 116-4 of this Chapter.

Violations of this section are subject to the fines and penalties as outlined in Article I, § 116-15 of this Chapter.

APPROVED AS TO LEGALITY:

City Solicitor

§ 116-10. Waterways improvement and maintenance fund.

A Waterways Improvement and Maintenance Fund for the purpose of funding management, enforcement and improvements to waterways within the City shall be established. All waterways management fees and fines collected as a result thereof shall be deposited into this account, with the exception of the first \$5 of any waterways management fee which shall be paid into the general fund to cover administrative costs. The Mayor, with a recommendation from the Harbor Commission, shall propose appropriations from the fund to be approved by the Council.

§ 116-11. Boat registration required.

All motor-driven boats that are moored or docked within the City of Haverhill in excess of two weeks in any calendar year shall register with the City Treasurer and pay an annual waterways management fee. A waterways sticker shall be displayed as evidence that the fee has been paid.

§ 116-12. Waterways management fee.

A waterways management fee shall be assessed at ~~\$4~~ **the rate** the rate per linear foot as provided **herein**, but not less than \$20. Any boat with a marina contract in excess of one month shall be subject to a waterways management fee; however, if the boat owner provides proof of the payment of a waterways management fee to another city or town within the commonwealth no such fee shall be due. Replacement stickers may be obtained for a fee of \$10. No waterways sticker shall be issued to any boat owner who owes boat excise tax.

2026 Rate: \$3.00 per linear foot.

2027 Rate: \$4.00 per linear foot.

2028 Rate: \$5.00 per linear foot.

§ 116-13. Waterways sticker.

A reflective, adhesive-backed sticker approximately three inches by three inches, which shall change in color each year, shall be issued. The stickers shall be consecutively numbered and recorded, along with boat and owner information. The stickers shall be displayed on the top, starboard side of the transom of the boat.

A Waterways Sticker MUST be purchased and properly adhered to the boat PRIOR TO the boat being moored or docked for the season. Violations shall be assessed according to § 116-16 of this Article.

New boats: The owner of a new boat that is to be moored or docked in Haverhill, has two (2) weeks from the date of purchase to obtain a valid waterways sticker. After two (2) weeks, the owner shall be subject to penalties outlined in § 116-16 of this Article.

§ 116-14. Marina information to be provided.

All marinas within the City shall annually provide a complete listing of all motor-driven boats which are berthed at their docks or use their moorings no later than July 1 of each year to the City Treasurer. All slips and moorings, including those vacant, shall be included. The annual listing shall provide the boat owner's name; home address and telephone contact information; the name, color, size and type of boat and motor; boat registration number; and assigned slip or mooring. A supplemental listing shall be provided on August 1 and September 1 of each year, which shall include all boats not listed in the July 1 listing.

Marinas shall not allow boats to dock in dock slips or on moorings unless the owner of the boat has purchased a valid waterways sticker and said waterways sticker is properly applied to the boat as outlined in § 116-13 of this Article.

All dock owners shall grant the Harbormaster or the Harbormaster's designee access to its docks for the purpose of ensuring waterways sticker compliance of all boats on dock slips.

§ 116-15. Violations and penalties: marinas.

Marinas which fail to submit the listing required in § 116-14 shall be subject to a fine of \$50 per day for every day after the listing is due.

Marinas which fail to grant access to the Harbormaster or the Harbormaster's designee to its docks for waterways sticker compliance enforcement shall be subject to a fine of \$500.00 for each refusal.

All fines may be imposed under the provisions of G.L. c. 40, § 21D and shall be enforced by the Harbormaster or the Harbormaster's designee.

Seasonal dock permits, as outlined in § 116-5 and § 116-17 of this Chapter shall not be issued to any marina which owes outstanding fines from prior seasons.

§ 116-16. Violations and penalties: boat owners.

Boat owners who keep boats in Haverhill waters and who fail to register and pay an annual waterways fee as required or who fail to properly display the required sticker as required shall pay the following fines:

A. First offense: \$50

B. Second offense: \$100

C. Third and subsequent offenses: \$300

Prior to issuance of fines, violators shall be given a warning with the opportunity for corrective action. All corrective action (i.e. register boat; purchase waterways sticker) must take place within ten (10) business days from the date of the warning.

- First offense: \$50.00 fine.
- Second offense: \$100.00 fine.
- Third or subsequent offense: \$150.00 fine.

Violators shall have ten (10) business days to resolve the issue. After ten (10) business days, if the issue is not resolved the violator is subject to the penalty for a subsequent offense.

These fines may be imposed under the provisions of G.L. Ch. 40, § 21D by the Haverhill police, the Harbormaster or the Harbormaster's designee.

§ 116-17. Dock permits.

All docks must be permitted pursuant to Article I, § 116-4 of this Chapter.

Violations of this section are subject to the fines and penalties as outlined in Article I, § 116-15 of this Chapter.

Kaitlin Wright

From: North of Boston <noreply@wave2adportal.com>
Sent: Monday, March 23, 2026 10:53 AM
To: CityClerk
Cc: cmacdonald@northofboston.com; Kaitlin Wright; Natalia Hernandez
Subject: Thank you for placing your order with us.

Warning! External Email. Exercise caution when opening attachments or clicking on any links.
THANK YOU for your notice submission!

This is your confirmation that your order has been submitted. Below are the details of your transaction. Please save this confirmation for your records.

Job Details

Order Number:
W0142798
Business Type:
All Other Public Notices
Notice Size:
Public Notices
Notice Estimate:
\$51.92
Referral Code:
Amend Ch. 116 Ord.

Account Details

Haverhill Clerk
4 SUMMER ST STE 118
HAVERHILL, MA □ 01830
978-374-2312
cityclerk@cityofhaverhill.com
HAVERHILL CITY CLERK

Schedule for notice number W01427980

Thu Mar 26, 2026
Haverhill Gazette Public Notices
All Zones

CITY OF HAVERHILL **In Municipal Council**

ORDERED:
Municipal Ordinance Chapter 116
An Ordinance Relating to Amend-
ment to Chapter 116 of the Haverhill
City Ordinances

Since this Ordinance exceeds in
length eight octavo pages of ordi-
nary book print, in lieu of advertis-
ing, it is published by the City Coun-
cil in a municipal bulletin, placed
on file in the City Clerk's Office, and
posted on the municipal bulletin in
City Hall.

PLACED ON FILE for at least 10
days
Kaitlin M. Wright, CMC
City Clerk
HG - Publication Dates

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CITY OF HAVERHILL

HAVERHILL, MASSACHUSETTS 01830-5843

DOCUMENTS REFERRED TO COMMITTEE STUDY

Document Number	Motion Details	Committee	Date Sent
103-HH	Motion by Councilor Michitson to send the Home Rule Petition – <i>An Act Establishing Guidelines for the Installation and Use of Electric Vehicle Charging Stations in the City of Haverhill</i> to committee in order to coordinate with condominium associations.	A&F	12/23/23
40	Motion by Councilor Lewandowski to send updated <i>Cannabis Social Equity Best Practices</i> for the Cannabis Control Commission to A&F for further review.	A&F	4/2/24
12-S	Motion by Councilor Ferreira to send the City’s Swimming Ordinance (Chapter 193, Article III) and related items at Lake Saltonstall (Plug Pond) to NRPP for further discussion.	NRPP	6/18/24
33-F	Motion by Councilor Basiliere to send resident winter parking concerns and offer suggestions for improvements to the Public Health & Safety Committee.	Public Health & Safety	3/11/25
33-L	Motion by Councilor Lewandowski to send Bill 3360 (vacancy tax on residential properties) for review, along with further review of the Massachusetts Vacant Storefront Program (MVSP).	Planning & Development	6/24/25
33-P	Motion by Councilor Ferreira to send for review the City’s local strategies regarding traffic and safety, including evaluation of intersections at Amesbury Line Road and Merrimac Road for public safety improvements.	Public Health & Safety	9/16/25
94-B	Motion by Councilor Ferreira to review and update standards of Chapter 250, Article VI of the Haverhill Zoning Code regarding water use restrictions established in 2016.	Planning & Development	9/16/25
33-T	Motion by Councilor Lewandowski to establish a working group, as previously discussed, to implement a control management plan for vegetation in Riverside Park / Edible Avenue along the river.	NRPP	9/30/25
85-E	Motion by Councilor Michitson to send Judi Barrett’s progress report on the fiscal impact analysis prepared for the Council for further discussion.	Planning & Development	12/9/25
1-F	Motion by Councilor Lewandowski to send for discussion the establishment or formalization of an ordinance regarding a water conservation program.	Planning & Development	1/27/26
1-Q / 1-QQ	Motion by Councilor Lewandowski to send for further discussion amendments to Chapter 216 – Snow and Ice Removal, including changes to Sections 1-16, Article 1, Chapter 1 (General Provisions), to increase fines for violations.	Public Health & Safety	3/17/26