



MASSWILDLIFE

DIVISION OF
FISHERIES & WILDLIFE

1 Rabbit Hill Road, Westborough, MA 01581
p: (508) 389-6300 | f: (508) 389-7890
MASS.GOV/MASSWILDLIFE

**MA ENDANGERED SPECIES ACT (G.L. c.131A)
CONSERVATION AND MANAGEMENT PERMIT**

| | |
|---------------------------------|--|
| DATE: | May 6, 2025 |
| DURATION OF PERMIT: | 10 years |
| CONSERVATION PERMIT No.: | CMP-93795 |
| NHESP FILE No.: | 24-18817 (legacy 99-5547) |
| PERMIT HOLDER: | City of Haverhill & Holcim - Northeast Region, Inc. 40 South Porter Street 35 Village Road Haverhill, MA 01835 Middleton, MA 01949 |
| PROJECT: | Closure of Northern Mound of Haverhill Landfill and Lot 26 Ash Area; Construction of Recreational Features |

A. Permit Authority

Pursuant to the authority granted in the Massachusetts Endangered Species Act (“MESA”) (G.L. c. 131A) and its implementing regulations (321 CMR 10.23), the Director of the Massachusetts Division of Fisheries & Wildlife (the “Division”) hereby issues a Conservation and Management Permit (the “Permit”) to the City of Haverhill and Holcim-Northeast Region, Inc., formerly Aggregate Industries (the “Permit Holders”). This Permit authorizes the Take of the Wood Turtle (*Glyptemys insculpta*), which is State-listed as “Special Concern,” pursuant to the MESA, arising out of the closure of the Northern Mound of the Haverhill Landfill and Lot 26 Ash Area followed by construction of recreational amenities (the “Project”) on a ±71 acre site located south of the Merrimack River, west of Johnson Creek and north of Groveland Road in the Towns of Haverhill and Groveland, Massachusetts (the “Property”; Attachment 1). Work within the ±71-acre site is limited to the parcels listed in Table 1.

B. Description of Project and Take

The Project site abuts the Merrimack River to the north and Johnson Creek to the east. The ±71 ac Haverhill Landfill includes two parts, the Northern and Southern Mounds, which are divided by National Grid property that runs generally east to west between the two mounds. The Southern Mound was already capped and therefore not part of this Permit. The focus of this Permit is the Northern Mound, Lot 26 Ash Area, and the existing paved roadway on Lot 32-20 in Groveland.

The Northern Mound is largely located on Parcel 766-788-27 (13.7 acres) of the ±71 ac Property. The Northern Mound is bounded to the north by the Merrimack River and to the east by Johnson Creek. Wooded areas growing over waste occur along the western, northern, and eastern edges of the Northern Mound. The

MASSWILDLIFE

Northern Mound also includes remnant drainage and stormwater management facilities related to historic landfill disposal operations and National Grid activities.

The Lot 26 Ash Area is an approximately 2.1-acre portion of parcels 776-788-26 (5.3 acres) and 32-20 (19.49 acres) and defined by the MassDEP-approved delineated limits of buried ash located on a parcel east of the Southern Mound and southeast of the Northern Mound. The Lot 26 Ash Area also includes an existing stormwater retention basin utilized for the closure of the Southern Mound and the southern portion of the Northern Mound. A Quonset hut building that was formerly utilized as part of asphalt batch plant operations on Lot 26 will be demolished and removed. A roadway utilized by National Grid to access their substation located to the west of the Northern Mound also crosses the Lot 26 Ash Area. This roadway contains the utility poles for the photovoltaic system installed on the Southern Mound plateau and the associated battery storage facility located on Lot 26.

TABLE 1. *Property and parcel information for the Northern Mound and Lot 26 Ash Area Closure. The entire landfill property is 71 acres. Listed below are parcels where work associated with the current Project is proposed.*

| Municipality | Address | Assessors Map / Parcel ID | Owner & Mailing Address | Registry of Deeds Information | Acreage | Area Reference |
|--------------|----------------|---------------------------|---|-------------------------------|---------|--|
| Haverhill | Groveland Road | 776-788-27 | Trimount Bituminous Prod Co 6211 Ann Arbor Rd. Dundee, MI 48131 | Bk 223 / Pg 48969 | 13.7 | Northern Mound |
| Haverhill | Groveland Road | 776-788-26 | Trimount Bituminous Prod Co 6211 Ann Arbor Rd. Dundee, MI 48131 | Bk 223 / Pg 48969 | 5.3 | Lot 26 Ash Area |
| Groveland | 5 Yemma Road | 32-20 | Aggregate Industries-NE Reg (AINER) C/O Tax Department 6211 Ann Arbor Rd. Dundee, MI 48131 | Bk 6594 / Pg. 0736 | 19.49 | Yemma Road Resurfacing & Nesting Habitat |

The Project will cap the Northern Mound (parcel 776-788-27; Table 1) and the Lot 26 Ash Area (parcels 776-788-26 and 32-20; Table 1) in accordance with the MassDEP’s Solid Waste Management Regulations (310 CMR 19) and the Comprehensive Environmental Response, Compensation and Liability Act (CERCLA or Superfund) as administered by EPA (permits identified in Section E). The purpose of a final cap is to minimize stormwater infiltration to reduce leachate generation, prevent erosion of the landfill surface, provide controls for stormwater runoff, control the migration of landfill gases, and isolate waste from the environment thereby eliminating direct contact of waste with human and ecological receptors.

Capping the landfill will involve excavation and work on approximately 20 acres of the Property (Project Plans, Sheet C-3), resulting in loss of 6.2 acres of existing tree cover. Capping the Lot 26 Ash Area will require excavation and work on 2.1 acres (Project Plans, Sheet C-3, C-3A, and C-4G). After the capping work is completed and meets all necessary MassDEP and EPA requirements, recreational fields will be constructed on the Northern Mound property. A new stormwater structure and parking lot will be constructed on a portion of the Lot 26 Ash Area.

On March 31, 2025, the Division determined that the Project will result in a loss of foraging, migratory, and nesting habitat for *Wood Turtle* located within the Project Area. The inclusion of recreational fields and parking will increase exposure of *Wood Turtles* to risk of mortality, predation, and interference with feeding, nesting, and migratory behaviors (Division determination issued March 31, 2025). The Project is conditioned to avoid a Take of *Bald Eagle*, and such conditions are included in this Permit. The Project is not anticipated to result in

a Take of *Shortnose Sturgeon* (*Acipenser brevirostrum*, Endangered) or *Atlantic Sturgeon* (*Acipenser oxyrinchus*, Endangered; collectively both species are hereinafter “Sturgeon”) as all work will occur above the Mean High Water of the Merrimack River.

C. Permit Performance Standards

Under the authority granted by and in accordance with MGL c131A§3 and 321 CMR 10.23, the Director may permit the Take of a State-listed species for conservation and management purposes provided that there is a long-term Net Benefit to the conservation of the impacted species. If the Director determines that the applicant for a permit has avoided, minimized and mitigated impacts to the State-listed species consistent with the following performance standards, then the Director may issue a conservation and management permit, provided:

- (a) the applicant has adequately assessed alternatives to both temporary and permanent impacts to State-listed species;
- (b) an insignificant portion of the local population would be impacted by the Project or Activity, and;
- (c) the applicant agrees to carry out a conservation and management plan that provides a long-term Net Benefit to the conservation of the State-listed species that has been approved by the Director, as provided in 321 CMR 10.23(5), and shall be carried out by the applicant.

The Director has determined that the applicant for this Permit has met the above-mentioned performance standards and that the conservation and management plan described herein provides a long-term Net Benefit to the conservation of the Wood Turtle.

D. Conservation and Management Plan

Wood Turtle - In order to provide a long-term Net Benefit to the conservation of Wood Turtle, the Permit Holder has proposed, by way of the Permit Application, to create and maintain a turtle nesting area on parcel 32-20 in Groveland and install a permanent turtle barrier along the new recreational access road. Avoidance and minimization measures include (a) installing and maintaining temporary turtle barriers throughout construction; (b) having a qualified biologist conduct visual sweeps in work areas; and (c) educating construction staff about the likely presence of State-listed species on the Property and appropriate responses to any sightings.

Therefore, the Project can be permitted pursuant to the MESA. This Permit is issued to condition the Project and to provide a long-term Net Benefit to the Wood Turtle.

Bald Eagle and Sturgeon - Should trash and waste extend beyond the known limits, work to remediate and cap the waste may result in impacts to these species. The Permit Holder has the right to request to amend this Permit for additional work if trash is found beyond the limit of work on the Plan.

E. Related Project Authorizations

- MA Environmental Policy Act (EEA 12626) Certificate on Final Environmental Impact Report: Issued 11/15/21; Certificate on Notice of Project Change issued 10/11/2024
- MA Wetlands Protection Act: Haverhill DEP# 033-1540; Groveland DEP# 030-0494

- MA Department of Environmental Protection, Corrective Design and Post Closure Use: SWSRF #16799
- United States Environmental Protection Agency, Superfund Site. www.epa.gov/superfund/haverhill

F. Documents and Plans of Records

In accordance with the documents and plans of record submitted to the Division entitled:

- Conservation and Management Permit Application Closure of Northern Mound of Haverhill Landfill and Lot 26 Ash Area (dated 9/3/2024, revised 4/6/25; prepared by Epsilon Associates, Inc.), the “Permit Application”; included by reference herein;
 - Figure 1, USGS Locus Map, [Attachment 1](#);
 - Figure 2 Aerial Locus Map, [Attachment 2](#);
- HAVERHILL LANDFILL-NORTHERN MOUND AND LOT 26 ASH AREA CORRECTIVE ACTION DESIGN AND POST CLOSURE USE CWSRF #16799 (dated October 2024, prepared by Langdon Environmental, LLC, 32 sheets total; 22 sheets herein); the “Plans” or “Plans of Record”; [Attachment 3](#);

and any other plans and documents referenced herein, this Permit is issued with the following General and Special Conditions:

G. General Conditions

| | |
|-------|---|
| GC 1. | The Permit Holder shall comply with all General and Special Conditions of this Permit and complete the Project consistent with all Division-approved plans and supporting documents referenced herein, except as otherwise approved by the Division in writing. |
| GC 2. | A violation of any General or Special Condition of this Permit may result in an unauthorized Take and may be subject to civil and or criminal penalties pursuant to M.G.L. c. 131A. The Division reserves the right to require an immediate cessation of Work (as defined in Special Condition #1), in whole or in part and at its sole discretion, should the Permit Holder violate any General or Special Condition of this Permit. |
| GC 3. | The Permit Holder shall submit in writing any documents, plans, reports, or other items required for submission in accordance with this Permit, for review and written approval by the Division, except as otherwise approved by the Division in writing. |
| GC 4. | Division representatives shall have the right to enter and inspect the Property subject to this Permit at reasonable hours to evaluate Permit compliance, and to require the submittal of additional, reasonable information not otherwise required by this Permit if deemed necessary by the Division to complete its evaluation. |
| GC 5. | Any land protected to achieve a long-term Net Benefit associated with this Permit shall remain undeveloped and protected as habitat for State-listed species in perpetuity. |

| | |
|--------|---|
| GC 6. | <p>This Permit shall not preclude the review of future projects on the Property that are subject to the Wetlands Protection Act Regulations (310 CMR 10.37, 10.58(4)(b), 10.59), as applicable, by the Division.</p> |
| GC 7. | <p>This Permit does not relieve the Permit Holder of the necessity of complying with all applicable federal, state or local statutes, ordinances, bylaws or regulations, including but not limited to those administered by the City of Haverhill Conservation Commission, Town of Groveland Conservation Commission, and the Massachusetts Department of Environmental Protection.</p> |
| GC 8. | <p>All Work shall be in conformance with the Plans of Record. Any changes, updates, or revisions to the Project, or any additional work beyond that shown on the Plans of Record, shall require additional review and approval by the Division prior to implementation, pursuant to General Condition #9. This Permit prohibits any work not specifically authorized by this Permit, unless otherwise approved by the Division in writing prior to performing the additional work.</p> |
| GC 9. | <p>Any proposed change to any plan identified in this Permit, or to the State-listed species conservation and management plan required by way of this Permit, shall require the Permit Holder to inquire of the Division, in writing, whether the change is significant enough to require the filing of a new Conservation and Management Permit Application, and or require additional long-term Net Benefit for the affected State-listed species. The Division retains the right to require the submittal of additional, reasonable information to evaluate the proposed plan change.</p> |
| GC 10. | <p>This Permit shall apply to, and inure to the benefit of, the Permit Holder and any successor-in-interest of the Permit Holder, or to a subsequent successor-in-control of the Property or portion thereof subject to this Permit should the Permit Holder convey its record ownership of the Property to said successor-in-control, as well as to any contractor or other person performing Work conditioned by this Permit. Within three (3) days of the transfer of an interest in the Property or a portion thereof, any successor-in-interest or subsequent successor-in-control [i.e., subsequent owners or operators] of the Property or a portion thereof shall provide the Division with a letter indicating (1) that the successor is the successor-in-interest of the Permit Holder or the successor-in-control [i.e., current owner or operator] of the Property or a portion thereof, and (2) that said successor will perform the obligations of the Permit Holder as set forth in this Permit.</p> |
| GC 11. | <p>Prior to the initiation of Work, the Permit Holder shall notify the Division in writing of the name, address, email, business and or cell phone numbers of the project supervisor(s) and/or contractor(s) responsible for compliance with this Permit. The Permit Holder shall provide updated information in writing to the Division should new or additional project supervisors and/or contractors be hired after Work has commenced. Prior to the initiation of Work, said project supervisor(s) and/or contractor(s) shall be provided a copy of the Permit and acknowledge in writing their receipt and understanding of the Permit. Said project supervisor(s) and/or contractor(s) may be held responsible for violations of this Permit performed by said project supervisor(s) and/or contractor(s).</p> |
| GC 12. | <p>Prior to the initiation of Work, the text of this Permit shall be recorded by the Permit Holder in the Registry of Deeds or the Land Court for the district in which the Property is located so as to become a record part of the chain of title of the Property. In the case of recorded land, the Permit shall be noted in the Registry's Grantor Index under the name of the owner of the Property upon which the proposed Work is to be done. In the case of registered land, the Permit shall be noted on the Land Court Certificate of Title of the owner of the Property upon which the proposed Work</p> |

| | |
|--------|---|
| | <p>is done. The Permit Holder shall submit to the Division a date-stamped and signed copy of said recorded Permit showing the date and book and page of recording within five (5) business days after recording and/or filing, as applicable. No Work shall be initiated on the Property until the Permit is recorded and said recorded copy is submitted to the Division, except as otherwise approved by the Division in writing.</p> |
| GC 13. | <p>Prior to the initiation of Work, the Permit Holder shall send a summary report to the Division which: (a) demonstrates compliance with all pre-Work General and Special Conditions of the Permit; and (b) requests permission to initiate the Work authorized by the Permit. Unless otherwise authorized by the Division in writing, no Work may be initiated on the Property until the Permit Holder has received written confirmation from the Division confirming compliance with all pre-Work General and Special Conditions and authorizing the initiation of Work. Within three (3) days of the initiation of Work, the Permit Holder shall send a letter to the Division confirming the date upon which Work commenced.</p> |
| GC 14. | <p>Within (3) months of the completion of Work the Permit Holder shall submit to the Division a written request for a Certificate of Permit Compliance (the "Certificate"), including as-built plans and other supporting materials demonstrating the completion of Work and compliance with all General and Special Conditions of the Permit.</p> <p>The text of the Division-issued Certificate shall be recorded by the Permit Holder in the Registry of Deeds or the Land Court for the district in which the Property is located so as to become a record part of the chain of title of the Property. Unless an extension is granted in writing by the Division pursuant to General Condition #15, the Permit Holder shall record the Division-issued Certificate prior to expiration of the Permit. The Permit Holder shall submit to the Division a date-stamped and signed copy of said recorded Certificate showing the date and book and page of recording within five (5) business days after recording and or filing, as applicable.</p> |
| GC 15. | <p>The Project authorized by this Permit shall be completed within ten (10) years from the date of issuance. If needed, the Permit Holder shall submit a written request to the Division for an extension of time to complete said Project, and the Division will review the Project pursuant to MESA for any continuing impacts as described herein and for any new impacts to any State-listed species found subsequent to the issuance date of this Permit. Said request shall be submitted to the Division at least sixty (60) days prior to expiration of this Permit and shall include a summary report demonstrating compliance with all General and Special Conditions of this Permit.</p> |

H. Special Conditions:

| | |
|-------|--|
| SC 1. | <p><u>Work Authorized by the Permit</u>: This Permit authorizes the capping of the Northern Mound of the Haverhill Landfill and Lot 26 Ash Area, construction of recreational fields, an access road and a parking area pursuant to the Plans of Record and as shown on the Plans (the "Work"). The Work also includes any other on-site activity required by the Division as a condition of this Permit. All Work shall be confined to the area of the Property within the limits of Work shown on the Plans (<u>Attachment 3</u>).</p> |
| SC 2. | <p><u>Temporary Demarcation of Limits of Work</u>: Prior to the initiation of each area of Work, the limits of Work shown on the Plans (<u>Attachment 3</u>) relevant to the area under construction shall be monumented and marked with temporary flagging, silt fencing, other similar visual marker</p> |

| | |
|--------------|---|
| | <p>sufficient to clearly delineate the limits of Work. All marking must be visible from the ground and from the cab of the machinery used on the site.</p> |
| <p>SC 3.</p> | <p><u>Shortnose and Atlantic Sturgeon</u>: As presently proposed, the Project does not require protective measures for sturgeon. However, if trash is found beyond the known limits of work and work must extend below Mean Annual High Water, the project shall consult with the Division prior to initiation of any such work. After consultation with the Division this Permit may be amended to allow impacts to sturgeon. We would expect that the project would be required to adhere to a time-of-year restriction, implement protective measures, monitor in-water sound levels/pressure, and provide for a Long-term Net Benefit as required by 321 CMR 10.23.</p> <p>Atlantic and Shortnose Sturgeons are federally listed and protected pursuant to the U.S. Endangered Species Act (ESA, 50 CFR 17.11) implemented by the National Oceanic and Atmospheric Administration’s National Marine Fisheries Service (NMFS). Any proposal to conduct work must comply with all requirements to comply with the United States Endangered Species Act.</p> |
| <p>SC 4.</p> | <p><u>Potential Additional Waste Recovery</u>: According to the Plans, waste relocation may need to occur on Massachusetts Electric Company property (dba National Grid, 124 Groveland Road, Assessors 776-788-1AA). In such circumstances and prior to the start of work, the Permit Holder shall submit written authorization to conduct Work on Massachusetts Electric Company property.</p> |
| | <p style="text-align: center;">WOOD TURTLE (321 CMR 10.18 & 10.23)</p> |
| <p>SC 5.</p> | <p><u>Nesting Habitat Creation</u>: In order to provide a long-term Net Benefit to the conservation of the Wood Turtle, the Permit Holder has proposed to create at least ±10,000 square feet of high-quality turtle nesting habitat on parcel 776-788-26 (Lot 26 Ash Area) in the area identified on Sheet C-4G (Note 2/D-8) in perpetuity. The nesting area will be created as soon as allowed by the ongoing capping work, but no later than 2 years from the initiation of work on the Project.</p> <p>Prior to initiation of work on the Project, the Permit Holder, in consultation with a qualified biologist, shall submit a turtle nesting habitat creation plan for Division review and approval. The plan shall be consistent with the “ADVISORY GUIDELINES FOR CREATING TURTLE NESTING HABITAT” (https://www.mass.gov/files/2017-08/creating-turtle-nesting-sites.pdf).</p> |
| <p>SC 6.</p> | <p><u>Nesting Habitat Maintenance Plan</u>: Prior to the initiation of work on the Project, the Permit Holder shall submit a long-term habitat management and maintenance plan for the turtle nesting area. It is anticipated that maintenance of high-quality nesting habitat will require, at minimum, regular mowing, roto-tilling, or scraping of accumulated topsoil to maintain nesting habitats, as well as control of invasive species. All work is subject to the Turtle Protection Plan (Special Condition #12).</p> <p>On an as-needed basis, minor vegetation cutting (e.g., shrubs, saplings, suckers) may occur along the edges of the nesting area to provide escape and cover for hatchlings. Further, qualified biologists may also use onsite materials to create cover within and near the nesting habitat.</p> <p>During the first, second, third-, and fifth-year following completion of initial nesting habitat creation, and at five (5) year intervals thereafter until 30 years post-creation, a qualified, Division-approved wildlife biologist shall prepare and deliver a site evaluation report to the Division and the</p> |

| | |
|--------------|---|
| | <p>Permit Holder within thirty (30) days of completing the site evaluation. Said report shall describe: (i) current habitat conditions (including photographs and detailed descriptions of habitat conditions); (ii) management activities conducted during the previous management period and an assessment of the success or failure of said management activities in achieving the desired habitat conditions; (iii) habitat management recommendations for the next management period; and (iv) recommended modifications to the Habitat Management Plan, if necessary.</p> <p>The Permit Holder shall take all reasonable measures necessary to implement the recommendations of the biologist to maintain and enhance high quality habitats for the Wood Turtle on the Property, provided that said recommendations are approved in writing by the Division. The Permit Holder shall work with the Division, as necessary, to adaptively refine the type and frequency of management activities pursuant to the Habitat Management Plan and long-term habitat monitoring outlined above.</p> |
| <p>SC 7.</p> | <p><u>Vegetation Management Plan, Habitat Management Area:</u> In order to provide a long-term Net Benefit to the conservation of the Wood Turtle, a portion of the Lot 26 Ash Area located east of Yemma Road and its extension, but excluding the existing stormwater basin, parking lot, and proposed stormwater basin (sheet C-4), is hereinafter called the “Habitat Management Area”.</p> <p>Prior to initiation of work, the Permit Holder shall submit a vegetation mowing and management plan for the Habitat Management Area to maintain the area as old field habitat.</p> <ol style="list-style-type: none"> a. The area immediately around the Nesting Habitat shall be allowed to retain as much native shrubs as feasible to provide a visual screen and escape cover. The remainder of the Habitat Management Area shall be rotationally mowed in 1/3 of the area per management cycle, to ensure a variety of vegetation classes. b. The Plan shall eliminate mowing and other mechanical management between 15 May and 15 September. c. Proposed mowing and vegetation management shall be consistent with the “MOWING ADVISORY GUIDELINES IN RARE TURTLE HABITAT: PASTURES, SUCCESSIONAL FIELDS, AND HAYFIELDS” (https://www.mass.gov/doc/mowing-guidelines-in-rare-turtle-habitat/download). d. One or more signs shall be installed at the entrances to the Habitat Management Area stating the form and timing of management. |
| <p>SC 8.</p> | <p><u>Permanent Demarcation of Nesting Areas:</u> The boundaries of the created nesting habitat and a surrounding vegetation management buffer shall be permanently monumented and marked with signage.</p> <ol style="list-style-type: none"> a. The form and wording of the signage shall be submitted to the Division for review and approval. b. Said permanent bounds and signage shall be maintained in good condition by the Permit Holder and repaired or replaced as necessary. |
| <p>SC 9.</p> | <p><u>Permanent Turtle Barrier and Fence:</u> The boundaries of the Habitat Management Area shall be fenced off from the recreational use and amenities of the site.</p> |

| | |
|---------------|---|
| | <p>a. Prior to start of work, the Permit Holder shall submit a plan showing the location and form of the barrier and fence.</p> <p>b. The Project shall install the permanent turtle barrier to prevent intrusion of Wood Turtles onto the access road and parking lot, as shown on Sheet C-4G (“PERMANENT TURTLE EXCLUSION BARRIER. TURTLE EXCLUSIONS BARRIER SHALL BE A 4-FOOT TALL, SMALL MESH (1 1/4”-INCH MESH) CHAIN-LINK FENCE”; the “Turtle Barrier”).</p> <p>c. A fence shall be added to the southern end of the Turtle Barrier and extend to Assessor’s parcel 32-022-0 (4 Yemma Road). This fence, for example a split-rail fence, shall be designed to limit intrusion by people and vehicles into the area.</p> <p>d. The Turtle Barrier and fence should be installed after the construction-period barrier is removed and after Yemma Road is repaved, but no later than 2 years from the initiation of work, which deadline may be extended by the Division.</p> |
| <p>SC 10.</p> | <p><u>Funding for Long-Term Management & Monitoring</u>: In order to ensure adequate funding for implementation of long-term management and monitoring activities on the Property, the Permit Holder shall provide an initial deposit of \$30,000 into a Division-approved escrow account, or through another mechanism approved in advance by the Division (the “Habitat Management Funds”). Thereafter, the account shall maintain a balance of no less than \$16,000.</p> <p>Therefore, prior to the initiation of Work, the Permit Holder shall:</p> <ol style="list-style-type: none"> 1. Submit to the Division, for review and approval, the details of the proposed funding mechanism, such as an escrow agreement, mitigation funding agreement, or similar. 2. The final funding mechanism and associated documentation must be approved by the Division in writing. 3. Proof of execution of the Division-approved mechanism must be submitted to the Division. 4. Proof of depositing the Habitat Management Funds into the mechanism, including a receipt of deposit or similar. <p>The Permit Holder, subject to prior Division approval, may draw earnings from the escrow account or other Division-approved mechanism to pay for future management and monitoring of the portion of the Lot 26 Ash area that will be maintained as habitat for state-listed species (<u>Special Condition #7</u>)</p> |
| <p>SC 11.</p> | <p><u>Land Protection Plan, Habitat Management Area</u>: In order to provide a long-term Net Benefit to the conservation of the Wood Turtle, the project will provide permanent protection to the Habitat Management Area, inclusive of the created nesting area consistent with Sections 31-33 of Chapter 184 of the General Laws of Massachusetts, for example recording of a Conservation Restriction or deeding the land to the Conservation Commission(s).</p> <p>The Permit Holder shall consult with the Division well in advance of the start of work to discuss options for land protection that are consistent with the MassDEP and EPA’s requirements for the site.</p> |

| | |
|---------------|--|
| | <p>Prior to start of work, a Division-approved land protection plan must be executed for the Habitat Management Area.</p> |
| <p>SC 12.</p> | <p><u>Wood Turtle Protection Plan</u>: The Permit Holder shall implement protective measures to avoid impacts to Wood Turtles during construction along Johnson Creek and the Lot 26 Ash area. Protective measures or adherence to a time-of-year restriction may be required during some aspects of the project’s activities. Prior to the start of Work on the Project, the Permit Holder shall submit a written Turtle protection Plan by a qualified biologist.</p> <p>All Work shall occur pursuant to the protective measures outlined within said Plan, which shall be implemented as written unless otherwise approved by the Division in writing. Any proposed changes to said Plan shall be submitted to the Division for review and written approval prior to the implementation of any changes. Said Plan must be implemented by a qualified, Division-approved wildlife biologist in possession of a valid Scientific Collection Permit obtained from the Division. The wildlife biologist shall prepare and deliver an annual report documenting implementation of and compliance with said Plan by December 31 of each year in which Work associated with the Project occurs.</p> |
| | <p style="text-align: center;">BALD EAGLE (321 CMR 10.18(a))</p> |
| <p>SC 13.</p> | <p><u>Tree Inspection Prior to Cutting</u>:</p> <ol style="list-style-type: none"> a. All trees that may provide protentional nesting habitat shall be visually inspected by a qualified biologist and if no evidence of nesting activity is observed, the tree shall be cut within 1 week of the observation. b. Trees shall be inspected and thereafter cut between September 1 and April 15. c. If nesting activity is observed, the tree and all work within 300 feet shall stop immediately. The Permit Holder must consult with the Division prior to continuation. The Division reserves the right to require additional protective measures, mitigation, and that the project results in a Long-term Net Benefit for Bald Eagle as required by 321 CMR 10.23. d. All proposed work shall be in compliance with (a) the Eagle Management Program (USFWS, www.fws.gov/program/eagle-management) and (b) National Bald Eagle Management Guidelines (2007, https://www.fws.gov/media/national-bald-eagle-management-guidelines). |
| <p>SC 14.</p> | <p><u>Nesting Stand/Platform</u>: The Project will construct a single nesting stand/platform after the completion of capping of the Northern Mound. The nesting mast will be located between the structure on the National Grid property and the Northern Mound and along the Merrimack River (Plans, Sheet C-4). The final location and configuration of the nesting mast shall be installed after consultation with the Division. The estimated timing for installation of the Nesting Stand/Platform will be provided to the Division after the construction schedule is prepared by the select contractor.</p> |

| | |
|---------------|---|
| | <p align="center">ONSITE CONSTRUCTION BMPs & EDUCATION; WELL-SITE VEGETATION MANAGEMENT 321 CMR 10.18 & 10.23</p> |
| <p>SC 15.</p> | <p><u>Soil Disturbance & Construction BMP</u>: All work shall include the following BMPs, invasive plant species.</p> <ul style="list-style-type: none"> a. Prior to implementing activities, search for and locate invasive plant species infestations consistent with the scale and intensity of operations. b. Based on the degree of invasiveness and risk to nearby natural and created habitat, pre-treatment of invasive plants may be warranted. The use of herbicides, smothering and other measures may be necessary. c. If soils including invasive plants are disturbed, remove the affected soil from the site and ensure it is disposed of or composted fully prior to re-use. d. Use only native plants in disturbed areas not thereafter maintained as lawn. e. Visually inspect all equipment entering and leaving the site for invasive plant parts, seeds or soil. Remove any invasive plant materials or plant parts. f. Establish staging areas and temporary facilities in locations that are free of invasive species. g. Use soil and aggregate material from sources that are free of invasive species. |
| <p>SC 16.</p> | <p><u>Construction Staff Education</u>: All construction, landscaping, and other sub-contractors associated with the Project shall be informed in writing of the likely presence of State-listed species on the Property and what measures should be implemented to minimize direct harm to State-listed species. Further, no wildlife shall be removed from the Property without approval of a qualified, Division-approved wildlife biologist or the Division except as necessary to receive veterinary treatment in the case of harm during construction.</p> |
| <p>SC 17.</p> | <p><u>Observations of State-listed Species</u>: The Division shall be notified, in the form of an NHESP Rare Animal or Plant Observation Form, within ten (10) days of the observation of any State-listed species within or outside the limits of Work. Visit https://www.mass.gov/how-to/report-rare-species-vernal-pool-observations for access to observation reporting forms.</p> |

I. Notice of Appeal of Rights

This Permit is a final decision of the Division of Fisheries and Wildlife pursuant to 321 CMR 10.23. Any person aggrieved by this decision shall have the right to an adjudicatory hearing at the Division pursuant to M.G.L. c. 30A, s.11 in accordance with the procedures for informal hearings set forth in 801 CMR 1.02 and 1.03.

Any notice of claim for an adjudicatory hearing shall be made in writing and be accompanied by a filing fee in the amount of \$500.00. The notice of claim shall be sent to the Division by certified mail, hand delivered or postmarked within twenty-one (21) days of the date of issuance of this Permit to:

MASS WILDLIFE

Mark S. Tisa, Director
Massachusetts Division of Fisheries and Wildlife
Field Headquarters
One Rabbit Hill Road
Westborough, MA 01581

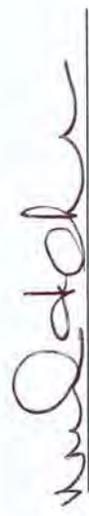
Any notice of claim for an adjudicatory hearing shall include the following information:

1. The file number for the project;
2. The complete name, address and telephone number of the person filing the request, and the name, address and telephone number of any authorized representative;
3. The specific facts that demonstrate that a party filing a notice of claim satisfies the requirements of an "aggrieved person," including but not limited to (a) how they have a definite interest in the matters in contention within the scope of interests or area of concern of M.G.L. c. 131A or the regulations at 321 CMR 10.00 and (b) have suffered an actual injury which is special and different from that of the public and which has resulted from violation of a duty owed to them by the Division;
4. A clear statement that an adjudicatory hearing is being requested;
5. A clear and concise statement of facts which are grounds for the proceeding, the specific objections to the actions of the Division and the basis for those objections; and the relief sought through the adjudicatory hearing; and a statement that a copy of the request has been sent by certified mail or hand delivered to the applicant and the record owner, if different from the applicant.



Jesse Leddick
Assistant Director

On this 6th day of May, 2025, before me, the undersigned notary public, personally appeared Jesse Leddick, Deputy Director, proved to me through satisfactory evidence of identification, which was personal knowledge, to be the person whose name is signed on the preceding or attached document, and who swore or affirmed to me that the contents of the document are truthful and accurate to the best of his/her knowledge and belief.



Melany Cheeseman, Notary Public
My Commission Expires: January 22, 2032

Conservation and Management Permit CMP-93795

Issued: May 6, 2025

Expires: May 6, 2035

Acknowledgement and Acceptance of all Terms of this Permit

The undersigned below agrees that commencement of any work authorized by and described in this Permit constitutes acknowledgement and acceptance of all terms of this Permit.

| | |
|--|---|
| | Signatory 1 Organization City of Haverhill |
|--|---|

COMMONWEALTH OF MASSACHUSETTS

On this ____ day of _____, 20____, before me, the undersigned notary public, personally appeared _____, proved to me through satisfactory evidence of identification which was _____ to be the person whose name is signed on the preceding or attached document, and who swore or affirmed to me that the contents of the document are truthful and accurate to the best of his/her/their knowledge and belief.

Notary Public:

SEAL

My Commission Expires:

Acknowledgement and Acceptance of all Terms of this Permit

The undersigned below agrees that commencement of any work authorized by and described in this Permit constitutes acknowledgement and acceptance of all terms of this Permit.

| | |
|--|--|
| | Signatory 1 Organization: Holcim- Northeast Region Inc. |
|--|--|

COMMONWEALTH OF MASSACHUSETTS

On this _____ day of _____, 20____, before me, the undersigned notary public, personally appeared _____, proved to me through satisfactory evidence of identification which was _____ to be the person whose name is signed on the preceding or attached document, and who swore or affirmed to me that the contents of the document are truthful and accurate to the best of his/her/their knowledge and belief.

Notary Public:

SEAL

My Commission Expires:

Distribution List

Groveland Board of Selectmen
Groveland Conservation Commission
Groveland Planning Board
Haverhill Board of Selectmen
Haverhill Conservation Commission
Haverhill Planning Board
MA DEP Northern Regional Office, Wetlands Program
MA DFW Northeast District Office
Alexander Strycky, MA Environmental Policy Act Office
Dwight Dunk, Epsilon Associates

Attachment 1

Figure 1 USGS Locus Map

Attachment 2

Figure 2 Aerial Locus Map

Attachment 3

HAVERHILL LANDFILL-NORTHERN MOUND AND LOT 26 ASH AREA CORRECTIVE ACTION DESIGN AND POST CLOSURE USE CWSRF #16799 (dated October 2024, prepared by Langdon Environmental, LLC, 32 sheets); the "Plans" or "Plans of Record"

HVERHILL LANDFILL-NORTHERN MOUND AND LOT 26 ASH AREA CORRECTIVE ACTION DESIGN AND POST CLOSURE USE CWSRF # 16799

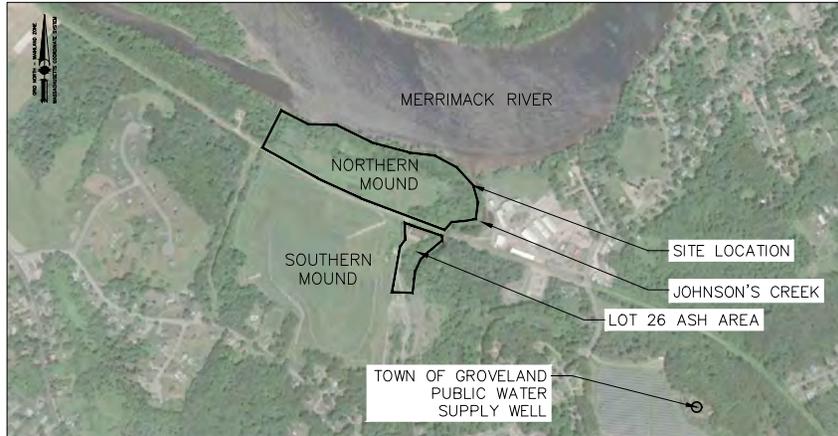
OLD GROVELAND ROAD HAVERHILL, MA

PREPARED FOR:

CITY OF HAVERHILL MASSACHUSETTS

MAYOR: MELINDA E. BARRETT
DIRECTOR OF PUBLIC WORKS: ROBERT E. WARD

HOLCIM-NEF, INC.
REGIONAL MANAGER, LAND AND ENVIRONMENT:
JARRETT TEMPLE



LIST OF DRAWINGS

- G-1 GENERAL NOTES
- C-1 EXISTING CONDITIONS PLAN-NORTHERN MOUND
- C-1A EXISTING CONDITIONS PLAN-LOT 26 ASH AREA
- C-1B EXISTING CONDITIONS PLAN-YEMMA ROAD
- C-2 SITE PREPARATION AND EROSION CONTROLS PLAN-NORTHERN MOUND
- C-2A SITE PREPARATION AND EROSION CONTROLS PLAN-LOT 26 ASH AREA
- C-3 WASTE RELOCATION/ CAP SUBGRADE PLAN-NORTHERN MOUND
- C-3A WASTE RELOCATION/ CAP SUBGRADE PLAN-LOT 26 ASH AREA
- C-4 FINISH GRADING PLAN-NORTHERN MOUND
- C-4A FINISH GRADE ENLARGEMENT I-NORTHERN MOUND
- C-4B FINISH GRADE ENLARGEMENT II-NORTHERN MOUND
- C-4C FINISH GRADE ENLARGEMENT III-NORTHERN MOUND
- C-4D FINISH GRADE ENLARGEMENT IV-NORTHERN MOUND
- C-4E FINAL GRADING AND CAPPING PLAN-LOT 26 ASH AREA
- C-4F WETLAND RESOURCE AREA RESTORATION PLANS-NORTHERN MOUND
- C-4G FINISH GRADING PLAN-YEMMA ROAD
- C-5 MATERIALS PLAN-NORTHERN MOUND
- C-5A MATERIALS PLAN-LOT 26 ASH AREA
- C-6 LANDFILL GAS COLLECTION AND VENTING SYSTEM-NORTHERN MOUND
- C-7 CROSS SECTIONS I-NORTHERN MOUND
- C-8 CROSS SECTIONS II-NORTHERN MOUND
- C-9 CROSS SECTIONS III-NORTHERN MOUND
- L-1 LANDSCAPE PLAN-NORTHERN MOUND
- L-2 LANDSCAPE LAYOUT PLAN AND SCHEDULE-NORTHERN MOUND
- D-1 SITE DETAILS I
- D-2 SITE DETAILS II
- D-3 SITE DETAILS III
- D-4 SITE DETAILS IV
- D-5 SITE DETAILS V
- D-6 SITE DETAILS VI
- D-7 SITE DETAILS VII
- D-8 SITE DETAILS VIII

OCTOBER 2024



404 THE HILL, P.O. BOX 511
PORTSMOUTH, NH 03802
(617) 875-3693

GENERAL NOTES

1. THE TOPOGRAPHIC INFORMATION FOR NORTHERN MOUND AND LOT 26 ASH AREA SHOWN HEREIN IS FROM A FIELD SURVEY COMPLETED BY T.F. BERNIER, INC. OF CONCORD, NEW HAMPSHIRE IN AUGUST 2017. BOUNDARY INFORMATION IS FROM PLAN REFERENCE NUMBER 1. NO VERIFICATION OR UPDATING OF THE BOUNDARY INFORMATION WAS DONE IN THE PREPARATION OF THIS PLAN. KNOWN DISCREPANCIES EXIST INCLUDING THE LOCATION OF JOHNSON'S CREEK WHICH MAY AFFECT THE MUNICIPAL BOUNDARY.
2. EXISTING CONDITIONS OF YEMMA ROAD WERE COMPILED FROM PUBLICLY AVAILABLE GIS, LIDAR, ETC. CONTRACTOR TO CONFIRM LOCATIONS OF ALL BOUNDARIES, STRUCTURES, AND APPURTENANCES PRIOR TO CONSTRUCTION ACTIVITIES.
3. THE VERTICAL DATUM IS NAVD88 BASED ON MULTIPLE STATIC GPS OBSERVATIONS COMPLETED BY T.F. BERNIER, INC.
4. EASEMENT BOUNDARIES SHOWN HEREIN HAVE BEEN DIGITIZED FROM PLAN REFERENCE NUMBER 1 AND ARE FOR INFORMATION PURPOSES ONLY. FOR DESCRIPTION AND COMPLETE INFORMATION SEE SAID PLAN REFERENCE NUMBER 1.
5. WETLAND DELINEATION WORK CONDUCTED BY EPSILON ASSOCIATES ON JULY 7 AND 12, 2017. DELINEATION WAS APPROVED BY HAVERHILL CONSERVATION COMMISSION IN ORDER OF RESOURCE AREA DELINEATION (ORAD) DATED JANUARY 19, 2018 AND GROVELAND CONSERVATION COMMISSION ORAD DATED JANUARY 22, 2018. ORDER OF CONDITIONS FROM HAVERHILL AND GROVELAND CONSERVATION COMMISSIONS INCLUDED IN PROJECT MANUAL.
6. ELEVATIONS BASED ON DATA FROM NOAA STATION 8440889, RIVERSIDE, MERRIMACK RIVER, MA.
MEAN HIGH WATER (MHW) = +4.46' NAVD88.
MEAN LOW WATER (MLW) = -1.26' NAVD88.
CHAPTER 91 LICENSE NO. 12877
7. FEMA 100-YEAR FLOODPLAIN ZONE ELEVATION / BORDERING LAND SUBJECT TO FLOODING (BLSF) = EL. 21 NAVD88, FEMA 10-YEAR FLOODPLAIN = EL. 14 NAVD88.
8. ACCESS TO MASS ELECTRIC PROPERTY TO BE MAINTAINED CONTINUOUSLY DURING CONSTRUCTION ACTIVITIES. ACCESS TO SOLAR PHOTOVOLTAIC INSTALLATION ON SOUTHERN MOUND AND BATTERY STORAGE AREA ON LOT 26 TO BE MAINTAINED CONTINUOUSLY DURING CONSTRUCTION ACTIVITIES.
9. CONTRACTOR TO FIELD LOCATE ALL PROPERTY LINES AND EASEMENTS WITHIN LIMIT OF WORK PRIOR TO THE START OF CONSTRUCTION ACTIVITIES. CONTRACTOR TO MAINTAIN LOCATIONS THROUGHOUT CONSTRUCTION AND REESTABLISH MARKINGS AS NECESSARY. PROPERTY LINES AND EASEMENT LOCATION TO BE PROVIDED BY A REGISTERED LAND SURVEYOR LICENSED IN MASSACHUSETTS.
10. ALL CONSTRUCTION ACCESS TO BE FROM YEMMA ROAD. SEE SPECIFICATIONS FOR DESIGNATED TRUCK ROUTES.

PLAN REFERENCE NOTES

1. PLAN REFERENCE OF LAND LOCATED IN HAVERHILL AND GROVELAND MASSACHUSETTS PREPARED FOR CDM, CITY OF HAVERHILL AND AGGREGATE INDUSTRIES, SCALE: 1"=120', DATED FEBRUARY 3, 2006 PREPARED BY SCOTT L. GILES P.L.S. #13972.

SITE PREPARATION NOTES:

1. NOTIFY "DIGSAFE" AT 1 888-344-7233 TO ARRANGE FOR MARKING OUT EXISTING UNDERGROUND UTILITIES AT LEAST 72 HOURS (EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS) PRIOR TO BEGINNING EXCAVATION AT ANY GIVEN LOCATION. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR BE ALLOWED TO START ANY KIND OF EXCAVATION WORK PRIOR TO OBTAINING ALL THE NECESSARY INFORMATION REGARDING THE LOCATION OF UNDERGROUND UTILITIES AT THE SITE.
2. THE EXISTENCE OF UTILITIES AND APPURTENANCES AS SHOWN ON THESE DRAWINGS ARE FOR REFERENCE ONLY, AND THE EXACT SIZE, TYPE, LOCATION AND ELEVATION SHALL BE THOROUGHLY INVESTIGATED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
3. ACCOMPLISH ALL EXCAVATION SO THAT UNDERGROUND UTILITIES OR STRUCTURES ARE NOT DAMAGED. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE INCURRED DURING EXCAVATION OPERATIONS. REPAIR ANY EXISTING PIPE OR UTILITY DAMAGED DURING CONSTRUCTION AT NO COST TO THE OWNER.
4. CONTRACTOR SHALL BE AWARE OF ANY OVERHEAD UTILITIES AND MAKE THE NECESSARY ARRANGEMENTS TO PERFORM ANY WORK NEAR THE OVERHEAD UTILITIES, PRIOR TO THE START OF CONSTRUCTION ACTIVITIES IN THESE AREAS.
5. ALL EXCAVATION SHALL COMPLY WITH THE LATEST OSHA STANDARDS. PROVIDE ALL REQUIREMENTS OF OSHA EXCAVATION STANDARDS INCLUDING BUT NOT LIMITED TO THE PROVISIONS FOR A COMPETENT PERSON ON SITE AND REQUIRED DOCUMENTATION THAT MAY REQUIRE CERTIFICATION BY A REGISTERED PROFESSIONAL ENGINEER.
6. ENGINEER SHALL BE NOTIFIED OF ANY STORM, SANITARY, OR OTHER PIPE DISCOVERED DURING CONSTRUCTION THAT IS NOT SHOWN ON THE DRAWINGS.
7. ADJUST ALL MANHOLES, CATCH BASINS, WATER SHUT-OFFS AND VALVES, AND ANY OTHER STRUCTURE TO BE FLUSH WITH PROPOSED FINISHED GRADE.
8. EXISTING UTILITIES, PROPERTY LINES AND SITE TOPOGRAPHY BASED ON SITE SURVEY BY GUERRIERE & HALNON, DATED JULY 7, 2015, REVISED 28 MARCH 2017.
9. LOCATIONS OF UTILITIES SHOULD STILL BE CONSIDERED APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN.
10. EXISTING MONITORING WELLS, LANDFILL GAS MONITORING WELLS, AND FLOODPLAIN LINE AND FROM FIELD SURVEY COMPLETED BY T.F. BERNIER, INC. OF CONCORD, NEW HAMPSHIRE DATED AUGUST 2019.

CONSTRUCTION NOTES:

1. THE EDGE OF LANDFILLED WASTE FOR THE NORTHERN MOUND SHOWN ON THE PLANS IS APPROXIMATE AND BASED ON SUBSURFACE INVESTIGATIONS PERFORMED BY LANGSON ENVIRONMENTAL LLC AND OTHERS. DURING CONSTRUCTION, SUPPLEMENTAL TEST PITS AND INVESTIGATIONS SHALL BE PERFORMED BY THE CONTRACTOR TO CONFIRM THE EDGE OF LANDFILLED WASTE. WHERE REQUIRED, LANDFILLED WASTE OUTSIDE THE LIMIT OF THE PROPOSED CAP WILL BE EXCAVATED AND RELOCATED WITHIN THE LIMITS OF THE LANDFILL TO BE CAPPED. ENGINEER MAY MODIFY LIMIT OF CAP AS SHOWN IF LANDFILLED WASTE LEFT IN PLACE.
2. THE EDGE OF WASTE ON LOT 26 ASH AREA IS AS APPROVED BY MASSDEP. NO ADDITIONAL TEST PITS TO DELINEATE THE EDGE OF WASTE ARE REQUIRED. ENGINEER MAY DIRECT CONTRACTOR TO PERFORM ADDITIONAL TEST PITS BASED ON FIELD OBSERVATIONS.
3. WASTE TO BE RELOCATED MAY INCLUDE MUNICIPAL SOLID WASTE, CONSTRUCTION AND DEMOLITION WASTE, MUNICIPAL WASTEWATER TREATMENT RESIDUALS FROM PAPERBOARD PROCESSING. CONTRACTOR SHALL PROVIDE ODOR CONTROLS SO AS TO NOT CREATE OFF-SITE ODOR NUISANCE CONDITIONS.
4. CONTRACTOR SHALL COVER ALL EXPOSED LANDFILLED WASTE AT THE END OF EACH OPERATING DAY IN ACCORDANCE WITH THE REQUIREMENTS OF MASSDEP'S SOLID WASTE MANAGEMENT REGULATIONS (310 CMR 19.000) AND THE SPECIFICATIONS.
5. RELOCATED SOLID WASTE WILL BE PLACED IN COMPACTED LIFTS NOT TO EXCEED THREE FEET IN THICKNESS AND COVERED WITH A MINIMUM OF SIX-INCHES OF SOIL DAILY COVER IN ACCORDANCE WITH THE REQUIREMENTS OF THE SOLID WASTE MANAGEMENT REGULATIONS (310 CMR 19.000) PROMULGATED BY THE MASSACHUSETTS DEPARTMENT OF ENVIRONMENTAL PROTECTION (MASSDEP).
6. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE DISTURBANCE OF THE EXISTING SITE. DISTURBANCES TO INSTALL CONTROL MEASURES SHALL BE LIMITED.
7. EROSION AND SEDIMENT CONTROL MEASURES SHOWN MAY BE INSTALLED IN PHASES IF AREAS OF THE SITE ARE TO BE DISTURBED IN PHASES. EROSION CONTROLS AS SHOWN MAY BE TEMPORARILY RELOCATED TO ALLOW EXCAVATION OF LANDFILLED WASTE. FINAL LOCATION OF EROSION CONTROLS TO BE AS FAR OUTSIDE OF LIMIT OF DISTURBED AS POSSIBLE WITHOUT BEING PLACED IN FLAGGED BORDERING VEGETATED WETLAND (BWW) AREAS.
8. TEMPORARY EROSION AND STORMWATER CONTROLS SHALL BE INSTALLED TO MINIMIZE EROSION AND DAMAGE TO DELINEATED WETLAND RESOURCE AREAS. STORMWATER CONTROLS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) TO BE PREPARED BY THE CONTRACTOR AND APPROVED BY THE ENGINEER.

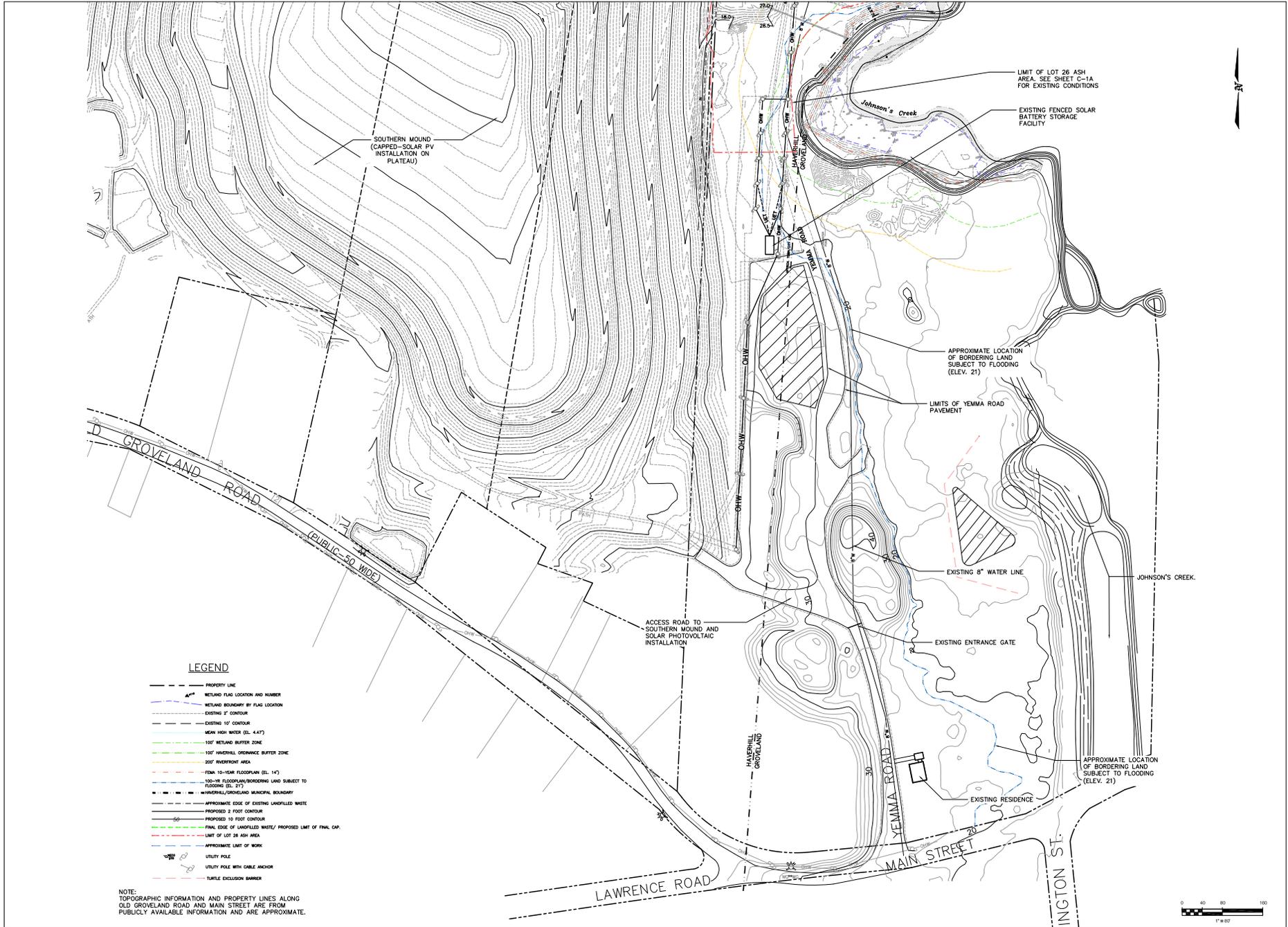
| NUMBER | DATE | MADE BY | CHECKED BY | REVISIONS |
|--------|------|---------|------------|-----------|
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |



Proj. Mgr.: BWH
 Designed: JEC
 Drawn: JEC
 Checked: BWH
 Scale: AS NOTED
 Date: OCT. 2024

GENERAL NOTES
 HAVERHILL LANDFILL-NORTHERN MOUND
 & LOT 26 ASH AREA
 HAVERHILL MASSACHUSETTS

Proj. No.
 Dwg. No.



| NO. | DATE | REVISIONS |
|-----|------|-----------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |



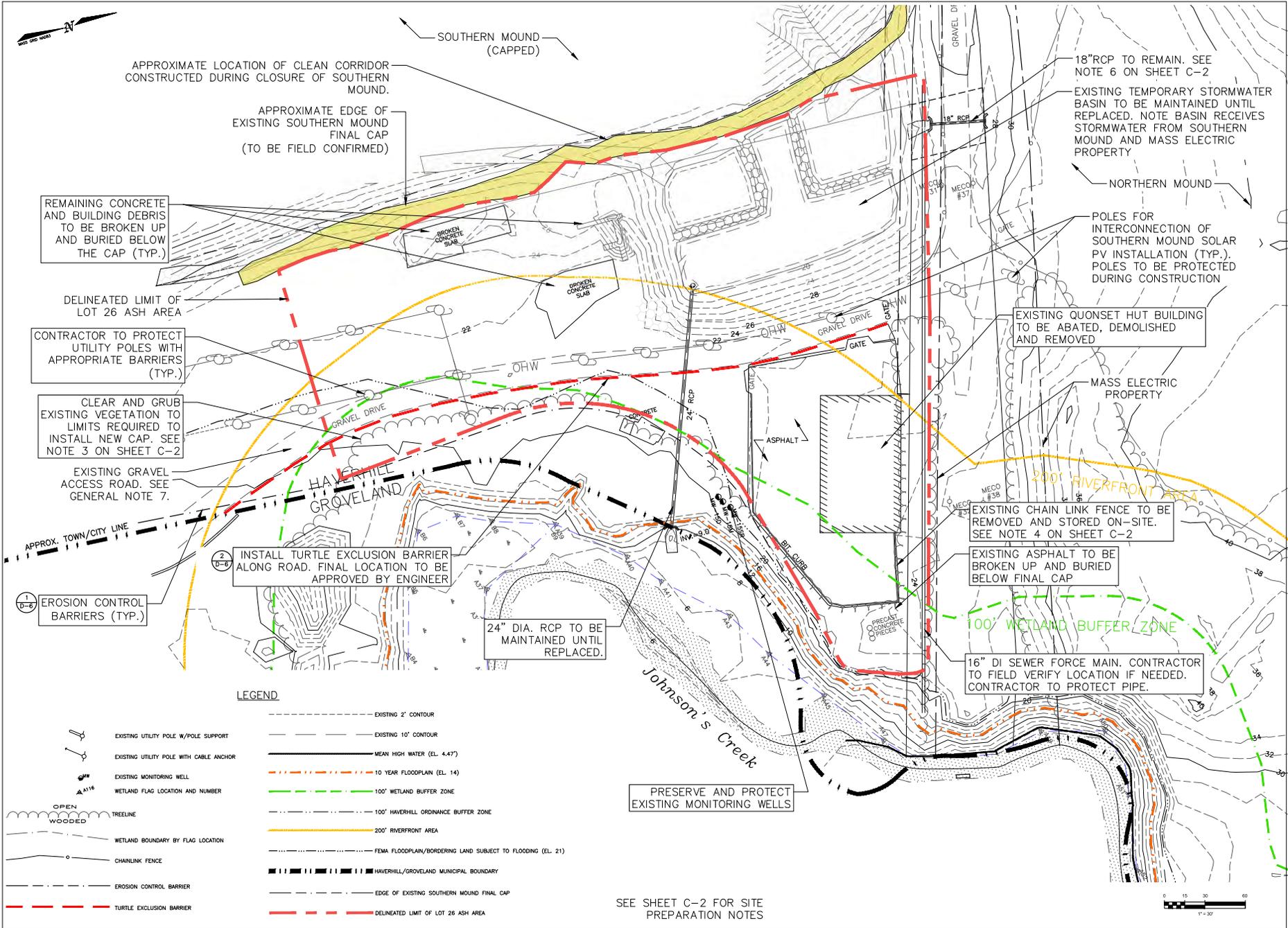
Langdon Environmental LLC
 400 Hill St., 2nd Fl., Boston, MA 02114
 (617) 891-3887

Proj. Mgr.: BWH
 Designer: JJC
 Checker: JJC
 Scale: AS NOTED
 Date: OCT. 2024

EXISTING CONDITIONS PLAN—YEMMA ROAD
 HAVERHILL LANDFILL—NORTHERN MOUND
 & LOT 26 ASH AREA
 HAVERHILL, MASSACHUSETTS

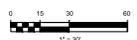
Proj. No.
 Dwg. No.

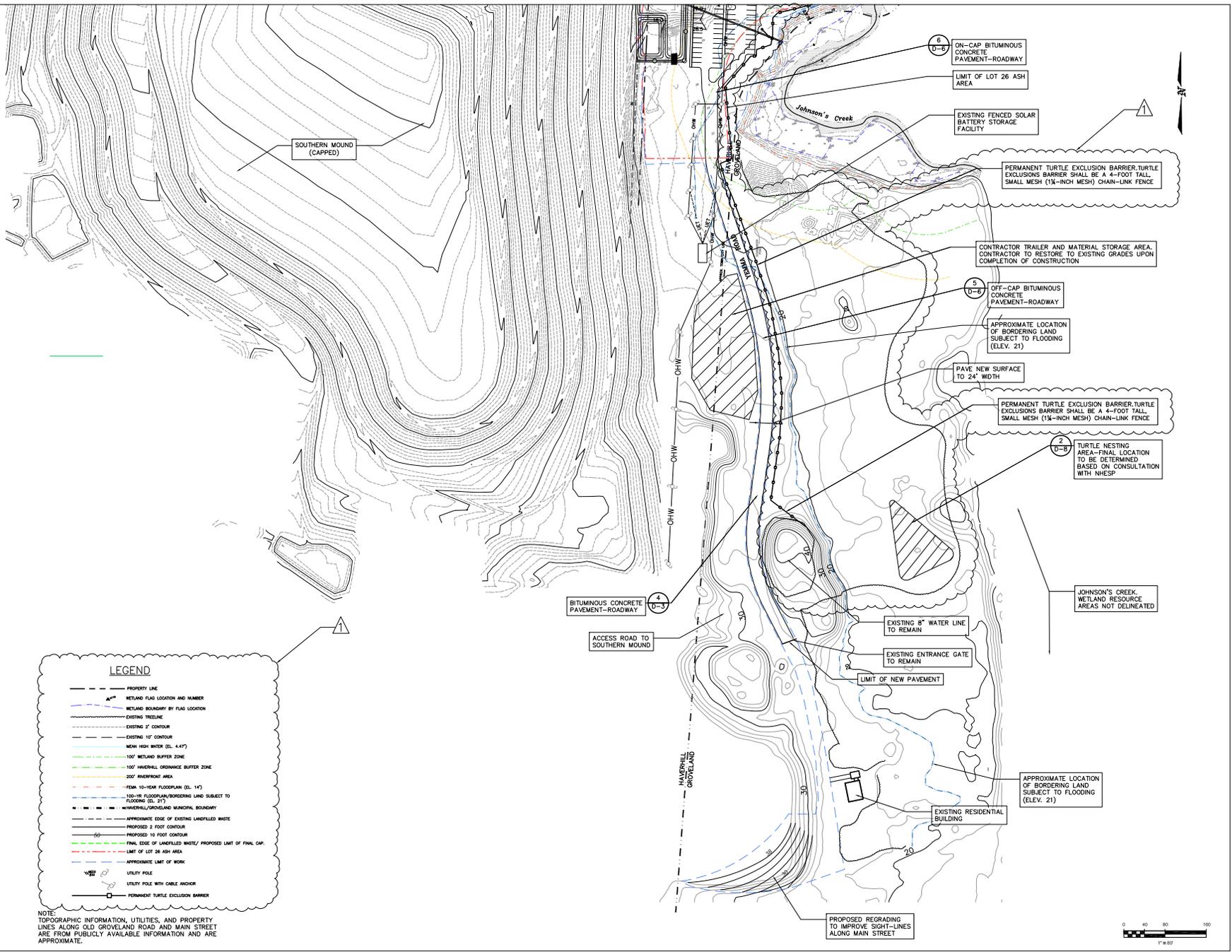
C-1B



| | |
|---|---|
| <p>Langdon Environmental LLC 400 Hill St, 9th Fl, Boston, MA 02111 (617) 777-2887</p> | |
| <p>Prof. Mgr.: BHH Designed: JEC Drawn: JEC Scale: AS NOTED Date: OCT. 2024</p> | <p>SITE PREPARATION AND EROSION CONTROLS PLAN—LOT 26 ASH AREA HAVERHILL LANDFILL—NORTHERN MOUND & LOT 26 ASH AREA HAVERHILL MASSACHUSETTS</p> |
| <p>Proj. No. Dwg. No.</p> | <p>C-2A</p> |

SEE SHEET C-2 FOR SITE PREPARATION NOTES





LEGEND

- PROPERTY LINE
- ▲^W WETLAND FLAG LOCATION AND NUMBER
- WETLAND BOUNDARY BY FLAG LOCATION
- EXISTING TREE LINE
- EXISTING 2' CONTOUR
- EXISTING 10' CONTOUR
- 850W HIGH WATER (E.L. 4.47)
- 100' WETLAND BUFFER ZONE
- 100' HAVENHILL ORDINANCE BUFFER ZONE
- 200' REARFRONT AREA
- FEMA 10-YEAR FLOODPLAIN (E.L. 14)
- 100-YR FLOODPLAIN/BORDERING LAND SUBJECT TO FLOODING (E.L. 21)
- HAVENHILL/GROVELAND MUNICIPAL BOUNDARY
- APPROXIMATE EDGE OF EXISTING LANEFILLED WASTE
- PROPOSED 2' FOOT CONTOUR
- PROPOSED 10' FOOT CONTOUR
- FINAL EDGE OF LANEFILLED WASTE/ PROPOSED LIMIT OF FINAL CAP
- LIMIT OF LOT 26 ASH AREA
- APPROXIMATE LIMIT OF WORK
- UTILITY POLE
- UTILITY POLE WITH CABLE ANCHOR
- PERMANENT TURTLE EXCLUSION BARRIER

NOTE:
TOPOGRAPHIC INFORMATION, UTILITIES, AND PROPERTY LINES ALONG OLD GROVELAND ROAD AND MAIN STREET ARE FROM PUBLICLY AVAILABLE INFORMATION AND ARE APPROXIMATE.

| NO. | DATE | BY | CHECKED | DESCRIPTION |
|-----|---------|----|---------|---------------------------------|
| 1 | 5/14/25 | JC | BH | RESPONSE TO REGULATORY COMMENTS |

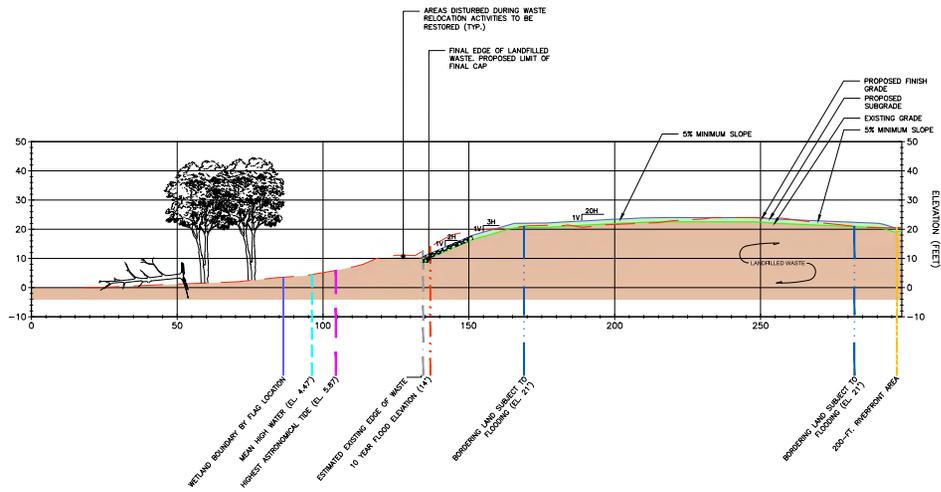
Langdon Environmental LLC
400 Main St., 2nd Floor, Boston, MA 02111
(617) 891-3883

Proj. Mgr.: BHJ
Designed: JJC
Drawn: JJC
Checked: JJC
Scale: AS NOTED
Date: OCT. 2024

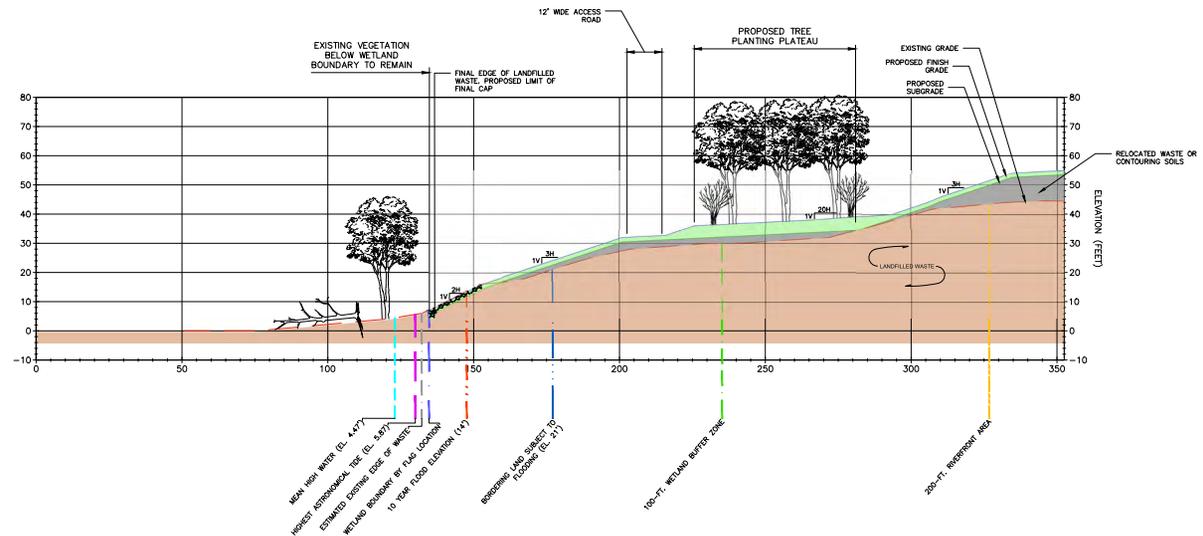
FINISH GRADE PLAN - YEMMA ROAD
HAVERHILL LANDFILL - NORTHERN MOUND & LOT 26 ASH AREA
HAVERHILL, MASSACHUSETTS

Proj. No.
Dwg. No.

C-4G



SECTION A-A'



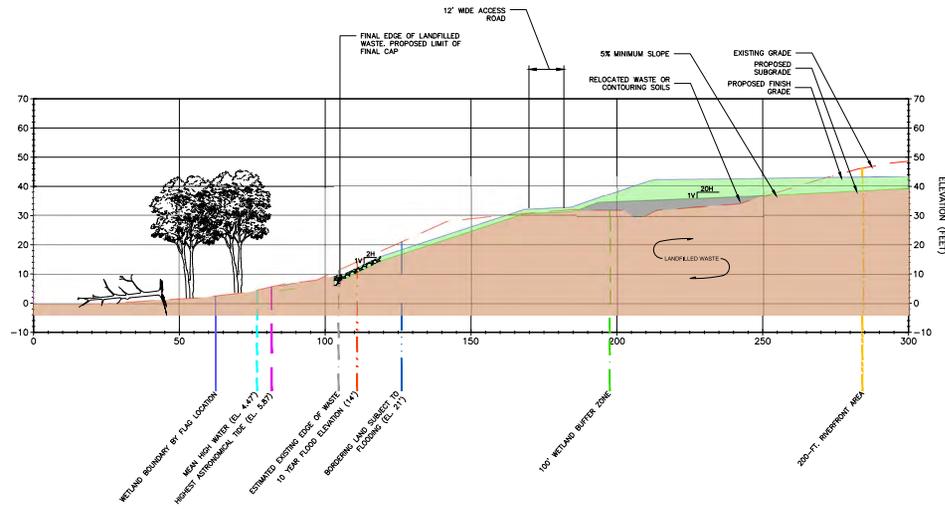
SECTION B-B'

- NOTES:
- SEE SHEET C-4A FOR LEGEND INFORMATION
 - TEMPORARILY ALTERED BWV AND IVW WILL BE RESTORED IN-PLACE BY:
 - ESTABLISHING SUB-GRADES WITH COMMON FILL,
 - ESTABLISHING FINISH GRADES WITH 12-INCHES OF ORGANIC RICH TOPSOIL,
 - ESTABLISHING FINISH GRADES TO MATCH PRE-CONSTRUCTION GRADES OR SLIGHTLY LOWER
 - SEEDING THE DISTURBED BWV OR IVW WITH A WETLAND SEED MIX (NEW ENGLAND WETLAND PLANTS, INC. - NEW ENGLAND WETMIX, OR APPROVED EQUAL).

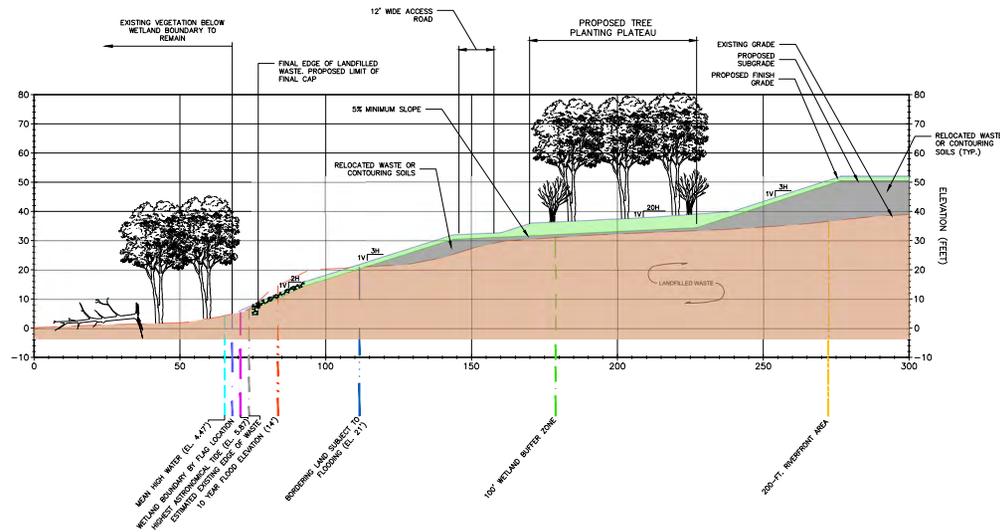
NOTE:
SEE SHEET C-4 FOR SECTION LOCATIONS

1" = 20'

| | |
|---|--|
| | |
| 400 THE HILL, PO BOX 511 HAVERTHILL, MA 01930 (978) 278-3888 | |
| Proj. Mgr.: BHJ Design: JEC Check: BHJ Scale: AS SHOWN Date: OCT. 2024 | CROSS SECTIONS I-NORTHERN MOUND HAVERHILL LANDFILL-NORTHERN MOUND & LOT 26 ASH AREA HAVERHILL MASSACHUSETTS |
| Proj. No. Dwg. No. | C-7 |

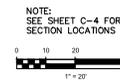


SECTION C-C'



SECTION D-D'

- NOTES:
- SEE SHEET C-4A FOR LEGEND INFORMATION
 - TEMPORARILY ALTERED BVW AND IWV WILL BE RESTORED IN-PLACE BY:
 - ESTABLISHING SUB-GRADES WITH COMMON FILL
 - ESTABLISHING FINISH GRADES WITH 12-INCHES OF ORGANIC RICH TOPSOIL
 - ESTABLISHING FINISH GRADES TO MATCH PRE-CONSTRUCTION GRADES OR SLIGHTLY LOWER
 - SEEDING THE DISTURBED BVW OR IWV WITH A WETLAND SEED MIX (NEW ENGLAND WETLAND PLANTS, INC. - NEW ENGLAND WETMIX, OR APPROVED EQUAL).



REVISIONS



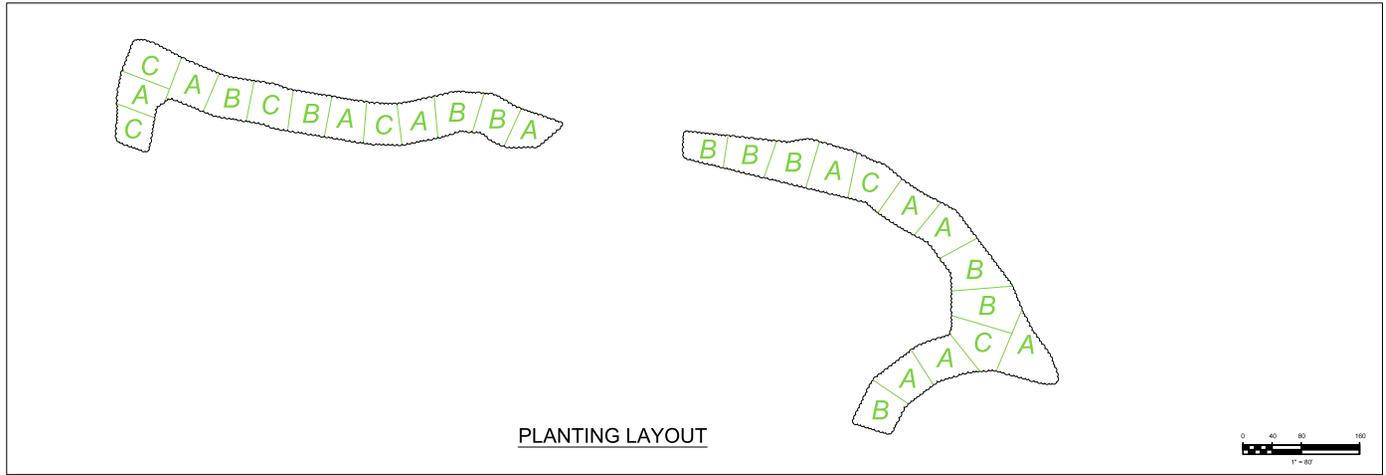
Langdon Environmental LLC
 400 W. Main St. Suite 111
 Haverhill, MA 01830
 (978) 375-3888

Proj. Mgr.: BWH
 Designed: JEC
 Drawn: JEC
 Checked: JWH
 Scale: AS NOTED
 Date: OCT. 2024

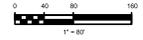
CROSS SECTIONS II-NORTHERN MOUND
 HAVERHILL LANDFILL-NORTHERN MOUND
 & LOT 26 ASH AREA
 HAVERHILL MASSACHUSETTS

Proj. No.
 Dwg. No.

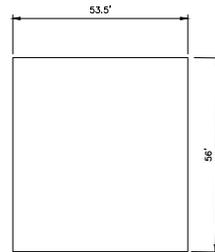
C-8



PLANTING LAYOUT



PLANTING LOT = +/- 3,000SF



PLANTING LOT A

| SPECIES | QUANTITY |
|-------------|----------|
| RED MAPLE | 8 |
| RIVER BIRCH | 7 |
| HEMLOCK | 5 |
| WINTERBERRY | 4 |

PLANTING LOT B

| SPECIES | QUANTITY |
|-----------------|----------|
| RED OAK | 8 |
| WHITE OAK | 7 |
| BASSWOOD | 5 |
| MOUNTAIN LAUREL | 4 |

PLANTING LOT C

| SPECIES | QUANTITY |
|------------|----------|
| ELDERBERRY | 5 |
| VIBURNUM | 15 |
| BLUEBERRY | 16 |

NOTE:
SEE SHEET L-1 FOR PLANTING LOCATIONS

| Plant Schedule | Symbol | Quantity | Botanical Name | Common Name | Size | Root |
|----------------|--------|----------|----------------------|---------------------|-------------|-----------|
| Trees | | | | | | |
| AR | 88 | | ACER RUBRUM | RED MAPLE | 2-2.5" CAL. | BB |
| QR | 80 | | QUERCUS RUBRA | RED OAK | 2-2.5" CAL. | BB |
| QA | 70 | | QUERCUS ALBA | WHITE OAK | 2-2.5" CAL. | BB |
| TC | 55 | | TSUGA CANADENSIS | CANADIAN HEMLOCK | 5'-6" H | BB |
| BN | 77 | | BETULA NIGRA | RIVER BIRCH | 1.5-2" CAL. | BB |
| TA | 50 | | TILIA AMERICANA | BASSWOOD | 2-2.5" CAL. | BB |
| Shrubs | | | | | | |
| IV | 44 | | ILEX VERTICILLATA | COMMON WINTERBERRY | #7 POT | 20% MALE |
| KL | 40 | | KALMIA LATIFOLIA | MOUNTAIN LAUREL | 3-4" H | COLLECTED |
| VC | 96 | | VACCINIUM CORYMBOSUM | HIGH BUSH BLUEBERRY | 3-4" H | |
| VD | 90 | | VIBURNUM DENTATUM | ARROWWOOD VIBURNUM | #7 POT | |
| SC | 30 | | SAMBUCUS CANADENSIS | AMERICAN ELDER | #7 POT | |

NOTES:
1. FINAL PLANTING LOCATIONS SHALL BE AS DIRECTED BY ENGINEER
2. PLANTINGS MAY BE MODIFIED BASED ON DEPTH OF SOILS ABOVE FINAL CAP AS INSTALLED.

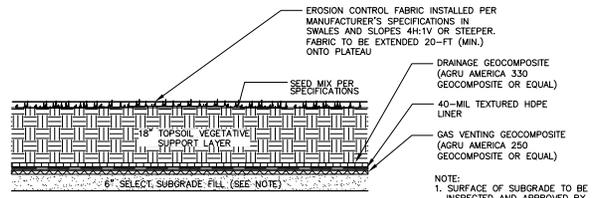
REVISIONS



Proj. Mgr.: BMH
Designed: JEC
Drawn: JEC
Checked: BMH
Scale: AS SHOWN
Date: OCT. 2024

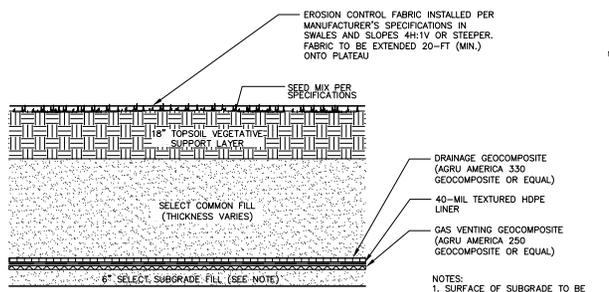
LANDSCAPE LAYOUT PLAN AND SCHEDULE - NORTHERN MOUND
HAVERHILL LANDFILL - NORTHERN MOUND & LOT 26 ASH AREA
HAVERHILL, MASSACHUSETTS

Proj. No.
Dwg. No.



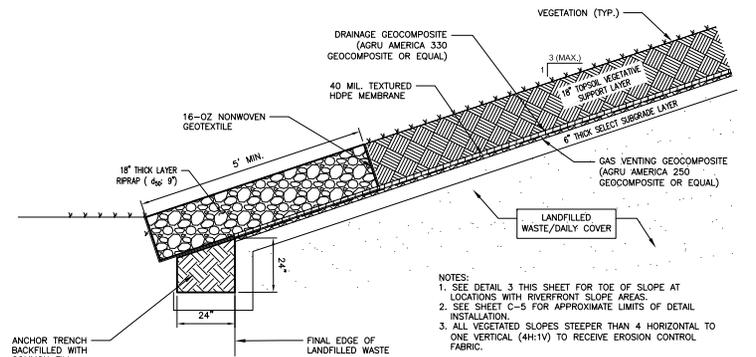
TYPICAL VEGETATED CAP CROSS SECTION—NORTHERN MOUND / LOT 26 ASH AREA

DETAIL 1
N.T.S. D-1



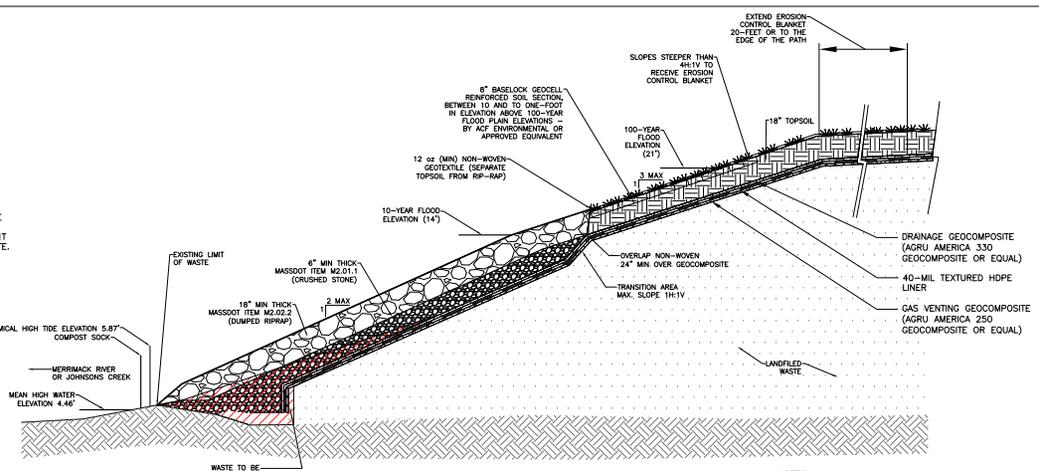
TYPICAL VEGETATED CAP CROSS SECTION—PLANTING AND FIELD AREAS—NORTHERN MOUND

DETAIL 2
N.T.S. D-1



TYPICAL FINAL CAP SYSTEM TOE OF SLOPE ANCHORING—NON RIVERFRONT AREAS— NORTHERN MOUND

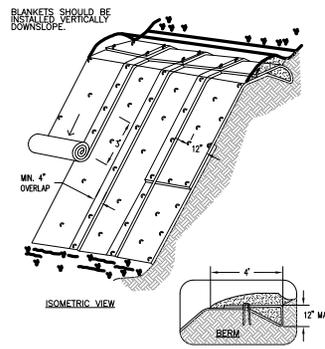
DETAIL 4
SCALE: N.T.S. D-1



PROPOSED EDGE OF LANDFILL CAP ALONG RIVERFRONT AREAS—NORTHERN MOUND

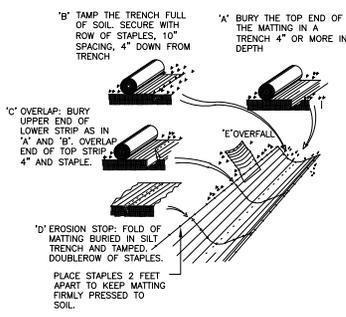
DETAIL 3
N.T.S. D-1

- NOTES:
1. ALL VEGETATED SLOPES STEEPER THAN 4H:1V SHALL BE COVERED BY EROSION CONTROL BLANKET. SEE DETAIL THIS SHEET
 2. SEE APPROXIMATE LIMITS OF DETAIL ON SHEET C-5.



SLOPE CONDITION

- NOTES:
1. ALL SLOPES STEEPER THAN 4H:1V SHALL BE COVERED BY EROSION CONTROL BLANKET
 2. STAPLE DIMENSIONS AND SIZE PER MANUFACTURER'S SPECIFICATIONS. STAPLES SHALL NOT BE LONGER THAN 12" AND SHALL NOT DAMAGE THE 40-MIL HDPE FML OR DRAINAGE GEOCOMPOSITE.

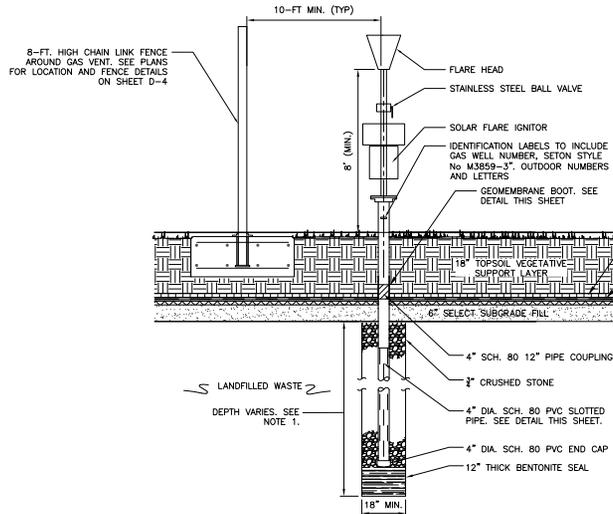


SWALE CONDITION

EROSION CONTROL BLANKET—ALL AREAS

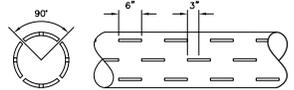
DETAIL 5
N.T.S. D-1

| |
|--|
| REVISIONS |
| Langdon Environmental LLC |
| 400 HILL ST. 2ND FL. HAVERHILL, MA 01830 (978) 875-2885 |
| Proj. Mgr.: BHH Designed: JEC Drawn: JEC Checked: JEC Scale: AS NOTED Date: OCT. 2024 |
| DETAILS I HAVERHILL LANDFILL—NORTHERN MOUND & LOT 26 ASH AREA HAVERHILL, MASSACHUSETTS |
| Proj. No. Dwg. No. |
| D-1 |

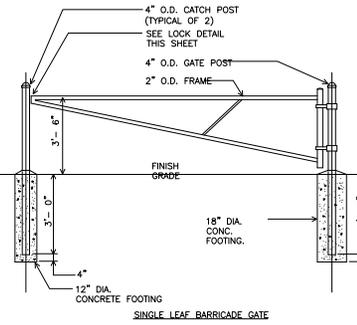


- NOTES:
1. GAS VENT BOREHOLE TO BE ADVANCED MINIMUM DEPTH OF TEN FEET BELOW FINAL GRADE.
 2. PLACE 12" THICK BENTONITE SEAL AT THE BOTTOM OF BOREHOLE PRIOR TO THE PLACEMENT OF VENT.
 3. SOLVENT WELD COUPLING TO FULL CONTACT AREA OF BOTH PIPES.
 4. INSTALL SOLAR VENT FLARE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
 5. CONTRACTOR TO PROVIDE RECOMMENDED APPROACH TO CONNECT HORIZONTAL HEADER COLLECTION PIPES TO GAS VENT TO ENGINEER FOR REVIEW AND APPROVAL.

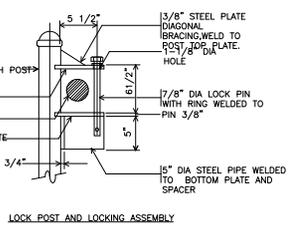
SUMMIT LANDFILL GAS VENT-SOLAR VENT FLARE
DETAIL 1
N.T.S. D-2



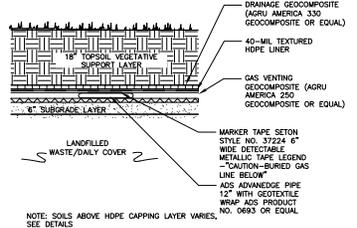
PVC SLOTTED PIPE
DETAIL 3
N.T.S. D-2



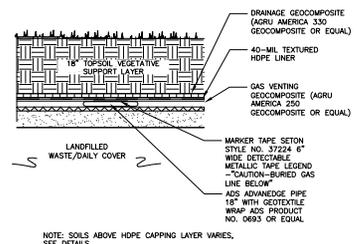
BARRICADE GATE
DETAIL 6
NOT TO SCALE D-2



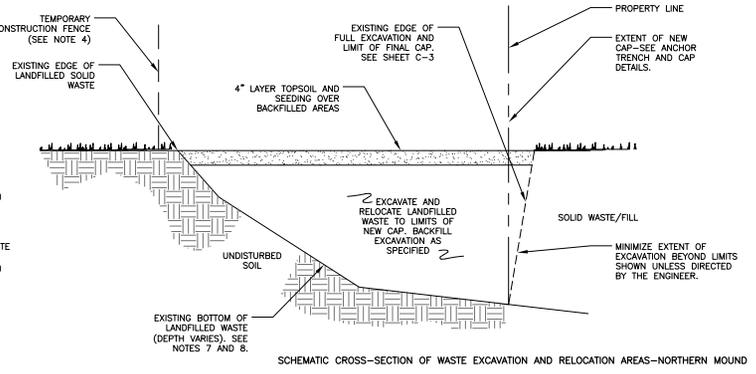
LOCK POST AND LOCKING ASSEMBLY
DETAIL 7
N.T.S. D-2



TYPICAL LANDFILL GAS HEADER COLLECTION LATERAL PIPE-NORTHERN MOUND
DETAIL 4
N.T.S. D-2

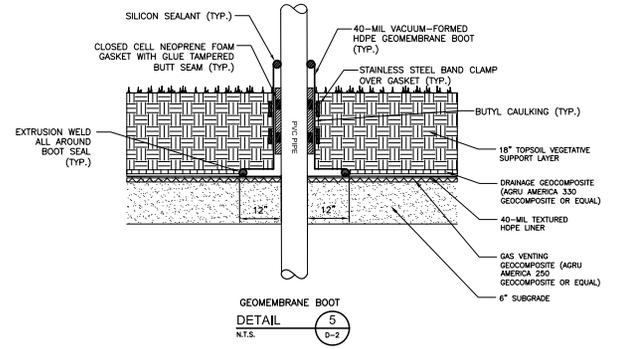


TYPICAL LANDFILL GAS HEADER COLLECTION PIPE-NORTHERN MOUND
DETAIL 7
N.T.S. D-2

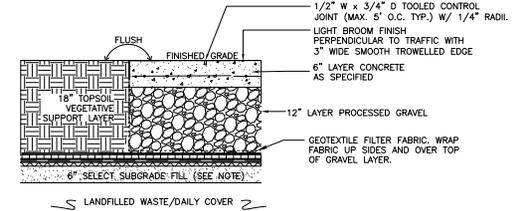


SCHEMATIC CROSS-SECTION OF WASTE EXCAVATION AND RELOCATION AREAS-NORTHERN MOUND

DETAIL 2
N.T.S. D-2



GEOMEMBRANE BOOT
DETAIL 5
N.T.S. D-2



CONCRETE PAD ON CAP
DETAIL 8
N.T.S. D-2

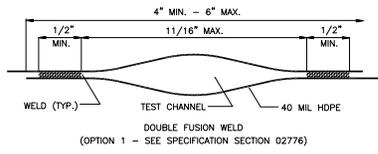
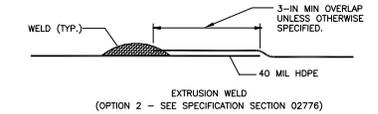
- NOTES:
1. DURING WASTE EXCAVATION, A 6-INCH CLEAN SOIL DAILY COVER LAYER TO BE PLACED OVER EXPOSED WASTE AT THE END OF EACH DAY. CONTRACTOR MAY USE A TARP THAT IS PROPERLY WEIGHTED AS AN ALTERNATIVE TO SOIL COVER WITH APPROVAL BY ENGINEER.
 2. CONTRACTOR TO MINIMIZE EXTENT OF OPEN EXCAVATIONS AT THE END OF EACH DAY.
 3. FOR WASTE EXCAVATION ADJACENT TO AND ON MASS ELECTRIC PROPERTY, CONTRACTOR TO MAINTAIN TEMPORARY FENCING AND TAKE ALL NECESSARY ADDITIONAL MEASURES TO LIMIT PUBLIC ACCESS TO EXCAVATIONS AND ACTIVE CONSTRUCTION AREAS.
 4. EXCAVATED AREAS OUTSIDE OF CAP TO BE BACKFILLED WITH SOIL TYPES AS SPECIFIED.
 5. FINISH BACKFILL GRADES TO BE EXISTING ELEVATIONS UNLESS GRADING SHOWN ON SHEET C-4 IS DIFFERENT.
 6. BOTTOM LIMIT OF EXCAVATION TO BE DETERMINED BY ENGINEER BASED ON REMOVAL OF ALL SOLID WASTE AND VISUALLY IMPACTED SOILS.
 7. CONTRACTOR TO PROVIDE SURVEYED ELEVATION AND LIMITS OF BOTTOM OF WASTE EXCAVATION AREAS.

Langdon Environmental LLC
 400 W. Hill, PO Box 111
 Haverhill, MA 01830
 (978) 875-3885

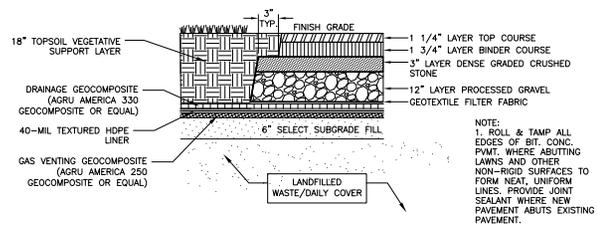
Prof. Mgr.: BHH
 Designer: JEC
 Drafter: JEC
 Scale: AS NOTED
 Date: OCT. 2024

DETAILS 1
 HAVERHILL LANDFILL-NORTHERN MOUND
 & LOT 26 ASH AREA
 HAVERHILL, MASSACHUSETTS

Proj. No.
 Dwg. No.
 D-2

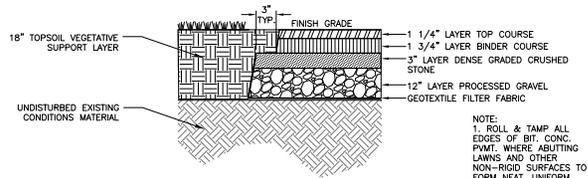


HDPE WELD DETAIL
DETAIL 1
 SCALE: NTS
 D-3



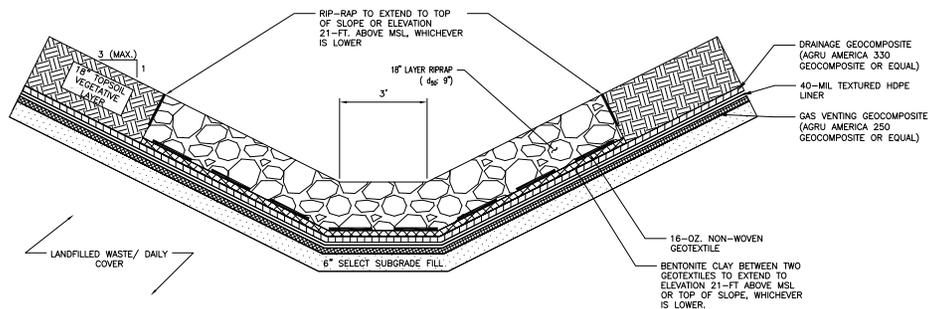
NOTE:
 1. ROLL & TAMP ALL EDGES OF BIT. CONC. PAVT. WHERE ABUTTING LAWNS AND OTHER NON-RIGID SURFACES TO FORM NEAT, UNIFORM LINES. PROVIDE JOINT SEALANT WHERE NEW PAVEMENT ABUTS EXISTING PAVEMENT.

BITUMINOUS CONCRETE WALKING PATH-ON CAP
DETAIL 2
 N.T.S.
 D-3

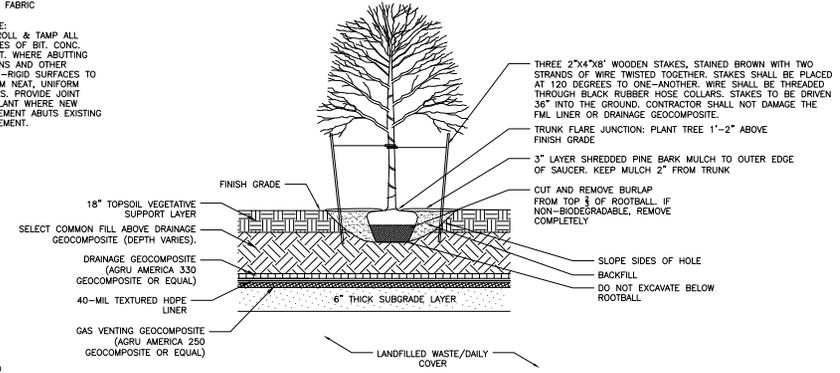


NOTE:
 1. ROLL & TAMP ALL EDGES OF BIT. CONC. PAVT. WHERE ABUTTING LAWNS AND OTHER NON-RIGID SURFACES TO FORM NEAT, UNIFORM LINES. PROVIDE JOINT SEALANT WHERE NEW PAVEMENT ABUTS EXISTING PAVEMENT.

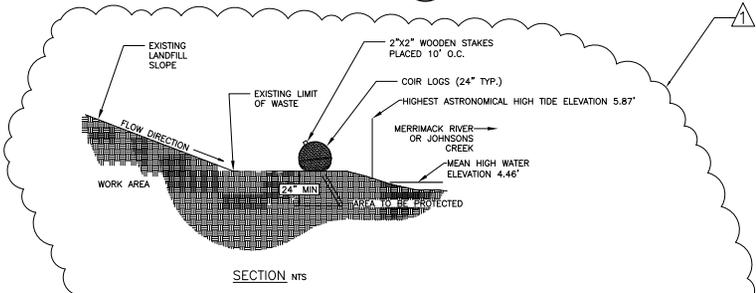
BITUMINOUS CONCRETE WALKING PATH-OFF CAP
DETAIL 4
 N.T.S.
 D-3



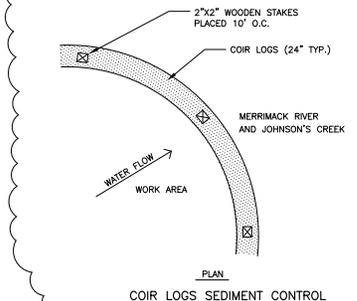
INTERMITTENT STREAM CHANNEL
DETAIL 6
 N.T.S.
 D-3



TREE PLANTING
DETAIL 3
 NOT TO SCALE
 D-3



SECTION nts



COR LOGS SEDIMENT CONTROL
DETAIL 5
 N.T.S.
 D-3

NOTES
 1. COR LOGS TO BE INSTALLED AT OR ABOVE THE HIGHEST ASTRONOMICAL HIGH TIDE ELEVATION AT ELEVATION 5.87.
 2. CONTRACTOR MAY TEMPORARILY REMOVE COR LOGS TO BE ABLE TO CONDUCT CAPPING OPERATIONS. NO WORK IS ALLOWED IN STANDING WATER IN THE MERRIMACK RIVER OR JOHNSON'S CREEK. REMOVE COR LOGS TO BE RE-INSTALLED IN ACCORDANCE WITH DETAIL AT END OF EACH DAY.
 3. CONTRACTOR MAY PROPOSE ALTERNATIVE APPROACHES TO INSTALL COR LOGS TO ENGINEER FOR REVIEW AND APPROVAL. ALTERNATIVES SHALL PROVIDE THE SAME LEVEL OF PROTECTION AS DETAIL SHOWN.
 4. CONTRACTOR TO MAINTAIN COR LOGS THROUGHOUT DURATION OF CONSTRUCTION AND UNTIL VEGETATION ON THE SLOPES IS ESTABLISHED. COR LOGS CAN ONLY BE REMOVED WITH THE APPROVAL OF THE ENGINEER. MAINTENANCE OF THE COR LOGS SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
 5. CONTRACTOR MAY BE REQUIRED TO INSTALL ADDITIONAL EROSION CONTROLS BY ENGINEER TO PROTECT DISCHARGE OF SILT AND SEDIMENTS INTO THE MERRIMACK RIVER AND JOHNSON'S CREEK AT NO ADDITIONAL COST TO THE OWNER.

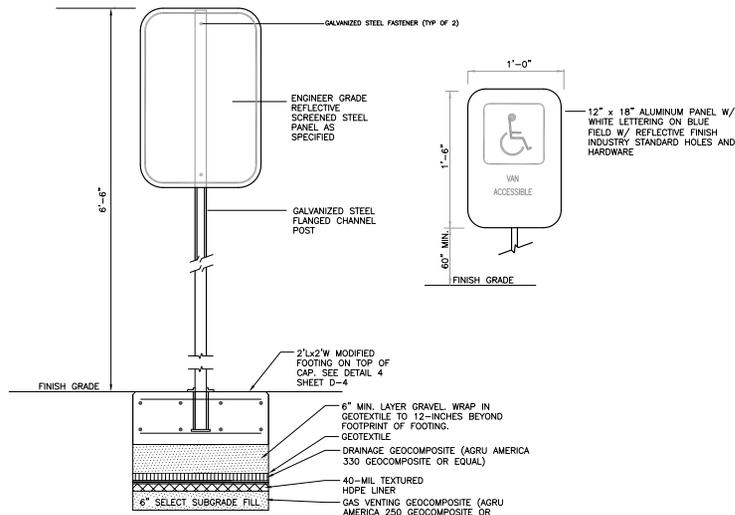
| | | | |
|-----|---------|------------|---------------------------------|
| NO. | DATE | CHECKED BY | DESCRIPTION |
| 1 | 5/11/25 | JC | RESPONSE TO REGULATORY COMMENTS |

Langdon Environmental LLC
 605 THE HILL, SUITE 201
 WINTER HAVEN, MA 01891
 (978) 234-2000

Proj. Mgr: BWH
 Design: JEC
 Drawn: JEC
 Checked: BWH
 Scale: AS NOTED
 Date: OCT. 2024

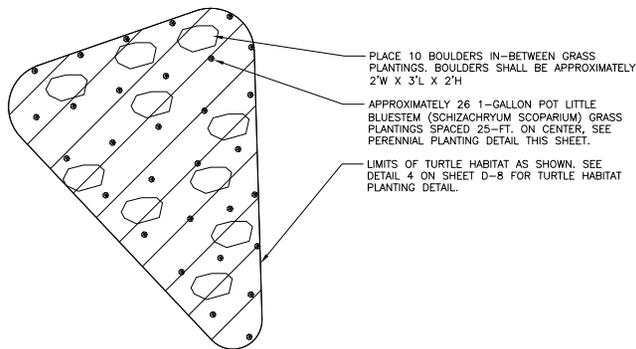
DETAILS III
 HAVERHILL LANDFILL-NORTHERN MOUND
 & LOT 26 ASH AREA
 HAVERHILL, MASSACHUSETTS

Proj. No.
 Dwg. No.
 D-3



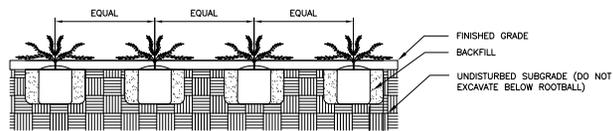
ACCESSIBLE PARKING SIGN ON MODIFIED FOOTING

DETAIL 1
SCALE: NTS
D-8

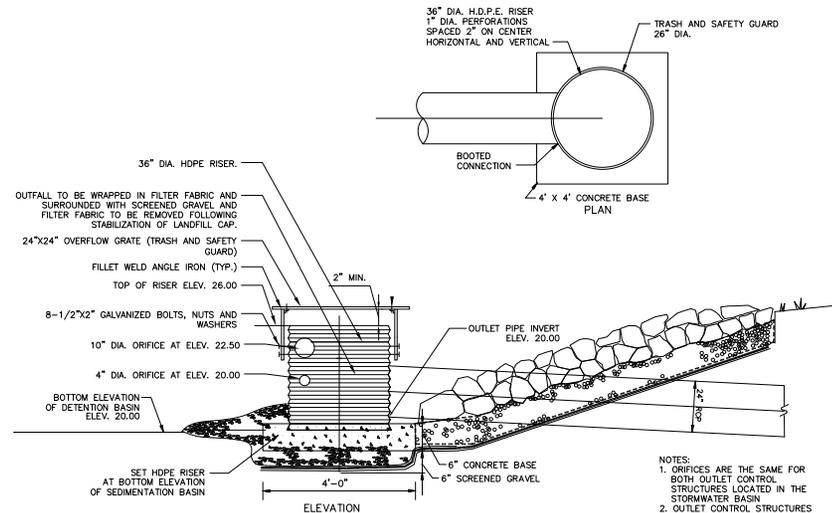


TURTLE HABITAT PLANTING PLAN

DETAIL 2
SCALE: NTS
D-8

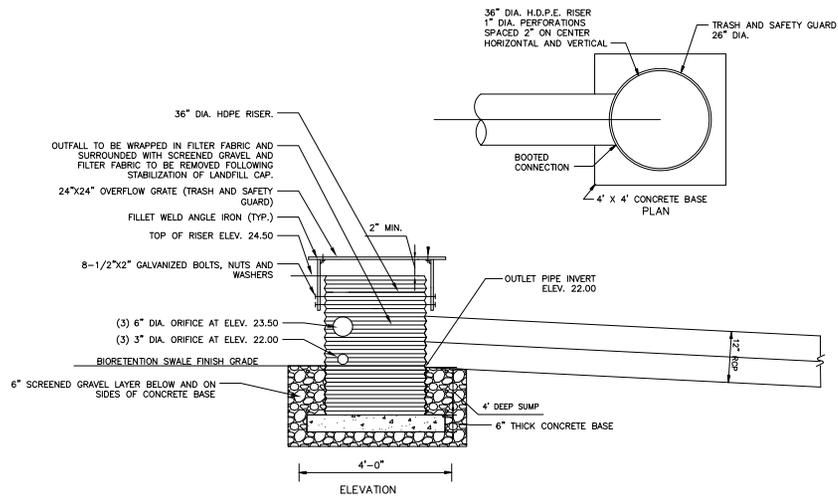


PERENNIAL PLANTING
DETAIL 3
NOT TO SCALE
D-8



BASIN OUTLET RISER PIPES SECTION IN BASIN-LOT 26 ASH AREA

DETAIL 4
NOT TO SCALE
D-8



BIORETENTION SWALE RISER PIPE SECTION-LOT 26 ASH AREA-OFF-CAP

DETAIL 5
NOT TO SCALE
D-8

| NO. | DATE | REVISIONS |
|-----|------|-----------|
| | | |
| | | |
| | | |
| | | |



Langdon Environmental LLC
100 N. MAIN ST., SUITE 200
HAVERHILL, MA 01830
(978) 375-2000

Proj. Mgr: BWH
Designed: JEC
Drawn: JEC
Checked: BWH
Scale: AS NOTED
Date: OCT. 2024

DETAILS VII
HAVERHILL LANDFILL-NORTHERN MOUND
& LOT 26 ASH AREA
HAVERHILL, MASSACHUSETTS

Proj. No.
Dwg. No.

D-8