



CITY OF HAVERHILL
CITY COUNCIL AGENDA

MAR 20 AM 11:16
HAUCITYCLERK

Tuesday, March 24, 2026, at 7:00 PM

Theodore A. Pelosi, Jr. Council Chambers, 4 Summer St, Room 202

In-Person/Remote Meeting: <https://meet.google.com/qmk-cavb-wvn>

This meeting of Haverhill City Council will be held in-person at the location provided on this notice as its official meeting location pursuant to the Open Meeting Law. As the meeting is held in person at a physical location that is open and accessible to the public, the City Council is not required to provide remote access to the meeting. Members of the public are welcome to attend this in-person meeting. Please note that a live stream of the meeting is being provided only as a courtesy to the public, and the meeting will not be suspended or terminated if technological problems interrupt the virtual broadcast, unless otherwise required by law. Members of the public with particular interest in any specific item on this agenda should make plans for in-person vs. virtual attendance accordingly. Those attending tonight's meeting should be aware that the meeting is being audio and video recorded by HCTV, The Eagle Tribune, and WHAV. Any audience members who wish to record any part of the meeting must inform the Council President who will announce the recording. This is to comply with the MA wiretap statute. Thank you.

1. **OPENING PRAYER**
2. **PLEDGE OF ALLEGIANCE**
3. **APPROVAL OF MINUTES OF PRIOR MEETING**
4. **ASSIGNMENT OF THE MINUTES REVIEW FOR THE NEXT MEETING:**
5. **COMMUNICATIONS FROM THE MAYOR:**

5.1. Mayor Barrett submits the following order:

5.1.1. Order- Authorizing Mayor Barrett to accept \$300.00 gift for the St. Patrick's Day Luncheon at the *Citizen's Center* from the Fallon Community Health Plan to the *Council on Aging Department*

5.2. Mayor Barrett submits an order to adopt a new city logo

5.2.1. Order- That the City Council accepts the City Clerk's approval of newly designed City of Haverhill Logo, pursuant to the City Clerk's authority under City of Haverhill Code of Ordinances, Chapter 70, § 70-3 and Chapter 87, § 87-2

5.3. Mayor Barrett submits an ordinance to amend Chapter 116 of Article III

5.3.1. Ordinance - Amend Chapter 116 of Article III – Improvement and Maintenance of the Waterways

File 10 Days

6. **COMMUNICATIONS FROM COUNCILORS TO INTRODUCE AN INDIVIDUAL(S) TO ADDRESS THE COUNCIL:**

6.1. Councilors Rogers, Sullivan, and Diodati wish to introduce Eileen Duff, *Register of Essex South Registry of Deeds*, to discuss the Property Fraud Watch Program and Homestead Protections Law

7. **PUBLIC PARTICIPATION- REQUESTS UNDER COUNCIL RULE 28:**



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8. COMMUNICATIONS AND REPORTS FROM CITY OFFICERS AND EMPLOYEES:

8.1. Angel A. Perkins, *City Auditor & Chief Financial Officer*, submits the revenue and expense reports through February 2026

9. UTILITY HEARING(S) AND RELATED ORDER(S):

10. HEARINGS AND RELATED ORDERS:

10.1. **Doc 13-A** - Zoning hearing request from Robert DeNisco on behalf *Leach Street, LLC* for a zoning change of 534-5-135 from Commercial Highway (CH) zone to the abutting Residential Urban (RU) zone

Favorable recommendation from the Planning Board

10.2. **Doc 21-A - CCSP-26-1**; Jony Perez of *Davinci Mini Apartments, LLC* and *Davinci Child Center, LLC* requesting to convert a currently unoccupied building to a daycare program on first floor (allowed by right in Zoning Code) and 12 apartments units (six two-bedrooms and six one-bedrooms) on the top three floors at 121 Merrimack St in the Waterfront (WD-C) District

Recommendation from Planning Director, Jacki Byerley, to open the hearing and continue to a later date until applicant files for the Site Plan of Section 10.8 and satisfies the comments received

10.3. Planning Director, Jacki Byerley, requests a hearing for the following Zoning Amendment – Battery Energy Storage Systems

10.3.1. Ordinance: re: Amend Chapter 255 Zoning Ordinance and Zoning Map – Battery Energy Storage Systems Overlay District (BESS)– by inserting a new section 7.9 Battery Energy Storage Systems, amending section 3.1.3 Table of Use and Parking regulations by allowing a Tier 1, Tier 2 and Tier 3 BESS and amending the Zoning Map to include the BESS Overlay District. The overlay district will be creating regulations for the installation and use of free-standing battery energy storage systems (“BESS”), adding to the table the overlay district with the allowed Tiers and updating the zoning map to include the BESS Overlay District, or take any other action related to

File 14 Days

Refer to Planning Board & Council Hearing May 19th



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11. APPOINTMENTS:

11.1. **Confirming Appointments: -**

11.1.1. Community Affairs Advisory Board (reappointments) –
expires December 31, 2026:

- Sharon Sullivan, Chairman, 20 Westminster Ave
- Anne Vlack, 60 Hancock St
- William Lapierre, 1 Hanscom Ave
- Nomsa Ncube, 67 Washington St 102-P
- Penelope Guerrero, 89-93 Washington St Unit 3B
- Andrew Tarasuk, 88 Race St

11.2. **Non-Confirming Appointments:**

11.3. **Constables**

11.4. **Resignations**

12. PETITIONS:

- 12.1. **Doc 100 of 2025 - SPFL-25-2;** John McCann for *Broco Energy* requests to store an additional 30,000 gallons of propane in an above ground storage tank, three additional propane transport trailer trucks with a tank capacity of 12,600 gallons each for a total storage increase of 37,800 gallons of truck storage, and 8,000 gallons in miscellaneous empty customer tanks - the overall propane storage capacity being increased by 75,800 gallons at 168 Hale St

Hearing scheduled for May 5, 2026

- 12.2. **Applications Handicap Parking Sign:** *with Police approval*

- 12.3. **Amusement/Event Application:** *with Police approval*

- 12.3.1. **EVNT-26-1;** Nicholas DiSalvo for *Boston Boxing Promotions* requests to hold professional boxing event on April 25th from 4 to 9 PM at Haverhill High School gymnasium at 137 Monument St

- 12.4. **Auctioneer License:**

- 12.5. **Tag Days:** *with Police approval*

- 12.5.1. **TAGD-26-6;** *Knights of Columbus*, May 16 and 17, 2026

- 12.6. **One Day Liquor License –with HPD approval**

- 12.7. **ANNUAL LICENSE RENEWALS:**

- 12.7.1. **Hawker Peddlers License- Fixed location – w/Police approval**

- 12.7.1.1. **FIXD-26-5–** *Gail Azevedo* for Swasey Park to sell lemonade and steamed hot dogs from 9 AM to 7 PM starting May 1, 2026



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- 12.7.2. Coin-Op License *Renewals* – with Police approval
- 12.7.3. Christmas Tree Vendor – with Police approval
- 12.7.4. Taxi Driver Licenses: with Police approval
- 12.7.5. Taxi/Limousine License with Police approval
- 12.7.6. Junk Dealer /Collector License - with Police approval
- 12.7.7. Pool/Billiard
- 12.7.8. Bowling
- 12.7.9. Sunday Bowling
- 12.7.10. Buy & Sell Second Hand Articles with Police approval
- 12.7.11. Buy & Sell Second Hand Clothing with Police approval
- 12.7.12. Pawnbroker license - with police approval
- 12.7.13. Fortune Teller with - Police approval
- 12.7.14. Buy & Sell Old Gold – with Police approval
- 12.7.15. Roller Skating Rink
- 12.7.16. Sunday Skating
- 12.7.17. Exterior Vending Machines/Redbox Automated Retail, LLC
- 12.7.18. Limousine/Livery License/Chair Cars with Police approval

13. MOTIONS AND ORDERS:

- 13.1. Order – Pay bills of the previous years and authorize payment from current year departmental appropriations as listed:

Vendor	Amount	Account
A1 Auto Care, Inc	\$35.00	Police

Total: \$35.00

14. ORDINANCES (FILE 10 DAYS):

- 14.1. Ordinance re: Vehicles and Traffic; Amend Ch 240, be further amended by **ADDING** the following to § 240-85 schedule B: Parking Restrictions and Prohibitions:

LOCATION REGULATION HOURS/ DAYS

Auburn St:
 In front of # 53 No Parking 24-hours

(except for 1 24- hour handicap parking space)

File 10 Days



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- 14.2. Ordinance re: Vehicles and Traffic; Amend Ch 240, be further amended by **ADDING** the following to § 240-85 schedule B: Parking Restrictions and Prohibitions:

LOCATION REGULATION HOURS/ DAYS

Middlesex St:
In front of # 111 No Parking 24-hours

(except for 1 24- hour handicap parking space)

File 10 Days

- 14.3. Ordinance re: Vehicles and Traffic; Amend Ch 240, be further amended by **ADDING** the following to § 240-85 schedule B: Parking Restrictions and Prohibitions:

LOCATION REGULATION HOURS/ DAYS

Research Drive:
Both sides, between Creek Brook Dr,
& Broadway No Parking 24-hours

File 10 Days

15. COMMUNICATIONS FROM COUNCILORS:

- 15.1. Vice President Michitson wishes to announce the Planning and Development Committee meeting on Monday, March 30, 2026, at 6PM in Room 202, City Council Chambers

16. UNFINISHED BUSINESS OF PRECEDING MEETING:

- 16.1. **Doc 107-A of 2025**, - Ordinance re: Boards and Commissions – Article XX
Agricultural Commission

Filed March 11, 2026

17. RESOLUTIONS AND PROCLAMATIONS:

18. COUNCIL COMMITTEE REPORTS AND ANNOUNCEMENTS:

19. DOCUMENTS REFERRED TO COMMITTEE STUDY:

20. LONG TERM MATTERS STUDY LIST:

21. ADJOURN:

5.1



MELINDA E. BARRETT
MAYOR

CITY OF HAVERHILL
MASSACHUSETTS

CITY HALL, ROOM 100
FOUR SUMMER STREET
HAVERHILL, MA 01830
PHONE 978-374-2300
FAX 978-373-7544
MAYOR@HAVERHILLMA.GOV
WWW.HAVERHILLMA.GOV

March 20, 2026

To: City Council President Timothy J. Jordan and Members of the Haverhill City Council

From: Mayor Melinda E. Barrett

RE: Order Authorizing City Council to Accept a Gift of \$300.00 Dollars from Fallon Community Health Plan for the St. Patrick's Day Luncheon to Council on Aging Department.

Dear Mr. President and Members of the Haverhill City Council:

Please see attached an order authorizing the City Council to accept a gift of \$300.00 dollars for the St. Patrick's Day Luncheon at the Citizen's Center from Fallon Community Health Plan to Council on Aging Department.

I recommend approval.

Sincerely,

Melinda E. Barrett
Mayor

MEB/em



Document

CITY OF HAVERHILL

In Municipal Council

MAR 20 AM 9:29
HAVERHILL CLERK

Ordered:

GIFT ACCEPTANCE

At a regularly convened meeting of the City Council of the City of Haverhill, held on the 24th day of March 2026, it was voted as follows:

That the City Council of the City of Haverhill, duly elected, qualified, and acting as such, on behalf of the City votes to accept a gift of three-hundred fifty dollars (\$300.00) for the St. Patrick's Day Luncheon at the Citizens Center. Consistent with the purpose of the donation, as stated in the letter from Fallon Community Health Plan addressed to the City of Haverhill dated February 2026, the Gift shall be used by the Council on Aging Department.

YEAS: _____

NAYS: _____

ABSENT: _____

PASSED IN COUNCIL: _____

A True Record, Attest:

Date Approved

Kaitlin M. Wright, City Clerk

Melinda E. Barrett, Mayor

VENDOR NO. 45016		CHECK NO. 539668	
VENDOR NAME CITY OF HAVERHILL		PAGE	
DATE Feb 9, 2026	INVOICE NO. COA008	DATE Mar 10, 2026	NET AMOUNT 300.00
DESCRIPTION St Patricks Day Luncheon 2026		DISCOUNT .00	

Total: .00 \$300.00


 1 Mercantile Street, Ste 400
 Worcester, MA 01608
 508-799-2100

Santander Bank
 Boston, MA
 602268
 2313

539668

DATE	CHECK NO.	AMOUNT
10-Mar-2026	539668	*****\$300.00

PAY Three Hundred Dollars And Zero Cents *****
 TO THE ORDER OF
 CITY OF HAVERHILL
 COUNCIL ON AGING
 10 WELCOME ST
 HAVERHILL, MA 01830

Michael A. Lopez
 AUTHORIZED SIGNATURE

5.2

MELINDA E. BARRETT
MAYOR



CITY OF HAVERHILL
MASSACHUSETTS

CITY HALL, ROOM 100
FOUR SUMMER STREET
HAVERHILL, MA 01830
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FAX 978-373-7544
MAYOR@HAVERHILLMA.GOV
WWW.HAVERHILLMA.GOV

March 20, 2026

To: City Council President Timothy J. Jordan and Members of the Haverhill City Council

From: Mayor Melinda E. Barrett

Re: Order to Adopt Newly Designed City Logo

Dear Mr. President and Members of the City Council:

I respectfully submit the attached Order to adopt a new city logo. This logo shall not replace the City of Haverhill seal.

I recommend approval

Very truly yours,

Melinda E. Barrett
Mayor



Document

CITY OF HAVERHILL

In Municipal Council

MAR 20 AM 9:29
HAVERHILL
CITY CLERK

Ordered:

Adoption of Newly Designed City Logo

That the City of Haverhill City Council accepts the City Clerks approval of the newly designed City of Haverhill Logo, pursuant to the City Clerk's authority under City of Haverhill Code of Ordinances, Chapter 70, Section 70-3 and Chapter 87, Section 87-2, in the form provided below:



HAVERHILL
SETTLED 1640 ★ INSTITUTED A CITY 1870

This Logo shall not replace the City of Haverhill Seal, nor shall it be used in place of the Seal as provided under Chapter 87 of the City of Haverhill Code of Ordinances.

Approved as to form:

City Solicitor



City Clerk Approval Form

CITY OF HAVERHILL

Adoption of Newly Designed City Logo

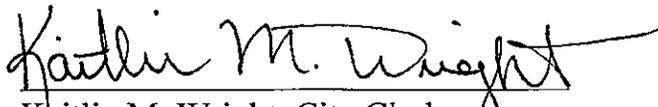
I, the Clerk of the City of Haverhill, pursuant to my authority under the City of Haverhill Code of Ordinances, Chapter 70, Section 70-3 and Chapter 87, Section 87-2 as Keeper of the City Seal and Custodian of the City Seal, approve of the design and adoption of the new City of Haverhill Logo as pictures below (the "Logo").



HAVERHILL
SETTLED 1640 ★ INSTITUTED A CITY 1870

This Logo's permitted use shall be limited to marketing and promotional materials related to City of Haverhill events. As Keeper of the Seal, I do not permit this Logo to be used in place of the existing City Seal on deeds and other legal documents made, given, or entered into by the City, requiring a seal, pursuant to City of Haverhill Code of Ordinances, Chapter 87, Section 87-2.

As such, I hereby approve this Logo's adoption.


Kaitlin M. Wright, City Clerk

Approved as to form:

City Solicitor

MEMORANDUM OF UNDERSTANDING
BETWEEN AND AMONG
THE CITY OF HAVERHILL
AND
EMILIO VISCIO

WHEREAS, the City of Haverhill, a municipal corporation duly organized and operating under the laws of the Commonwealth of Massachusetts, with municipal offices located in the City of Haverhill, City Hall, 4 Summer Street, Haverhill, MA 01830 (the "City"), would like to adopt a new City logo to be used during City events, as authorized by City Council or their designee;

WHEREAS, the City paid Emilio Viscio ("Designer"), with a principal place of business located at 64 Crowell St, Haverhill, MA 01830, a total of seven-hundred and fifty dollars (\$750.00) for his design services to produce several options for the City to consider and choose from to become the new City logo;

WHEREAS, the City chose one of Designers designs, attached hereto as **Exhibit A**, (the "Logo") and now wishes to enter into agreement with Designer regarding transfer of ownership of logo and other rights therein; and

WHEREAS, Designer desires that the City own the Logo for use during City events and associated promotional activities, with both Parties subject to the terms and conditions contained herein.

NOW, THEREFORE, in consideration of the mutual promises set forth herein, the parties agree as follows:

1. **Transfer of Ownership Rights.** The Designer agrees to transfer all ownership rights over the Logo to the City. The City shall have full control and ownership over the Logo and may use it at their discretion, subject to the approval of the City Council or their designee. The Designer acknowledges that it shall have no rights to input or decision-making as to how the Logo is utilized by the City.
2. **Consideration.** In consideration for the transfer of ownership rights by the Designer, as outlined above, the City shall properly credit the Designer via a press release, attached hereto as **Exhibit B**, which will be released publicly following approval of the logo by City Council. The Designer expressly acknowledges that the Consideration described by this Section 2 shall be the only consideration granted under this Agreement for the transfer of ownership rights of the Logo to the City.

3. **No-Profit Agreement.** The Designer expressly acknowledges that they have no right to current or future profits generated by or in connection with the Logo, and that the City is under no obligation to compensate the Designer for its future use of the Logo. Further, the Designer expressly acknowledges that they may not transfer any rights to the Logo to other parties or profit from the Logo after signing this Agreement.
4. **Warranties & Indemnification.** The Designer represents and warrants to the City that the Logo was created solely by them, and no other parties have ownership, use, license, or other legal or equitable rights to the Logo. To the fullest extent permitted by law, the Designer hereby agrees to defend, indemnify and hold harmless the City, and its officers and employees from and against all claims, damages, liabilities, injuries, costs, fees, expenses, or losses, including, without limitation, reasonable attorney's fees and costs of investigation and litigation, whatsoever which may be incurred by the City to the extent caused by the negligence of or breach of any provision of this Agreement by the Designer, a person employed by the Designer, or any of its Subcontractors, including for breach of the representations and warranties contained herein.
5. **Effective Date.** This Agreement shall become effective upon the last date of date of signing on the signature page below. Transfer of all ownership rights shall become effective on that date.
6. **Notices.** Any notice permitted or required under the provisions of this Agreement to be given or served by either of the parties hereto upon the other party hereto shall be in writing and signed in the name or on the behalf of the party giving or serving the same. Notice shall be deemed to have been received at the time of actual service or three (3) business days after the date of a certified or registered mailing properly addressed. Notice to the Designer shall be deemed sufficient if sent to the address set forth on page 1 or furnished from time to time in writing hereafter.
7. **Waiver and Amendment.** Amendments, or waivers of any additional term, condition, covenant, duty or obligation contained in this Agreement may be made only by written amendment executed by all signatories to the original Agreement, prior to the effective date of the amendment. To the extent allowed by law, any conditions, duties, and obligations contained in this Agreement may be waived only by written agreement by both parties. Forbearance or indulgence in any form or manner by a party shall not be construed as a waiver, nor in any manner limit the legal or equitable remedies available to that party. No waiver by either party of any default or breach shall constitute a waiver of any subsequent default or breach of a similar or different matter.

8. **Severability.** If any term or condition of this Agreement or any application thereof shall to any extent be held invalid, illegal or unenforceable by a court of competent jurisdiction, the validity, legality, and enforceability of the remaining terms and conditions of this Agreement shall not be deemed affected thereby unless one or both parties would be substantially or materially prejudiced.
9. **Enforcement; Jurisdiction.** This Agreement and any performance herein shall be governed by and construed in accordance with the laws of the Commonwealth of Massachusetts. Any and all proceedings or actions relating to subject matter herein shall be brought and maintained in the courts of the Commonwealth of Massachusetts or the federal district court sitting in the Commonwealth of Massachusetts, which shall have exclusive jurisdiction thereof. This paragraph shall not be construed to limit any other legal rights of the parties.
10. **Entire Agreement.** This Agreement, including all documents incorporated herein by reference, constitutes the entire integrated agreement between the parties with respect to the matters described. This Agreement supersedes all prior agreements, negotiations and representations, either written or oral, and it shall not be modified or amended except by a written document executed by the parties hereto.
11. **Counterparts.** This Agreement may be executed in multiple counterparts and scanned or electronic signatures shall be sufficient to bind the parties.

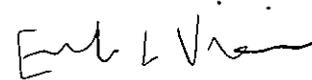
[Signatures on following page]

IN WITNESS WHEREOF, the parties have caused this Memorandum of Understanding to be executed by their duly authorized officers:

FOR THE CITY OF HAVERHILL
Mayor of the City of Haverhill

FOR EMILIO VISCIO

Mayor Melinda Barrett
Date



Signature
Date

Approved as to Form

Emilio Viscio
Print Name

Lisa Mead, City Solicitor
Date

03/10/2026
Print Title

Exhibit A



HAVERRHILL

SETTLED 1640 ★ INSTITUTED A CITY 1870

Exhibit B

Haverhill launches new City logo

March XX, 2026

Haverhill, MA — The City of Haverhill launches a logo inspired by the official City Seal, which will be included in City-organized events and initiatives. This is a way to offer a clear image celebrating the City and highlighting its attributes. It was approved by City Council on March XX, 2026.

Haverhill-based graphic designer Emilio Viscio shares, “While designing the new City logo for downtown events, it was very important to showcase Haverhill’s history and maintain the essence of the beloved City Seal. We distilled some of the most iconic visuals - a shoe, the rolling hills, the river - into an image that can be easily read at any size, in any medium. We wanted the logo to lean on the dependability we all associate with our City Seal, while embodying the excitement that has come with all of the new programming in downtown. This new logo will serve as a visual meeting of Haverhill’s rich past and bright future.”

On the need for a new City Logo and the difference between the logo and the seal, Mayor Melinda E. Barrett shared, “Whereas the City seal is our official symbol of city government, the logo is more versatile and will be used for branding purposes, including marketing city programming, events, and partnerships. The City has been working on a lot of exciting initiatives with the help of our Downtown Events Coordinator Hailey Pearson and it was time we had a logo to catch the attention of the public and clearly identify those city initiatives. The logo that Emilio has designed is both reflective and forward-looking, exactly what we were looking for.”

The official City Seal will remain unaffected by this update.

Press Contact:

Hailey Pearson, City of Haverhill Downtown Events Coordinator: HPearson@haverhillma.gov

File 10 Days

5.3

MELINDA E. BARRETT
MAYOR



CITY OF HAVERHILL
MASSACHUSETTS

CITY HALL, ROOM 100
FOUR SUMMER STREET
HAVERHILL, MA 01830
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March 20, 2026

To: City Council President Timothy J. Jordan and Members of the Haverhill City Council

From: Mayor Melinda E. Barrett

Re: Ordinance Relating to Amendment to Chapter 116 of the Haverhill City Ordinances

Dear Mr. President and Members of the City Council:

I respectfully submit the attached Ordinance to amend Chapter 116 of Article III – Improvement and Maintenance of the Waterways.

I recommend approval

Very truly yours,

Melinda E. Barrett
Mayor



Document
CITY OF HAVERHILL
In Municipal Council

MAR 20 AM 11:06
CITY CLERK

Ordered:

MUNICIPAL ORDINANCE

CHAPTER 116

AN ORDINANCE RELATING TO AMENDMENT TO CHAPTER 116 OF THE
HAVERHILL CITY ORDINANCES

BE IT ORDAINED by the City Council of the City of Haverhill that §116 of Article III – **IMPROVEMENT AND MAINTENANCE OF THE WATERWAYS**, of the Code of the City of Haverhill, as amended, being and is hereby further amended as follows:

§ 116-10. Waterways improvement and maintenance fund.

A Waterways Improvement and Maintenance Fund for the purpose of funding management, enforcement and improvements to waterways within the City shall be established. All waterways management fees and fines collected as a result thereof shall be deposited into this account, with the exception of the first \$5 of any waterways management fee which shall be paid into the general fund to cover administrative costs. The Mayor, with a recommendation from the Harbor Commission, shall propose appropriations from the fund to be approved by the Council.

§ 116-11. Boat registration required.

All motor-driven boats that are moored or docked within the City of Haverhill in excess of two weeks in any calendar year shall register with the City Treasurer and pay an annual waterways management fee. A waterways sticker shall be displayed as evidence that the fee has been paid.

§ 116-12. Waterways management fee.

A waterways management fee shall be assessed at the rate per linear foot as provided herein, but not less than \$20. Any boat with a marina contract in excess of one month shall be subject to a waterways management fee; however, if the boat owner provides proof of the payment of a waterways management fee to another city or town within the commonwealth no such fee shall be due. Replacement stickers may be obtained for a fee of \$10. No waterways sticker shall be issued to any boat owner who owes boat excise tax.

2026 Rate: \$3.00 per linear foot.

2027 Rate: \$4.00 per linear foot.

2028 Rate: \$5.00 per linear foot.

§ 116-13. Waterways sticker.

A reflective, adhesive-backed sticker approximately three inches by three inches, which shall change in color each year, shall be issued. The stickers shall be consecutively numbered and recorded, along with boat and owner information. The stickers shall be displayed on the top, starboard side of the transom of the boat.

A Waterways Sticker MUST be purchased and properly adhered to the boat PRIOR TO the boat being moored or docked for the season. Violations shall be assessed according to § 116-16 of this Article.

New boats: The owner of a new boat that is to be moored or docked in Haverhill, has two (2) weeks from the date of purchase to obtain a valid waterways sticker. After two (2) weeks, the owner shall be subject to penalties outlined in § 116-16 of this Article.

§ 116-14. Marina information to be provided.

All marinas within the City shall annually provided a complete listing of all motor-driven boats which are berthed at their docks or use their moorings no later than July 1 of each year to the City Treasurer. All slips and moorings, including those vacant, shall be included. The annual listing shall provided the boat owner's name; home address and telephone contact information; the name, color, size and type of boat and motor; boat registration number; and assigned slip or mooring. A supplemental listing shall be provided on August 1 and September 1 of each year, which shall include all boats not listed in the July 1 listing.

Marinas shall not allow boats to dock in dock slips or on moorings unless the owner of the boat has purchased a valid waterways sticker and said waterways sticker is properly applied to the boat as outlined in § 116-13 of this Article.

All dock owners shall grant the Harbormaster or the Harbormaster's designee access to its docks for the purpose of ensuring waterways sticker compliance of all boats on dock slips.

§ 116-15. Violations and penalties: marinas.

Marinas which fail to submit the listing required in § 116 shall be subject to a fine of \$50 per day for every day after the listing is due.

Marinas which fail to grant access to the Harbormaster or the Harbormaster's designee to its docks for waterways sticker compliance enforcement shall be subject to a fine of \$500.00 for each refusal.

All fines may be imposed under the provisions of G.L. c. 40, § 21D and shall be enforced by the Harbormaster or the Harbormaster's designee.

Seasonal dock permits, as outlined in § 116-5 and § 116-17 of this Chapter shall not be issued to any marina which owes outstanding fines from prior seasons.

§ 116-16. Violations and penalties: boat owners.

Boat owners who keep boats in Haverhill waters and who fail to register and pay an annual waterways fee as required or who fail to properly display the required sticker as required shall pay the following fines:

Prior to issuance of fines, violators shall be given a warning with the opportunity for corrective action. All corrective action (i.e. register boat; purchase waterways sticker) must take place within ten (10) business days from the date of the warning.

First offense: \$50.00 fine.

Second offense: \$100.00 fine.

Third or subsequent offense: \$150.00 fine.

Violators shall have ten (10) business days to resolve the issue. After ten (10) business days, if the issue is not resolved the violator is subject to the penalty for a subsequent offense.

These fines may be imposed under the provisions of G.L. Ch. 40, § 21D by the Haverhill police, the Harbormaster or the Harbormaster's designee.

§ 116-17. Dock permits.

All docks must be permitted pursuant to Article I, § 116-4 of this Chapter.

Violations of this section are subject to the fines and penalties as outlined in Article I, § 116-15 of this Chapter.

APPROVED AS TO LEGALITY:

City Solicitor

§ 116-10. Waterways improvement and maintenance fund.

A Waterways Improvement and Maintenance Fund for the purpose of funding management, enforcement and improvements to waterways within the City shall be established. All waterways management fees and fines collected as a result thereof shall be deposited into this account, with the exception of the first \$5 of any waterways management fee which shall be paid into the general fund to cover administrative costs. The Mayor, with a recommendation from the Harbor Commission, shall propose appropriations from the fund to be approved by the Council.

§ 116-11. Boat registration required.

All motor-driven boats that are moored or docked within the City of Haverhill in excess of two weeks in any calendar year shall register with the City Treasurer and pay an annual waterways management fee. A waterways sticker shall be displayed as evidence that the fee has been paid.

§ 116-12. Waterways management fee.

A waterways management fee shall be assessed at ~~\$1~~ **the rate** the rate per linear foot as **provided herein**, but not less than \$20. Any boat with a marina contract in excess of one month shall be subject to a waterways management fee; however, if the boat owner provides proof of the payment of a waterways management fee to another city or town within the commonwealth no such fee shall be due. Replacement stickers may be obtained for a fee of \$10. No waterways sticker shall be issued to any boat owner who owes boat excise tax.

2026 Rate: \$3.00 per linear foot.

2027 Rate: \$4.00 per linear foot.

2028 Rate: \$5.00 per linear foot.

§ 116-13. Waterways sticker.

A reflective, adhesive-backed sticker approximately three inches by three inches, which shall change in color each year, shall be issued. The stickers shall be consecutively numbered and recorded, along with boat and owner information. The stickers shall be displayed on the top, starboard side of the transom of the boat.

A Waterways Sticker MUST be purchased and properly adhered to the boat PRIOR TO the boat being moored or docked for the season. Violations shall be assessed according to § 116-16 of this Article.

New boats: The owner of a new boat that is to be moored or docked in Haverhill, has two (2) weeks from the date of purchase to obtain a valid waterways sticker. After two (2) weeks, the owner shall be subject to penalties outlined in § 116-16 of this Article.

§ 116-14. Marina information to be provided.

All marinas within the City shall annually provide a complete listing of all motor-driven boats which are berthed at their docks or use their moorings no later than July 1 of each year to the City Treasurer. All slips and moorings, including those vacant, shall be included. The annual listing shall provide the boat owner's name; home address and telephone contact information; the name, color, size and type of boat and motor; boat registration number; and assigned slip or mooring. A supplemental listing shall be provided on August 1 and September 1 of each year, which shall include all boats not listed in the July 1 listing.

Marinas shall not allow boats to dock in dock slips or on moorings unless the owner of the boat has purchased a valid waterways sticker and said waterways sticker is properly applied to the boat as outlined in § 116-13 of this Article.

All dock owners shall grant the Harbormaster or the Harbormaster's designee access to its docks for the purpose of ensuring waterways sticker compliance of all boats on dock slips.

§ 116-15. Violations and penalties: marinas.

Marinas which fail to submit the listing required in § 116-14 shall be subject to a fine of \$50 per day for every day after the listing is due.

Marinas which fail to grant access to the Harbormaster or the Harbormaster's designee to its docks for waterways sticker compliance enforcement shall be subject to a fine of \$500.00 for each refusal.

All fines may be imposed under the provisions of G.L. c. 40, § 21D and shall be enforced by the Harbormaster or the Harbormaster's designee.

Seasonal dock permits, as outlined in § 116-5 and § 116-17 of this Chapter shall not be issued to any marina which owes outstanding fines from prior seasons.

§ 116-16. Violations and penalties: boat owners.

Boat owners who keep boats in Haverhill waters and who fail to register and pay an annual waterways fee as required or who fail to properly display the required sticker as required shall pay the following fines:

- A. First offense: \$50
- B. Second offense: \$100
- C. Third and subsequent offenses: \$300

Prior to issuance of fines, violators shall be given a warning with the opportunity for corrective action. All corrective action (i.e. register boat; purchase waterways sticker) must take place within ten (10) business days from the date of the warning.

First offense: \$50.00 fine.

Second offense: \$100.00 fine.

Third or subsequent offense: \$150.00 fine.

Violators shall have ten (10) business days to resolve the issue. After ten (10) business days, if the issue is not resolved the violator is subject to the penalty for a subsequent offense.

These fines may be imposed under the provisions of G.L. Ch. 40, § 21D by the Haverhill police, the Harbormaster or the Harbormaster's designee.

§ 116-17. Dock permits.

All docks must be permitted pursuant to Article I, § 116-4 of this Chapter.

Violations of this section are subject to the fines and penalties as outlined in Article I, § 116-15 of this Chapter.

6.1

CITY COUNCIL

- Timothy J. Jordan, *President*
- John A. Michitson, *Vice President*
- Thomas J. Sullivan
- Colin F. LePage
- Melissa J. Lewandowski
- Catherine P. Rogers
- Shaun P. Toohey
- Michael S. McGonagle
- Daniel R. Diodati
- Devan Ferreira
- Ralph T. Basiliere



CITY HALL, ROOM 204
 4 SUMMER STREET
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 FACSIMILE: 978-374-2329
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CITYCOUNCIL@HAVERHILLMA.GOV

CITY OF HAVERHILL

HAVERHILL, MASSACHUSETTS 01830-5843

March 19, 2026

MAR 20 AM 8:40
HVCITYCLERK

To: President and Members of the City Council

Councilors Rogers, Sullivan, and Diodati wish to introduce Eileen Duff, Register of Essex South Registry of Deeds, to discuss the Property Fraud Watch Program and Homestead Protections Law.

Catherine P. Rogers

 (CR)

Councilor Catherine P. Rogers

Thomas J. Sullivan

 (TS)

Councilor Thomas J. Sullivan

Daniel R. Diodati

 (DD)

Councilor Daniel R. Diodati



8.1

Haverhill

Office of the City Auditor, Room 106
Phone: 978-374-2306 Fax: 978-373-8476
aperkins@cityofhaverhill.com

March 17, 2026

MAR 17 PM 3:17
HAUCITYCLERK

To The Honorable City Council

Attached are the revenue and expense reports through February 2026.

We are observing a consistent decline in local receipts, which, if this trend persists, will increase dependence on state aid and property taxes to support the operating budget for the upcoming year. As of the end of February, motor vehicle excise taxes have decreased by 22% when compared to the previous year. However, I anticipate an upward trend by the end of March, attributed to the timing of the 2026 commitment, which occurred three weeks later than in 2025, thereby pushing out revenue collections. Nonetheless, I do not foresee a significant increase in overall revenue, indicating that the revenue projections for the 2027 budget season will remain unchanged for the time being.

A significant budget pressure currently facing the city is the snow and ice budget deficit, which stands at \$3.1 million. So far, total snow removal expenditures have reached \$4,064,942. When adjusted for inflation, this amount represents the highest snow removal spending in over 20 years. The closest we came to this figure was in 2015, when expenditures were 8% less after accounting for inflation. The Mayor, along with Chief Cesati and the Highway Department, is appealing to the state for funding to help alleviate some of these costs. The remaining deficit will need to be addressed through surplus appropriations, free cash, the tax levy, or a combination of these methods by next November. In response to this enormous deficit and significant 2027 budget pressures, the Mayor initiated a budget freeze in early February, restricting all discretionary spending.

The 2027 budget process is presenting significant challenges for both the city and the school department. The school department is facing a \$5.2 million budget shortfall, primarily due to a much smaller-than-anticipated increase in Chapter 70 funding from the state—nearly \$4.5 million below expectations. On the city side, we are experiencing level service budgets that are not keeping pace with revenue increases. Currently, the city's budget shortfall stands at \$4.4 million. In the coming weeks, we will work closely with the budget team and department heads to explore ways to present a balanced budget while minimizing operational impacts.

Sincerely,

Angel A. Perkins, CPFO, CGA, CFE
City Auditor & Chief Financial Officer

City Department	Budget (YTD)	Expended (YTD)	Unexpended (YTD)	% Expended
Council Salaries	\$ 234,279	\$ 158,906	\$ 75,373	67.83%
Council Expenses	\$ 8,100	\$ 1,391	\$ 6,709	17.17%
Mayor Salaries	\$ 432,688	\$ 304,534	\$ 128,154	70.38%
Mayor Expenses	\$ 210,250	\$ 119,385	\$ 90,865	56.78%
Auditor's Office Salaries	\$ 377,209	\$ 244,776	\$ 132,433	64.89%
Auditor's Office Expenses	\$ 139,381	\$ 21,713	\$ 117,668	15.58%
Assessors Salaries	\$ 297,788	\$ 206,561	\$ 91,227	69.37%
Assessors Expenses	\$ 179,215	\$ 131,611	\$ 47,604	73.44%
Treasurer/Collector Salaries	\$ 469,208	\$ 261,292	\$ 207,916	55.69%
Treasurer/Collector Expenses	\$ 251,300	\$ 128,533	\$ 122,767	51.15%
Constituent Services Salaries	\$ 109,442	\$ 76,045	\$ 33,397	69.48%
Constituent Services Expenses	\$ 15,500	\$ -	\$ 15,500	0.00%
Purchasing Salaries	\$ 100,547	\$ 69,537	\$ 31,010	69.16%
Purchasing Expenses	\$ 12,050	\$ 4,560	\$ 7,490	37.84%
Law Department Salaries	\$ 46,818	\$ 31,836	\$ 14,982	68.00%
Law Department Legal	\$ 536,000	\$ 187,352	\$ 348,648	34.95%
Human Resources Salaries	\$ 318,404	\$ 219,330	\$ 99,074	68.88%
Human Resources Expenses	\$ 147,550	\$ 80,817	\$ 66,733	54.77%
MIS Salaries	\$ 160,000	\$ 137,760	\$ 22,240	86.10%
MIS Expenses	\$ 638,134	\$ 444,958	\$ 193,176	69.73%
MIS Capital	\$ 50,000	\$ 32,776	\$ 17,224	65.55%
City Clerk Salaries	\$ 594,766	\$ 371,211	\$ 223,555	62.41%
City Clerk Expenses	\$ 171,380	\$ 102,239	\$ 69,141	59.66%
TOTAL GENERAL GOVERNMENT	\$ 5,500,009	\$ 3,337,123	\$ 2,162,886	60.7%
Building Maint. Salaries	\$ 79,127	\$ 43,321	\$ 35,806	54.75%
Building Maint. Expenses	\$ 298,500	\$ 177,441	\$ 121,059	59.44%
Inspectional & Health Services Salaries	\$ 1,205,528	\$ 804,051	\$ 401,477	66.70%
Inspectional & Health Services Expenses	\$ 46,950	\$ 23,565	\$ 23,385	50.19%
Public Health Salaries	\$ 247,498	\$ 176,673	\$ 70,825	71.38%
Public Health Expenses	\$ 9,000	\$ 801	\$ 8,199	8.90%
Economic Development Salaries	\$ 291,516	\$ 178,743	\$ 112,773	61.31%
Economic Development Expenses	\$ 56,162	\$ 7,165	\$ 48,997	12.76%
TOTAL COMMUNITY & ECONOMIC DEVELOPMENT	\$ 2,234,281	\$ 1,411,760	\$ 822,521	63.2%
Police Salaries	\$ 14,403,074	\$ 10,110,310	\$ 4,292,764	70.20%
Police Expenses	\$ 1,809,961	\$ 983,328	\$ 826,633	54.33%
Police Capital	\$ 353,000	\$ 349,733	\$ 3,267	99.07%
Fire Salaries	\$ 13,776,803	\$ 10,065,154	\$ 3,711,649	73.06%
Fire Expenses	\$ 1,029,809	\$ 549,057	\$ 480,752	53.32%
Fire Capital	\$ 3,500	\$ -	\$ 3,500	0.00%

City Department	Budget (YTD)	Expended (YTD)	Unexpended (YTD)	% Expended
TOTAL PUBLIC SAFETY	\$ 31,376,147	\$ 22,057,582	\$ 9,318,565	70.30%
Whittier Regional School Assessment	\$ 8,704,320	\$ 7,398,672	\$ 1,305,648	85.00%
North Shore Essex Tech. Assessment	\$ 664,063	\$ 372,887	\$ 291,176	56.15%
School Other Funding	\$ 15,000	\$ -	\$ 15,000	0.00%
School Department	\$ 133,801,660	\$ 73,442,980	\$ 60,358,680	54.89%
TOTAL EDUCATION	\$ 143,185,043	\$ 81,214,539	\$ 61,970,504	56.7%
Public Works Administration Salaries	\$ 59,607	\$ 35,901	\$ 23,706	60.23%
Public Works Administration Expenses	\$ 44,804	\$ 14,512	\$ 30,292	32.39%
Public Works Highways Salaries	\$ 1,404,280	\$ 882,227	\$ 522,053	62.82%
Public Works Highways Expenses	\$ 840,655	\$ 487,563	\$ 353,092	58.00%
Public Works Highways Capital	\$ 112,000	\$ 19,510	\$ 92,490	17.42%
Public Works Solid Waste/Recycling Salaries	\$ 218,185	\$ 142,882	\$ 75,303	65.49%
Public Works Solid Waste/Recycling Expenses	\$ 5,985,808	\$ 3,062,193	\$ 2,923,615	51.16%
Public Works Parking Area Salaries	\$ 51,726	\$ 35,012	\$ 16,714	67.69%
Public Works Parking Area Expenses	\$ 369,101	\$ 206,417	\$ 162,684	55.92%
Public Works Street Marking Expenses	\$ 116,883	\$ 105,458	\$ 11,425	90.23%
Public Works Fleet Maint. Salaries	\$ 274,157	\$ 131,553	\$ 142,604	47.98%
Public Works Fleet Maint. Expenses	\$ 49,080	\$ 31,796	\$ 17,284	64.78%
Public Works Park Dept. Salaries	\$ 584,634	\$ 328,907	\$ 255,727	56.26%
Public Works Park Dept. Expenses	\$ 332,850	\$ 169,815	\$ 163,035	51.02%
Public Works Street Lighting Expenses	\$ 725,800	\$ 413,393	\$ 312,407	56.96%
Public Works Snow & Ice Removal Salaries	\$ 229,330	\$ 265,515	\$ (36,185)	115.78%
Public Works Snow & Ice Removal Expenses	\$ 980,670	\$ 2,860,517	\$ (1,879,847)	291.69%
TOTAL PUBLIC WORKS	\$ 12,379,570	\$ 9,193,171	\$ 3,186,399	74.3%
Citizens Center Salaries	\$ 303,619	\$ 234,809	\$ 68,810	77.34%
Citizens Center Expenses	\$ 188,010	\$ 90,901	\$ 97,109	48.35%
Veterans Services Salaries	\$ 115,545	\$ 79,510	\$ 36,035	68.81%
Veterans Services Expenses	\$ 558,000	\$ 270,179	\$ 287,821	48.42%
Senior Services Salaries	\$ 13,500	\$ 7,076	\$ 6,424	52.41%
Senior Services Expenses	\$ 2,700	\$ -	\$ 2,700	0.00%
Stadium Commission	\$ 59,000	\$ 50,606	\$ 8,394	85.77%
Recreation Salaries	\$ 193,129	\$ 175,812	\$ 17,317	91.03%
Recreation Expenses	\$ 85,000	\$ 24,016	\$ 60,984	28.25%
Public Library Salaries	\$ 1,665,862	\$ 1,099,331	\$ 566,531	65.99%
Public Library Expenses	\$ 293,585	\$ 217,062	\$ 76,523	73.93%
TOTAL HUMAN SERVICES	\$ 3,477,950	\$ 2,249,302	\$ 1,228,648	64.7%
Debt Service	\$ 9,491,008	\$ 6,416,113	\$ 3,074,895	67.60%
TOTAL DEBT SERVICE	\$ 9,491,008	\$ 6,416,113	\$ 3,074,895	67.6%
Retirement Fund	\$ 22,967,281	\$ 22,967,281	\$ -	100.00%
Unemployment Compensation	\$ 230,000	\$ 101,129	\$ 128,871	43.97%
Group Insurance	\$ 29,765,000	\$ 17,090,951	\$ 12,674,049	57.42%

Expense Report as of 2/28/2026

City Department	Budget (YTD)	Expended (YTD)	Unexpended (YTD)	% Expended
Payroll Taxes (FICA/Medicare)	\$ 2,103,796	\$ 1,376,428	\$ 727,368	✓ 65.43%
Workers Compensation	\$ 915,000	\$ 492,287	\$ 422,713	✓ 53.80%
Injured on Duty Claims	\$ 230,967	\$ 203,414	\$ 27,553	✗ 88.07%
Sick Leave Bank	\$ 126,000	\$ 436,639	\$ (310,639)	✗ 346.54%
Vacational Buyback	\$ 55,000	\$ 59,315	\$ (4,315)	✗ 107.85%
Retiree Medical Claims	\$ 121,000	\$ 35,596	\$ 85,404	✓ 29.42%
TOTAL EMPLOYEE BENEFITS	\$ 56,514,044	\$ 42,763,040	\$ 13,751,004	✗ 75.7%
General Liability Insurance	\$ 1,303,678	\$ 1,256,819	\$ 46,859	✗ 96.41%
Salary Reserve	\$ 1,080,000	\$ 189,072	\$ 890,928	✓ 17.51%
Budget Reserve	\$ 805,671	\$ 126,841	\$ 678,830	✓ 15.74%
State Assessments (Cherry Sheets)	\$ 9,524,223	\$ 6,644,939	\$ 2,879,284	✗ 69.77%
Reserve for Abatement & Exemption (Overlay)	\$ 250,000	\$ 250,000	\$ -	✗ 100.00%
TOTAL OTHER CITY EXPENSES	\$ 12,963,572	\$ 8,467,671	\$ 4,495,901	✓ 65.3%
TOTAL GENERAL FUND	\$ 277,121,624	\$ 177,110,301	\$ 100,011,323	63.9%

Water Department Salaries	\$ 3,780,009	\$ 2,476,915	\$ 1,303,094	✓ 65.53%
Water Department Expenses	\$ 9,318,378	\$ 6,587,615	\$ 2,730,763	✗ 70.69%
Water Department Capital	\$ 300,000	\$ 222,488	\$ 77,512	✗ 74.16%
Water Department Indirect	\$ 248,494	\$ -	\$ 248,494	✓ 0.00%
TOTAL WATER DEPARTMENT	\$ 13,646,881	\$ 9,287,018	\$ 4,359,863	✗ 68.1%
Wastewater Salaries	\$ 3,089,104	\$ 1,774,192	\$ 1,314,912	✓ 57.43%
Wastewater Expenses	\$ 11,894,907	\$ 7,004,741	\$ 4,890,166	✓ 58.89%
Wastewater Capital	\$ 1,127,000	\$ 90,861	\$ 1,036,139	✓ 8.06%
Wastewater Indirect	\$ 698,442	\$ -	\$ 698,442	✓ 0.00%
TOTAL WASTEWATER DEPARTMENT	\$ 16,809,453	\$ 8,869,794	\$ 7,939,659	✓ 52.8%

	FY '24 through 1/31/24	FY '25 through 1/31/25	FY '26 through 1/31/26	Trendline
TOTAL GENERAL GOVERNMENT	\$ 3,364,489	\$ 3,797,365	\$ 3,337,123	
TOTAL COMMUNITY & ECONOMIC DEVELOPMENT	\$ 1,345,577	\$ 1,384,974	\$ 1,411,760	
TOTAL PUBLIC SAFETY	\$ 18,421,667	\$ 20,946,976	\$ 22,057,582	
TOTAL EDUCATION	\$ 72,976,507	\$ 81,725,182	\$ 81,214,539	
TOTAL PUBLIC WORKS	\$ 7,435,178	\$ 7,749,041	\$ 9,193,171	
TOTAL HUMAN SERVICES	\$ 2,233,805	\$ 2,259,743	\$ 2,249,302	
TOTAL DEBT SERVICE	\$ 3,475,434	\$ 3,764,675	\$ 6,416,113	
TOTAL EMPLOYEE BENEFITS	\$ 37,932,799	\$ 36,530,248	\$ 42,763,040	
TOTAL OTHER CITY EXPENSES	\$ 6,546,991	\$ 7,633,731	\$ 8,467,671	
TOTAL CITY EXPENDITURES	\$ 153,732,447	\$ 165,791,935	\$ 177,110,301	
TOTAL WATER DEPARTMENT	\$ 16,431,017	\$ 9,024,796	\$ 9,287,018	
TOTAL WASTEWATER DEPARTMENT	\$ 8,217,701	\$ 9,197,354	\$ 8,869,794	

Expense Report as of 2/28/2026

City of Haverhill

Revenue Report

Period Ending 2/28/26

Year to Year Comparison

Revenue Source	2/29/2024	2/28/2025	2/28/2026	FY 25 to 26 % Change	FY 25 to 26 \$ Change	FY 24-26 Trendline
Real Estate & Pers Property	\$ 91,554,620	\$ 97,682,172	\$ 102,904,199	5.35%	\$ 5,222,027	
Motor Vehicle Excise	\$ 2,237,139	\$ 2,048,927	\$ 1,594,911	-22.16%	\$ (454,016)	
Meals Excise	\$ 653,664	\$ 656,596	\$ 655,953	-0.10%	\$ (643)	
Hotel/ Room Excise	\$ 202,385	\$ 198,128	\$ 201,655	1.78%	\$ 3,527	
Boat & Other Excise	\$ 9,371	\$ 7,108	\$ 7,173	0.91%	\$ 65	
Cannabis Excise	\$ 567,650	\$ 582,077	\$ 640,705	10.07%	\$ 58,628	
Waste Disposal Facility Program	\$ 2,254,280	\$ 1,650,196	\$ 1,933,480	17.17%	\$ 283,284	
PILOT	\$ 21,525	\$ 254,943	\$ 37,933	-85.12%	\$ (217,010)	
Penalties & Interest	\$ 509,658	\$ 438,498	\$ 409,784	-6.55%	\$ (28,714)	
Fees	\$ 569,785	\$ 617,443	\$ 634,038	2.69%	\$ 16,595	
Rentals	\$ 132,476	\$ 144,840	\$ 108,553	-25.05%	\$ (36,287)	
Departmental Revenue	\$ 587,926	\$ 780,128	\$ 167,728	-78.50%	\$ (612,400)	
License & Permits	\$ 1,941,909	\$ 2,173,010	\$ 1,544,158	-28.94%	\$ (628,852)	
Fines & Forefits	\$ 499,364	\$ 386,083	\$ 476,708	23.47%	\$ 90,625	
Investments	\$ 1,505,698	\$ 2,358,400	\$ 1,995,958	-15.37%	\$ (362,442)	
Medicaid Reimbursement	\$ 456,946	\$ 502,458	\$ 545,513	8.57%	\$ 43,055	
*Misc Revenue	\$ 102,647	\$ 228,541	\$ 18,311	-91.99%	\$ (210,230)	
Comm of MA Cherry Sheet	\$ 64,281,113	\$ 67,728,671	\$ 72,125,827	6.49%	\$ 4,397,156	
Wastewater Enterprise Fund	\$ 9,484,576	\$ 10,679,866	\$ 10,421,279	-2.42%	\$ (258,587)	
Water Enterprise Fund	\$ 7,845,261	\$ 9,317,246	\$ 9,996,928	7.29%	\$ 679,682	
Other GF Rev - Trnsf From Sp Rev & Free Cash	\$	\$ 990,257	\$ 6,250,867	531.24%	\$ 5,260,610	
Total Revenue	\$ 185,417,993	\$ 199,425,588	\$ 212,671,661	6.64%	\$ 13,246,073	
Total Revenue without Enterprise Funds	\$ 168,088,156	\$ 179,428,476	\$ 192,253,454	7.15%	\$ 12,824,978	
Total Local Receipts	\$ 12,252,423	\$ 13,027,376	\$ 10,972,561	-15.77%	\$ (2,054,815)	
Total Local Receipts not including Investments	\$ 10,746,725	\$ 10,668,976	\$ 8,976,603	-15.86%	\$ (1,692,373)	

City of Haverhill

Revenue Report

Period Ending 2/28/26

Collections as a Percent of Budget

Revenue Source	FY 26 Estimated Revenue	FY 26 Actual Revenue Collections	\$ Surplus / (Deficit)	YTD Benchmark	Actual Revenue Benchmark
Real Estate & Pers Property	\$ 140,323,000	\$ 102,904,199	\$ (37,418,801)	75%	● 73.3%
Motor Vehicle Excise	\$ 8,391,880	\$ 1,594,911	\$ (6,796,969)	25%	● 19.0%
Meals Excise	\$ 1,259,948	\$ 655,953	\$ (603,995)	50%	● 52.1%
Hotel/ Room Excise	\$ 309,000	\$ 201,655	\$ (107,345)	50%	● 65.3%
Boat & Other Excise	\$ 9,476	\$ 7,173	\$ (2,303)	50%	● 75.7%
Cannabis Excise	\$ 1,133,040	\$ 640,705	\$ (492,335)	50%	● 56.5%
Waste Disposal Facility Program	\$ 2,740,175	\$ 1,933,480	\$ (806,695)	67%	● 70.6%
PILOT	\$ 274,189	\$ 37,933	\$ (236,256)	67%	● 13.8%
Penalties & Interest	\$ 742,361	\$ 409,784	\$ (332,577)	67%	● 55.2%
Fees	\$ 962,671	\$ 634,038	\$ (328,633)	67%	● 65.9%
Rentals	\$ 198,450	\$ 108,553	\$ (89,897)	67%	● 54.7%
Departmental Revenue	\$ 658,253	\$ 167,728	\$ (490,525)	67%	● 25.5%
License & Permits	\$ 2,522,301	\$ 1,544,158	\$ (978,143)	67%	● 61.2%
Fines & Forfeits	\$ 628,275	\$ 476,708	\$ (151,567)	67%	● 75.9%
Investments	\$ 1,976,990	\$ 1,995,958	\$ 18,968	67%	● 101.0%
Medicaid Reimbursement	\$ 735,000	\$ 545,513	\$ (189,487)	67%	● 74.2%
*Misc Revenue		\$ 18,311	\$ 18,311	67%	● 100.0%
Comm of MA Cherry Sheet	\$ 108,005,748	\$ 72,125,827	\$ (35,879,921)	67%	● 66.8%
Wastewater Enterprise Fund	\$ 16,809,453	\$ 10,421,279	\$ (6,388,174)	67%	● 62.0%
Water Enterprise Fund	\$ 14,146,881	\$ 9,996,928	\$ (4,149,953)	67%	● 70.7%
Other GF Rev - Trnsf From Sp Rev & Free Cash	\$ 6,250,867	\$ 6,250,867	\$ -	67%	● 100.0%
Total	\$ 308,077,958	\$ 212,671,661	\$ (95,406,297)	69%	● 69.0%
<i>Estimated General Fund Revenue</i>	<i>\$ 277,121,624</i>	<i>\$ 192,253,454</i>	<i>\$ (84,868,170)</i>	<i>68%</i>	● <i>69.4%</i>
<i>Estimated Local Receipts</i>	<i>\$ 22,542,009</i>	<i>\$ 10,972,561</i>	<i>\$ (11,569,448)</i>	<i>49%</i>	● <i>48.7%</i>

10.1

Document # 13-A

Zoning hearing request from Robert DeNisco on behalf of Leach Street, LLC for a zoning change of MBL 534-5-135 from Commercial Highway (CH) zone to the abutting Residential Urban (RU) Zone

IN CITY COUNCIL: January 27, 2026

Refer to Planning Board and Council Hearing for March 24, 2026

11 YEAS, 0 NAYS, 0 ABSENT

Attest: Kaitlin M. Wright
Kaitlin M. Wright, CMC
City Clerk



101

Haverhill

Economic Development and Planning
Phone: 978-374-2330

March 12, 2026

MAR 19 PM 1:26
HAVCITYCLERK

City Council President Timothy J. Jordan
& City Councilors
City of Haverhill

RE: Zoning Amendment – Newburg Street – Parcel 534-5-135 (Montrose Ave)

Dear Council President Jordan and Members of the Haverhill City Councilor:

The City Council has received a petition from the owner of Parcel 534-5-135 requesting a zoning change from Commercial Highway (CH) to Residential Urban Density (RU). The matter was referred to the Planning Board for review and recommendation.

The subject property does not have direct access to River Street, unlike certain abutting commercial properties. Access to the parcel would instead be provided via Newburg Street or Montrose Avenue, which are more consistent with residential development patterns and circulation. Therefore, the proposed Residential Urban Density designation appears to be more appropriate for the site.

Accordingly, the Planning Board held a public hearing on March 11, 2026 and unanimously voted to issue a favorable recommendation to the City Council to rezone the parcel to Residential Urban Density (RU).

Sincerely,

Jacki Byerley, AICP
Planning Director

12.1

DEC 18 PM 1:57
HAVCITYCLERK

Leach Street LLC
Robert DeNisco Manager
29 Blacksmith St
Peabody, MA 01960

781-316-5535

12-15-25

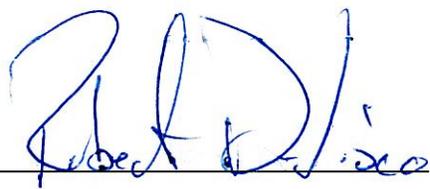
City Clerks Office
City Hall room 118

4 Summer St
Haverhill, MA 01830

Attn City Council :

To the Honorable City Council President Sullivan and honorable members of the Haverhill City Council. I would like to ask you to consider a zoning Change of a 9000 sqft parcel of land I own in Haverhill from Commercial zone CH to the abutting Residential zone of RU. My intent is to build a 2 unit Town House style condominium. I have attached a Plan of the purposed zoning change and current as built plan.

Thank you for your consideration




Robert DeNisco Leach St LLC

Eastern Land Survey Associates, Inc.

Professional Land Surveyors & Civil Engineers

ESSEX SURVEY SERVICE	1958 - 1986
OSBORN PALMER	1911 - 1970
BRADFORD & WEED	1885 - 1972

April 14, 2025

Mr. Robert Denisco
6 Andrews Brothers Way
Peabody, MA 01960

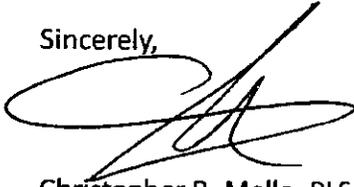
RE: F 20206
LOT A1 & B1 NEWBURG ST
HAVERHILL, MA

Dear Bob:

Please find a Form A Subdivision Plan of Lot A1 and Lob B1 for your review.

The plan should be filed and endorsed by the Haverhill Planning Board to facilitate the preparation of condominium documents.

Sincerely,



Christopher R. Mello, PLS
President

CRM:lc

Attachment

104 LOWELL STREET
PEABODY, MASS. 01960

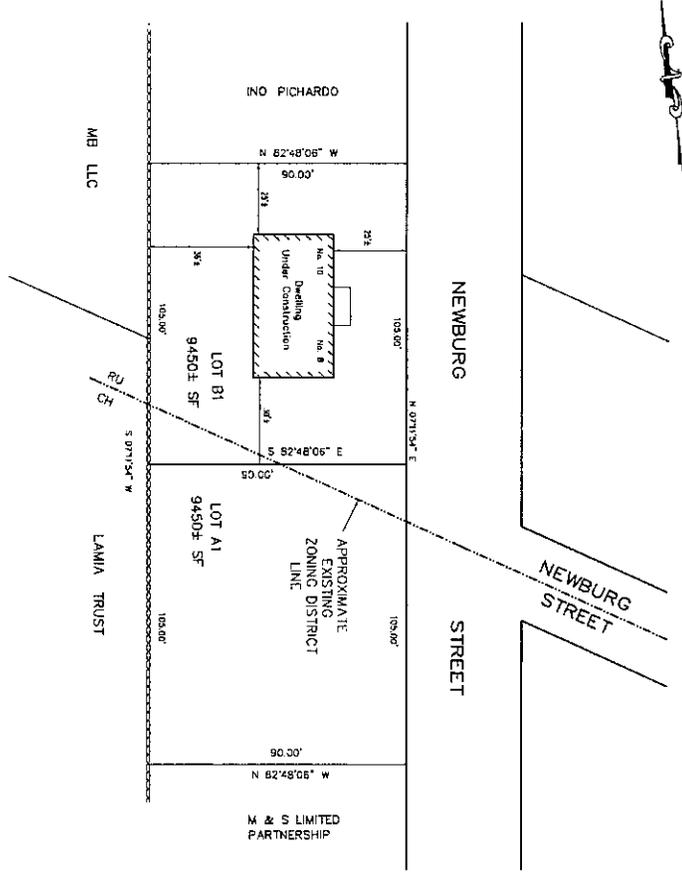
TELEPHONE: 978-531-8121

FAX: 978-531-5920



APPROVAL UNDER THE SUBDIVISION
 CONTROL LAW NOT REQUIRED
HAVERHILL PLANNING BOARD

DISSEMINATION OF THIS INFORMATION IS
 CONFINED TO THE SUBDIVISION



THIS PLAN IS BASED ON THE REFERENCE PLANS, DEEDS AND RECORDS OF THE REGISTERED DEEDS AND CONVEYANCES AS SHOWN AS TO AFFECT THE PLAN AND THE EXISTENCE OF UNRECORDED ENCUMBRANCES.

I HEREBY CERTIFY THIS PLAN CONFORMS TO THE RULES AND REGULATIONS OF THE REGISTER OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

CHRISTOPHER R. MELO P.S. 3137

FOR REGISTRY USE ONLY

PLAN OF LAND
 LOCATED IN
HAVERHILL, MASS.
 PREPARED BY
 EASTERN LAND SURVEY ASSOCIATES, INC.
 CHRISTOPHER R. MELO, PLS.
 104 LOWELL ST., PEABODY, MA 01960
 (978) 531-8171
 SCALE: 1" = 20'
 APRIL 14, 2025



PREPARED FOR
LEACH STREET LLC



F 20206

Eastern Land Survey Associates, Inc.

Professional Land Surveyors & Civil Engineers

ESSEX SURVEY SERVICE

1958 - 1986

OSBORN PALMER

1911 - 1970

BRADFORD & WEED

1885 - 1972

February 3, 2025

Mr. Robert Denisco
6 Andrews Brothers Way
Peabody, MA 01960

RE: F 20206
NEWBURG STREET
HAVERHILL, MA

Dear Bob:

Please find attached a description of land to be rezoned.

Sincerely,


Christopher R. Mello, PLS
President

CRM:lc

Attachment

104 LOWELL STREET
PEABODY, MASS. 01960

TELEPHONE: 978-531-8121

FAX: 978-531-5920



A certain parcel of land situated in the City of Haverhill, County of Essex and the Commonwealth of Massachusetts

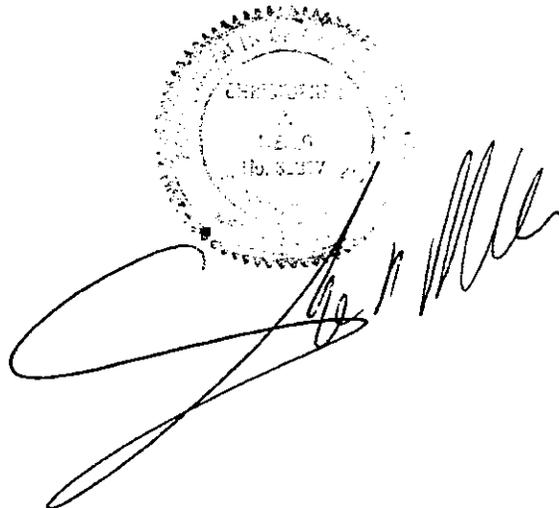
Beginning at a point on the easterly sideline of Montrose Avenue at its centerline of Newburg Street, thence running

Southerly by the easterly sideline of Montrose Avenue Sixty-Seven (67±) feet to a point opposite the division line of land of Robert Denisco and M&S Limited Partnership, thence;

Westerly by Montrose Avenue and the division line of land between Robert Denisco and M&S Limited Partnership One Hundredth Thirty (130±) feet to land of Lamia Trust, thence;

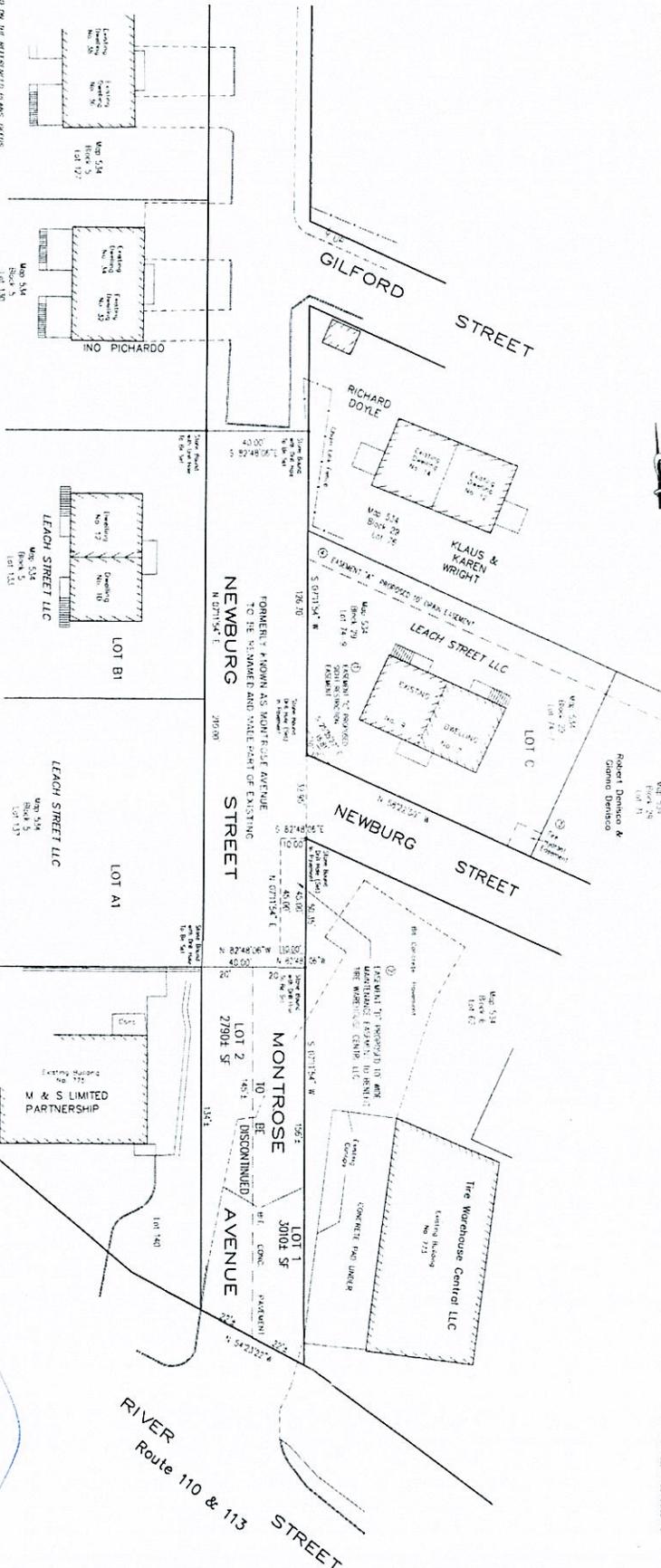
Northerly by land of Lamia Trust, One Hundred Twenty-Six (126±) feet to the current dividing line between the RU and CH Zoning District line, which is the westerly extension of Newbury Street, thence;

Easterly by land of Robert Denisco and the centerline extension of Newburg Street, One Hundred Forty-Three (143±) feet to the point of beginning.

A circular notary seal for Christopher J. G. with the number 1101.02277 and a handwritten signature.

1. EXAMINE THE PLAN AND RECORDS
 2. EXAMINE THE RECORDS
 3. EXAMINE THE RECORDS

AS APPLICABLE, SEE THE
 RECORDS OF THE CITY OF NEWBURG STREET
 IN THE OFFICE OF THE CITY CLERK



THE PLAT IS PREPARED BY THE SURVEYOR, AND THE RECORDS OF THE CITY OF NEWBURG STREET IN THE OFFICE OF THE CITY CLERK SHALL BE KEPT IN THE OFFICE OF THE SURVEYOR.

APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED
 HAVERHILL PLANNING BOARD

HAVERHILL CITY COUNCIL

NOTES
 LOT 1 TO BE OWNED BY 773 RIVER STREET
 LOT 2 TO BE OWNED BY 775 RIVER STREET
 LOT 1 & LOT 2 ARE A UTILITY EASEMENT TO BENEFIT THE CITY OF HAVERHILL.

REMAINING & ACCEPTANCE PLAN OF LAND
 LEACH RD
 HAVERHILL, MASS.

CHRISTOPHER R. WELLS S 3112
 FOR RECORDING USE ONLY

APPROVAL BY THE CITY OF HAVERHILL
 DATE

APPROVAL BY THE CITY OF HAVERHILL
 DATE

CITY CLERK

DATE

PREPARED BY
 EASTERN LAND SURVEY ASSOCIATES, INC.
 CHRISTOPHER R. WELLS, PLS
 104 LOWELL ST. PEABODY, MA 01960
 (978) 531-8171
 SCALE: 1" = 20'
 JULY 28, 2025
 Rev. August 14, 2025

PREPARED FOR
 LEACH STREET LLC



F 20208

recorded w/ registry of deeds
 Proposed
 W

01/17/2025 #172 42778-94

1:41 OFFICE PLAN BOOK 4120 PAGE 249
ANSYS WP 04 015 13-118
DATE REVISION ERM 4/26 PAGE 137

APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED

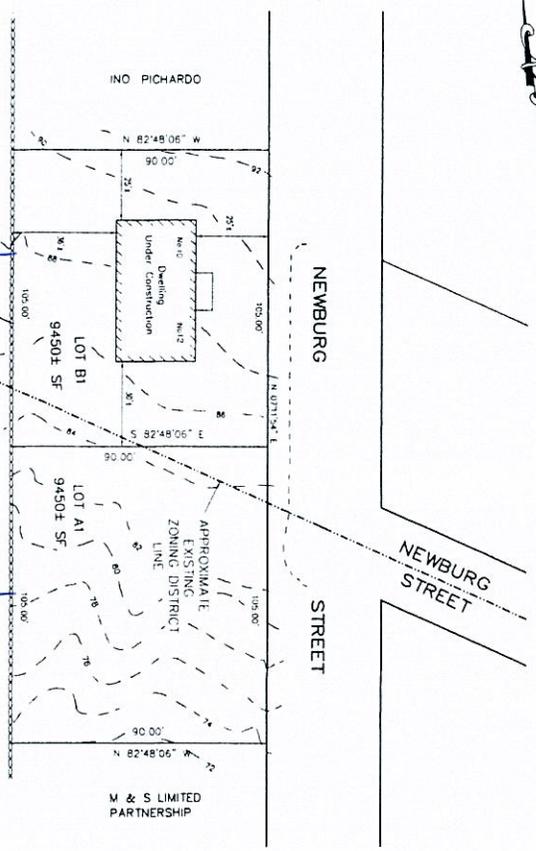
Haverhill Planning Board

Paul B. Kelly

4/11/2025

William C. Kelly

ENDORSEMENT IS NOT A DETERMINATION OF COMPLIANCE TO ZONING REQUIREMENTS



10-A
6-8

subdivided
into
5 A's
10 B's

THIS PLAN IS BASED ON THE REFERENCED PLANS, DEEDS AND THE RECORDS OF A FIELD SURVEY AS OF THIS DATE AND IS NOT TO BE USED FOR ANY OTHER PURPOSES OR AS TO THE DISTRICT OF ADJACENT UNDEVELOPED PARCELS.

I HEREBY CERTIFY THIS PLAN CONFORMS TO THE REQUIREMENTS OF THE MASSACHUSETTS REGISTER OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

Christopher R. Mello
CHRISTOPHER R. MELLO (N.S. 3137)

FOR REGISTRY USE ONLY



#13

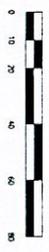
01/17/2025

42778-94



Christopher R. Mello

PLAN OF LAND
LOCATED IN
HAVERHILL, MASS.
PREPARED BY
EASTERN LAND SURVEY ASSOCIATES, INC.
CHRISTOPHER R. MELLO, PLS
104 LOWELL ST. PEABODY, MA 01960
(978) 531-8121
SCALE: 1" = 20'
MAY 22, 2025



PREPARED FOR
LEACH STREET LLC

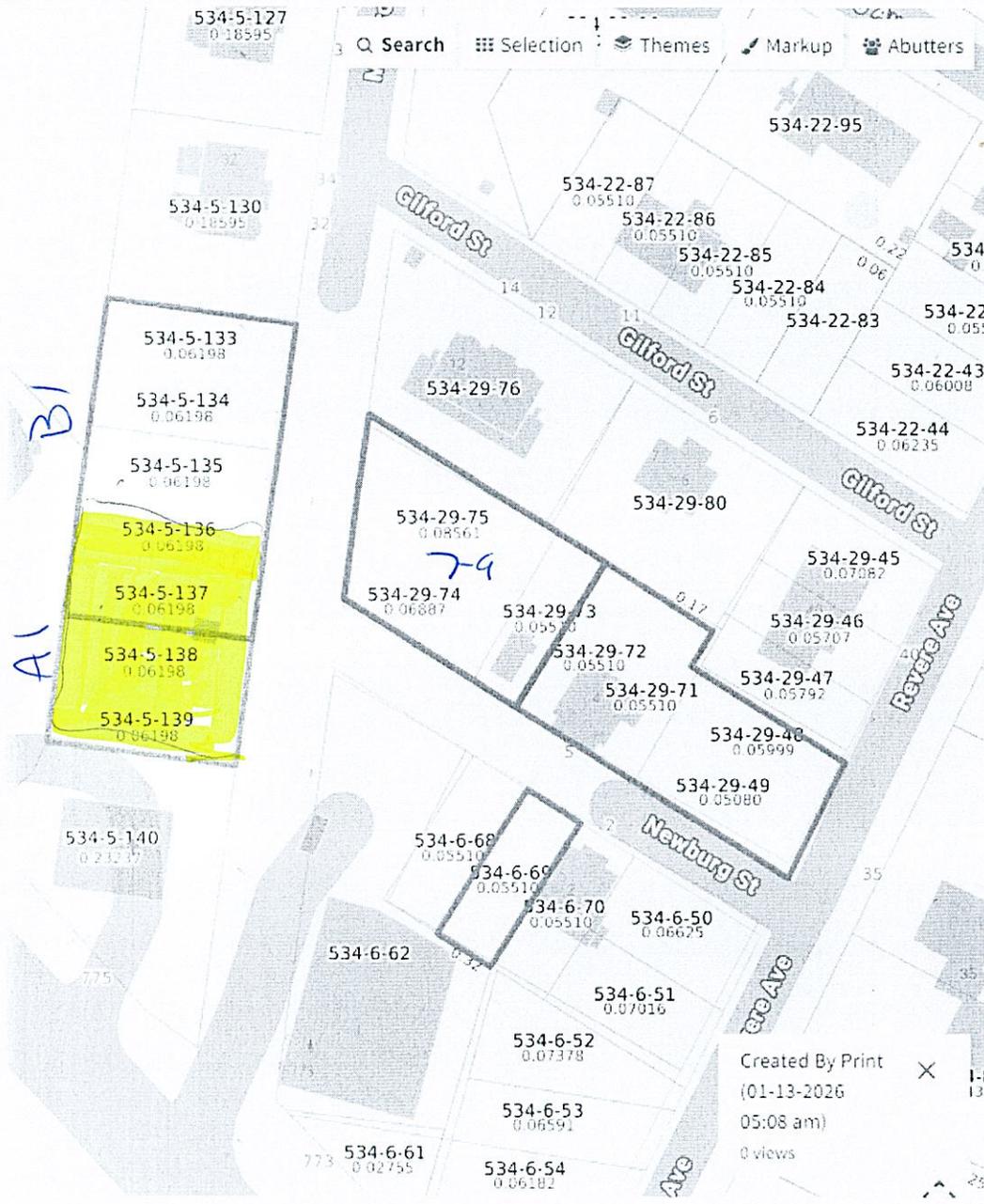


F 20206

4

Current GIS

BI
AI



Search

Advanced Search

Download Results More

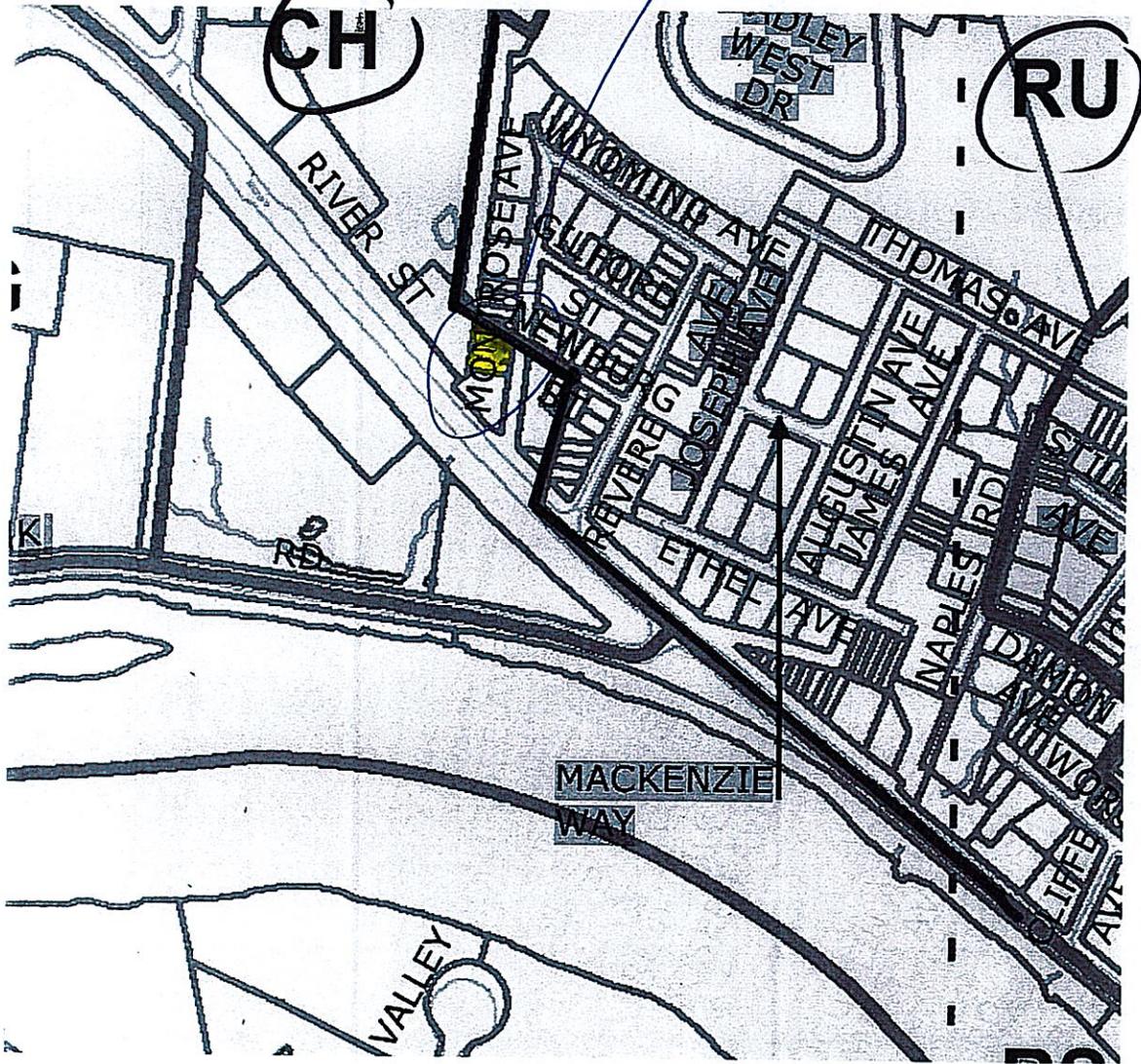
Showing 1-9 results. Scroll to see more.

- 5 NEWBURG ST
DENISCO ROBERT S.
534-29-71
- 7 NEWBURG ST
LEACH STREET, LLC
534-29-74-7
- 9 NEWBURG ST
OLESKEY THOMAS
534-29-74-9
- 10 NEWBURG ST
LEACH STREET, LLC
534-5-133
- 2 NEWBURG ST
MOSCAT GRACE-ETAL
534-6-70

Created By Print (01-13-2026 05:08 am) 0 views

Current
Zoning

Porpoise
House



Current Tax Lots (not updated)

Q Search Selection Themes Markup Abutters Q Search

Advanced Search

Download Results More

Showing 19 results. Scroll to see more.

- 5 NEWBURG ST
DENISCO ROBERT S
534-29-71
- 7 NEWBURG ST
LEACH STREET, LLC
534-29-74-7
- 9 NEWBURG ST
OLESKEY THOMAS
534-29-74-9
- 10 NEWBURG ST
LEACH STREET, LLC
534-5-133
- 2 NEWBURG ST
MOSCAT GRACE-ETAL
534-6-70

Created By Print
(01-13-2025
05:08 am)
0 views

4

Kaitlin Wright

From: North of Boston <noreply@wave2adportal.com>
Sent: Wednesday, February 4, 2026 10:03 AM
To: CityClerk
Cc: cmacdonald@northofboston.com; Kaitlin Wright
Subject: Thank you for placing your order with us.

Warning! External Email. Exercise caution when opening attachments or clicking on any links.

THANK YOU for your notice submission!

This is your confirmation that your order has been submitted. Below are the details of your transaction. Please save this confirmation for your records.

Job Details

Order Number:
W0141469
Business Type:
All Other Public Notices
Notice Size:
Public Notices
Notice Estimate:
\$138.46
Referral Code:
Newburg St. Zoning Change

Account Details

Haverhill Clerk
4 SUMMER ST STE 118
HAVERHILL, MA □ 01830
978-374-2312
cityclerk@cityofhaverhill.com
HAVERHILL CITY CLERK

Schedule for notice number W01414690

Thu Mar 5, 2026
Haverhill Gazette Public Notices
All Zones

Thu Mar 12, 2026
Haverhill Gazette Public Notices
All Zones

February 2, 2026
PUBLIC HEARING
City Council Chambers, City Hall,
Room 202, 4 Summer St

Notice is hereby given that a hearing will be held for all parties interested, in a hybrid meeting (in person/virtual), on Tuesday March 24, 2026 at 7:00 PM on a request from Robert DeNisco on behalf of Leach Street, LLC for a zoning change at MBL 534-5-135(Newburg St) from Commercial Highway (CH) zone to the abutting Residential Urban (RU) zone.

(Residents who are interested in commenting on this item can either (1) Attend in person (Council Chambers, Room 202) or (2) Attend remotely using the link provided on the public meeting calendar on the City's website.)

Description of area, maps and plans are on file in the City Clerk's Office.

Kaitlin M. Wright, CMC
City Clerk
HG - Publication Dates

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This is an automated message, please do not reply to this e-mail. If you have any questions or concerns you may contact us toll-free at 800-681-6248.

A	B	C	D	E	F	G	H	I	J
ParcelID	StreetNum	StreetName	LocCity	CondoUnit	Owner1	BillingAddress	City	State	Zip
1	534-1-1	500 HADLEY WEST DR	HAVERHILL		NEW HADLEY LLC	7 THOMAS DR	CUMBERLAND FORESIDE	ME	04110
2	534-2-40	56 REVERE AVE	HAVERHILL		CHARLESWORTH DONALD W ETUX	56 REVERE AVE	HAVERHILL	MA	01832
3	534-22-83	GILFORD ST	HAVERHILL		STEWART MICHAEL R ETUX	7 GILFORD ST	HAVERHILL	MA	01832
4	534-22-84	GILFORD ST	HAVERHILL		GOTERCH RYAN ETUX	11 GILFORD ST	HAVERHILL	MA	01832
5	534-22-89	26 WYOMING AVE	HAVERHILL		TROMBLY SCOTT W ETAL	26 WYOMING AVE	HAVERHILL	MA	01832
6	534-22-90-1	20 WYOMING AVE	HAVERHILL	1	THE LEFEBVRE LIVING TRUST	20 WYOMING AVE UNIT 1	HAVERHILL	MA	01832
7	534-22-90-2	22 WYOMING AVE	HAVERHILL	2	KELLY CAROLYN J	22 WYOMING AVE UNIT 2	HAVERHILL	MA	01832
8	534-22-95	16 WYOMING AVE	HAVERHILL		BLAIR JOSEPH P ETUX	16 WYOMING AVENUE	HAVERHILL	MA	01832
9	534-23-101	3 WYOMING AVE	HAVERHILL		MELANSON MARIE M	3 WYOMING AVE	HAVERHILL	MA	01832
10	534-23-104	5 WYOMING AVE	HAVERHILL		TES FAMILY TRUST	5 WYOMING AVE	HAVERHILL	MA	01832
11	534-23-109	21 WYOMING AVE	HAVERHILL		VIANA JOSE	10 TRACEY ST, 1ST	PEABODY	MA	01960
12	534-23-112	27 WYOMING AVE	HAVERHILL		BETTENCOURT FRANCISCO H ETUX	27 WYOMING AVE	HAVERHILL	MA	01832
13	534-23-115	WYOMING AVE	HAVERHILL		PASZKO PETER	47 MONTROSE AVE	HAVERHILL	MA	01832
14	534-23-118	47 MONTROSE AVE	HAVERHILL		PASZKO PETER	47 MONTROSE AVE	HAVERHILL	MA	01832
15	534-29-47	40 REVERE AVE	HAVERHILL		MANSOUR POTIER SYLVIA ETALI	40 REVERE AVE	HAVERHILL	MA	01832
16	534-29-71	5 NEWBURG ST	HAVERHILL		DENISCO ROBERT S.	6 ANDREWS BROTHERS WAY	PEABODY	MA	01960
17	534-29-74-7	7 NEWBURG ST	HAVERHILL		RYAN CHRISTOPHER J	7 NEWBURG ST	HAVERHILL	MA	01832
18	534-29-74-9	9 NEWBURG ST	HAVERHILL		OLESKY THOMAS	9 NEWBURG ST	HAVERHILL	MA	01832
19	534-29-76-12	12 GILFORD ST	HAVERHILL		12 GILFORD STREET REALTY TRUST	12 GILFORD ST	HAVERHILL	MA	01832
20	534-29-76-14	14 GILFORD ST	HAVERHILL		CEBALLO RAULYN MARTINEZ	14 GILFORD ST	HAVERHILL	MA	01832
21	534-29-80	6 GILFORD ST	HAVERHILL		STEWART MICHAEL R ETUX	7 GILFORD ST	HAVERHILL	MA	01832
22	534-5-124-40	40 MONTROSE AVE	HAVERHILL		RUHMANN DENISE	40 MONTROSE AVE	HAVERHILL	MA	01832
23	534-5-124-42	42 MONTROSE AVE	HAVERHILL		CAMPANILE DEBRA M	42 MONTROSE AVE	HAVERHILL	MA	01832
24	534-5-127-1	36 MONTROSE AVE	HAVERHILL	1	THE PAUL M ACCARDI 2018 TRUST	2 SARAH J CIRCLE	HAVERHILL	MA	01832
25	534-5-127-2	32 MONTROSE AVE	HAVERHILL	2	RODRIGUEZ DEIVY D. ARIAS	38 MONTROSE AV	HAVERHILL	MA	01832
26	534-5-130-1	34 MONTROSE AVE	HAVERHILL	1	PICHARDO INO	32 MONTROSE AVE	HAVERHILL	MA	01832
27	534-5-130-2	10 NEWBURG ST	HAVERHILL	2	LYNCH SHANNON L	P.O. BOX 6111	HAVERHILL	MA	01831
28	534-5-133-10	12 NEWBURG ST	HAVERHILL		KANYORO BETH	10 NEWBURG ST	HAVERHILL	MA	01832
29	534-5-133-12	MONTROSE AVE	HAVERHILL		SINGH RANDEEP	12 NEWBURG ST	HAVERHILL	MA	01832
30	534-5-135	775 RIVER ST	HAVERHILL		LEACH STREET, LLC	6 ANDREWS BROTHERS WAY	PEABODY	MA	01960
31	534-5-146	MONTROSE AVE	HAVERHILL		CITY OF HAVERHILL	54 JACONNET ST SUITE 100	NEWTON HEIGHLANDS	MA	02461
32	534-6-52	16 REVERE AVE	HAVERHILL		TIRE WAREHOUSE CENTRAL INC	4 SUMMER ST	HAVERHILL	MA	01830
33	534-6-62	773 RIVER ST	HAVERHILL		MONRO MUFFLER BRAKE, INC.	200 HOLLEDER PARKWAY	ROCHESTER	NY	14615
34	534-6-70	2 NEWBURG ST	HAVERHILL		MOSCAT GRACE ETAL	200 HOLLEDER PARKWAY	ROCHESTER	NY	14615
35	534-7-20	26 ETHEL AVE	HAVERHILL		FUENTES FLETCHER	26 ETHEL AVE	HAVERHILL	MA	01832
36	534-7-23	21 REVERE AVE	HAVERHILL		TURNER STEPHEN J-LIFE EST.	21 REVERE AVE	HAVERHILL	MA	01832
37	534-7-28	35 REVERE AVE	HAVERHILL		ROULEAU DAVID D ETUX	35 REVERE AV	HAVERHILL	MA	01832
38	534-7-32	REVERE AVE	HAVERHILL		MANSOUR POTIER SYLVIA ETALI	40 REVERE AVE	HAVERHILL	MA	01832
39	534-7-33	39 REVERE AVE	HAVERHILL		MANZI MICHAEL III ETUX	39 REVERE AVE	HAVERHILL	MA	01832
40	534-7-38	57 REVERE AVE	HAVERHILL		DIVINCENTIS ROBERT A ETUX	57 REVERE AV	HAVERHILL	MA	01832
41	534-8-102-5	5 JOSEPH AVE	HAVERHILL		MARLAND RONALD ETUX	5 JOSEPH AV	HAVERHILL	MA	01832
42	534-8-102-7	7 JOSEPH AVE	HAVERHILL		DRAPEAU WILLIAM E JR	7 JOSEPH AV	HAVERHILL	MA	01832
43	534-8-84	ETHEL AVE	HAVERHILL		TURNER STEPHEN J-LIFE EST.	21 REVERE AVE	HAVERHILL	MA	01832
44	569-1-3	790 RIVER ST	HAVERHILL		SUNOCO RETAIL, LLC	1900 DALROCK RD	ROWLETT	TX	75088
45	569-1-3A	786 RIVER ST	HAVERHILL		SCF RC FUNDING IV LLC	902 CARNEGIE CENTER BLVD., STE. 520	PRINCETON	NJ	08542
46	569-1-3B	RIVER ST	HAVERHILL		WINDHAM REALTY, LLC	8 ACTION BOULEVARD	LONDONDERRY	NH	03053
47	569-1-3C	BANK RD	HAVERHILL		WINDHAM REALTY LLC	8 ACTION BLVD	LONDONDERRY	NH	03053

	A	B	C	D	E	F	G	H	I	J
50	569-1-3D	782 RIVER ST	HAVERRHILL	HAVERRHILL	SKIP FERN TRUST 1	9 WHITTIER DR	BOW	NH	03304	
51	569-2-4A	RIVER ST	HAVERRHILL	VALLEY PROPERTIES, INC.	875 EAST STREET	TEWKSBURY	MA	01876		
52	569-2-4B	781 RIVER ST	HAVERRHILL	LAMIA TRUST	11 ADELE AVE	HAVERRHILL	MA	01832		
53	569-2-5	400 LOWELL AVE	HAVERRHILL	VALLEY MB LLC	875 EAST ST	TEWKSBURY	MA	01876		

534-1-1
NEW HADLEY LLC
7 THOMAS DR
CUMBERLAND FORESIDE, ME 04110

534-22-84
GOTERCH RYAN-ETUX
11 GILFORD ST
HAVERHILL, MA 01832

534-22-90-2
KELLY CAROLYN J
22 WYOMING AVE, UNIT 2
HAVERHILL, MA 01832

534-23-104
TES FAMILY TRUST
5 WYOMING AVE
HAVERHILL, MA 01832

534-23-115
PASZKO PETER
47 MONTROSE AVE
HAVERHILL, MA 01832

534-29-71
DENISCO ROBERT S.
6 ANDREWS BROTHERS WAY
PEABODY, MA 01960

534-29-76-12
12 GILFORD STREET REALTY TRUST
12 GILFORD ST
HAVERHILL, MA 01832

534-5-124-40
RUHMANN DENISE
40 MONTROSE AVE
HAVERHILL, MA 01832

534-5-127-2
RODRIGUEZ DEIVY D. ARIAS
38 MONTROSE AV
HAVERHILL, MA 01832

534-5-133-10
KANYORO BETH
10 NEWBURG ST
HAVERHILL, MA 01832

534-22-40
CHARLESWORTH DONALD W ETUX
56 REVERE AVE
HAVERHILL, MA 01832

534-22-89
TROMBLY SCOTT W-ETAL
26 WYOMING AVE
HAVERHILL, MA 01832

534-22-95
BLAIR JOSEPH P ETUX
16 WYOMING AVENUE
HAVERHILL, MA 01832

534-23-109
VIANA JOSE
10 TRACEY ST, 1ST
PEABODY, MA 01960

534-23-118
PASZKO PETER
47 MONTROSE AVE
HAVERHILL, MA 01832

534-29-74-7
RYAN CHRISTOPHER J
7 NEWBURG ST
HAVERHILL, MA 01832

534-29-76-14
CEBALLO RAULYN MARTINEZ
14 GILFORD ST
HAVERHILL, MA 01832

534-5-124-42
CAMPANILE DEBRA M
42 MONTROSE AVE
HAVERHILL, MA 01832

534-5-130-1
PICHARDO INO
32 MONTROSE AVE
HAVERHILL, MA 01832

534-5-133-12
SINGH RANDEEP
12 NEWBURG ST
HAVERHILL, MA 01832

534-22-83
STEWART MICHAEL R-ETUX
7 GILFORD ST
HAVERHILL, MA 01832

534-22-90-1
THE LEFEBVRE LIVING TRUST
20 WYOMING AVE, UNIT 1
HAVERHILL, MA 01832

534-23-101
MELANSON MARIE M
3 WYOMING AVE
HAVERHILL, MA 01832

534-23-112
BETTENCOURT FRANCISCO H-ETUX
27 WYOMING AVE
HAVERHILL, MA 01832

534-29-47
MANSOUR-POTTER SYLVIA ETALI
40 REVERE AVE
HAVERHILL, MA 01832

534-29-74-9
OLESKEY THOMAS
9 NEWBURG ST
HAVERHILL, MA 01832

534-29-80
STEWART MICHAEL R-ETUX
7 GILFORD ST
HAVERHILL, MA 01832

534-5-127-1
THE PAUL M ACCARDI 2018 TRUST
2 SARAH J CIRCLE
HAVERHILL, MA 01832

534-5-130-2
LYNCH SHANNON L
P.O. BOX 6111
HAVERHILL, MA 01831

534-5-135
LEACH STREET, LLC
6 ANDREWS BROTHERS WAY
PEABODY, MA 01960

534-5-140
M + S LIMITED PARTNERSHIP
54 JACONNET ST SUITE 100
NEWTON HEIGHLANDS, MA 02461

534-5-146
CITY OF HAVERHILL
4 SUMMER ST
HAVERHILL, MA 01830

534-6-52
TIRE WAREHOUSE CENTRAL INC
200 HOLLEDER PARKWAY
ROCHESTER, NY 14615

534-6-62
MONRO MUFFLER BRAKE,INC.
200 HOLLEDER PARKWAY
ROCHESTER, NY 14615

534-6-70
MOSCAT GRACE-ETAL
2 NEWBURG STREET
HAVERHILL, MA 01832

534-7-20
FUENTES FLETCHER
26 ETHEL AVE
HAVERHILL, MA 01832

534-7-23
TURNER STEPHEN J-LIFE EST.
21 REVERE AVE
HAVERHILL, MA 01832

534-7-28
ROULEAU DAVID D ETUX
35 REVERE AVE
HAVERHILL, MA 01832

534-7-32
MANSOUR-POTTER SYLVIA ETALI
40 REVERE AVE
HAVERHILL, MA 01832

534-7-33
MANZI MICHAEL III ETUX
39 REVERE AVE
HAVERHILL, MA 01832

534-7-38
DIVINCENTIS ROBERT A ETUX
57 REVERE AV
HAVERHILL, MA 01832

534-8-102-5
MARLAND RONALD-ETUX
5 JOSEPH AV
HAVERHILL, MA 01832

534-8-102-7
DRAPEAU WILLIAM E JR
7 JOSEPH AV
HAVERHILL, MA 01832

534-8-84
TURNER STEPHEN J-LIFE EST.
21 REVERE AVE
HAVERHILL, MA 01832

569-1-3
SUNOCO RETAIL, LLC
1900 DALROCK RD
ROWLETT, TX 75088

569-1-3A
SCF RC FUNDING IV LLC
902 CARNEGIE CENTER BLVD., STE. 520
PRINCETON, NJ 08542

569-1-3B
WINDHAM REALTY, LLC
8 ACTION BOULEVARD
LONDONDERRY, NH 03053

569-1-3C
WINDHAM REALTY LLC
8 ACTION BLVD
LONDONDERRY, NH 03053

569-1-3D
SKIP FERN TRUST I
9 WHITTIER DR
BOW, NH 03304

569-2-4A
VALLEY PROPERTIES, INC
875 EAST STREET
TEWKSBURY, MA 01876

569-2-4B
LAMIA TRUST
11 ADELE AVE
HAVERHILL, MA 01832

569-2-5
VALLEY MB LLC
875 EAST ST
TEWKSBURY, MA 01876

10, 2

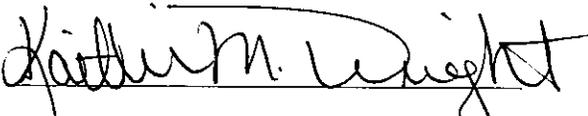
Document # 21-A

CCSP-26-1; Jony Perez of Davinci Mini Apartments, LLC and Davinci Child Center, LLC requesting to convert a currently unoccupied building to a daycare program on first floor (allowed by right in Zoning Code) and 12 apartments units (six two-bedrooms and six one-bedrooms) on the top three floors at 121 Merrimack St in the Waterfront (WD-C) District

IN CITY COUNCIL: February 10, 2026

Hearing scheduled for March 24, 2026

9 YEAS, 0 NAYS, 2 ABSENT

Attest: 
Kaitlin M. Wright, CMC
City Clerk

City Council Special Permit

CCSP-26-1

Submitted On: Jan 9, 2026

Applicant

Jony Perez
9783750639
@ jony_perez@hotmail.com

Primary Location

121 MERRIMACK ST
Haverhill, MA 01830

12.1

Important: Please Read Before Starting Your Application

Applicant Information

FEB 2 PM 12:30
HAVCITYCLERK

What is Your Role in This Process?

Owner

Applicant Business/Firm Name

Davinci Mini Apts

Applicant Business/Firm Phone

9783750639

Applicant Business/Firm Address

55 Avon Street

Applicant Business/Firm City

Lawrence

Applicant Business/Firm State

MA

Applicant Business/Firm Zip

01841

New Field

Att: Jony Perez

Property Information

Proposed Housing Plan Name

125 Merrimack Street

Proposed Street Name(s)

Merrimack Street

How Long Owned by Current Owner?

1 Year

Type of Dwelling(s) Planned in Project

Apartments

Lot Dimension(s)

140'x49'

Registry Plat Number, Block & Lot

106-9-24

Zoning District Where Property Located

WD - Waterfront District

IF WATERFRONT, Which Sub-Zone?

C - North Side of Merrimack Street

Deed Recorded in Essex South Registry: Block Number

42754

Deed Recorded in Essex South Registry: Page

499

Does the Property Have Multiple Lots?

No

Thoroughly Describe the Reason(s) for thre Special Permit

Redeveloping existing building site to include a daycare program on first floor and 12 apartment units on top 3 floors.

Property Description

Currently building is unoccupied.

Current Property Use

Vacant

TOTAL Number of Units Planned

12

TOTAL Number of Parking Spaces Planned

10

Planned Lot Use

Special Circumstances

Building Coverage

true

Front Yard Setback

true

Rear Yard Setback

true

Lot Depth

true

Building Height

true

Open Space

--

Sign Size

true

Other

--

Dimensional Variance

--

Side Yard Setback

true

Lot Frontage

true

Lot Area

true

Floor Area Ratio

true

Parking

true

Use

--

Hearing Waiver

Agrees

Yes

Agreement & Signature

Agrees

true

PLEASE READ

101-1-1
MERRIMACK REALTY TRUST ✓
76 MERRIMACK ST SUITE 19
HAVERHILL, MA 01830

101-1-17
BRIGHAM CIRCLE TRUST ✓
75 OAK STREET
NEWTON, MA 02464

101-1-5
L'ARCHE BOSTON NORTH, INC ✓
53 WINGATE ST
HAVERHILL, MA 01832

~~101-1-6A-2~~
~~DOUGLAS R LOCKE REV TRUST~~
~~PO BOX 220~~
~~BOXFORD, MA 01921~~ duplicate

~~101-1-6A-5~~
~~LOCKE DOUGLAS R~~
~~PO BOX 220~~
~~BOXFORD, MA 01921~~ duplicate

102-7-11
AG PALMDALE REAL OWNERS, LLC ✓
2211 MICHELSON DR, Unit 200
IRVINE, CA 92612

102-7-20
CITY OF HAVERHILL ✓
4 SUMMER ST
HAVERHILL, MA 01830

103-2-3
LENY, LLC ✓
326 HAVEN ST
READING, MA 01867

~~103-3-1~~
~~CITY OF HAVERHILL~~
~~4 SUMMER ST~~
~~HAVERHILL, MA 01830~~ duplicate

106-8-9
TD BANKNORTH, N.A.
4140 CHURCH RD
MOUNT LAUREL, NJ 08054

101-1-11
WALCOTT CORP ✓
1050 COMMONWEALTH AVE
BOSTON, MA 02215

101-1-17A
118 MERRIMACK STREET IRREVOCAB ✓
38 SHERWOOD DR
HAVERHILL, MA 01835

101-1-6
ERIC AND KATHLEEN DARBY IRREVOCABLE TRUST ✓
24 WELLINGTON AVE
HAVERHILL, MA 01830

~~101-1-6A-3~~
~~DOUGLAS R LOCKE REV TRUST~~
~~PO BOX 220~~
~~BOXFORD, MA 01921~~ duplicate

~~101-1-6A-6~~
~~DOUGLAS R LOCKE REV TRUST~~
~~PO BOX 220~~
~~BOXFORD, MA 01921~~

102-7-12
150 MERRIMACK STREET REALTY LLC ✓
150 MERRIMACK ST
HAVERHILL, MA 01830

103-2-1
FREEMASONS HALL ASSOCIATES ✓
P O BOX 603
HAVERHILL, MA 01831

~~103-2-4~~
~~LENY, LLC~~
~~326 HAVEN ST~~
~~READING, MA 01867~~ duplicate

~~103-3-1B~~
~~CITY OF HAVERHILL~~
~~4 SUMMER ST~~
~~HAVERHILL, MA 01830~~ duplicate

106-8-9A
THE FAMILY MUTUAL SAVINGS BANK ✓
380 WELLINGTON ST
LONDON, ON N6A4S4

101-1-12
ELA LLC ✓
126 MERRIMACK ST
HAVERHILL, MA 01830

~~101-1-4~~
~~L'ARCHE BOSTON NORTH, INC~~
~~53 WINGATE ST~~
~~HAVERHILL, MA 01832~~ duplicate

101-1-6A-1
DOUGLAS R LOCKE REV TRUST ✓
PO BOX 220
BOXFORD, MA 01921

~~101-1-6A-4~~
~~DOUGLAS R LOCKE REV TRUST~~
~~PO BOX 220~~
~~BOXFORD, MA 01921~~ duplicate

101-1-6A-7
PACE WILLIAM V ✓
6 MERRIMACK PLACE
HAVERHILL, MA 01830

102-7-18
HAVERHILL CO-OPERATIVE ✓
180 MERRIMACK ST
HAVERHILL, MA 01830

103-2-2-1
MERRIMACK STREET PROPERTY 1, LLC ✓
290 MERRIMACK ST, 2ND FLOOR
LAWRENCE, MA 01843

103-2-5
99-103 MERRIMACK STREET HAVERH REALTY TRUST ✓
7 PARTRIDGE HILL RD
ANDOVER, MA 01810

106-8-4A
BIG BLUE NOMINEE TRUST ✓
163 MERRIMACK ST
HAVERHILL, MA 01830

106-9-11
ATLANTIS VENTURES, LLC ✓
P.O. BOX 31
HAVERHILL, MA 01831

106-9-14
SEVENTY BAILEY PARTNERS, LLC ✓
70 BAILEY BOULEVARD
HAVERHILL, MA 01830

106-9-15
BAILEY BLVD REALTY TR ✓
60 BAILEY BLVD
HAVERHILL, MA 01830

106-9-20
LUING GROWTH, LLC ✓
109 HIGHLAND AV
NEEDHAM, MA 02492

106-9-24
DAVINCI MINI APARTMENTS, LLC ✓
55 AVON ST
LAWRENCE, MA 01843

106-9-3
~~AG PALMDALE REAL OWNERS, LLC~~
~~2211 MICHELSON DR, Unit 200~~
~~IRVINE, CA 92612~~ *duplicate*

106-9-5
TD BANKNORTH, N.A. ✓
600 ATRIUM WAY
MOUNT LAUREL, NJ 08054

A	B	C	D	E	F	G	H	I	J	K
ParcelID	StreetNum	AlStreetName	StreetName	LocCity	CondoUnit	Owner1	BillingAddress	City	State	Zip
1	101-1-1	76	MERRIMACK ST	HAVERHILL		MERRIMACK REALTY TRUST	76 MERRIMACK ST SUITE 19	HAVERHILL	MA	01830
3	101-1-11	120	MERRIMACK ST	HAVERHILL		WALCOTT CORP	1050 COMMONWEALTH AVE	BOSTON	MA	02215
4	101-1-12	124	MERRIMACK ST	HAVERHILL		ELA LLC	126 MERRIMACK ST	HAVERHILL	MA	01830
5	101-1-17	108	MERRIMACK ST	HAVERHILL		BRIGHAM CIRCLE TRUST	75 OAK STREET	NEWTON	MA	02464
6	101-1-17A	118	MERRIMACK ST	HAVERHILL		118 MERRIMACK STREET IRREVOCAB	38 SHERWOOD DR	HAVERHILL	MA	01835
7	101-1-4	88	MERRIMACK ST	HAVERHILL		L'ARCHE BOSTON NORTH, INC	53 WINGATE ST	HAVERHILL	MA	01832
8	101-1-5	92	MERRIMACK ST	HAVERHILL		L'ARCHE BOSTON NORTH, INC	53 WINGATE ST	HAVERHILL	MA	01832
9	101-1-6	100	MERRIMACK ST	HAVERHILL		ERIC AND KATHLEEN DARRY IRREVOCABLE TRUST	24 WELLINGTON AVE	HAVERHILL	MA	01830
10	101-1-6A-1	6	MERRIMACK PL	HAVERHILL	1	DOUGLAS R LOCKE REV TRUST	PO BOX 220	BOXFORD	MA	01921
11	101-1-6A-2	6	MERRIMACK PL	HAVERHILL	2	DOUGLAS R LOCKE REV TRUST	PO BOX 220	BOXFORD	MA	01921
12	101-1-6A-3	6	MERRIMACK PL	HAVERHILL	3	DOUGLAS R LOCKE REV TRUST	PO BOX 220	BOXFORD	MA	01921
13	101-1-6A-4	6	MERRIMACK PL	HAVERHILL	4	DOUGLAS R LOCKE REV TRUST	PO BOX 220	BOXFORD	MA	01921
14	101-1-6A-5	6	MERRIMACK PL	HAVERHILL	5	LOCKE DOUGLAS R	PO BOX 220	BOXFORD	MA	01921
15	101-1-6A-6	6	MERRIMACK PL	HAVERHILL	6	DOUGLAS R LOCKE REV TRUST	PO BOX 220	BOXFORD	MA	01921
16	101-1-6A-7	6	MERRIMACK PL	HAVERHILL	7	PAGE WILLIAM V	6 MERRIMACK PLACE	HAVERHILL	MA	01830
17	102-7-11	160	MERRIMACK ST	HAVERHILL		AG PALMDALE REAL OWNERS, LLC	2211 MICHELSON DR, Unit 200	IRVINE	CA	92612
18	102-7-12	150	MERRIMACK ST	HAVERHILL		150 MERRIMACK STREET REALTY LLC	150 MERRIMACK ST	HAVERHILL	MA	01830
19	102-7-20	180	MERRIMACK ST	HAVERHILL		HAVERHILL CO-OPERATIVE	180 MERRIMACK ST	HAVERHILL	MA	01830
20	102-7-20		MERRIMACK ST	HAVERHILL		CITY OF HAVERHILL	4 SUMMER ST	HAVERHILL	MA	01830
21	103-2-1	111	MERRIMACK ST	HAVERHILL		FREEMASONS HALL ASSOCIATES	P O BOX 603	HAVERHILL	MA	01831
22	103-2-2-1	4	PARK WAY	HAVERHILL		MERRIMACK STREET PROPERTY 1, LLC	290 MERRIMACK ST, 2ND FLOOR	LAWRENCE	MA	01843
23	103-2-3	109	MERRIMACK ST	HAVERHILL		LENY, LLC	326 HAVEN ST	READING	MA	01867
24	103-2-4	107	MERRIMACK ST	HAVERHILL		LENY, LLC	326 HAVEN ST	READING	MA	01867
25	103-2-5	99	MERRIMACK ST	HAVERHILL		99-103 MERRIMACK STREET HAVERH, REALTY TRUST	7 PARTRIDGE HILL RD	ANDOVER	MA	01810
26	103-3-1	40	BAILEY B BLVD	HAVERHILL		CITY OF HAVERHILL	4 SUMMER ST	HAVERHILL	MA	01830
27	103-3-1B		PARK WAY	HAVERHILL		CITY OF HAVERHILL	4 SUMMER ST	HAVERHILL	MA	01830
28	106-8-4A	161	MERRIMACK ST	HAVERHILL		BIG BLUE NOMINEE TRUST	163 MERRIMACK ST	HAVERHILL	MA	01830
29	106-8-9		BAILEY B BLVD	HAVERHILL		TD BANK NORTH, N.A.	4140 CHURCH RD	HAVERHILL	MA	01830
30	106-8-9A		WEST ST	HAVERHILL		THE FAMILY MUTUAL SAVINGS BANK	MOUNT LAUREL	MOUNT LAUREL	NJ	08054
31	106-9-11	17	21 WEST ST	HAVERHILL		ATLANTIS VENTURES, LLC	380 WELLINGTON ST	LONDON	ON	N6A4S4
32	106-9-14	70	BAILEY B BLVD	HAVERHILL		SEVENTY BAILEY PARTNERS, LLC	P. O. BOX 31	HAVERHILL	MA	01831
33	106-9-15	60	BAILEY B BLVD	HAVERHILL		BAILEY BLVD REALTY TR	70 BAILEY BOULEVARD	HAVERHILL	MA	01830
34	106-9-20	30	HOW ST	HAVERHILL		LUING GROWTH, LLC	60 BAILEY BLVD	HAVERHILL	MA	01830
35	106-9-24	119	MERRIMACK ST	HAVERHILL		DAVINCI MINI APARTMENTS, LLC	109 HIGHLAND AV	NEEDHAM	MA	02482
36	106-9-3	127	MERRIMACK ST	HAVERHILL		AG PALMDALE REAL OWNERS, LLC	55 AVON ST	LAWRENCE	MA	01843
37	106-9-5	153	MERRIMACK ST	HAVERHILL		TD BANK NORTH, N.A.	2211 MICHELSON DR, Unit 200	IRVINE	CA	92612
							609 ATRIUM WAY	MOUNT LAUREL	NJ	08054

2025-03-04 10:00:00 AM

2025-03-04 10:00:00 AM

Kaitlin Wright

From: North of Boston <noreply@wave2adportal.com>
Sent: Wednesday, February 4, 2026 10:09 AM
To: CityClerk
Cc: cmacdonald@northofboston.com; Kaitlin Wright
Subject: Thank you for placing your order with us.

Warning! External Email. Exercise caution when opening attachments or clicking on any links.
THANK YOU for your notice submission!

This is your confirmation that your order has been submitted. Below are the details of your transaction. Please save this confirmation for your records.

<p>Job Details Order Number: W0141470 Business Type: All Other Public Notices Notice Size: Public Notices Notice Estimate: \$161.54 Referral Code: CCSP-26 121 Merrimack St.</p> <p>Account Details Haverhill Clerk 4 SUMMER ST STE 118 HAVERHILL, MA □ 01830 978-374-2312 cityclerk@cityofhaverhill.com HAVERHILL CITY CLERK</p>	<p>Schedule for notice number W01414700</p> <p>Thu Mar 5, 2026 Haverhill Gazette Public Notices All Zones</p> <p>Thu Mar 12, 2026 Haverhill Gazette Public Notices All Zones</p> <p>February 2, 2026 PUBLIC HEARING City Council Chambers, City Hall, Room 202, 4 Summer St Notice is hereby given that a hearing will be held for all parties interested, in a hybrid meeting (in person/virtual), on Tuesday March 24, 2026 at 7:00 PM on a request (CCSP-26-1) from Jony Perez of Davinci Mini Apartments, LLC and Davinci Child Center, LLC requesting to convert a currently unoccupied building to a daycare program on first floor (allowed by right in Zoning Code) and 12 apartments units (six two-bedrooms and six one-bedrooms) on the top three floors at 121 Merrimack St in the Waterfront (WD-C) District. (Residents who are interested in commenting on this item can either (1) Attend in person (Council Chambers, Room 202) or (2) Attend remotely using the link provided on the public meeting calendar on the City's website.) Description of area, maps and plans are on file in the City Clerk's Office. Kaitlin M. Wright, CMC City Clerk HG - Publication Dates</p>
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Planning Director Review

Record No. CCSP-26-1

Status Completed

Became Active January 9, 2026

Type Approval

Due Date None

Assignee Jacki Byerley

Record No: CCSP-26-1

City Council Special Permit

Status: Active

Submitted On: 1/9/2026

Applicant

 Jony Perez

 978-375-0639

 jony_perez@hotmail.com

 121 Merrimack Street

Haverhill, MA 01830

Messages

Jacki Byerley

January 14, 2026 at 3:13 pm

Please call me to set up time to meet to review.

Alicia McCracken  Internal

January 15, 2026 at 12:51 pm

Meeting scheduled 1/27/26 at 10:00am. Applicant has confirmed.

Jacki Byerley

January 27, 2026 at 12:54 pm

When the application is deemed complete and a public hearing is schedule the applicant needs to provide a site plan with parking, child drop off and pick up areas, staff parking, lighting and landscaping. Follow Section 9.3 for district and plan requirements.

Jacki Byerley

February 3, 2026 at 7:53 am

Can be placed on Council agenda for hearing. Submission of site plan and supplemental information as requested at meeting and in this workflow will be necessary as this moves through the hearing process.

Jacki Byerley

February 13, 2026 at 11:37 am

In accordance with the Zoning Ordinance Section 10.8 a Site Plan approval from the Planning Board for a child-care is required. Please apply online at <https://haverhillma.portal.opengov.com/categories/1081>



Confirmation of Complete Application

Record No. CCSP-26-1

Status Completed

Became Active February 2, 2026

Type Approval

Due Date None

Assignee Kaitlin Wright

Record No: CCSP-26-1

City Council Special Permit

Status: Active

Submitted On: 1/9/2026

Applicant



Jony Perez



978-375-0639



jony_perez@hotmail.com



121 Merrimack Street

Haverhill, MA 01830

Messages

No comments yet.



City Clerk Review – Hearing Dates Set

Record No. CCSP-26-1

Status Completed

Became Active February 2, 2026

Type Approval

Due Date None

Assignee Kaitlin Wright

Record No: CCSP-26-1

City Council Special Permit

Status: Active

Submitted On: 1/9/2026

Applicant



Jony Perez



978-375-0639



jony_perez@hotmail.com



121 Merrimack Street

Haverhill, MA 01830

Messages

Kaitlin Wright

January 12, 2026 at 12:28 pm

Please provide a written summary of your project that details the work for this project as well as file documentation demonstrating how the project complies with the City Council rules and regulations for special permits (see doc 92-B attached) by providing all information necessary for Council to make the required findings detailed in the rules. The City Council retains the right to reject as incomplete any application which does not address the applicable review criteria. Detailed narratives shall be filed with the application to accomplish this requirement.

Jony Perez

January 12, 2026 at 3:08 pm

We will address these documents immediately. Thank you!

Kaitlin Wright

January 22, 2026 at 2:57 pm

Jony, I see you have uploaded a written summary - thank you. Please note, this application is not deemed complete at this time as you have not provided a narrative that addresses the rules and regulations for special permits as outlined in City Council doc 92-B of 2024 (attached). Please review the attachment and provide documentation relative to doc 92-B. We cannot move forward with a hearing date until this is addressed.

Jony Perez

January 22, 2026 at 3:14 pm

Our team has a scheduled meeting for the 27th of January in the morning. We need guidance as regards to the rules and regulations for special permits as outlined in City Council doc 92-B of 2024, and we are hoping we can get more information at the meeting.

Kaitlin Wright

January 22, 2026 at 3:59 pm

I will be in attendance at the meeting. However, in the meantime, I ask that you review the document I have attached to gain an understanding of what is required under doc 92-B of 2024.

Kaitlin Wright

January 27, 2026 at 11:58 am

Good morning, please see most recent attachment for an electronic copy of a properly executed description of project outlined in doc 92-B of 2024 as part of the City Council's rules and regulations. A hard copy of the same document, as well as a hard copy of doc 92-b was provided to applicant in

meeting this morning. Please note, your application is not deemed "filed" until this is provided and we will not move forward with a hearing date until this is submitted to our office.

Kaitlin Wright

February 2, 2026 at 12:21 pm

Hearing will be announced at February 10th meeting for a March 24th hearing date.



Conservation Department Review

Record No. CCSP-26-1

Status Completed

Became Active February 2, 2026

Type Approval

Due Date None

Assignee Robert Moore

Record No: CCSP-26-1

City Council Special Permit

Status: Active

Submitted On: 1/9/2026

Applicant



Jony Perez



978-375-0639



jony_perez@hotmail.com



121 Merrimack Street

Haverhill, MA 01830

Messages

Robert Moore

February 2, 2026 at 3:31 pm

n/a



Engineering Department Review

Record No. CCSP-26-1

Status Completed

Became Active February 2, 2026

Type Approval

Due Date None

Assignee Tara Lynch

Record No: CCSP-26-1

City Council Special Permit

Status: Active

Submitted On: 1/9/2026

Applicant



Jony Perez



978-375-0639



jony_perez@hotmail.com



121 Merrimack Street

Haverhill, MA 01830

Messages

Tara Lynch

February 2, 2026 at 2:35 pm

The attached certified plot plan shows existing utilities where the addition is proposed, including a catch basin and associated drain line that would need to be removed.

Should the Special Permit be granted Engineering looks forward to the Development Review stage to ensure all applicable codes and standards are met.



Fire2 Department Review

Record No. CCSP-26-1

Status Completed

Became Active February 2, 2026

Type Approval

Due Date None

Assignee Robert Irvine

Record No: CCSP-26-1

City Council Special Permit

Status: Active

Submitted On: 1/9/2026

Applicant



Jony Perez



978-375-0639



jony_perez@hotmail.com



121 Merrimack Street
Haverhill, MA 01830

Messages

Robert Irvine

February 2, 2026 at 12:46 pm

Snow storage will be an issue with the lot. Access in and out of the lot with a single entrance and exit will be a safety issue between parking, the play area for the children and dumpster storage and emptying. If the dumpster storage is within 10' of the building a sprinkler system shall need to be designed into the buildings sprinkler system. The children's play area shall require crash protection separating the play are from vehicle traffic in the parking lot.

Jony Perez

February 20, 2026 at 12:06 pm

Hi Robert, We are updating the site plan to address these concerns. New site plan should be uploaded next week. Thank you!



Health Department Review

Record No. CCSP-26-1

Status Completed

Became Active February 2, 2026

Type Approval

Due Date None

Assignee Mark Tolman

Record No: CCSP-26-1

City Council Special Permit

Status: Active

Submitted On: 1/9/2026

Applicant



Jony Perez



978-375-0639



jony_perez@hotmail.com



121 Merrimack Street

Haverhill, MA 01830

Messages

Mark Tolman

February 13, 2026 at 9:32 am

Dumpster area located in rear corner of the building.

Dumpster must be kept away from the building and meet all other health, fire and building codes.

State will be licensing and inspecting the day care program.

Jony Perez

February 20, 2026 at 12:03 pm

Hi Mark, we are updating the site plan to comply with the request of keeping dumpster away from building. New site plan will be updated next week.

Thank you.

Also, the childcare program will be licensed and inspected by Massachusetts EEC.



School Department Review

Record No. CCSP-26-1

Status Completed

Became Active February 2, 2026

Type Approval

Due Date None

Assignee HPS Superintendent

Record No: CCSP-26-1

City Council Special Permit

Status: Active

Submitted On: 1/9/2026

Applicant



Jony Perez



978-375-0639



@ jony_perez@hotmail.com



121 Merrimack Street

Haverhill, MA 01830

Messages

No comments yet.



Water Supply Review

Record No. CCSP-26-1

Status Completed

Became Active February 2, 2026

Type Approval

Due Date None

Assignee Robert Ward

Record No: CCSP-26-1

City Council Special Permit

Status: Active

Submitted On: 1/9/2026

Applicant



Jony Perez



978-375-0639



@ jony_perez@hotmail.com



121 Merrimack Street

Haverhill, MA 01830

Messages

No comments yet.



First Ad Placement

Record No. CCSP-26-1

Status Completed

Became Active February 2, 2026

Type Approval

Due Date None

Assignee Kaitlin Wright

Record No: CCSP-26-1

City Council Special Permit

Status: Active

Submitted On: 1/9/2026

Applicant



Jony Perez



978-375-0639



@ jony_perez@hotmail.com



121 Merrimack Street

Haverhill, MA 01830

Messages

Kaitlin Wright

February 2, 2026 at 12:24 pm

@Natalia Hernandez Advertise for March 5th and 12th in the Gazette, with abutter notification going out in the mail on March 5th.



Placed on Agenda

Record No. CCSP-26-1

Status Completed

Became Active Unknown

Type Approval

Due Date None

Assignee Kaitlin Wright

Record No: CCSP-26-1

City Council Special Permit

Status: Active

Submitted On: 1/9/2026

Applicant



Jony Perez



978-375-0639



jony_perez@hotmail.com



121 Merrimack Street

Haverhill, MA 01830

Messages

Kaitlin Wright

March 18, 2026 at 10:31 am

Hearing announced at February 10th meeting for a March 24th hearing date.



Abutter Notification

Record No. CCSP-26-1

Status Completed

Became Active March 18, 2026

Type Approval

Due Date None

Assignee Kaitlin Wright

Record No: CCSP-26-1

City Council Special Permit

Status: Active

Submitted On: 1/9/2026

Applicant



Jony Perez



978-375-0639



@ jony_perez@hotmail.com



121 Merrimack Street

Haverhill, MA 01830

Messages

Kaitlin Wright

February 2, 2026 at 12:24 pm

Advertise for March 5th and 12th in the Gazette, with abutter notification going out in the mail on March 5th.



Second Ad Placement

Record No. CCSP-26-1

Status Completed

Became Active February 2, 2026

Type Approval

Due Date None

Assignee Kaitlin Wright

Record No: CCSP-26-1

City Council Special Permit

Status: Active

Submitted On: 1/9/2026

Applicant



Jony Perez



978-375-0639



@ jony_perez@hotmail.com



121 Merrimack Street

Haverhill, MA 01830

Messages

Kaitlin Wright

February 2, 2026 at 12:24 pm

Advertise for March 5th and 12th in the Gazette, with abutter notification going out in the mail on March 5th.

Zoning Solutions, Inc.

836 Washington Street, P.O. Box 850270, Braintree, MA 02185
781-848-0040 ~ FAX 781-380-4136

ZONING CERTIFICATE

Date: May 28, 2025

This certificate was compiled from public records obtained and reviewed by Zoning Solutions, Inc. regarding the zoning requirements and limitations for this property.

Subject Property:

119 – 125 Merrimack Street, Haverhill, MA

Zoning District:

Waterfront District C (WD-C) District

See attached zoning map & index

Permitted Uses:

Multi-Family dwelling is permitted

Mixed-use development is permitted with residential above first floor commercial

Accessory parking is permitted

Office, Retail and Barber/Beauty shop is a permitted use

Restaurant and coffee shop is permitted

See attached Use Table for additional permitted uses

See attached assessor records confirming the property is a mixed-use building built in 1880. The existing use is permitted.

Dimensional/ Open Space Requirements: See Table 2

Other relevant records attached:

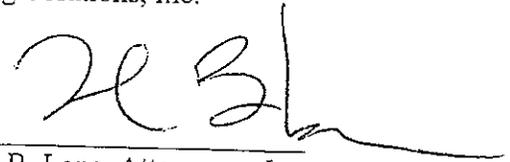
1. **Use Table;**
2. **Dimensional table;**
3. **Zoning map and map index**
4. **Parking Table**
5. **Assessor record**

This Zoning Certificate is not a title insurance product or a legal zoning opinion, but a limited representation to the zoning district and permitted uses therein for the property according to the provisions of the City of Haverhill public records as amended through May 28, 2025. Zoning Solutions, Inc. has relied upon the authenticity and accuracy of the representations and documentation provided to Zoning Solutions, Inc. by representatives at Haverhill City Hall in making this certification.

If this certificate raises zoning issues not clearly explained by the enclosed documentation, please contact the undersigned immediately.

Zoning Solutions, Inc.

By:

A handwritten signature in black ink, appearing to read 'DL', is written over a horizontal line.

David B. Lane, Attorney at Law

Enclosures

105 Map 9 Block 3 Lot
 127 MERRIMACK ST
 HAVERHILL, MA 01830

OWNERSHIP
 AG PALMADE REAL OWNERS, LLC
 C/O GREENLAW PARTNERS
 18301 VON KARMAN AVE, STE 250
 IRVINE, CA 92612-0000

PROPERTY LOCATION
 Building Local 127 MERRIMACK ST
 City of Haverhill

106-9-3 Parcel ID
 IN PROCESS APPRAISAL SUMMARY

Use Code	Building Val	Yard Items	Land Size	Land Val	Total Val
325	89,900	0	0.16	341,100	431,000
Building Total	89,900	0	0.16	341,100	431,000
Parcel Total	89,900	0	0.16	341,100	431,000
Source: 0 - Mkt Adj Cost	Total Val SF/Pct 20.43				

LEGAL DESCRIPTION
 Lot Size
 Total Land
 Land Unit Type

PREVIOUS ASSESSMENTS
 Property ID: 76

Tax Yr	Use	Blld Value	Yard Items	Land Size	Land Val	Total Appr	Date
2025	FV 325	89,900	0	0.16185	341,100	431,000	12/16/2024
2024	FV 325	86,200	0	0.16185	324,800	411,000	12/13/2023
2023	FV 325	81,300	0	0.16185	308,600	389,900	12/13/2022
2022	FV 325	66,800	0	0.16185	270,700	337,500	12/09/2021
2021	FV 325	66,800	0	0.16185	259,800	326,600	12/14/2020
2020	FV 325	66,800	0	0.16185	259,800	326,600	12/12/2019
2019	FV 325	138,200	0	0.16185	216,500	354,700	12/11/2018
2017	FV 325	138,200	0	0.16185	216,500	354,700	12/14/2016
2016	FV 325	138,200	0	0.16185	216,500	354,700	12/16/2015
2015	FV 325	138,200	0	0.16185	216,500	354,700	12/15/2014

SALES INFORMATION

Grantor	Legal Ref	Type	Date	Sale Price	TSF	Verif	NAL	Notes
133 MERRIMACK, LLC	40829-13		03/30/2022	25,700,000	No		V	2022 SALE INC 102-7-11 & 102-7-21
MERRYMAKE, LLC	36888-473		07/26/2018	304,500	No		N	SALE 718 CASH-SOLD AS-IS
NEWMAN NORMAN N	35581-560		12/30/2016	225,000	No		C	
	5598 060		02/06/1963	0	No			

NARRATIVE DESCRIPTION
 This parcel contains 7,050 SF of land mainly classified as STORE with a COMM BLOCK building built about 1800, having primarily BRICK Exterior and 21,100 Square Feet, with 2 Commercial Units, 2 Half Baths.

OTHER ASSESSMENTS

Code	Desc	Amnt	Comm Int Amnt

PROPERTY FACTORS

Item Code	Item	Code	%
Util 1	1 - TYPCL		
Util 2	Dis 1		
Util 3	Dis 2		
Census	Dis 3		
F. Haz	Zone 1		
Street	Zone 2		
Traffic	Zone 3		
Exterior	HX		

LAND SECTION (325)

LUC Desc	All %	FL	# Units	Depth	U. Type	L. Type	FL	Base V	Unit Pct	Adj Pct	MBC	FL	Mod	Int 1 %	Int 2 %	Int 3 %	Aprpr	Ar 2 LUC %	Spec L.V.	Juris	L. FL	Assessed/Notes																				
325 STORE		1	7,050		SF	SITE	1	015.75	15.75	11	1	1					341,051	0	0.00000			341,100																				
Total/ACHA																						0.16	7,050.19																			341,100

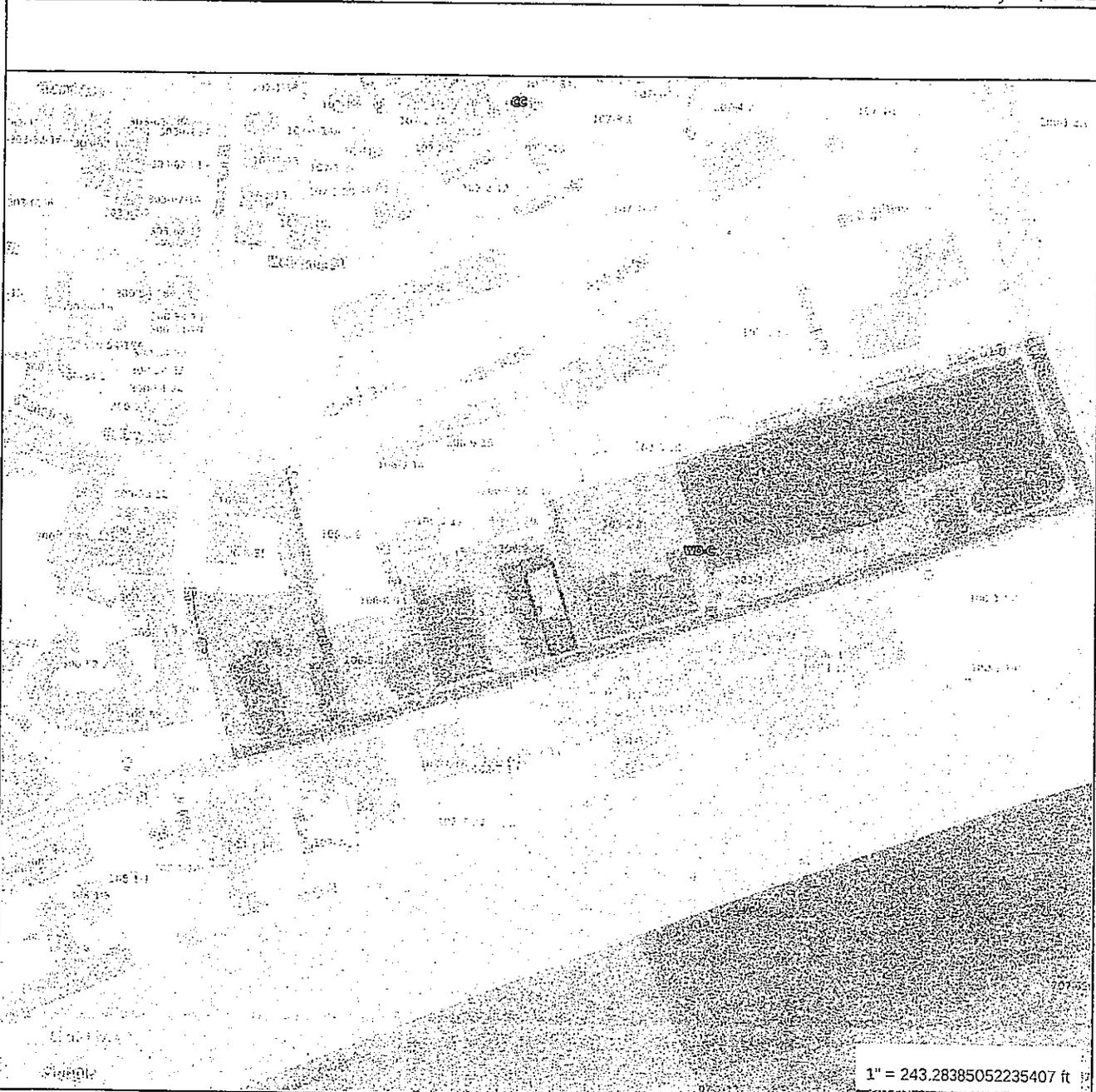
Disclaimer: This Information is believed to be correct but is subject to change and is not guaranteed

Property: 76 | Bld: 75 | Sect: 1 | Year: 2025 | Data As Of Date: 04/25/2025 | User: aprio | DB: Assess60-Haverhill/MA, RC

Card: 1 of 1 Total Card 431,000 / 431,000 / 431,000 / 0 / 0 / 431,000 / 431,000

APPR USE + IMP USE LAND ASSESSED

CATALIS
 ADVANCING GOVERNMENT.
 EMPOWERING CITIZENS.



1" = 243.28385052235407 ft

Property Information
Property ID 106-9-24
Location 119 MERRIMACK ST
Owner TEHRANI ABOLGHASSEM M ETUX



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

City of Haverhill, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated February 5, 2019
Data updated February 4, 2019

Print map scale is approximate.
Critical layout or measurement activities should not be done using this resource.

Map Theme Legends

Zoning

- WD-C - NORTH SIDE OF MERRIMACK STREET
- WD-D - SOUTH SIDE OF WATER STREET
- WD-E - OLD PAPERBOARD SITE AREA
- WD-F - INDUSTRIAL AREA, SOUTH SIDE OF MERRIMACK RIVER
- WD-G - RESIDENTIAL AREA, SOUTH SIDE OF MERRIMACK RIVER
- WD-H - NORTH SIDE OF RAILROAD AVENUE

SC - CONSERVATION

CC - CENTRAL

CG - GENERAL

CH - HIGHWAY

CM - MEDICAL SERVICES

CN - NEIGHBORHOOD

BP - BUSINESS PARK

IG - GENERAL

OP - OFFICE PARK

RESIDENTIAL

RH - HIGH DENSITY

RL - LOW DENSITY

RM - MEDIUM DENSITY

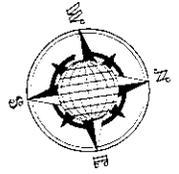
RR - RURAL DENSITY

RU - URBAN DENSITY

RC-AC - CAMPUS - ACADEMIC CENTER

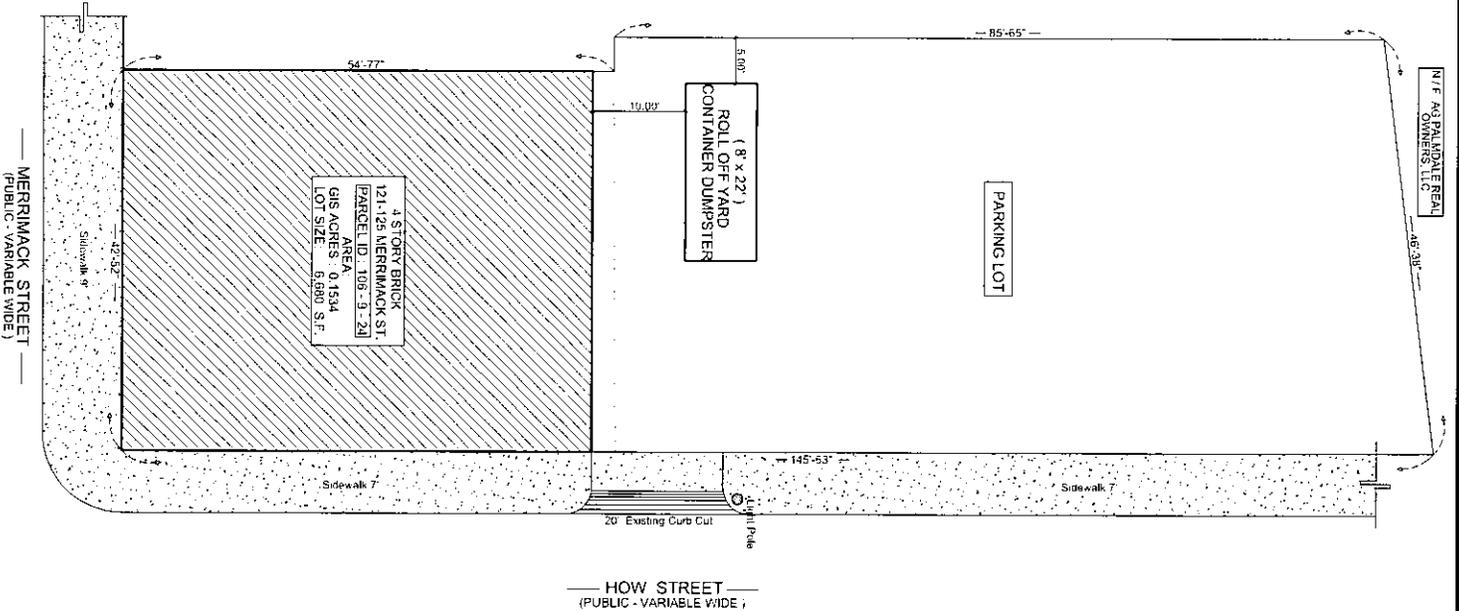
RC-CV - CAMPUS - CAMPUS VILLAGE

City of Haverhill



N / F
AG PALUDALE REAL
OWNERS, LLC

N / F AG PALUDALE REAL
OWNERS, LLC



HOW STREET
(PUBLIC - VARIABLE WIDE)

MERRIMACK STREET
(PUBLIC - VARIABLE WIDE)

NOTE:

THE PURPOSE OF THIS PLAN IS TO LAYOUT EXISTING STRUCTURES, PROPOSED ADDITION AND IMPROVEMENT WORKS WITHIN THE PROPERTY BOUNDARIES AS SHOWN IN THE REFERENCE MAPS AND DEED. IT IS NOT INTENDED AS SURVEY TO SET LAND OR UPDATE PROPERTY LINES.

CONTRACTOR SHALL PERFORM ALL WORKS IN CONFORMANCE WITH THE CONSTRUCTION OF MASSACHUSETTS LATEST EDITION OF THE BUILDING CODE, THE BUILDING BOARD OF STANDARDS AND REGULATIONS AND THE CITY OF HAVERHILL ORDINANCES.

CURB GRANITE PIECES MUST BE RECYCLED BY CITY'S DPW. CONTRACTOR MUST CALL CITY'S DPW FOR RECYCLING ARRANGEMENTS.

SIDEWALK MUST BE RESURFACED WITH MATERIAL TO MATCH EXISTING, IF REQUIRED.

REFERENCE DOCS & PLANS	
GIS PARCEL INFORMATION	
PARCEL ID :	106 - 9 - 24
GIS ACRES :	0.1534
PROPERTY INFORMATION	
PROPERTY ID :	106 - 9 - 24
OWNER :	DAVINCI MINI APTS/ CO JONY PEREZ
ADDRESS :	125 MERRIMACK ST.
LOT SIZE :	6,680 S.F.
LAND USE CODE :	1110
LEGAL REFERENCE :	11123-454
ZONING :	NA
BLDG STYLE :	COMM BLDCK
STORIES :	4
YEAR BUILT :	1975
ASSESSOR MAP :	HaverhillAssessorMap194

LEGEND	
	PAVED
	CONCRETE
	BUILDING



DIMENSIONAL SITE PLAN
SCALE: 1"=10'



G J DESIGN GROUP LLC
Assoc. AIA
Professional Designer

118 WOODLAND ST LAWRENCE MA 01844
978-681-2844 FAX 978-208-1335
E-MAIL lach.o7812@gmail.com
NOTE: THIS PLAN IS THE PROPERTY OF G. J. DESIGN GROUP. IT IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE AUTHORIZATION OF THE AUTHOR.

PROJECT: COMMERCIAL RESIDENTIAL BUILDING
ADDRESS: 125 MERRIMACK ST. HAVERHILL MA 01830
OWNER: DAVINCI MINI APTS-JONY PEREZ
PETITIONER: DAVINCI MINI APTS-JONY PEREZ

REVISED BY:
APPROVED BY:
DRAWN BY: GILBERTO JIMENEZ
DATE: 9/28/2025

DIMENSIONAL SITE PLAN
SHEET 1 / 1

PROJECT

PROPOSED COMMERCIAL RESIDENTIAL BUILDING

119-125 MERRIMACK STREET, HAVERHILL MA 01830

OWNER: DAVINCI MINI APTS-JONY PEREZ

DRAWN BY: GILBERTO JIMENEZ

GJ DESIGN GROUP LLC

Assoc. AIA

Professional Designer

118 WOODLAND ST LAWRENCE MA 01841

TEL 978-601-2844 E.M lach.07812@gmail.com Fax: 978-208-1335



LOCUS MAP



119-125 MERRIMACK ST.

APARTMENTS SCHEDULED:

SECOND FLOOR : 4 APARTMENTS	THIRD FLOOR : 4 APARTMENTS	FOURTH FLOOR : 4 APARTMENTS	OPTION A FOURTH FLOOR : 4 APARTMENTS
APARTMENT [201] 1 BEDROOM 1 BATH 415.00 S.F.	APARTMENT [301] 1 BEDROOM 1 BATH 415.00 S.F.	APARTMENT [401] 1 BEDROOM 1 BATH 460.00 S.F.	APARTMENT [401] 1 BEDROOM 1 BATH 460.00 S.F.
APARTMENT [202] 1 BEDROOM 1 BATH 574.00 S.F.	APARTMENT [302] 1 BEDROOM 1 BATH 574.00 S.F.	APARTMENT [402] 1 BEDROOM 1 BATH 403.00 S.F.	APARTMENT [402] 1 BEDROOM 1 BATH 403.00 S.F.
APARTMENT [203] 2 BEDROOM 1 BATH 532.00 S.F.	APARTMENT [303] 2 BEDROOM 1 BATH 532.00 S.F.	APARTMENT [403] 2 BEDROOM 1 BATH 520.00 S.F.	APARTMENT [403] 2 BEDROOM 1 BATH 520.00 S.F.
APARTMENT [204] 1 BEDROOM 2 BATH 550.00 S.F.	APARTMENT [304] 1 BEDROOM 2 BATH 550.00 S.F.	APARTMENT [404] 1 BEDROOM 2 BATH 524.00 S.F.	APARTMENT [404] 2 BEDROOM 2 BATH 524.00 S.F.
AREA: [2,071.00 S.F.]	AREA: [2,071.00 S.F.]	AREA: [1,907.00 S.F.]	AREA: [1,907.00 S.F.]

GENERAL NOTES:

1. ALL WORK SHALL COMPLY WITH STATE AND LOCAL BUILDING CODES AND REGULATIONS.
2. CONSTRUCTION METHODS SHALL BE RESPONSIBLE FOR ALL AND MOST PARTS.
3. ALL WORK SHALL BE RESPONSIBLE FOR ALL SUBJECTS DURING BUILDING CONSTRUCTION AND SHALL PROVIDE ADEQUATE SIGNING AND HANDING TO ENSURE SUCH SAFETY.
4. ALL DRAWINGS AND SITE CONDITIONS SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR THE CORRECTION PRIOR TO COMMENCEMENT OF WORK.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AND TO PROVIDE THEM FROM DAMAGE.
6. ALL DETAILS, SECTIONS, NOTES, OR REFERENCE TO OTHER DRAWINGS ARE REFERRED TO BY SYMBOL.
7. DURING CONSTRUCTION AND PRIOR TO THE INCORPORATION OF ANY CHANGES, REVISIONS, MODIFICATIONS OR ETC. SHALL BE THE ATTENTION OF THE OWNER OR ARCHITECT AND OBTAIN APPROVAL FROM THE BUILDING DEPARTMENT AND OTHER AGENCIES FROM THE BUILDING DEPARTMENT.
8. SPECIFIC NOTES AND DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND SYMBOLS.
9. CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMERCIAL BUILDING REGULATIONS OF MASSACHUSETTS FOR THE CITY OF HAVERHILL.
10. THE CITY OF HAVERHILL COMMERCIAL CODE 2021 AND THE CITY OF HAVERHILL ORDINANCES.

SCHEDULED GROSS AREA:

FIRST FLOOR PLAN COMMERCIAL	2,773.00 S.F.
SECOND FLOOR PLAN APARTMENTS	2,859.00 S.F.
THIRD FLOOR PLAN APARTMENTS	2,653.00 S.F.
FOURTH FLOOR PLAN APARTMENTS	2,176.00 S.F.
BASEMENT FLOOR PLAN	
TOTAL AREA:	[13,320.00 S.F.]

GENERAL SYMBOLS	
ROOM NAME	DOOR
BREAK LINE	OBJECT ABOVE OR BELOW
WINDOW	



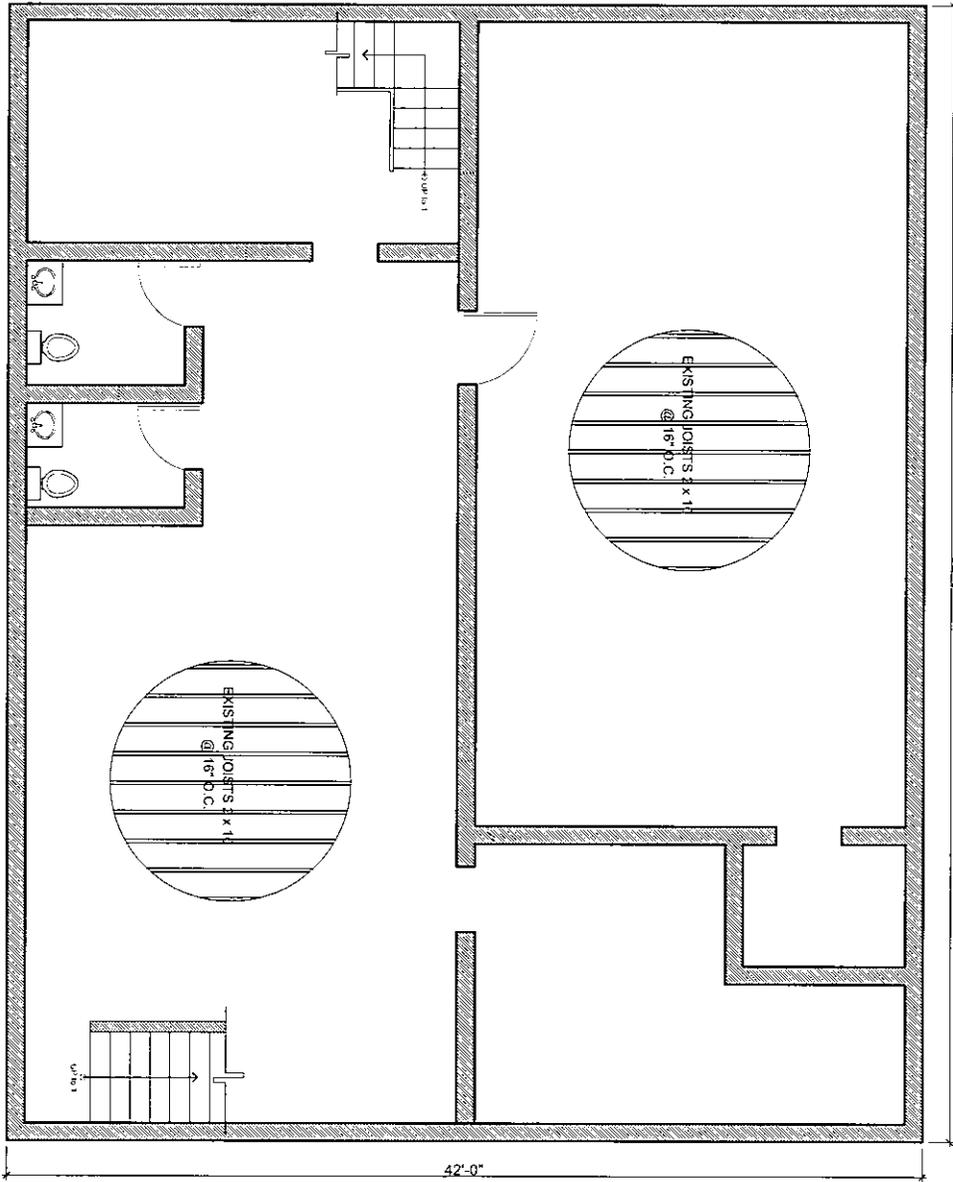
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Assoc. AIA
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ADDRESS: 125 MERRIMACK ST. HAVERHILL MA 01830
OWNER: DAVINCI MINI APTS-JONY PEREZ
PETITIONER: DAVINCI MINI APTS-JONY PEREZ

REVISED BY:
APPROVED BY:
DRAWN BY: GILBERTO JIMENEZ
DATE: 7/28/2025

COVER SHEET
SHEET 1 / 41



EXISTING BASEMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"
GROSS AREA = 2,180 S.F.



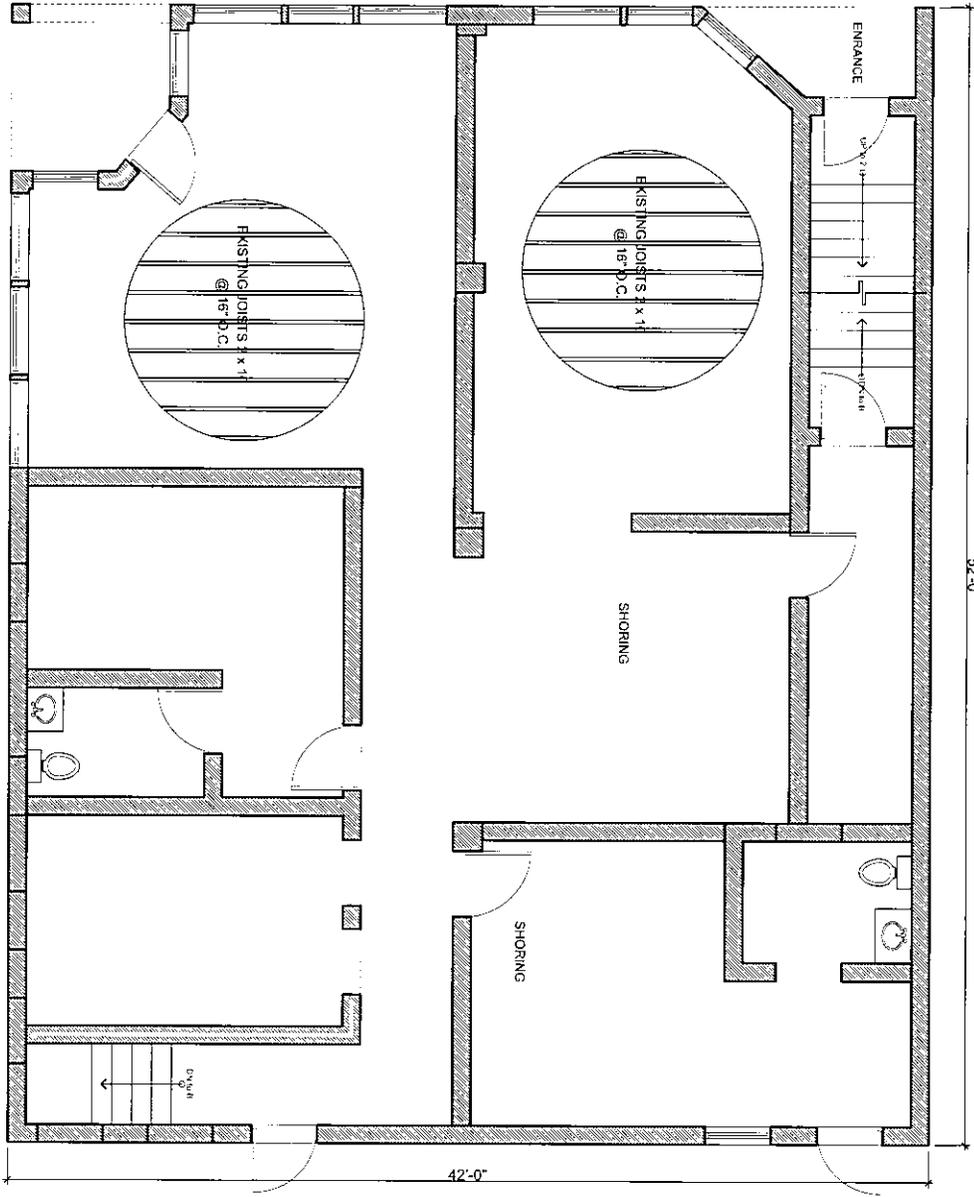
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PETITIONER: DAVINCI MINI APTS-JONY PEREZ

REVISED BY:
APPROVED BY:
DRAWN BY: GILBERTO JIMENEZ
DATE: 7/28/2025

FLOOR PLAN	
SHEET 1	2 / 41



EXISTING FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"
GROSS AREA = 2,180 S.F.



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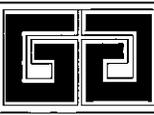
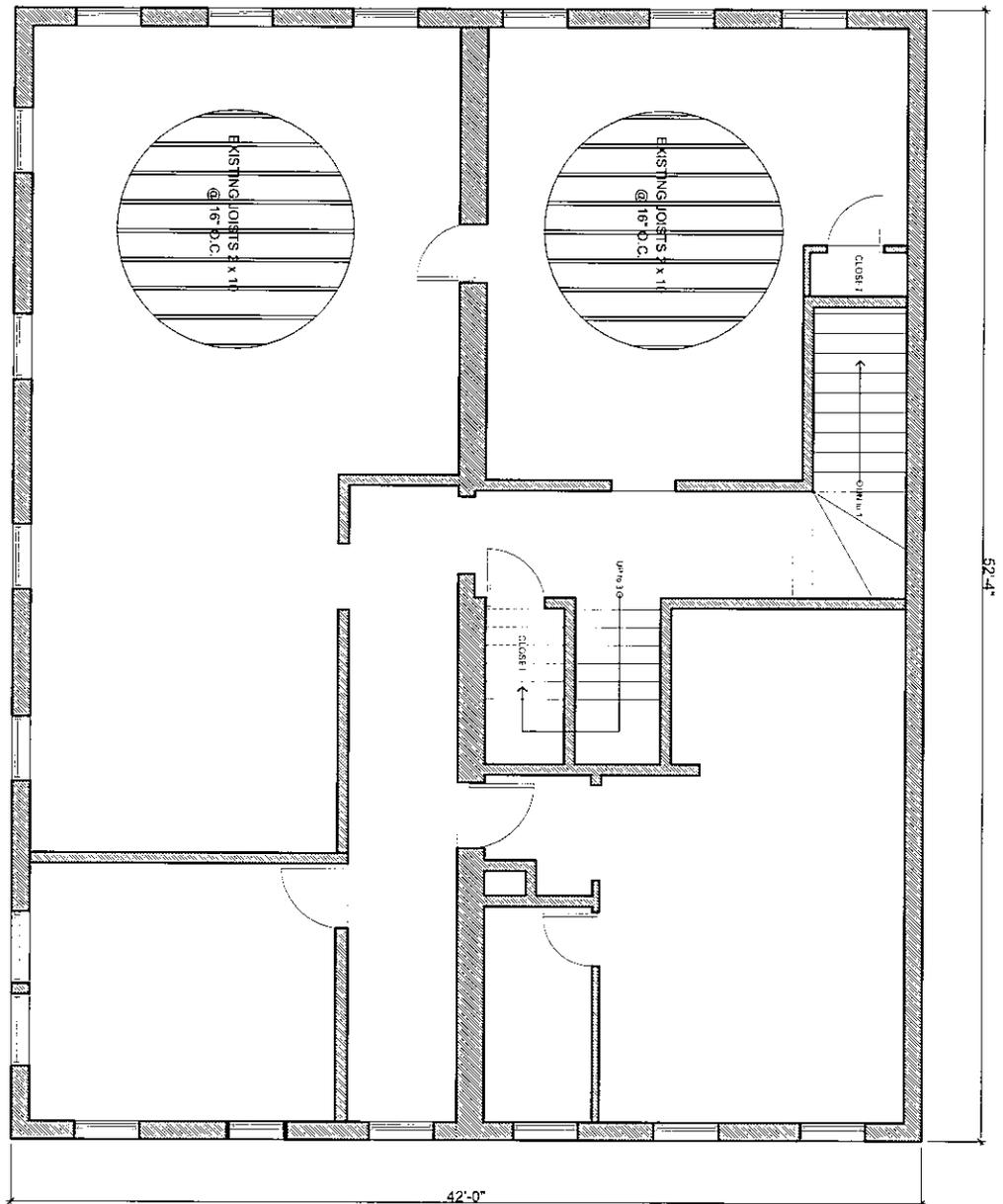
PROJECT: COMMERCIAL RESIDENTIAL BUILDING
ADDRESS: 125 MERRIMACK ST. HAVERHILL MA 01830
OWNER: DAVINCI MINI APTS-JONY PEREZ
PETITIONER: DAVINCI MINI APTS-JONY PEREZ

REVISED BY:
APPROVED BY:
DRAWN BY: GILBERTO JIMENEZ
DATE: 7/28/2025

FLOOR PLAN
SHEET 1 / 3
41

EXISTING SECOND FLOOR PLAN

GROSS AREA= 2,180 S.F.



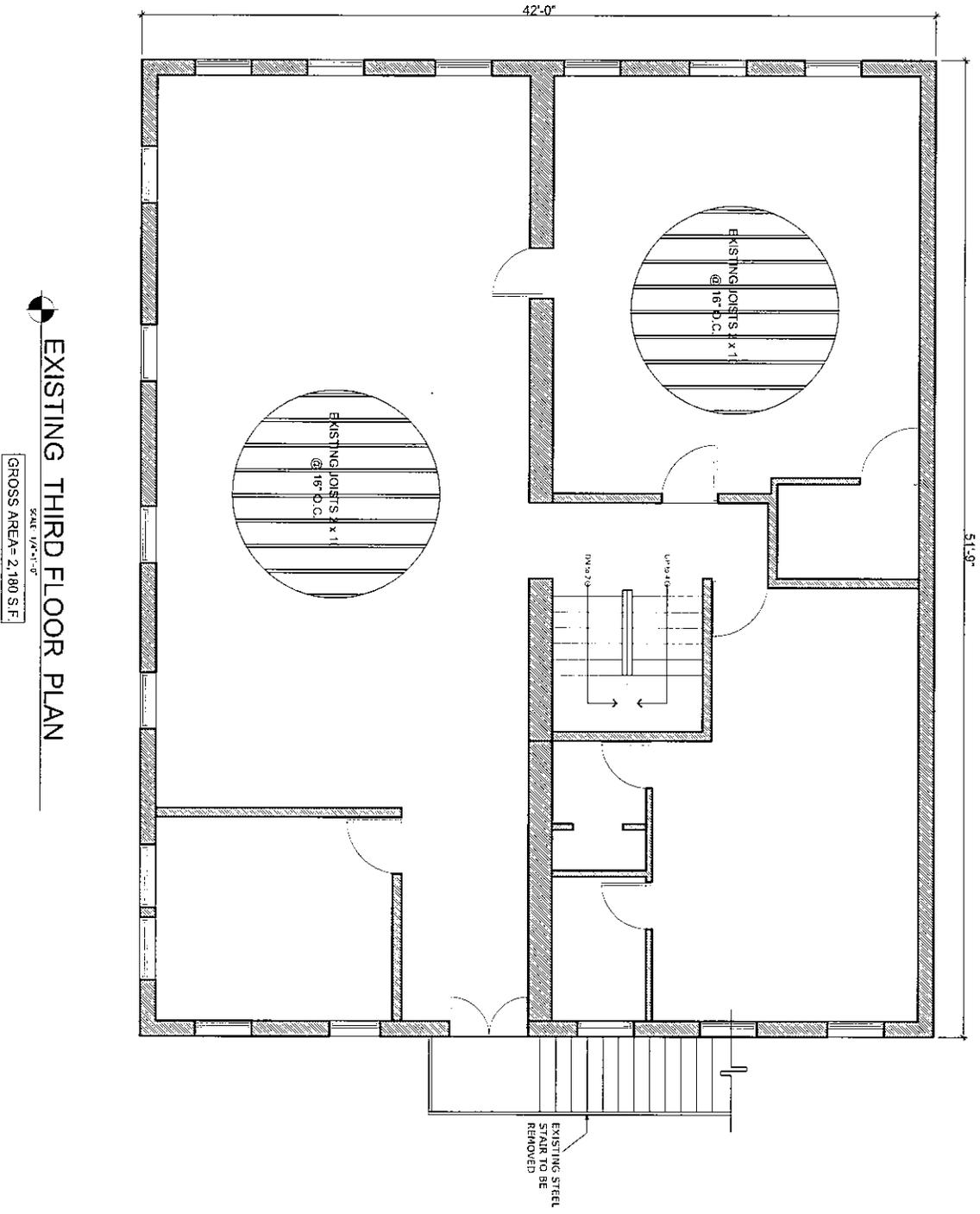
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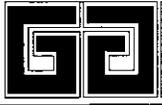
PROJECT: COMMERCIAL RESIDENTIAL BUILDING
 ADDRESS: 125 MERRIMACK ST. HAVERHILL, MA 01830
 OWNER: DAVINCI MINI APTS-JONY PEREZ
 PETITIONER: DAVINCI MINI APTS-JONY PEREZ

REVISED BY:
 APPROVED BY:
 DRAWN BY: GILBERTO JIMENEZ
 DATE: 7/29/2025

FLOOR PLAN
 SHEET 1 / 41



EXISTING THIRD FLOOR PLAN
 SCALE: 1/4"=1'-0"
 GROSS AREA= 2,180 S.F.



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 Assoc. AIA
 Professional Designer

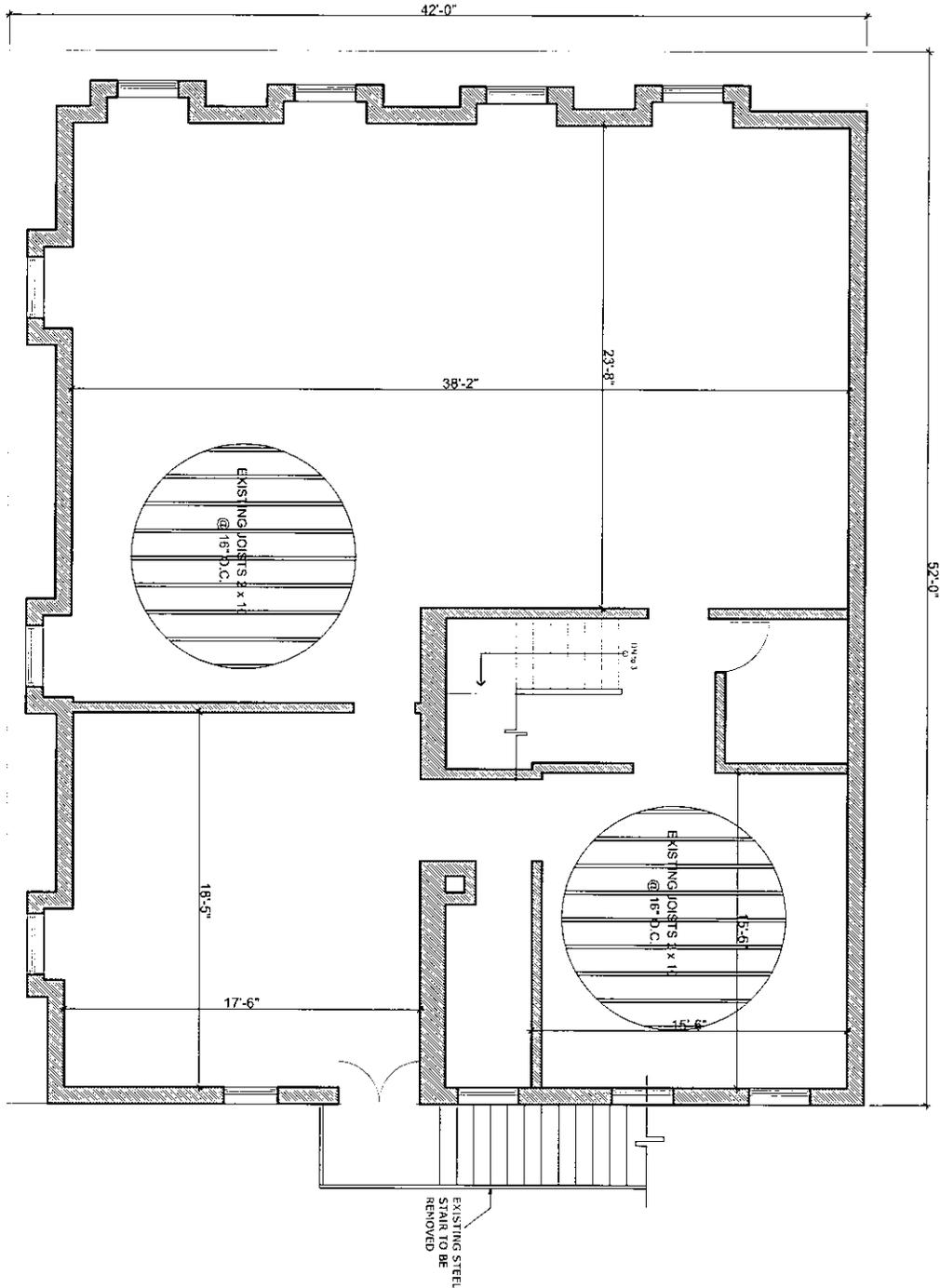
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PROJECT: COMMERCIAL RESIDENTIAL BUILDING
 ADDRESS: 125 MERRIMACK ST. HAVERHILL MA 01830
 OWNER: DAVINCI MINI APTS-JONY PEREZ
 PETITIONER: DAVINCI MINI APTS-JONY PEREZ

REVISED BY:
 APPROVED BY:
 DRAWN BY: GILBERTO JIMENEZ
 DATE: 7/28/2025

FLOOR PLAN	
SHEET 1	5 41

EXISTING FOURTH FLOOR PLAN
SCALE: 1/4" = 1'-0"
 GROSS AREA = 2,000 S.F.



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 Assoc. AIA
 Professional Designer

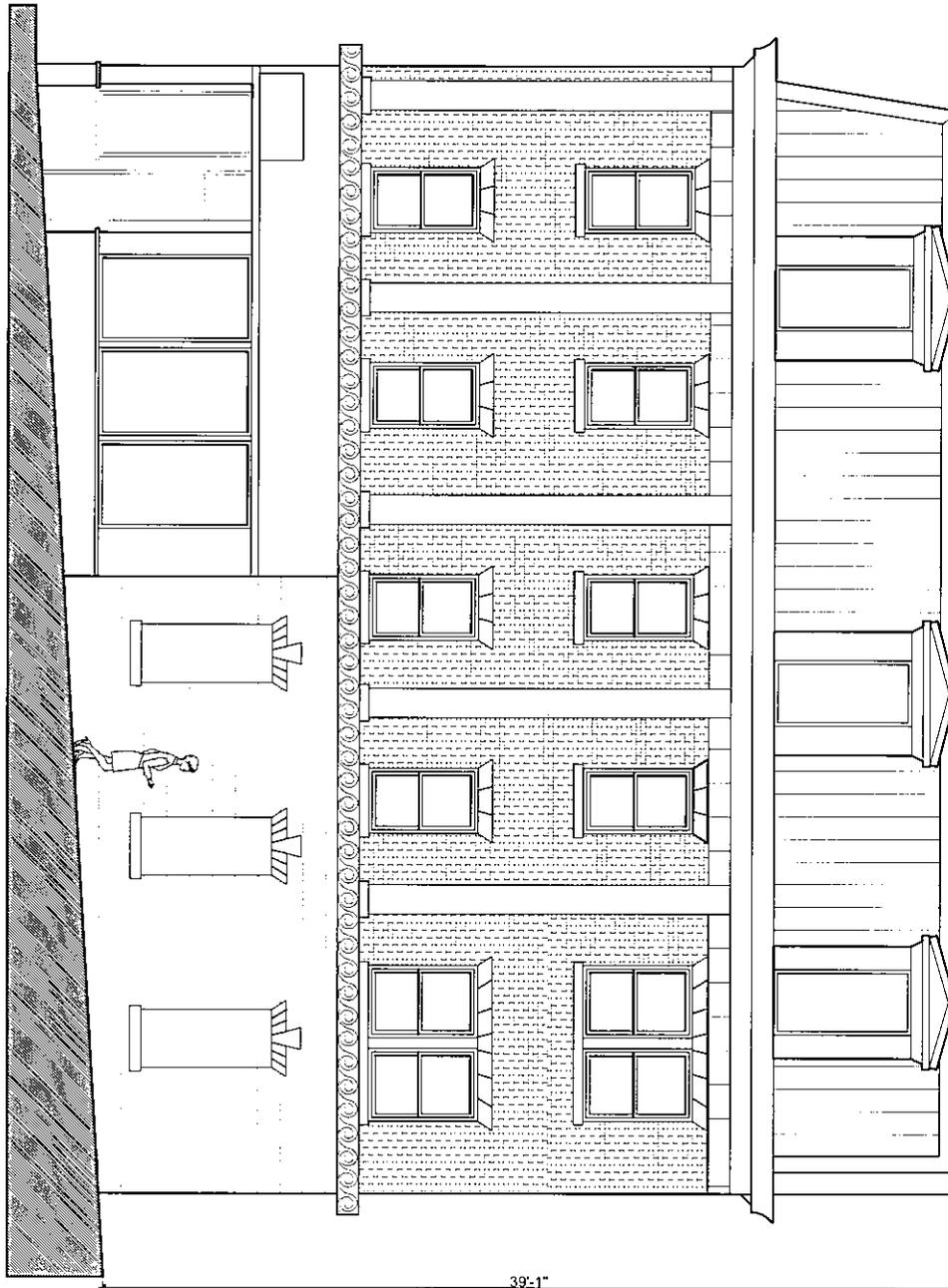
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PROJECT: COMMERCIAL RESIDENTIAL BUILDING
 ADDRESS: 125 MERRIMACK ST. HAVERHILL MA 01830
 OWNER: DAVINCI MINI APTS-JONY PEREZ
 PETITIONER: DAVINCI MINI APTS-JONY PEREZ

REVISED BY:
 APPROVED BY:
 DRAWN BY: GILBERTO JIMENEZ
 DATE: 7/28/2025

FLOOR PLAN
 SHEET 1 / 6 / 41

EXISTING RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



39'-1"



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Professional Designer

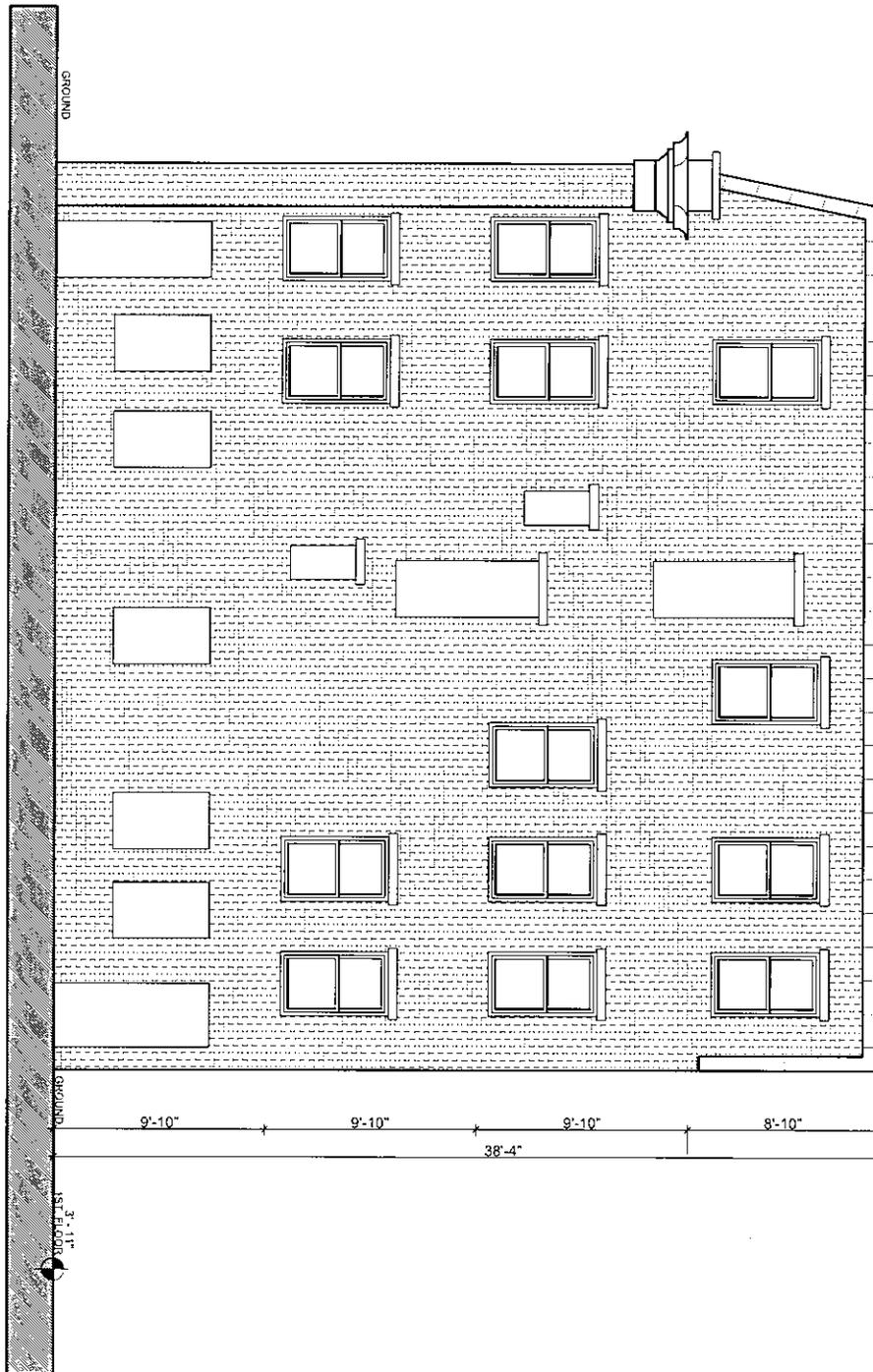
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PETITIONER: DAVINCI MINI APTS-JONY PEREZ

REVISED BY:
APPROVED BY:
DRAWN BY: GILBERTO JIMENEZ
DATE: 7/28/2025

ELEVATION
SHEET 1 / 7 / 41

EXISTING REAR ELEVATION
SCALE 1/8"=1'-0"



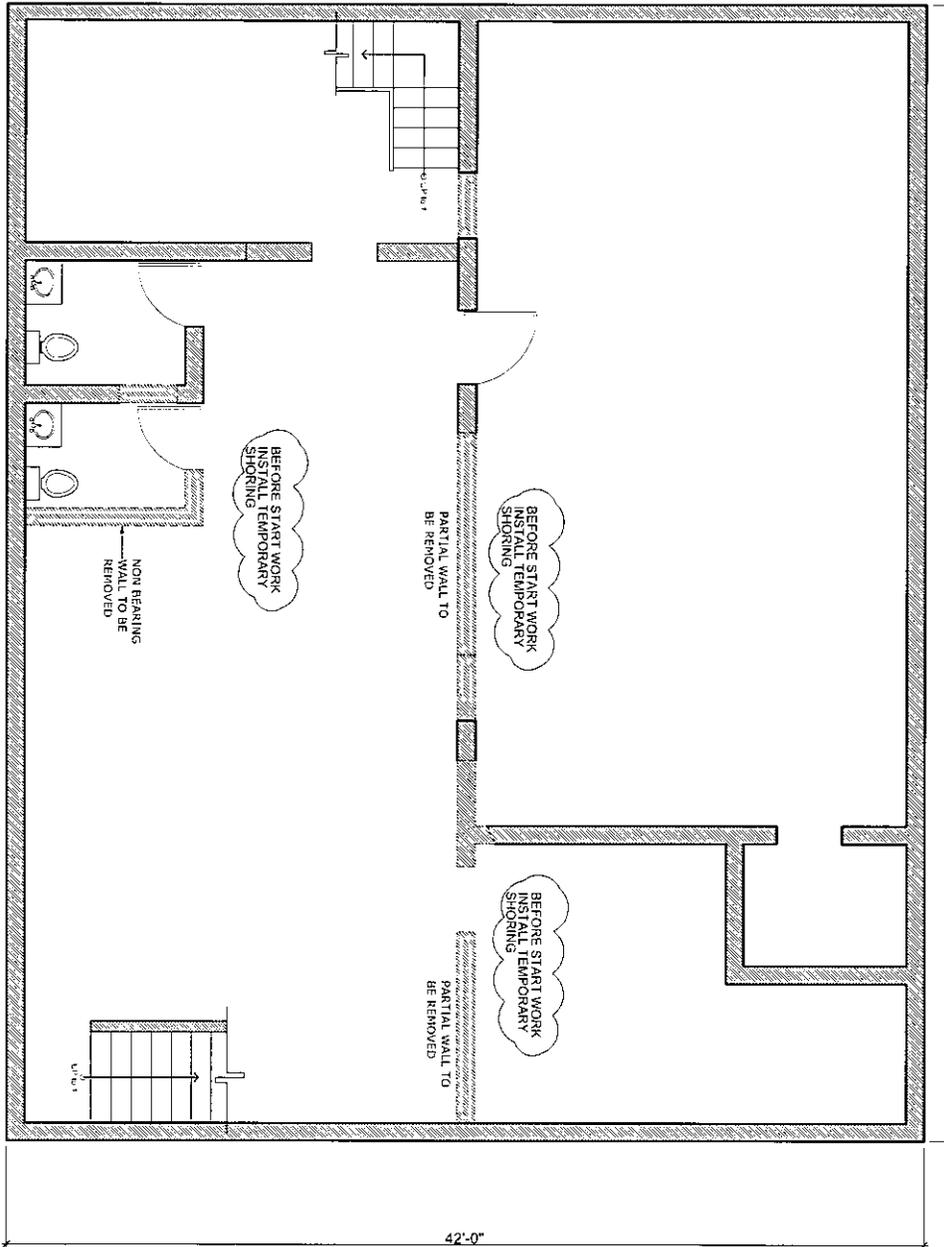
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OWNER: DAVINCI MINI APTS-JONY PEREZ
PETITIONER: DAVINCI MINI APTS-JONY PEREZ

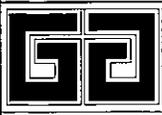
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ELEVATION	
SHEET	8
1	41



LEGEND	
	EXISTING WALL TO REMAIN
	PROPOSED NEW WALL
	DEMOL. WALL

BASEMENT
DEMO PLAN
SCALE 1/4"=1'-0"



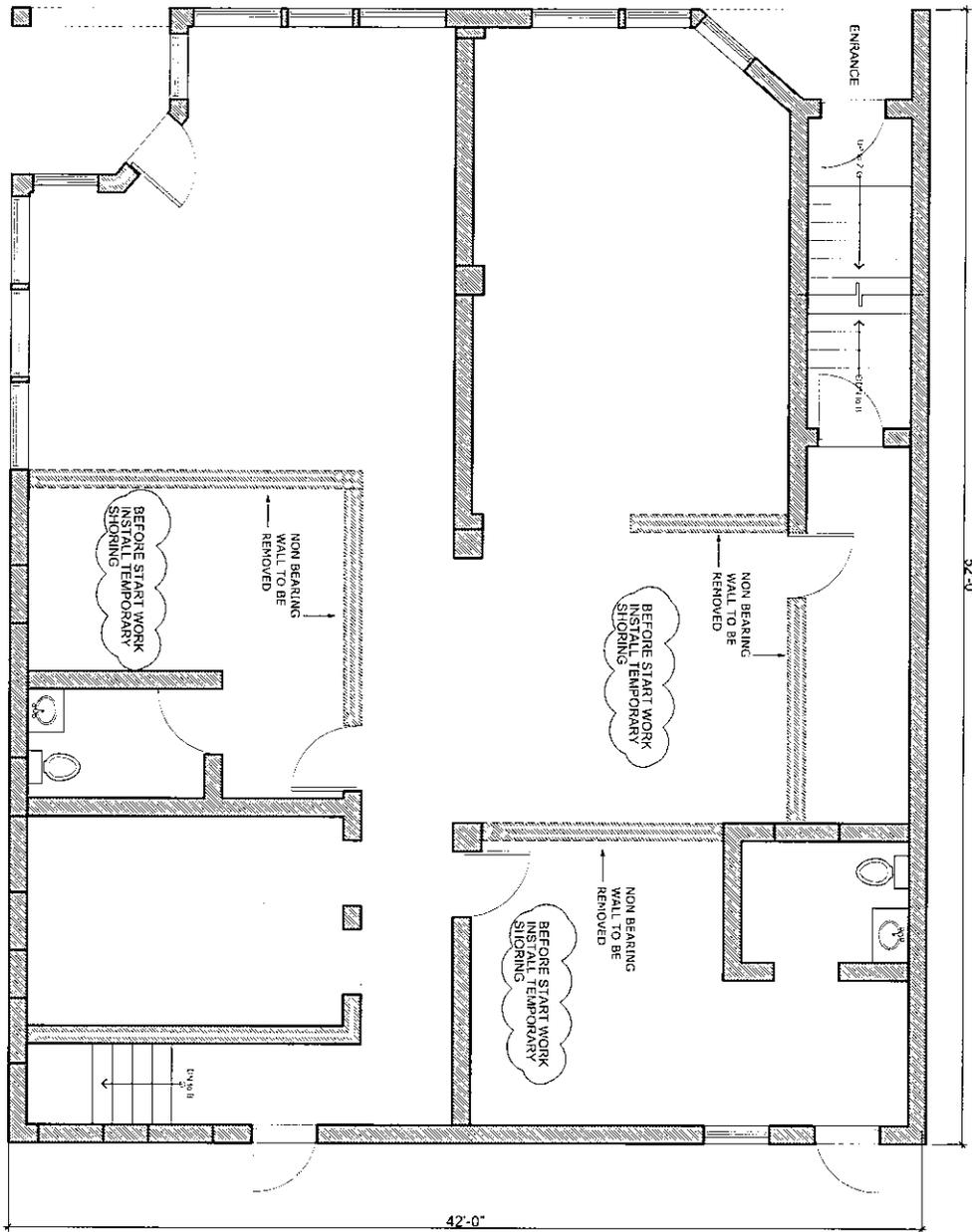
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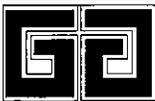
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FLOOR PLAN	
SHEET 1	9 41




FIRST FLOOR
DEMO PLAN
 SCALE: 1/4" = 1'-0"



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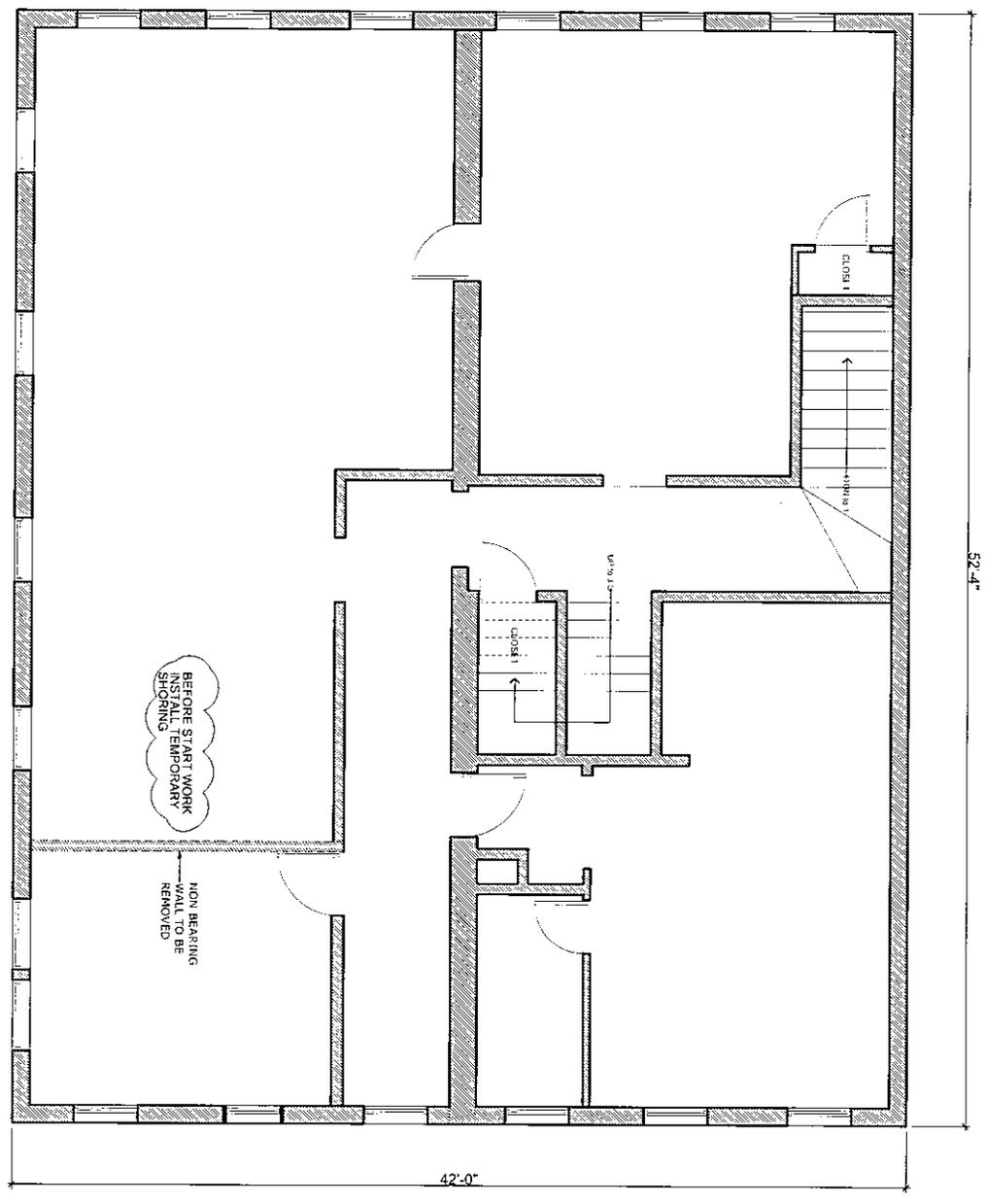
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FLOOR PLAN	
SHEET 1	10/41

SECOND FLOOR
DEMO PLAN
SCALE: 1/4"=1'-0"



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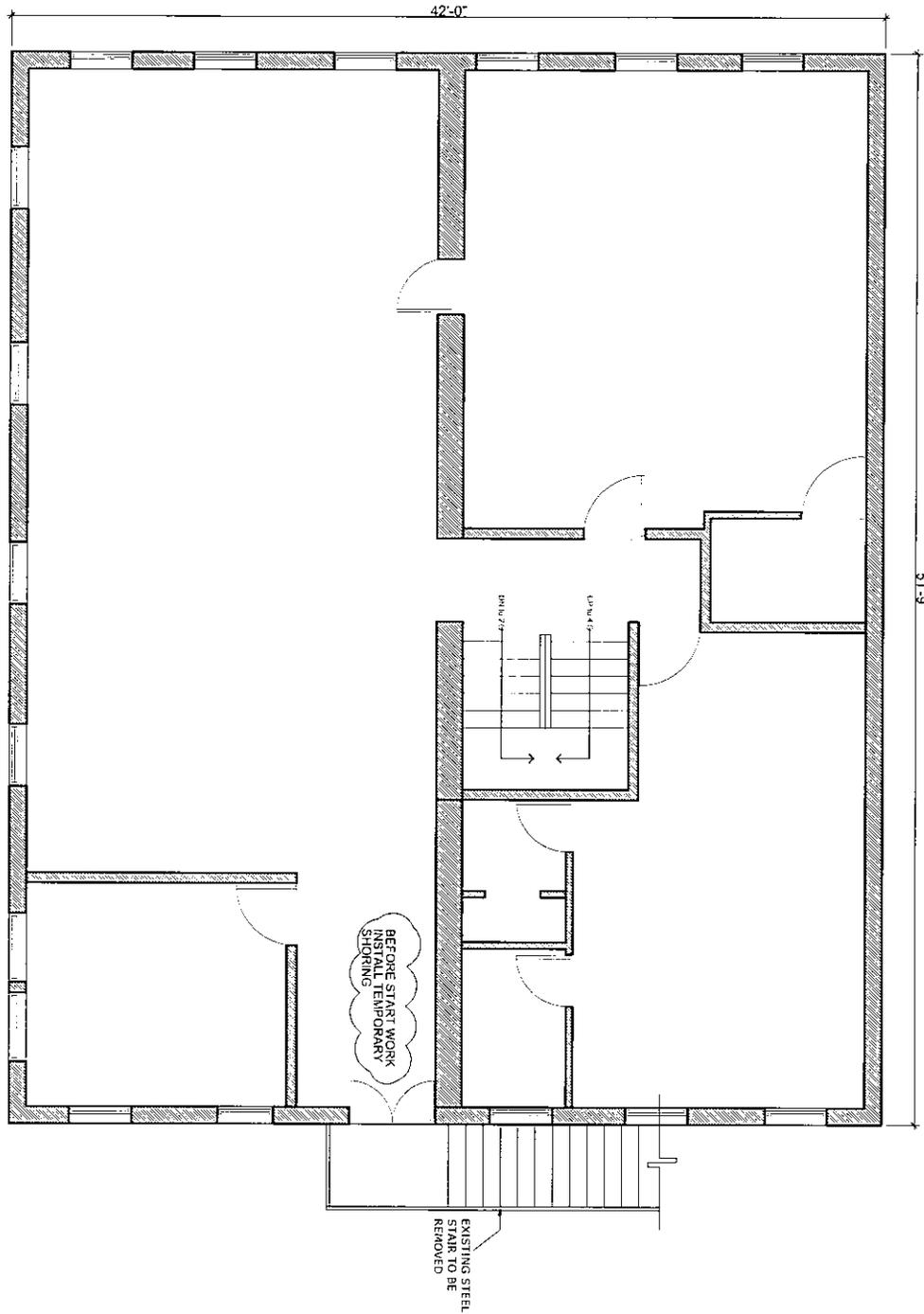
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FLOOR PLAN
SHEET 1
11
41

THIRD FLOOR
DEMO PLAN
SCALE: 1/4" = 1'-0"



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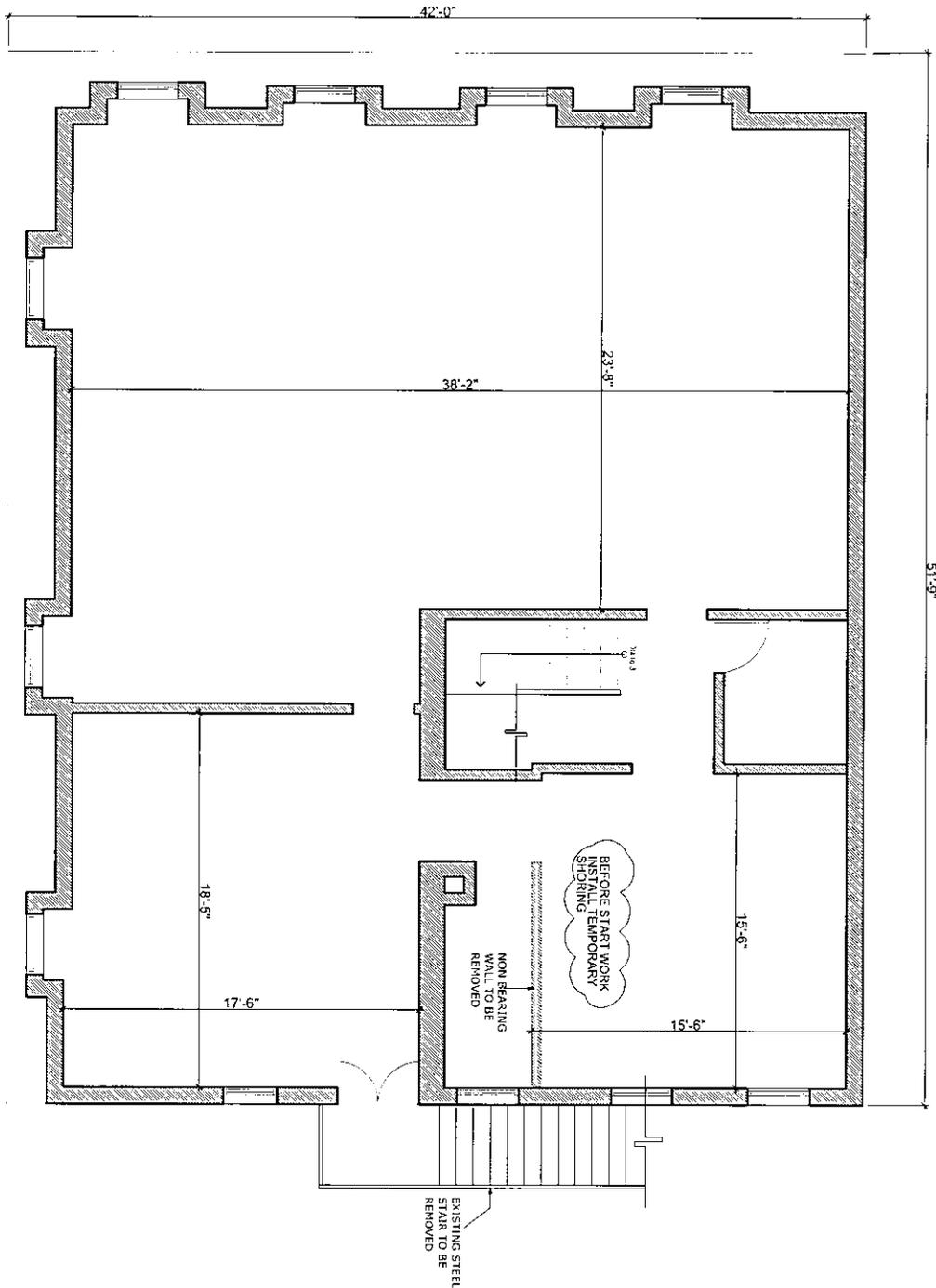
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FLOOR PLAN	
SHEET 1	12 / 41

FOURTH FLOOR
DEMO PLAN
SCALE: 1/4" = 1'-0"



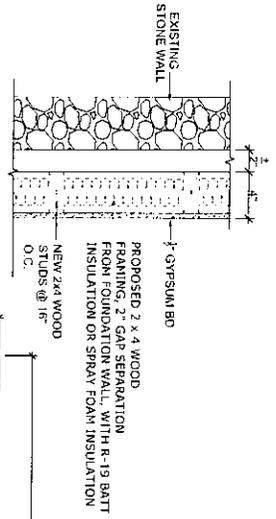
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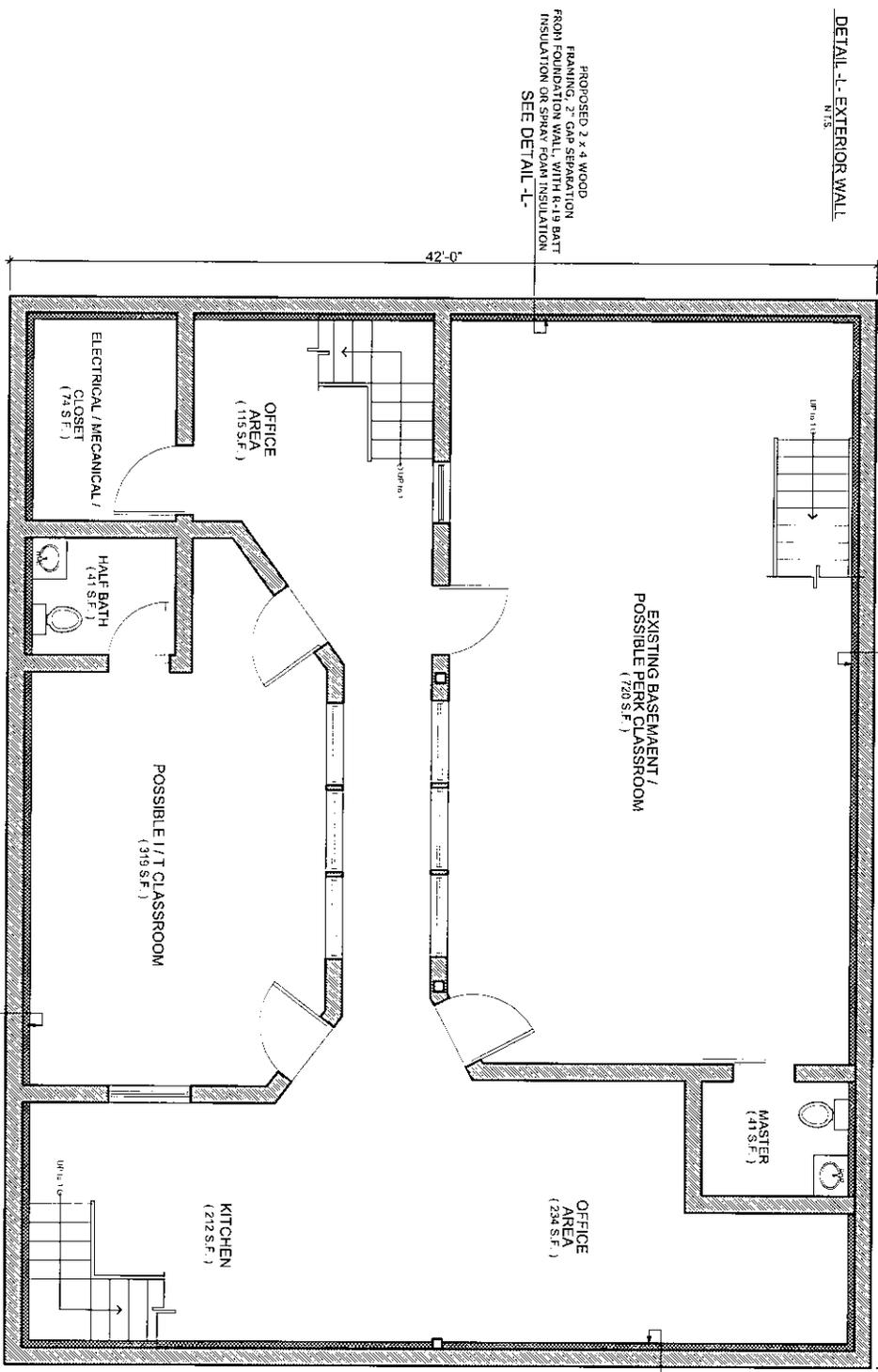
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FLOOR PLAN	
SHEETS	13
1	41

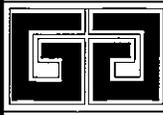


NOTE:
 CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (10TH EDITION OF THE MISC.780 CMR), 2021 IBC AND THE COMMONWEALTH OF MASSACHUSETTS AMENDMENT TO THE INTERNATIONAL COMMERCIAL CODE 2021) AND THE CITY OF HAVERHILL ORDINANCES.



PROPOSED BASEMENT FLOOR PLAN

SCALE: 1/8"=1'-0"
 INTERIOR AREA= 2,027 S.F.



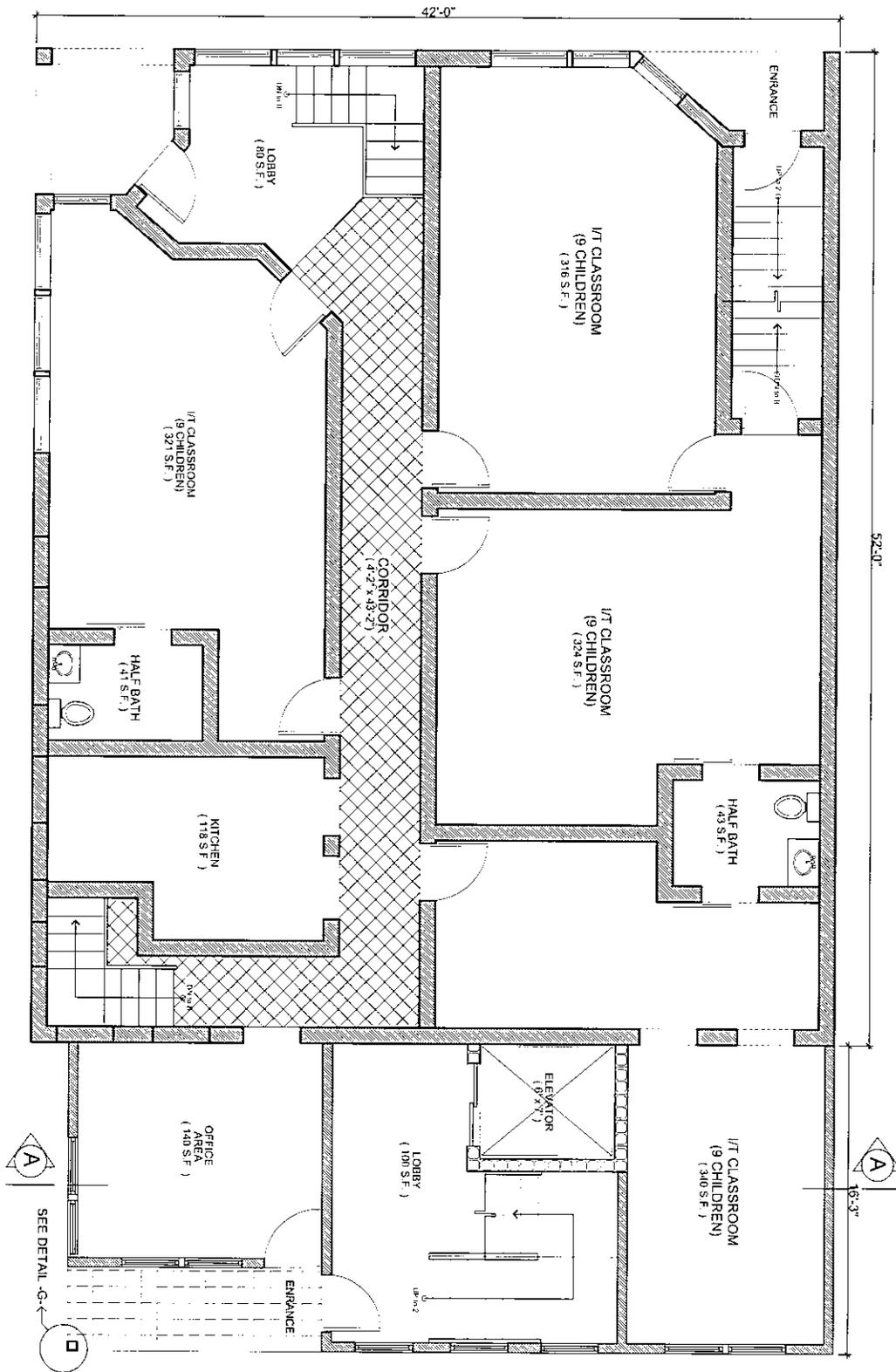
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FLOOR PLAN	
1	14
14	41



PROPOSED FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"
 INTERIOR AREA = 2,500 S.F.



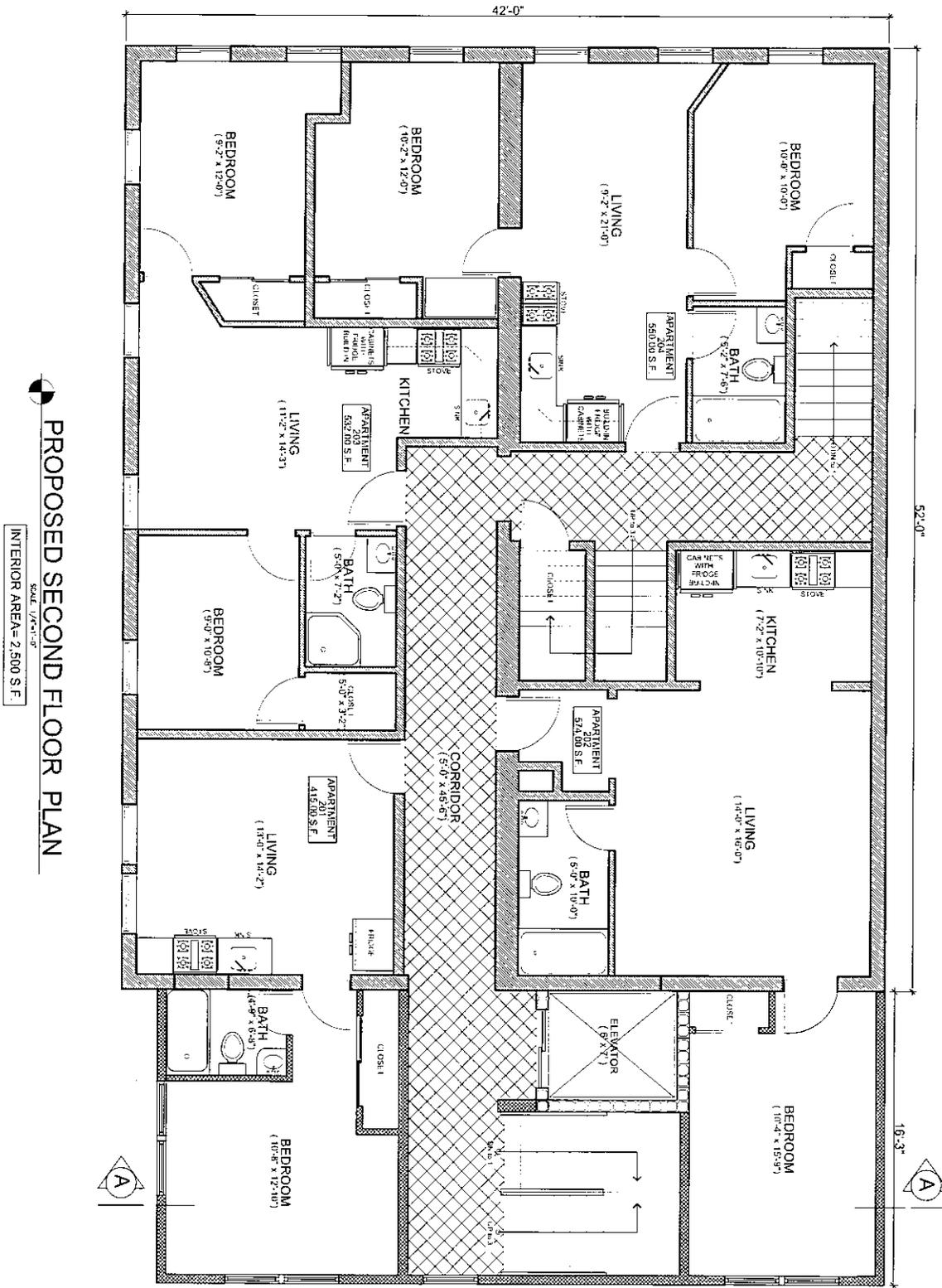
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FLOOR PLAN	
SHEET 1	15/41



PROPOSED SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"
 INTERIOR AREA = 2,500 S.F.



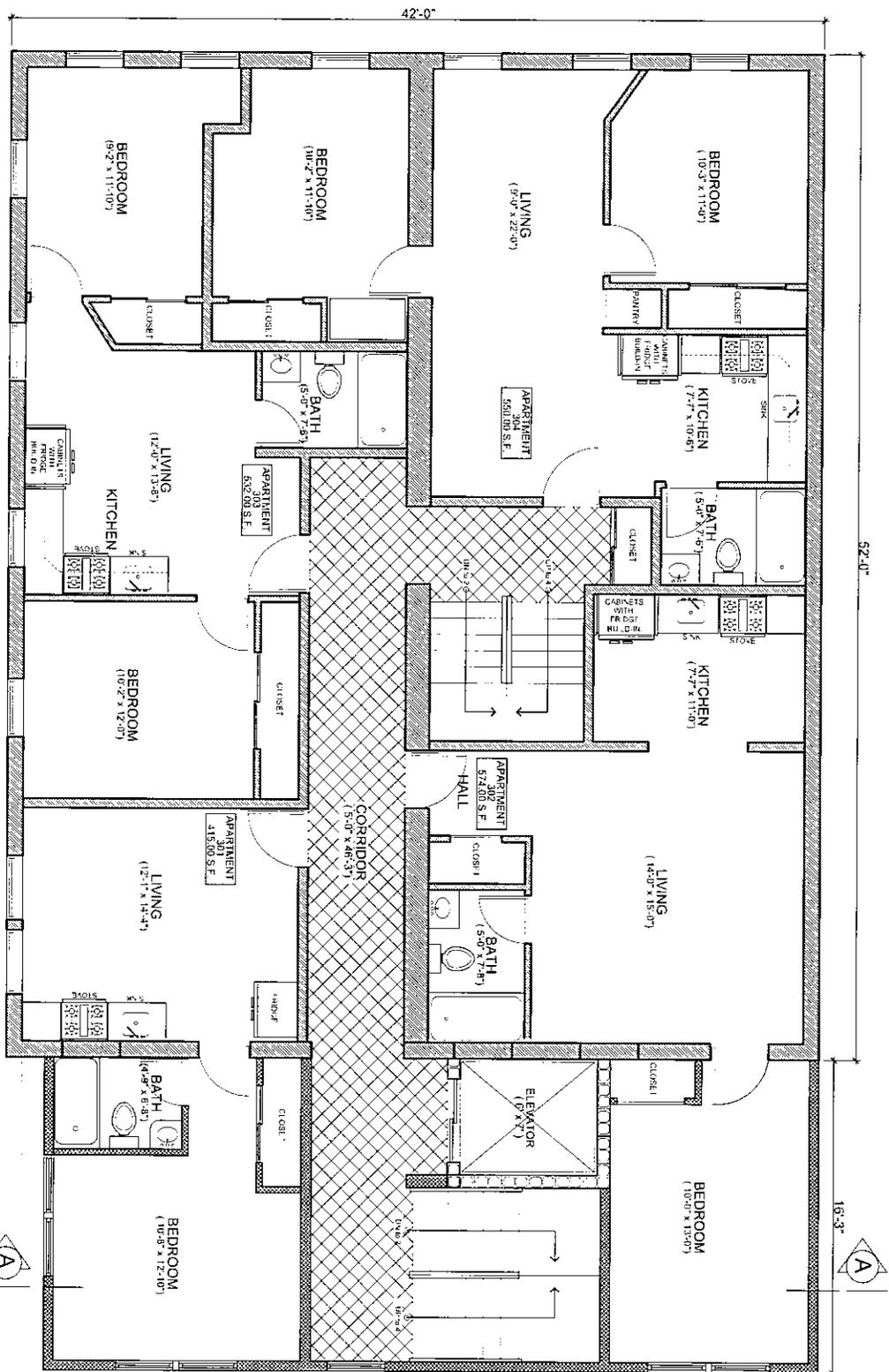
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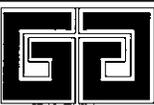
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FLOOR PLAN	
SHEET 1	16/41



PROPOSED THIRD FLOOR PLAN

SCALE: 1/8"=1'-0"
 INTERIOR AREA= 2,500 S.F.



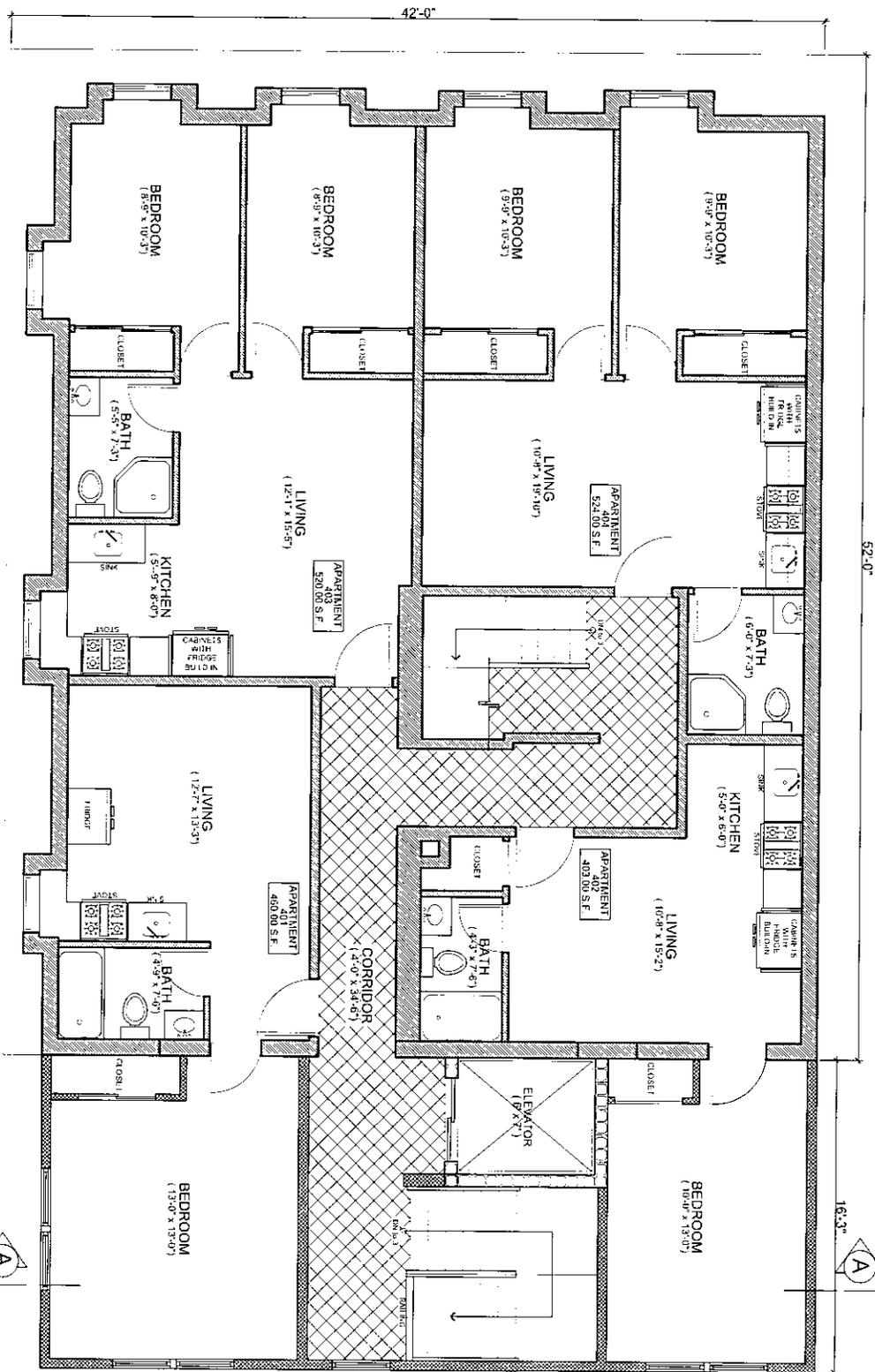
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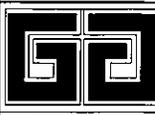
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FLOOR PLAN
 SHEET 1 OF 17
 41



PROPOSED FOURTH FLOOR PLAN

SCALE: 1/4"=1'-0"
 INTERIOR AREA= 2,500 S.F.



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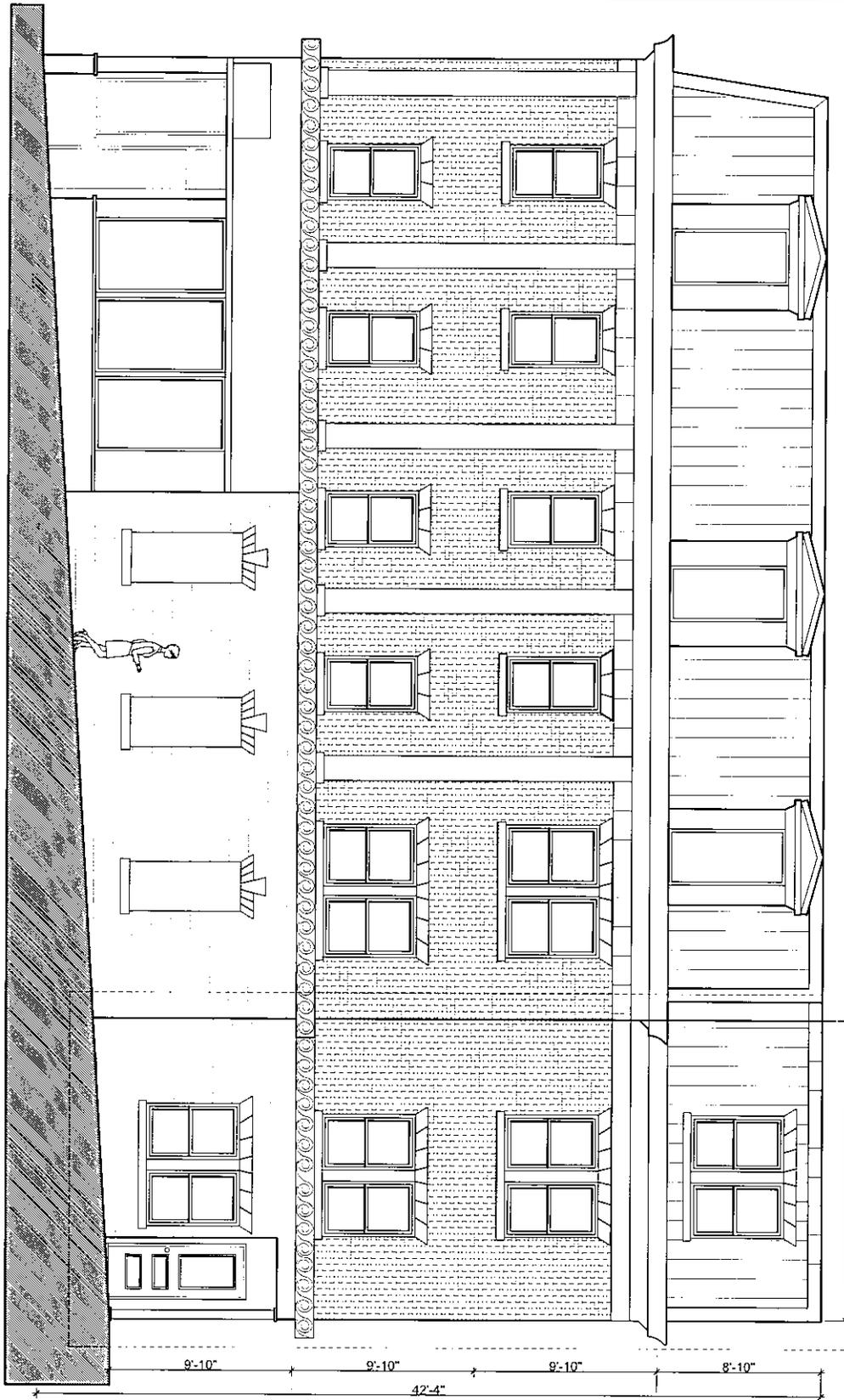
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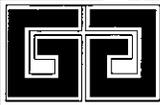
FLOOR PLAN
 SHEET 1
 18
 41

PROPOSED RIGHT SIDE ELEVATION

SCALE 1/4"=1'-0"



ADDITION PROPOSED



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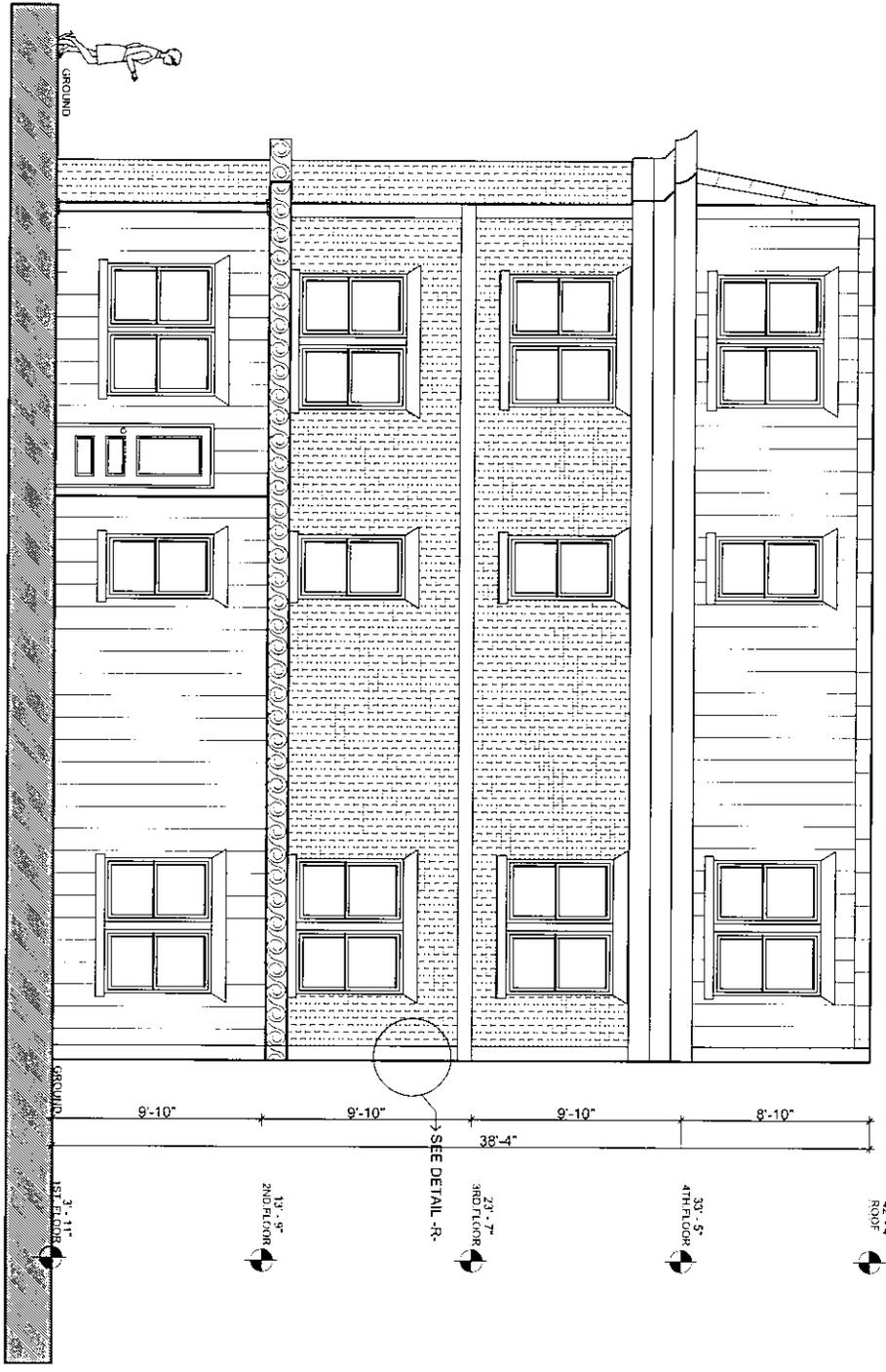
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ELEVATION	
SHEET 1	19/41

REAR ELEVATION



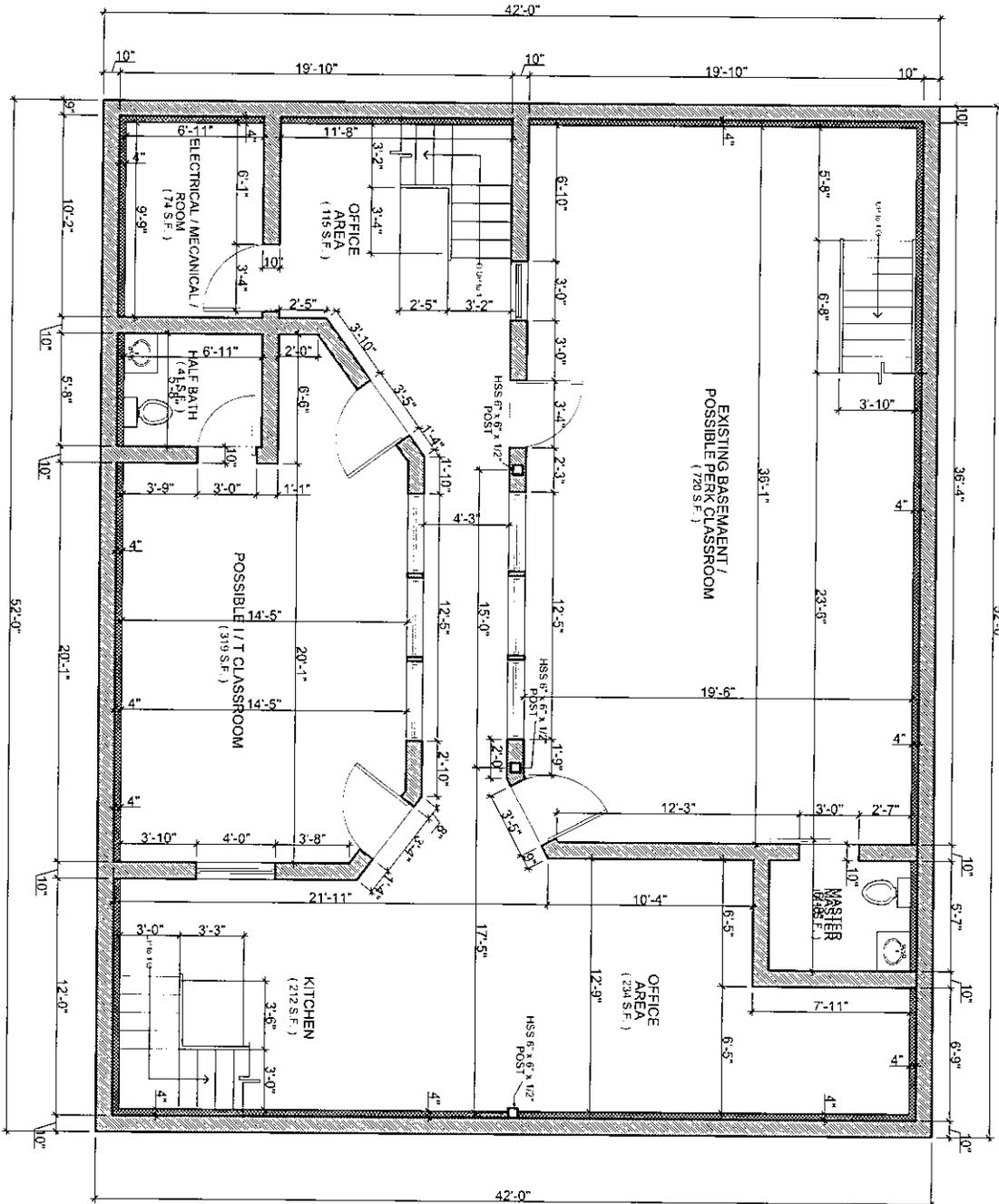
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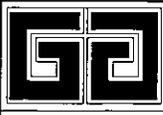
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ELEVATION
 SHEET 1 / 20 / 41



PROPOSED BASEMENT FLOOR PLAN
 (DIMENSIONED)
 SCALE: 1/8"=1'-0"
 INTERIOR AREA= 2,027 S.F.



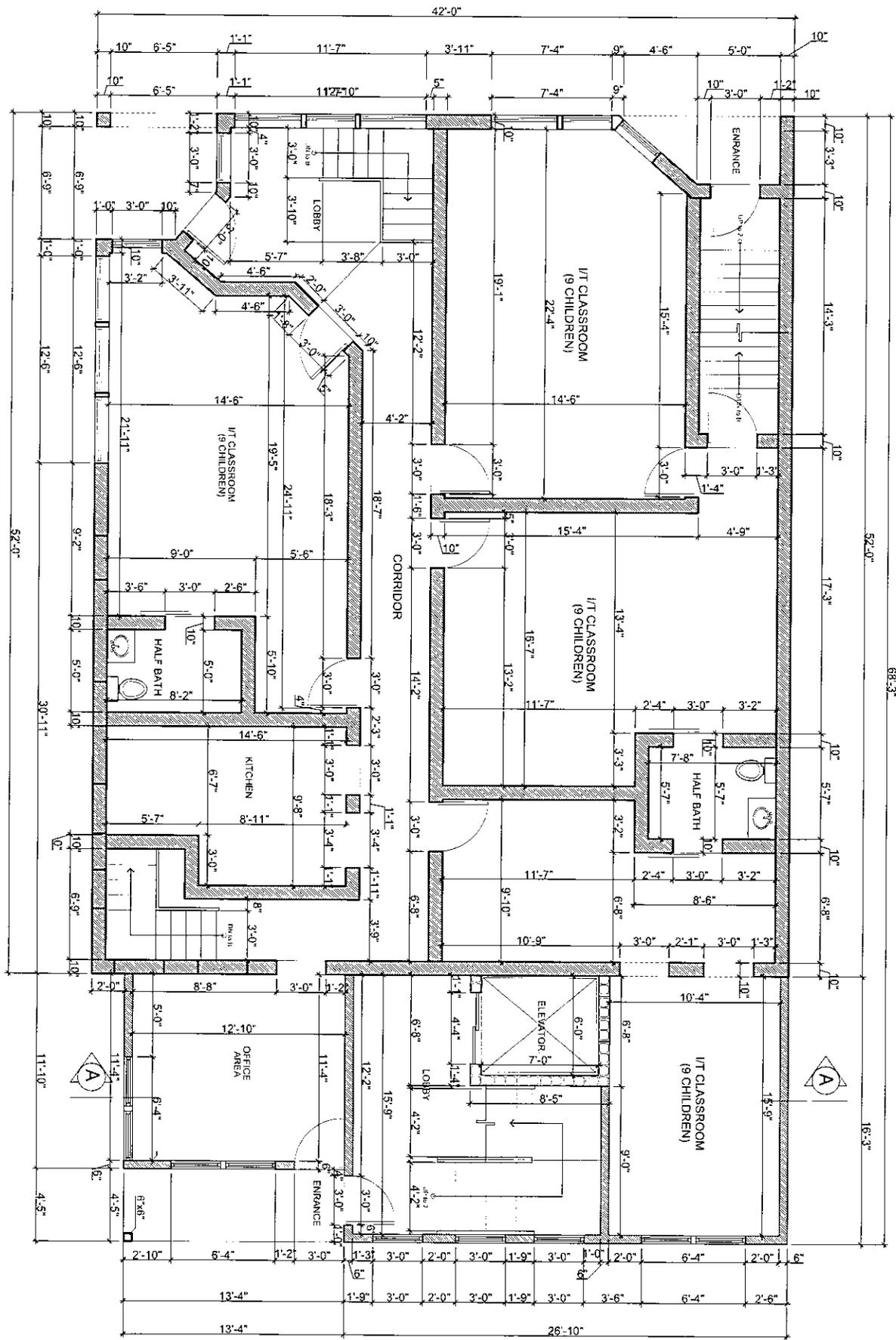
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FLOOR PLAN
 SHEET 1 21 41



(DIMENSIONED)
PROPOSED FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"
 INTERIOR AREA=2,500 S.F.



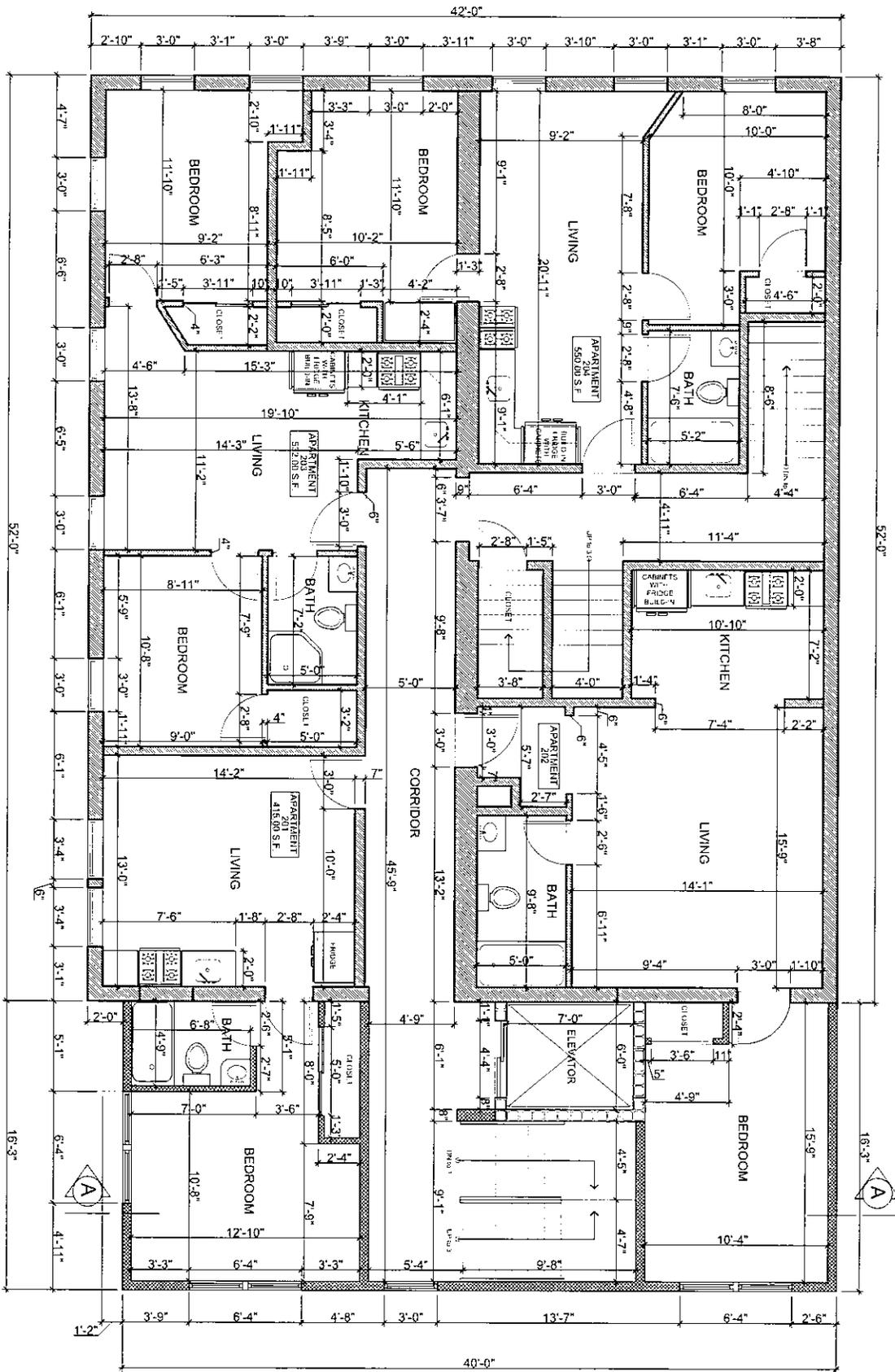
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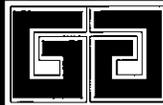
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FLOOR PLAN
 SHEET 1 22 41



(DIMENSIONED)
PROPOSED SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"
 INTERIOR AREA= 2,500 S.F.



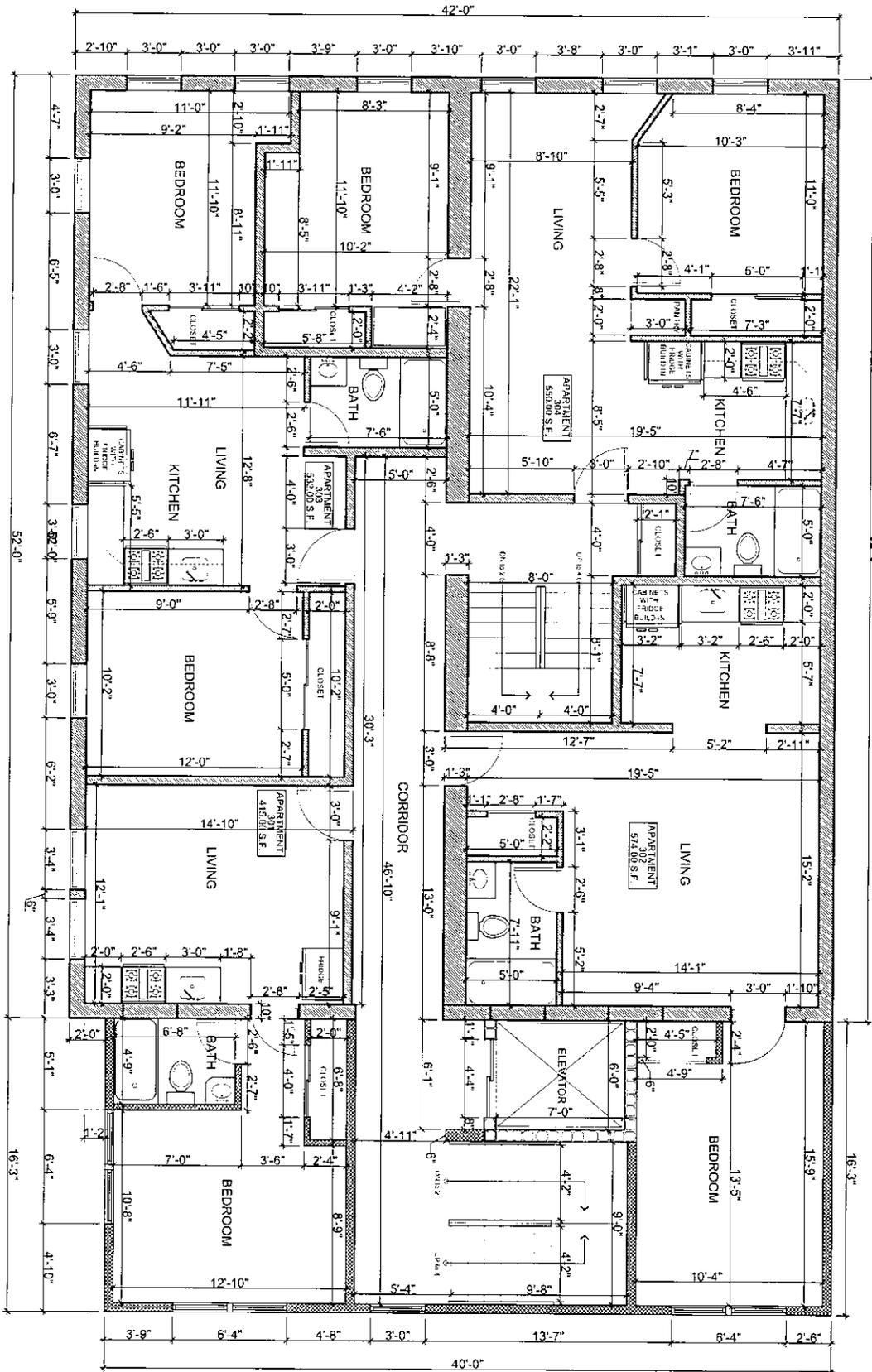
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FLOOR PLAN
 SHEET 1 23 41



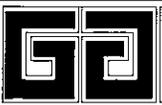


PROPOSED THIRD FLOOR PLAN

(DIMENSIONED)

SCALE 1/4"=1'-0"

INTERIOR AREA=2,500 S.F.



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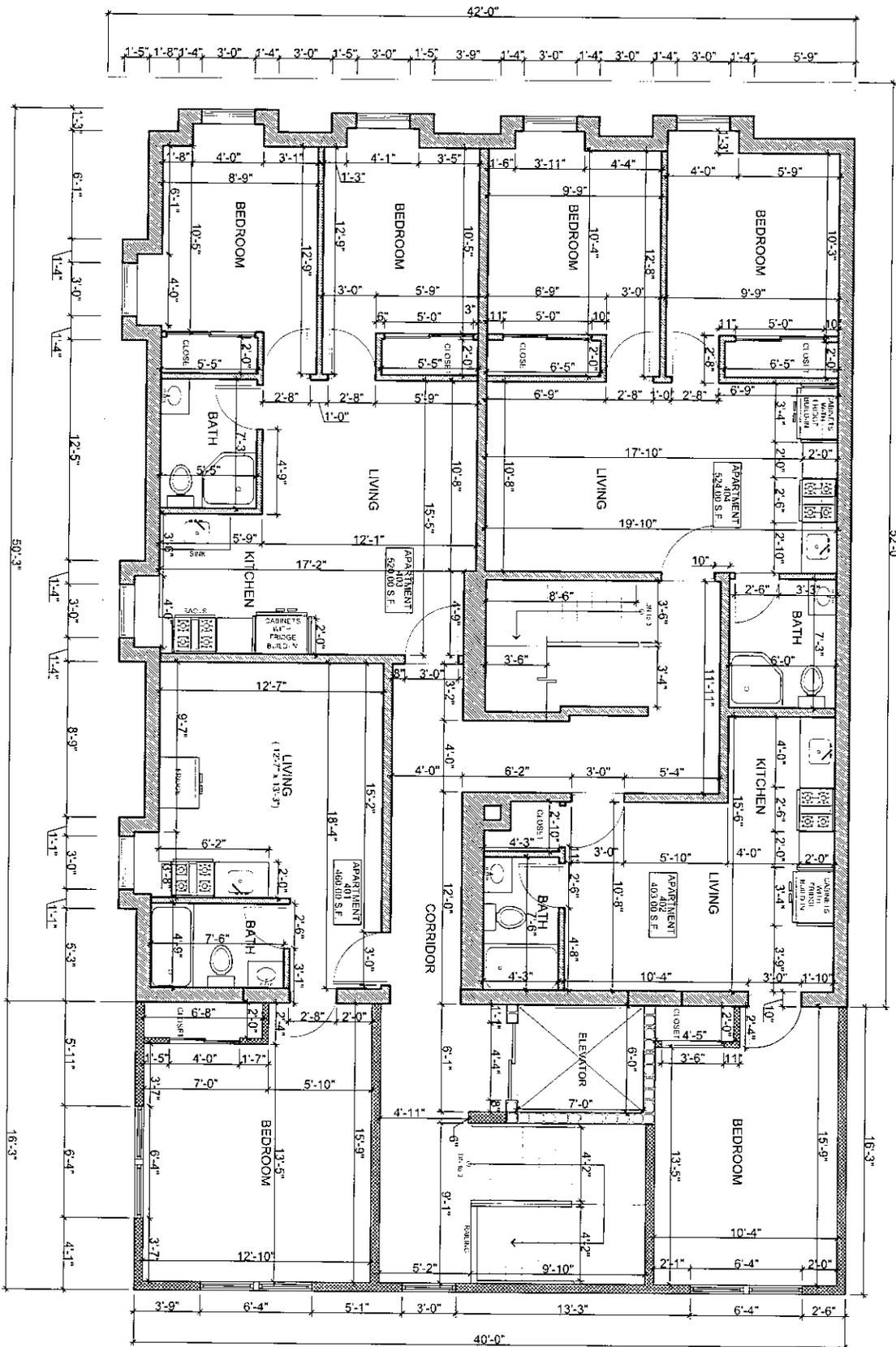
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FLOOR PLAN	
SHEET 1	24
	41


PROPOSED FOURTH FLOOR PLAN
 (DIMENSIONED)
 SCALE: 1/4"=1'-0"
 INTERIOR AREA= 2,500 S.F.



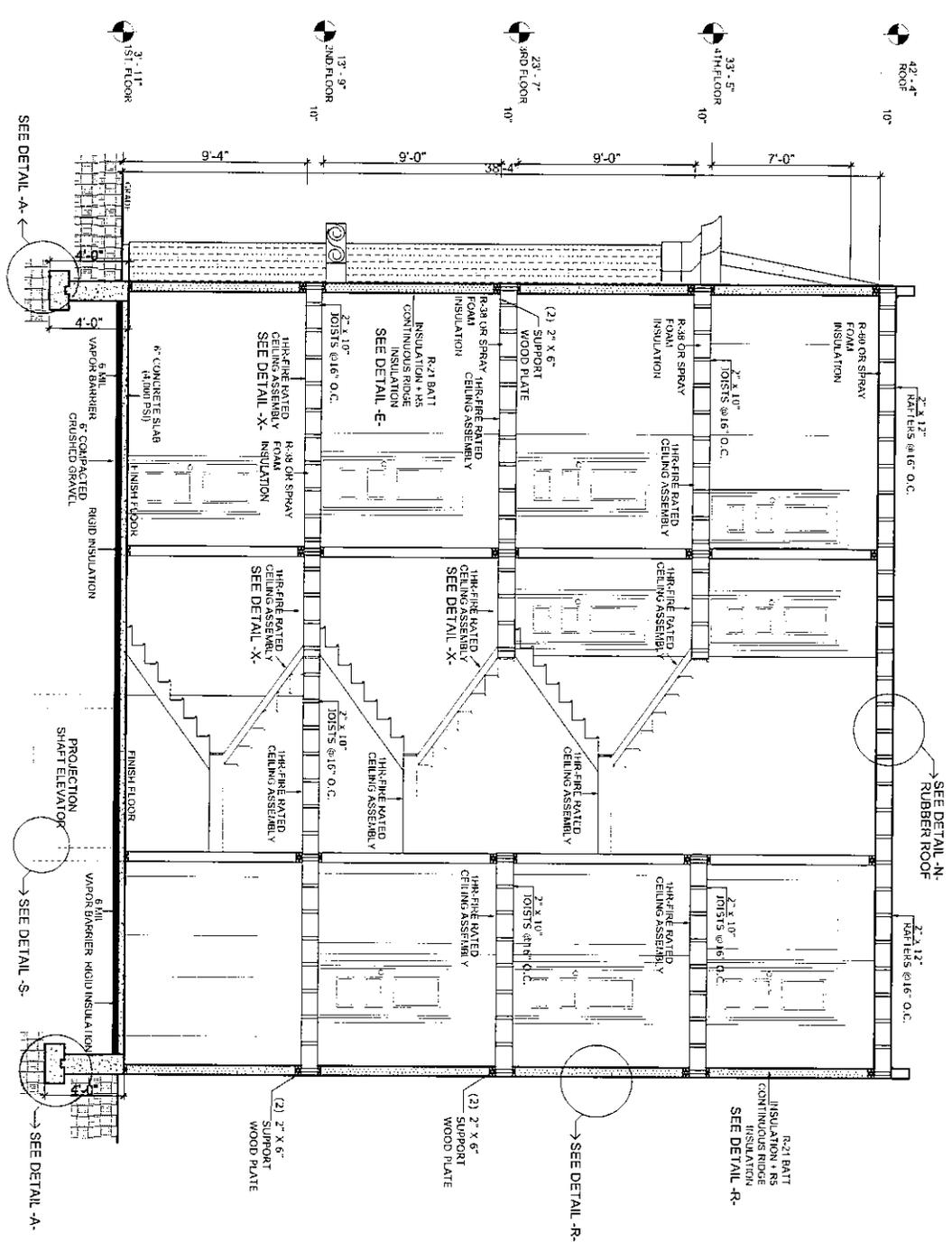
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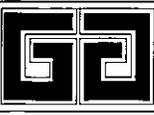
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FLOOR PLAN
 SHEET 1 OF 25
 41



SECTION A-A
SCALE 1/4" = 1'-0"



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Professional Designer

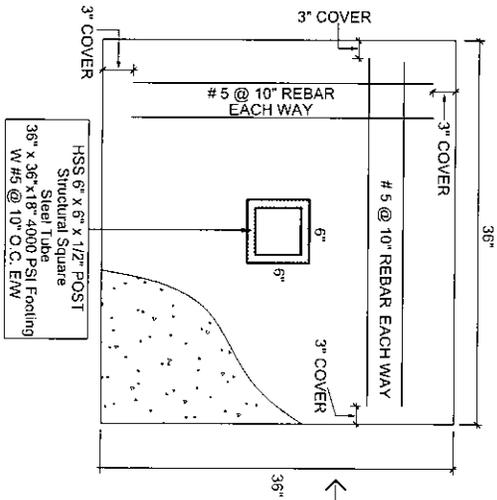
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PROJECT: COMMERCIAL RESIDENTIAL BUILDING
ADDRESS: 125 MERRIMACK ST. HAVERHILL MA 01830
OWNER: DAVINCI MINI APTS-JONY PEREZ
PETITIONER: DAVINCI MINI APTS-JONY PEREZ

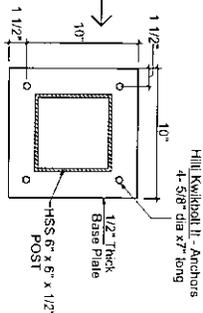
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APPROVED BY:
DRAWN BY: GILBERTO JIMENEZ
DATE: 7/29/2025

FLOOR PLAN	
SHEET 1	26
	41

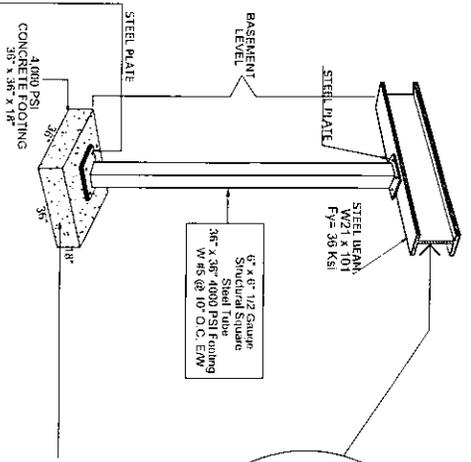
**COLUMN FOOTING
DETAIL -C-**
N.T.S.



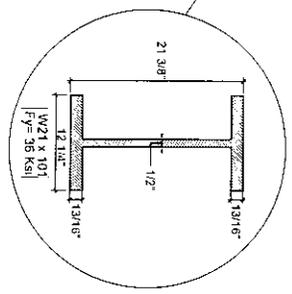
BASE PLATE



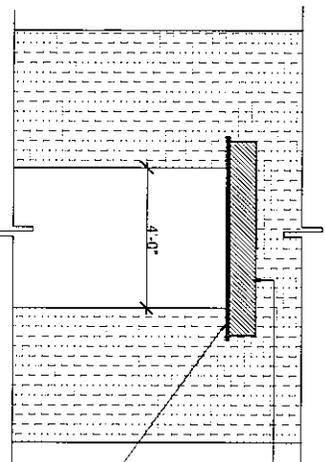
DETAIL -C-
N.T.S.



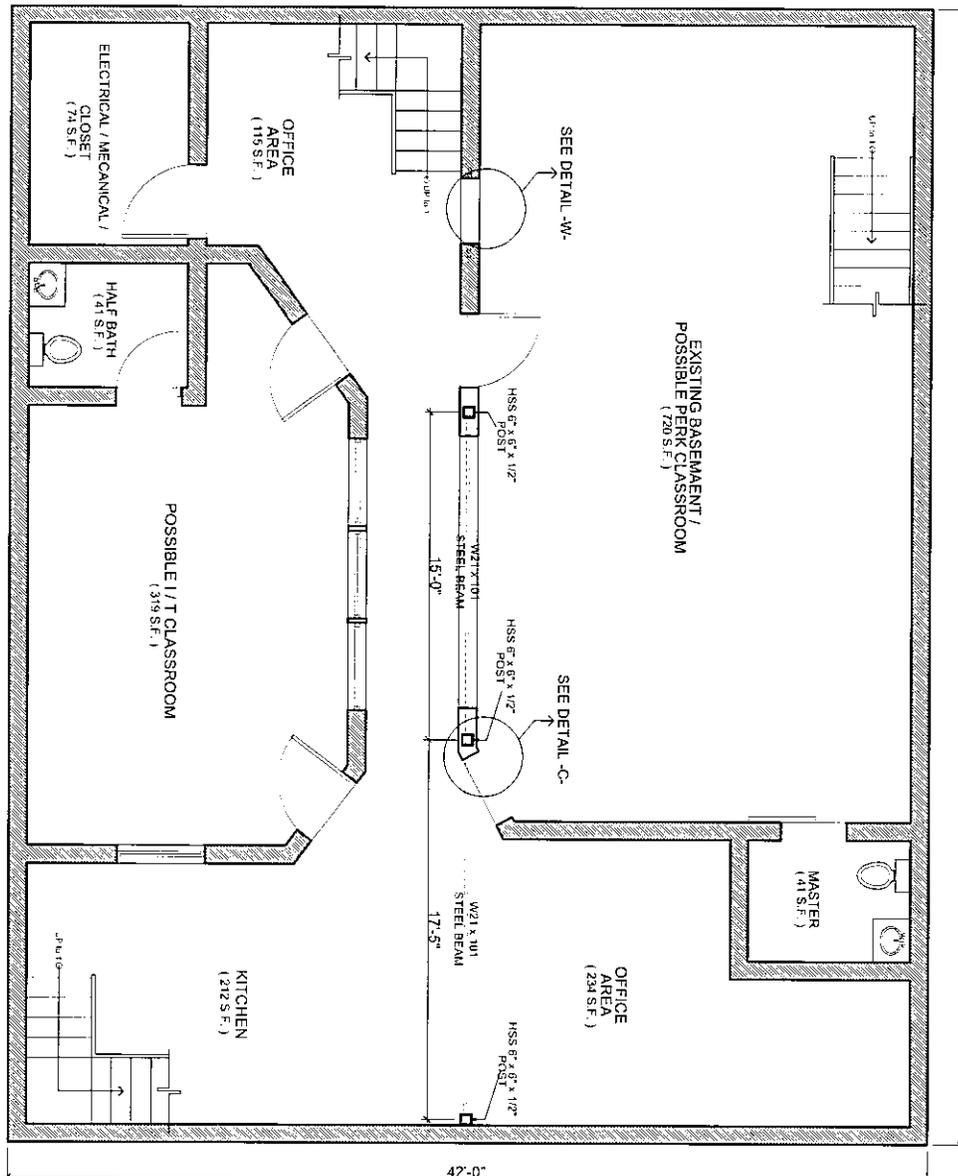
DETAIL -C- STEEL BEAM
N.T.S.



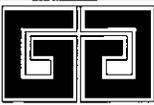
LINTEL DETAIL -W-
N.T.S.



NOTE:
CONTRACTOR SHALL BEFORE START WORK,
VERIFY EVERY DIMENSION AND HEIGHT



**(STRUCTURAL)
BASEMENT FLOOR PLAN**
SCALE: 1/4" = 1'-0"



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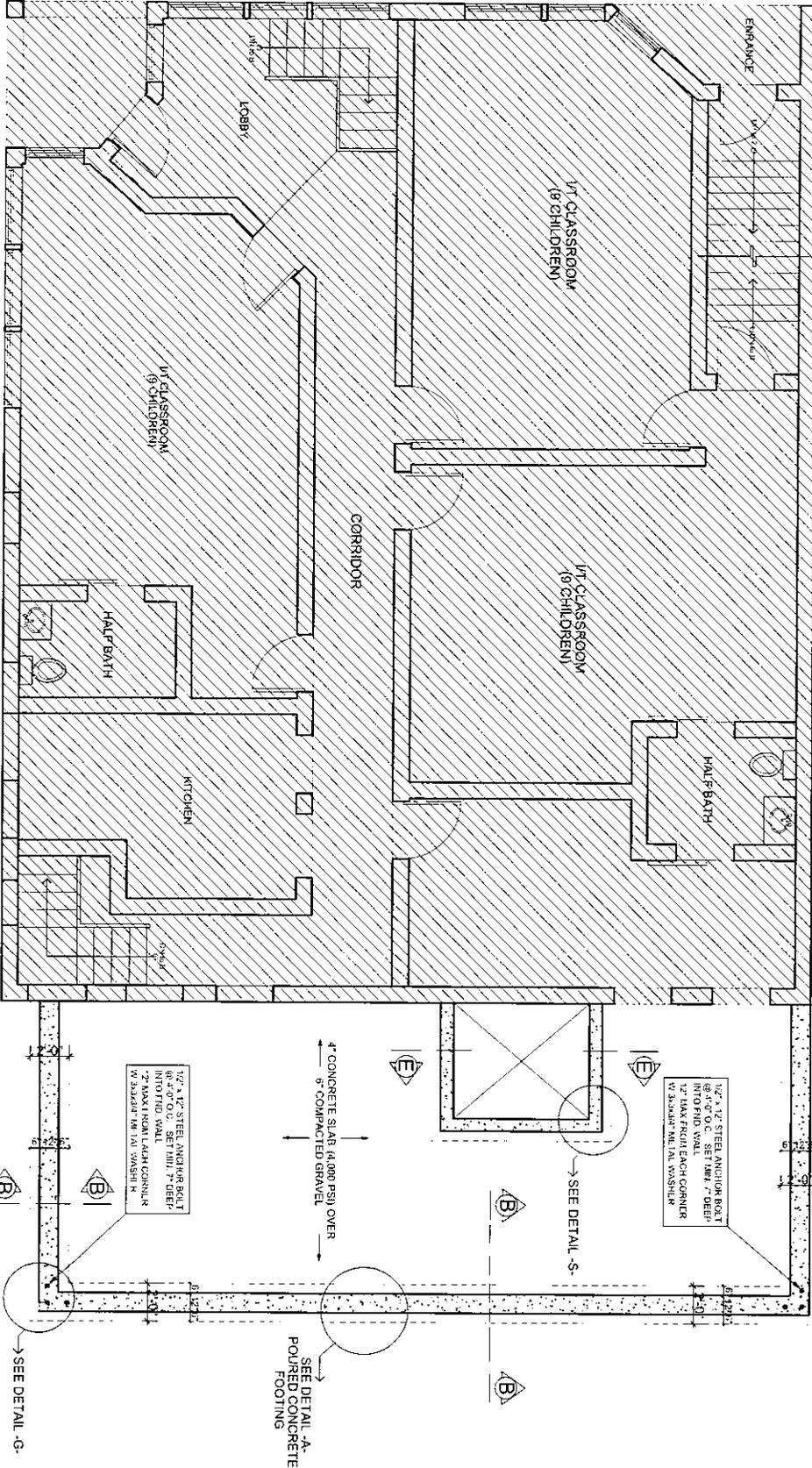
PROJECT: COMMERCIAL RESIDENTIAL BUILDING
ADDRESS: 125 MERRIMACK ST. HAVERHILL MA 01830
OWNER: DAVINCI MINI APTS-JONY PEREZ
PETITIONER: DAVINCI MINI APTS-JONY PEREZ

REVISED BY:
APPROVED BY:
DRAWN BY: GILBERTO JIMENEZ
DATE: 7/28/2025

FLOOR PLAN	
SHEET 1	27/41

GENERAL NOTES :

1. CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (10 TH EDITION OF THE MBSC, 780 CMR) AND THE CITY OF HAVERHILL ORDINANCES.
2. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND PROCEDURES.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS DURING BUILDING CONSTRUCTION AND SHALL PROVIDE ADEQUATE SHORING AND BRACING TO ENSURE SAFETY.
4. ALL DIMENSIONS AND SITE CONDITIONS SHALL BE FIELD VERIFIED AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR NOTIFY THE OWNER OR DESIGNER OF ANY DISCREPANCY BEFORE STARTING WORK.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES AND TO PROTECT THEM FROM DAMAGE.
6. ALL DETAILS, SECTIONS, NOTES, OR REFERENCE TO OTHER DRAWINGS ARE INTENDED TO BE TYPICAL.
7. DURING CONSTRUCTION AND BEFORE ANY CHANGES, REVISIONS, MODIFICATIONS OR DEVIATION FROM THE CONSTRUCTION DOCUMENT, CONTRACTOR SHALL BRING TO THE ATTENTION OF THE OWNER OR DESIGNER AND OBTAIN APPROVAL FROM THE BUILDING INSPECTOR BEFORE PROCEEDING WITH THE WORK.
8. SPECIFIC NOTES AND DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS, WHERE THE DRAWINGS DO NOT SHOW DETAILS, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.

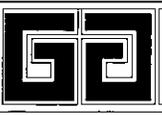


NOTE:
CONTRACTOR SHALL BEFORE START WORK
VERIFY EVERY DIMENSION AND HEIGHT

NOTE:
CONTRACTOR MUST CALL DIG SAFE
BEFORE PERFORMING ANY EXCAVATION

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



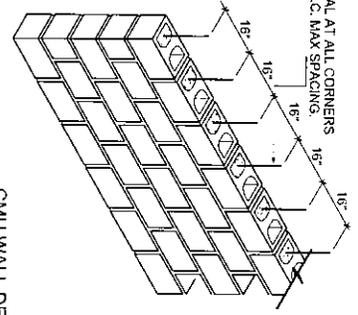
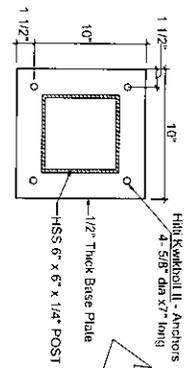
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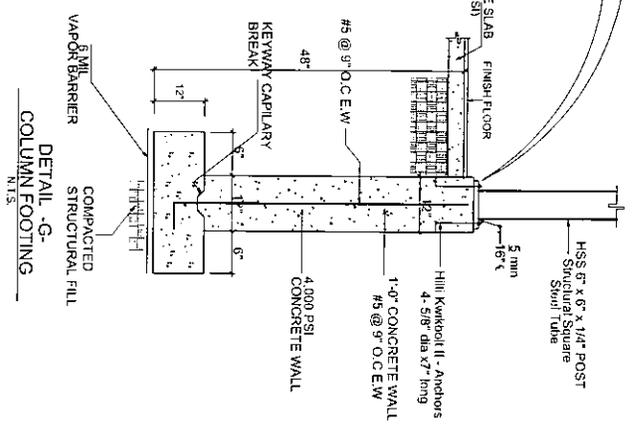
PROJECT: COMMERCIAL RESIDENTIAL BUILDING
ADDRESS: 125 MERRIMACK ST. HAVERHILL, MA 01830
OWNER: DAVINCI MINI APTS-JONY PEREZ
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DATE: 7/28/2025

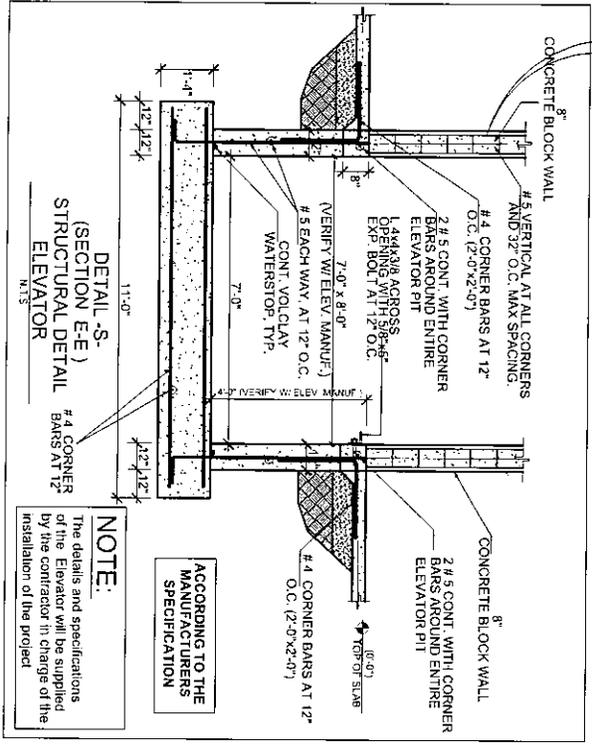
FOUNDATION PLAN	
SHEET 1	28 / 41



CMU WALL DETAIL
N.T.S.



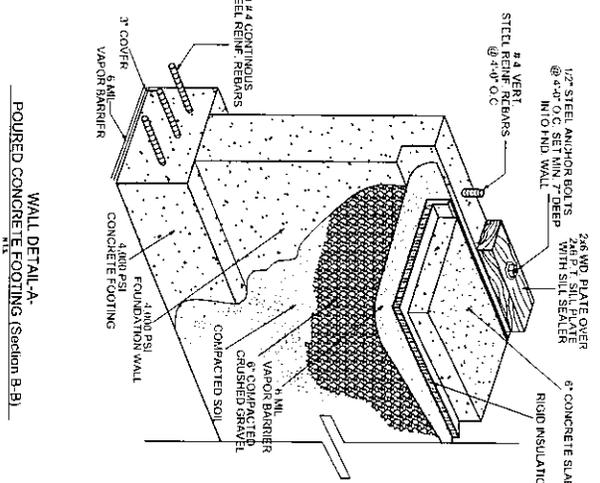
DETAIL - G
COLUMN FOOTING
N.T.S.



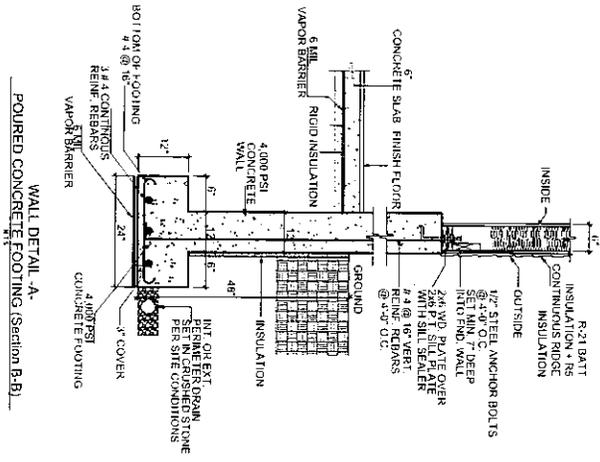
DETAIL - S
(SECTION E-E)
STRUCTURAL ELEVATOR
N.T.S.

NOTE:
The details and specifications of the Elevator will be supplied by the contractor in charge of the installation of the project.

ACCORDING TO THE MANUFACTURERS SPECIFICATION



WALL DETAIL - A
POURED CONCRETE FOOTING (Section B-B)
N.T.S.



WALL DETAIL - A
POURED CONCRETE FOOTING (Section B-B)
N.T.S.

CONCRETE NOTES

1. ALL CONCRETE TO BE 4,000 PSI @ 28 DAYS AND PLACED IN ACCORDANCE WITH INDUSTRY STANDARDS. DO NOT STRIKE FORMS FOR 72 HOURS.
 2. FOOTINGS TO BE PLACED ON UNDISTURBED NATIVE SOILS. NOTIFY ARCHITECT IN THE EVENT OF ANY OVER-EXCAVATION BEFORE PROCEEDING WITH WORK.
 3. ALL STEEL REINFORCING TO BE NEW AND PLACED IN SCALE. DIRT OR OTHER DEBRIS.
 4. CONCRETE CONTRACTOR TO VERIFY LOCATIONS OF ALL HOLD-DOWNS WITH FRAMING CONTRACTOR.
 5. COORDINATE LOCATION OF ALL BONDOUTS FOR WATER, SEWER, ELECTRICAL AND OTHER UNDERGROUND UTILITIES.
 6. IN AREAS WHERE FOUNDATION WALLS ARE TO BE LEFT EXPOSED TO VIEW, GRIND SMOOTH ALL FORM JOINTS AND FILL ALL THE HOLES BEFORE APPLYING PARPING.
- FOUNDATION WALL TYPICAL NOTE:**
- 12" POURED CONCRETE WALL WITH 2'-0" X 1'-0" FOOTING
- COLUMN FOOTING/THICKENED SLAB SCHEDULE:**
- OVER FOUNDATION CONCRETE WALL

STRUCTURAL DETAILS

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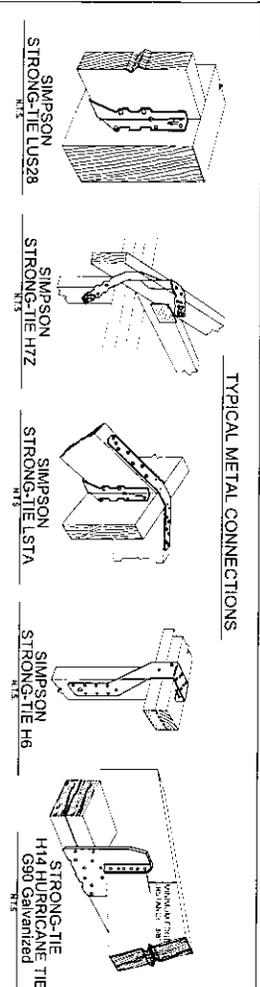
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APPROVED BY:
DRAWN BY: GILBERTO JIMENEZ
DATE: 7/28/2025

STRUCTURAL DETAILS	
SHEET 1	29
	41

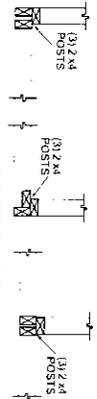
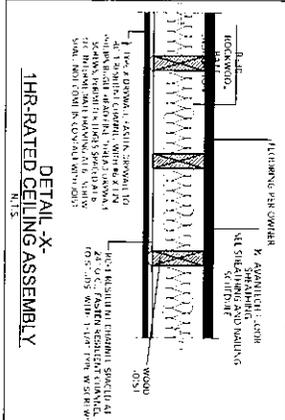
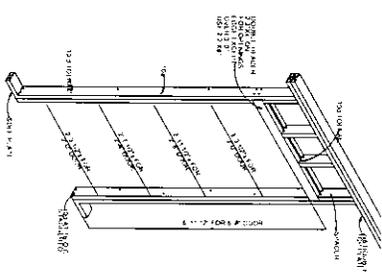
TYPICAL METAL CONNECTIONS



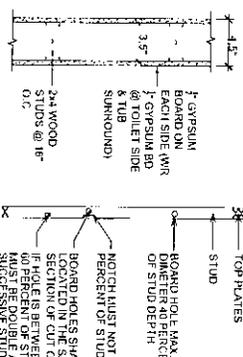
NOTE

GJ Design Group LLC made these plans before construction has begun to comply with owners' and builders' specifications. Any changes made to plans will be at the owners' and builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawings against human error. The contractor must check all dimensions and details before construction and be solely responsible after that.

DOOR OPENING DETAIL



CORNER AND PARTITION POSTS



DETAIL -E- INTERIOR WALL

N.T.S.

SECTION Z

N.T.S.

JOIST SUPPORTED ON WOOD GIRDERS

N.T.S.

TOP PLATE FRAMING DETAIL

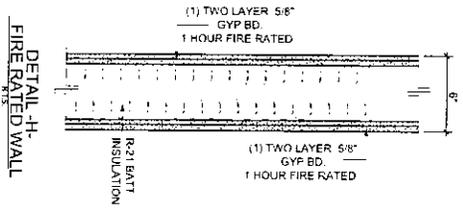
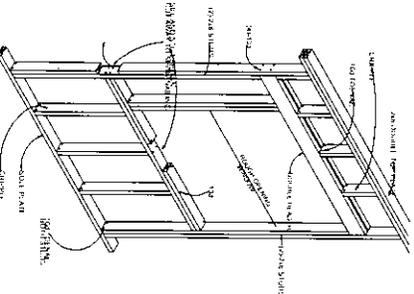
N.T.S.

2x PARTITION WALL HEADER DETAIL

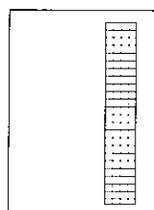
N.T.S.

WINDOW OPENING DETAIL

N.T.S.



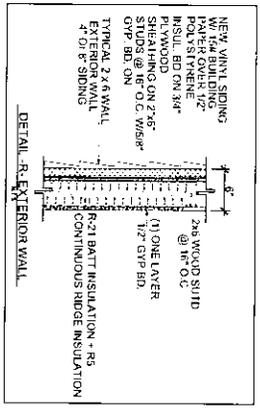
DETAIL -H- FIRE RATED WALL



NOTE:
 1. WITH SPRINKLER SYSTEM
 2x6" STUDS @ 16" O.C. w/ ONE LAYER 5/8" SHEETROCK FIRE-CODE EACH SIDE (1 HR. FIRE-RATED).
 2. WITHOUT SPRINKLER SYSTEM
 2x6" STUDS @ 16" O.C. w/ TWO LAYER 5/8" SHEETROCK FIRE-CODE EACH SIDE (2 HR. FIRE-RATED).

TYPICAL DETAILS

N.T.S.



DETAIL -R- EXTERIOR WALL

1 INSULATED WALL DETAILS

N.T.S.

2 INSULATED WALL DETAILS

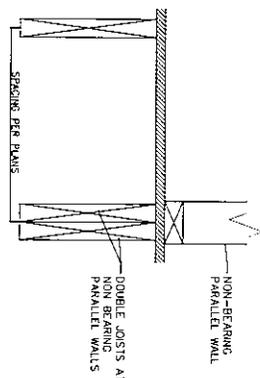
N.T.S.

3 2x6 BEARING WALL HEADER DETAIL

N.T.S.

DOUBLE JOIST AT PARALLEL WALLS

N.T.S.



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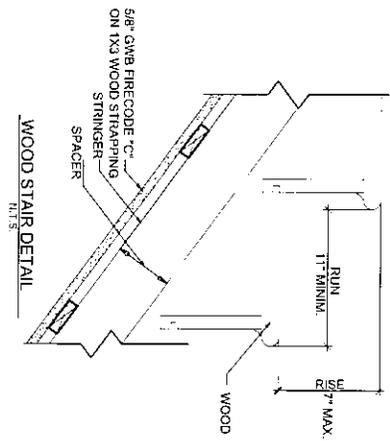
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 ADDRESS: 125 MERRIMACK ST. HAVERHILL MA 01830
 OWNER: DAVINCI MINI APTS-JONY PEREZ
 PETITIONER: DAVINCI MINI APTS-JONY PEREZ

REVISED BY:
 APPROVED BY:
 DRAWN BY: GILBERTO JIMENEZ
 DATE: 7/28/2025

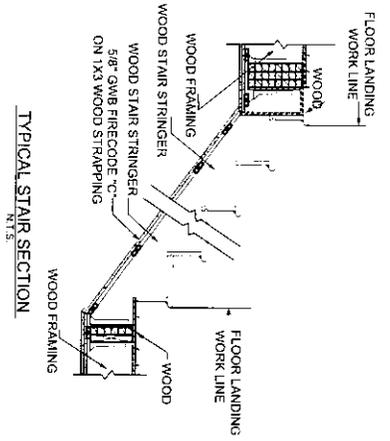
STRUCTURAL DETAILS
 SHEET 1 OF 30
 41



NOTE:
 CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (10TH EDITION OF THE MBSC 780 CMR) (2021 IBC AND THE COMMONWEALTH OF MASSACHUSETTS AMENDMENT TO THE INTERNATIONAL COMMERCIAL CODE 2021) AND THE CITY OF HAVERHILL ORDINANCES.

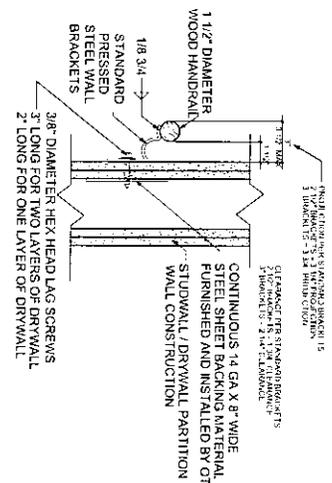


DETAILS STAIR
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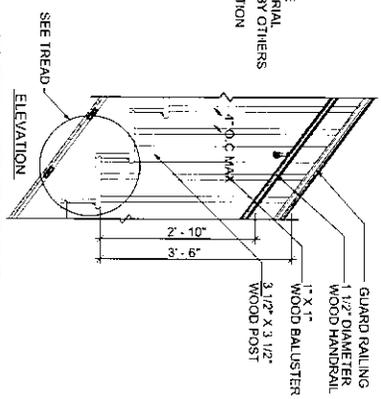


TYPICAL STAIR SECTION
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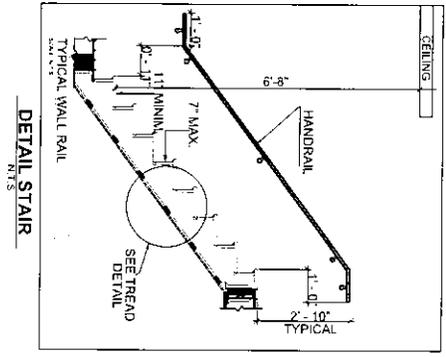
WALL HANDRAIL BRACKET MOUNTING DETAIL
 N.T.S.



PICKET RAIL INTERMEDIATE POST
 N.T.S.

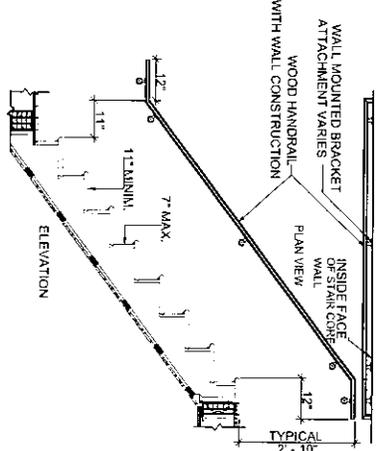


NOTE:
 CONTRACTOR/INSTALLER TO COORDINATE HANDRAIL ATTACHMENT & BLOCKING WITH RESILIENT CHANNELS ON DEMISING WALL

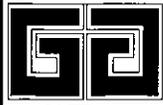
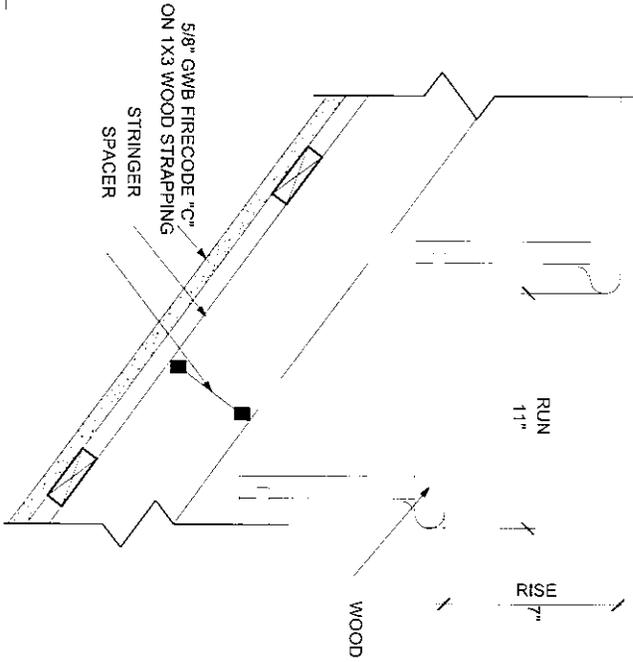


DETAIL STAIR
 N.T.S.

TYPICAL WALL RAIL
 N.T.S.



TYPICAL DETAILS STAIR
 N.T.S.



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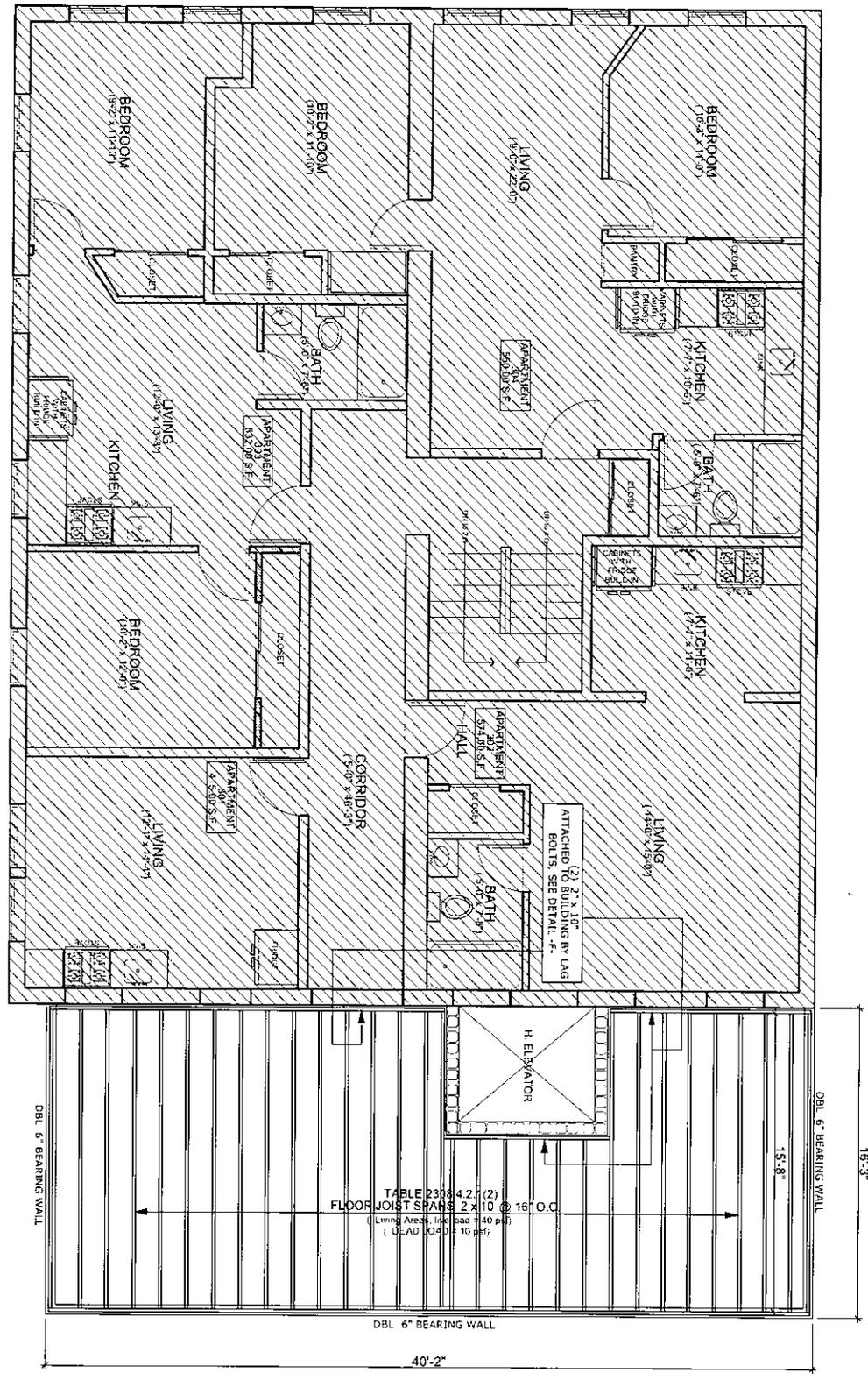
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 APPROVED BY:
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 DATE: 7/28/2025

TYPICAL DETAILS	
SHEET 1	31
	41

NOTE
 MDJ Incorporated made these plans to comply with owners' and builders' specifications. Any changes made to plans will be at the owners' and builders' expense and responsibility. The contractor shall verify all dimensions and enclosed drawings MDJ Incorporated is not liable for

NOTE:
 CONTRACTOR SHALL BEFORE START WORK VERIFY EVERY DIMENSION AND HEIGHT

FRAMING NOTES:
 1. ALL HANGERS ARE BY SIMPSON STRONG TIE
 2. FASTEN HANGERS TO EXTERIOR WALL DOUBLE TOP PLATE WITH SIMPSON STRONG TIE 2X4 HURRICANE TIES
 3. ALL HANGERS TO BE EXPOSED TO WEATHER
 4. SIMPSON STRONG TIE HANGERS TO BE EXPOSED TO WEATHER
 5. FOR A SINGLE END USE USE LUS2, OR DOUBLE END USE LUS2B
 6. FOR A SINGLE END USE USE LUS2B, FOR A DOUBLE END USE LUS2B-2



2ND FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0"



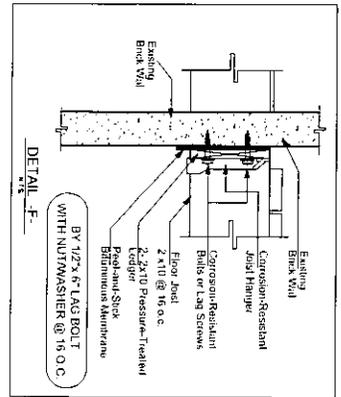
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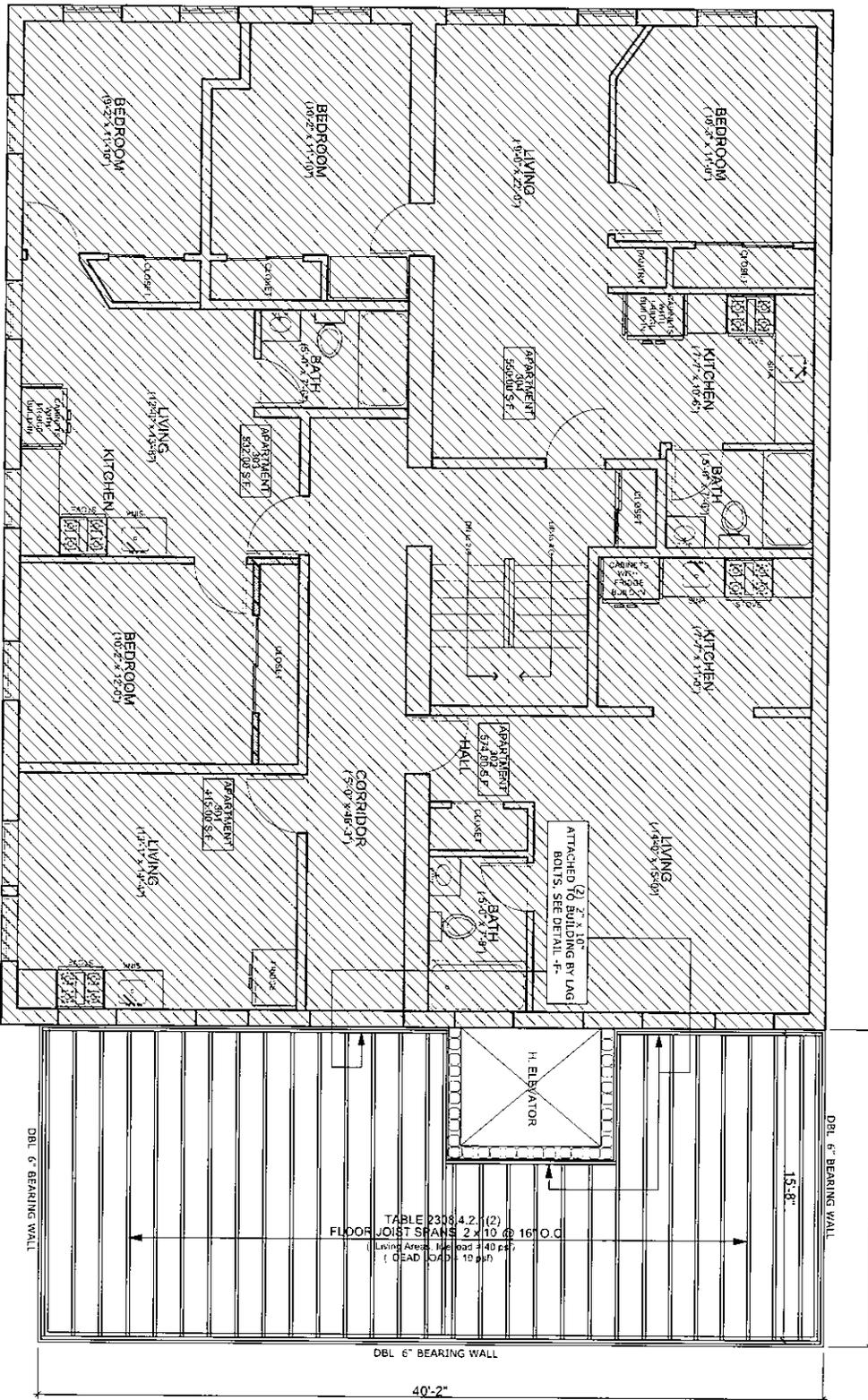
REVISED BY:
APPROVED BY:
DRAWN BY: GILBERTO JIMENEZ
DATE: 7/28/2025

FRAMING PLAN
 SHEET 1 33 41

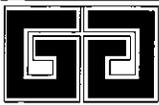


NOTE:
 CONTRACTOR SHALL BEFORE START WORK
 VERIFY EVERY DIMENSION AND HEIGHT

- FRAMING NOTES:**
1. ALL HANGERS ARE BY SIMPSON STRONG TIE
 2. FASTEN RAFTERS TO EXTERIOR WALL DOUBLE TOP PLATE WITH SIMPSON STRONG H2.5A HURRICANE TIES.
 3. HOT DIP GALVANIZED HANGERS EXPOSED TO WEATHER.
 4. SCREWS AND NAILS TO BE STAINLESS WHEN EXPOSED TO WEATHER.
 5. FOR A SINGLE 2x6 OR 2x8 USE LUS26. FOR DOUBLE 2x6 OR DOUBLE 2x8 USE LUS26-2P. FOR A SINGLE 2x10 USE LUS28. FOR A DOUBLE 2x10 USE LUS28-2.



3RD FLOOR FRAMING PLAN
 SCALE: 1/8"=1'-0"



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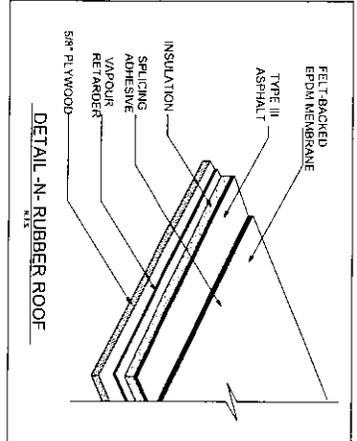
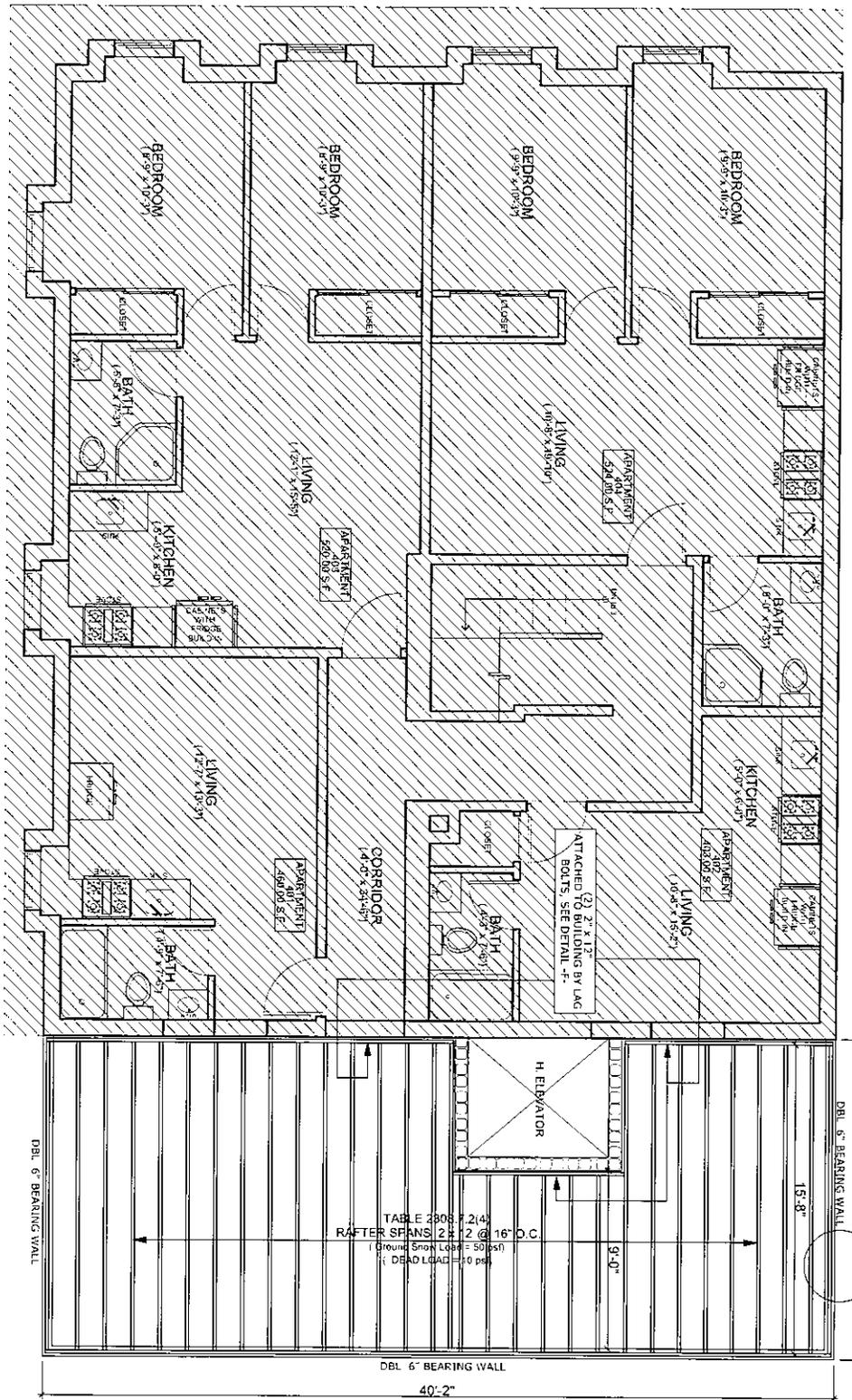
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REVISED BY:
 APPROVED BY:
 DRAWN BY: GILBERTO JIMENEZ
 DATE: 7/28/2025

FRAMING PLAN	
SHEET 1	34
	41

ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"



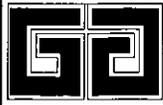
NOTE:
CONTRACTOR SHALL BEFORE START WORK
VERIFY EVERY DIMENSION AND HEIGHT

FRAMING NOTES:

1. ALL HANGERS ARE BY SIMPSON STRONG TIE
2. FASTEN RAFTERS TO EXTERIOR WALL DOUBLE TIE PLATE WITH SIMPSON STRONG HZ SA HURRICANE TIES.
3. HOT DIP GALVANIZED HANGERS EXPOSED TO WEATHER.
4. SCREWS AND NAILS TO BE STAINLESS WHEN EXPOSED TO WEATHER.
5. FOR A SINGLE 2x6 OR 2x8 USE LUS26. FOR DOUBLE 2x6 OR DOUBLE 2x8 USE LUS27. FOR A SINGLE 2x10 USE LUS26. FOR A DOUBLE 2x10 USE LUS27.

TABLE 2908.7.2(4)
RAFTER SPANS @ 16" O.C.

Ground Snow Load = 50 psf	2 @ 16" O.C.
DEAD LOAD = 10 psf	2 @ 16" O.C.



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Assoc. AIA
Professional Designer

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PROJECT: COMMERCIAL RESIDENTIAL BUILDING
ADDRESS: 125 MERRIMACK ST. HAVERHILL MA 01830
OWNER: DAVINCI MINI APTS-JONY PEREZ
PETITIONER: DAVINCI MINI APTS-JONY PEREZ

REVISED BY:
APPROVED BY:
DRAWN BY: GILBERTO JIMENEZ
DATE: 7/28/2025

FRAMING PLAN

SHEET	1	35	41
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JOIST HANGER SCHEDULE					
JOISTS	HANGER	FACE NAILS	TOP FLANGE NAILS	JOIST NAILS	
(SINGLE) 2x6 OR 2x8	LUS26	(4)10d	N/A	(4) 10d	
(DOUBLE) 2x6 OR 2x8	LUS26-2	(4)16d	N/A	(4)16d	
(SINGLE) 2x10 OR 2x12	LUS210	(8)10d	N/A	(4)10d	
(DOUBLE) 2x10 OR 2x12	LUS210-2	(8)16d-3"	N/A	(6)16d-3"	
RAFTERS 2x10	LSSR210Z	(14)10d-2"	N/A	(10)10d-2"	
RAFTERS 2x12	LSSR210Z	(14)10d-2"	N/A	(10)10d-2"	
(2)1/2"x1 1/2" LVL	MGU368-SDS	(24)1/2"x2 1/2" SDS	N/A	(16)1/2"x2 1/2" SDS	

SHEATHING/NAILING SCHEDULE

LOCATION	APA RATED (OR APPROVED) SHEATHING	MIN. PLYWOOD THICKNESS	BLOCKED PANEL EDGES REQ.	COMMON NAIL SIZE	NAIL SPACING			NOTES
					PERIMETER PANEL EDGES & DIAPHRAGM BOUNDARIES	OTHER PANEL EDGES	INTERMEDIATE FRAMING MEMBER	
FLOOR	AVANTECH SHEATHING	3/4"	NO	6	6" O.C.	16"	12" O.C.	
SHEAR WALL	ZIP SYSTEM SHEATHING	3/4"	YES	6	6" O.C.	N/A	12" O.C.	
ROOF	ZIP SYSTEM ROOF SHEATHING	3/4"	NO	6	6" O.C.	N/A	12" O.C.	

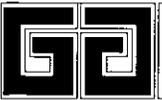
STRUCTURAL NOTES

- GENERAL NOTES:**
- ALL WORK SHALL CONFORM TO THE FOLLOWING STANDARDS
 - MASSACHUSETTS COMMERCIAL CODE 780 CMR
 - MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES - ASCE 7-10.
 - NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION - AIA/NDS-2005.
 - ALL CONTRACTORS SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, SEQUENCING OF OTHER TRADES, AND THE TECHNIQUES TO PRODUCE A SOUND AND QUALITY PROJECT. SHOWING IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL CONTRACTORS SHALL VERIFY AND COORDINATE ALL DIMENSIONS AND DETAILS RELATED TO THIS PROJECT. CONTRACTORS MUST INFORM ALL DISCREPANCIES BEFORE PROCEEDING.
 - ALL DETAILS AND NOTES SHOWN ON THE CONTRACT DOCUMENTS ARE TYPICAL FOR ALL SIMILAR CONDITIONS EXCEPT WHERE SPECIFICALLY REQUIRED OTHERWISE.
 - NO MAIN FRAMING OR STRUCTURAL MEMBERS ARE TO BE MODIFIED, ALTERED, OR CUT WITHOUT THE APPROVAL.
 - ALL CONTRACTORS SHALL BE RESPONSIBLE FOR ALL JOB SAFETY DURING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO SHEETING, SHORING, AND CUTTING STRUCTURES, BARRIERS, AND SIGNAGE.
- STRUCTURAL LOADS**
- PER MASSACHUSETTS STATE BUILDING CODE - 10TH EDITION
DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES - ASCE 7-10
- EXPOSURE B
- GROUND SNOW LOAD 50 PSF
- UNBALANCED SNOW LOAD 50 PSF
(ADDITIONAL ALLOWANCES FOR DRIFTING AND SLIDING SNOW)
- LIVE LOADS-LIVING SPACE 40 PSF
- FOURWORK - ACI 317.05
 - SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS ACI 301-05
 - COLD WEATHER CONCRETING ACI-306
 - DETAILING REINFORCING STEEL ACI 315-06
 - BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE ACI 318-11
 - BUILDING CODE REQUIREMENTS FOR PLAIN CONCRETE ACI 322-05.

WOOD FRAMING:

- ALL WOOD FRAMING SHALL CONFORM TO THE FOLLOWING STANDARDS
 - MASSACHUSETTS COMMERCIAL CODE 780 CMR
 - INTERNATIONAL BUILDING CODE - 2021 EDITION
 - NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION AIA/NDS-2005
- ALL FRAMING MEMBERS SHALL BE NOD 1 NO.2 OR BETTER WITH A MAXIMUM MOISTURE CONTENT OF 19%. UNLESS NOTED OTHERWISE.
- ENGINEERED LUMBER PRODUCTS SHALL HAVE THE FOLLOWING DESIGN VALUES OR BETTER:
 - COLUMNS: GRADE 3100 FB SP, F_b=3,100 PSI, F_c=1,133,000 PSI, E=1,800,000 PSI
 - BEAMS: GRADE 3100 FB SP, F_b=2,825 PSI, F_c=2,825 PSI, E=2,000,000 PSI
- ALL LUMBER AND PLYWOOD SHALL BE GRADE-STAMPED BY THE APPROPRIATE MANUFACTURER'S ASSOCIATION FOR THE APPROPRIATE USE.
 - ROOF: 19/32" SQUARE EDGE PLYWOOD WITH FRAMING CLIPS
 - FLOORS: 23/32" TONGUE & GROOVE PLYWOOD
 - WALLS: 15/32" PLYWOOD
- ROOF AND WALL SHEATHING SHALL COMPLY WITH THE FOLLOWING:
 - APA RATED SHEATHING. EXPOSURE 1 OR 2
 - ROOF SHEATHING SHALL HAVE A 40/20 SPAN RATING
 - ROOF SHEATHING SHALL HAVE ONE PANEL EDGE CLIP BETWEEN EACH SUPPORT
 - LEAVE A 1/8" EXPANSION GAP BETWEEN ALL PANELS AS REQUIRED BY APA
 - INSTALL SHEETS WITH FACE GRAIN PERPENDICULAR TO SUPPORTING MEMBERS
- ALL WOOD THAT CONTACTS CONCRETE, MASONRY, OR EARTH SHALL BE PRESSURE TREATED (PT) WITH A CCA-C 0.40 PROCESS. SEE MANUFACTURER'S RECOMMENDATIONS FOR FASTENING TO PT WOOD.
- ALL FRAMING SHALL BE PLUMB, TRUE, AND ADEQUATELY BRACED SUCH THAT THE STRUCTURE IS RIGID AND BEARS FULLY WITHOUT THE USE OF SHIMS.
- BUILD UP ALL FRAMING MEMBERS WITH 160 NAILS AT 16" O. C. MAXIMUM UNLESS NOTED OTHERWISE. PROVIDE PLYWOOD FILLERS BETWEEN MEMBERS TO MATCH WALL THICKNESS.
- PROVIDE SOLID BLOCKING UNDER ALL CONCENTRATED LOADS. PROVIDE CONTINUITY TO TOP OF FOUNDATION OR FOOTING.
- PROVIDE A DOUBLE TOP PLATE FOR ALL EXTERIOR WALLS W/SPICES STAGGERED BY 4 FEET MIN.
- FASTENERS SHALL COMPLY WITH THE FOLLOWING:
 - NAILS SHALL BE COMMON WIRE NAILS, GALVANIZED @ EXPOSED FRAMING
 - BOLTS, NUTS, AND WASHERS SHALL BE ASTM A-307, HOT DIP GALVANIZED AT EXTERIOR EXPOSED FRAMING CONFORMING TO ASTM A153
 - ALL WOOD MEMBERS TO BE NAILED PER THE MASSACHUSETTS RESIDENTIAL CODE 780 CMR 511.00.
 - PLYWOOD SHALL BE NAILED AT 6" O.C. AT ALL JOINTS AND EDGES & AT 10" O.C. AT OTHER SUPPORTS. GUE PLYWOOD SUB-FLOORS TO JOISTS BEFORE NAILING WITH CONSTRUCTION ADHESIVE.
- PROVIDE DOUBLE JOISTS UNDER PARALLEL PARTITION WALLS AT ALL FLOORS UNLESS OTHERWISE NOTED.

STRUCTURAL NOTES



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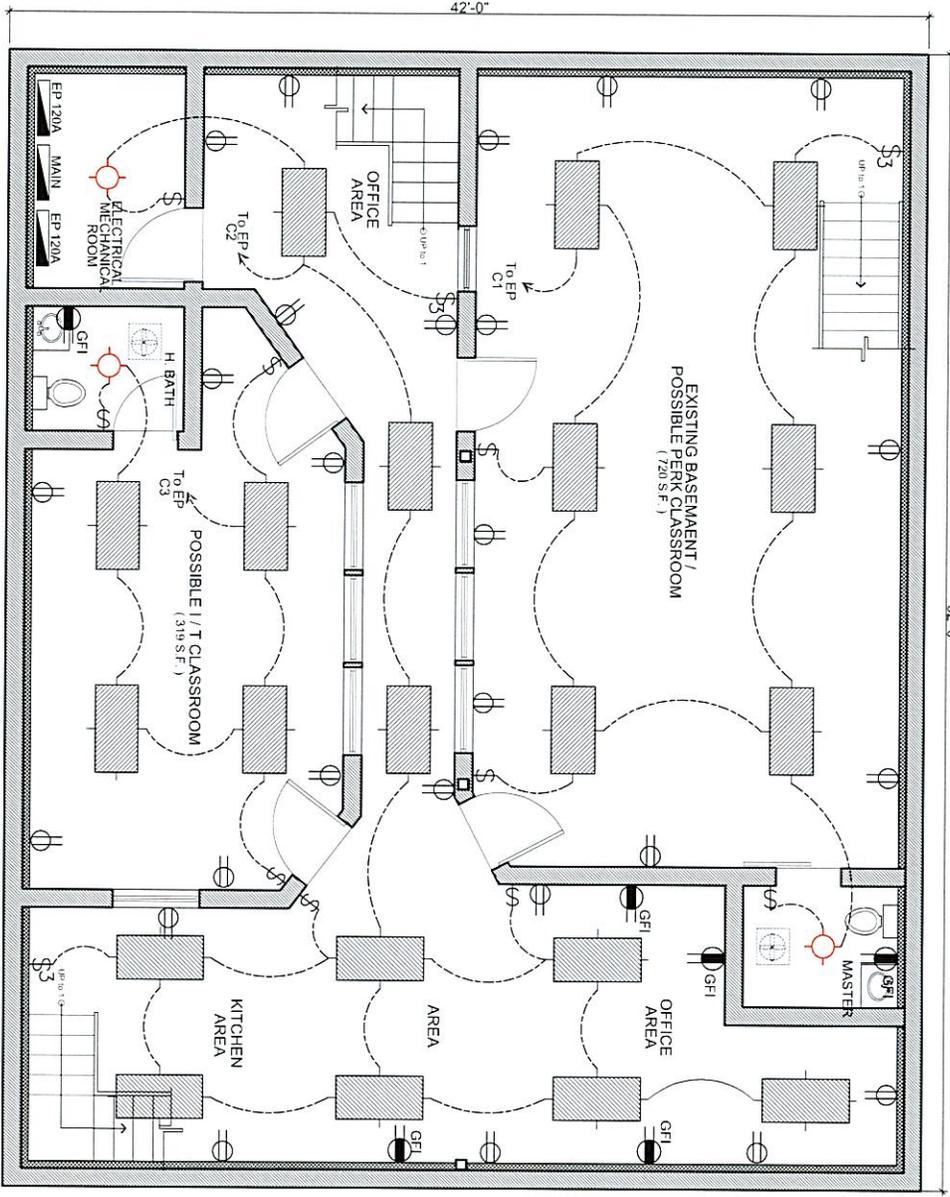
STRUCTURAL NOTES
1 36 41

ELECTRICAL SPECIFICATIONS:

1. THE ESTIMATE FOR THE ELECTRICAL WILL NOT INCLUDE ANY CHARGES FROM THE UTILITY COMPANY RELATED TO THE INSTALLATION OF THE MAIN ELECTRICAL SERVICE. (THE MAIN ELECTRICAL SERVICE WILL BE A 400 AMP, THREE-PHASE, FOUR-WIRE OVERHEAD SERVICE RUNNING TO THE BUILDING.)
2. ALL BRANCH CIRCUITS, SUB-PANELS, FEEDERS TO SUB-PANELS, ETC. WILL BE SIZED ACCORDING TO LOAD CALCULATIONS AS SPECIFIED BY THE NATIONAL ELECTRICAL CODE (NEC).
3. SUB-FEEDERS AS WELL AS MAIN FEEDER WIRE WILL BE ALUMINUM AND SIZED ACCORDING TO NEC STANDARDS.
4. WE WILL PROVIDE THE POWER WIRING ONLY FOR THE HVAC EQUIPMENT (CONTROL WIRING THE RESPONSIBILITY OF OTHERS).
5. THE FINAL FIRE ALARM COST WILL BE DETERMINED ONCE THE PLANS ARE APPROVED BY THE HAVERHILL FIRE DEPARTMENT.
6. ALL LIGHTING FIXTURES USED WILL BE THE RESPONSIBILITY OF THE OWNER.
7. WE WILL SUBMIT A SET OF FINAL ELECTRICAL PLANS OUTLINING WHAT WE WILL DO IN COMPLETING THE ELECTRICAL WORK FOR THE PROJECT.

LEGEND:

	DUPLEX RECEPTACLE		ELECTRICAL BREAKER PANEL
	DEDICATED RECEPTACLE		CEILING OUTLET LIGHTING
	GFI DUPLEX RECEPTACLE		2 x 4 LAMP OUTLET LIGHTING
	240V RECEPTACLE		WALL MOUNTED LIGHTS
	SAFETY DISCONNECT SWITCH		BATHROOM EXHAUST FAN
	LIGHTING SWITCH @ 48"		50 CFM 0.66 AMP CEILING/WALL MOUNTED MONOXIDE DETECTOR
	3WAY LIGHTING SWITCH @ 48"		COMBO MONOXIDE/CARBON DETECTOR
	SMOKE DETECTOR		MONOXIDE DETECTOR
	DUPLEX RECEPTACLE		ELECTRICAL BREAKER PANEL
	DEDICATED RECEPTACLE		CEILING OUTLET LIGHTING
	GFI DUPLEX RECEPTACLE		2 x 4 LAMP OUTLET LIGHTING
	240V RECEPTACLE		WALL MOUNTED LIGHTS
	SAFETY DISCONNECT SWITCH		BATHROOM EXHAUST FAN
	LIGHTING SWITCH @ 48"		50 CFM 0.66 AMP CEILING/WALL MOUNTED MONOXIDE DETECTOR
	3WAY LIGHTING SWITCH @ 48"		COMBO MONOXIDE/CARBON DETECTOR
	SMOKE DETECTOR		MONOXIDE DETECTOR



PROPOSED BASEMENT FLOOR PLAN
(ELECTRICAL)
SCALE: 1/4"=1'-0"



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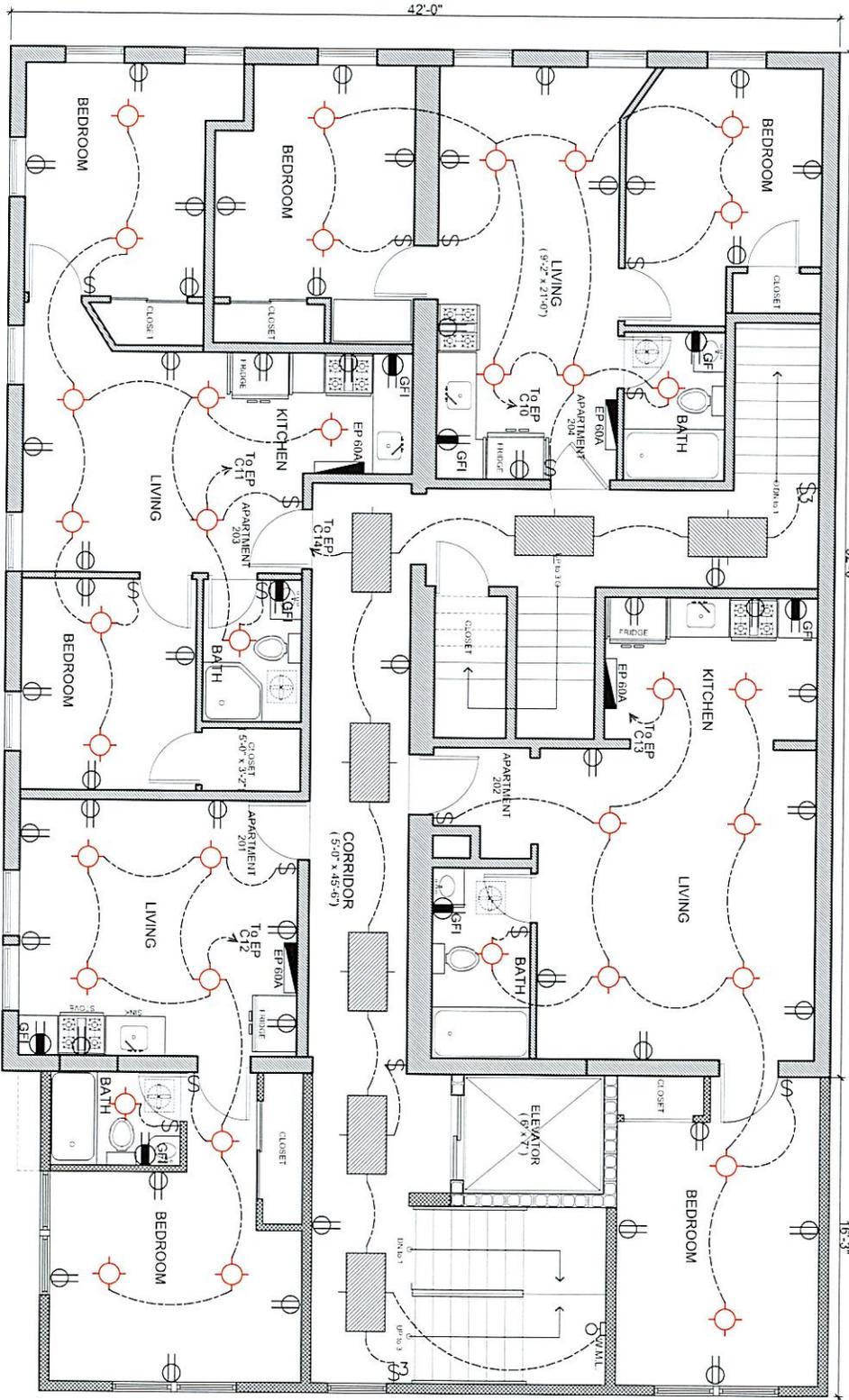
ELECTRICAL PLAN	
SHEET 1	37/41

ELECTRICAL SPECIFICATIONS:

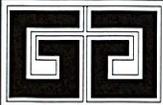
1. THE ESTIMATE FOR THE ELECTRICAL WILL NOT INCLUDE ANY CHARGES FROM THE UTILITY COMPANY RELATED TO THE INSTALLATION OF THE MAIN ELECTRICAL SERVICE. (THE MAIN ELECTRICAL SERVICE WILL BE A 400 AMP, THREE-PHASE, FOUR-WIRE OVERHEAD SERVICE RUNNING TO THE BUILDING.)
2. ALL BRANCH CIRCUITS, SUB-PANELS, FEEDERS TO SUB-PANELS, ETC. WILL BE SIZED ACCORDING TO LOAD CALCULATIONS AS SPECIFIED BY THE NATIONAL ELECTRICAL CODE (NEC).
3. SUB-FEEDERS AS WELL AS MAIN FEEDER WIRE WILL BE ALUMINUM AND SIZED ACCORDING TO NEC STANDARDS.
4. WE WILL PROVIDE THE POWER WIRING ONLY FOR THE HVAC EQUIPMENT (CONTROL WIRING THE RESPONSIBILITY OF OTHERS).
5. THE FINAL FIRE ALARM COST WILL BE DETERMINED ONCE THE PLANS ARE APPROVED BY THE HAVERHILL FIRE DEPARTMENT.
6. ALL LIGHTING FIXTURES USED WILL BE THE RESPONSIBILITY OF THE OWNER.
7. WE WILL SUBMIT A SET OF FINAL ELECTRICAL PLANS OUTLINING WHAT WE WILL DO IN COMPLETING THE ELECTRICAL WORK FOR THE PROJECT.

ELECTRICAL NOTES:

1. CONTRACTOR SHALL FURNISH ALL LABOR MATERIALS AND EQUIPMENT FOR COMPLETE ELECTRICAL INSTALLATION IN ACCORDANCE WITH THESE DRAWINGS.
2. CONPLY WITH THE NEC AND THE MASSACHUSETTS BUILDING CODE.
3. OBTAIN ALL PERMITS FOR WORK UNDER THIS CONTRACT.
4. NO APPLIANCE OUTLETS SHALL BE INSTALLED BELOW BASE FLOOD ELEV. ARCHITECTURAL FEATURES.
5. CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS.
6. A/C COMPRESSOR SHALL BE INSTALLED ABOVE BASE FLOOD ELEV.
7. MINIMUM COVER SHALL BE 2".
8. ALL MOUNTING HARDWARE SHALL BE BY CONTRACTOR.
9. ELECTRICAL OUTLETS BELOW BASE ELEV. SHALL BE INSTALLED AT THE HIGHEST PERMITTED ELEV. AND SHALL BE INSTALLED SEPARATELY AS INDEPENDENT CIRCUITS FROM THOSE IN THE HABITABLE AREAS.
10. MAIN CIRCUIT BRK PANELS SHALL BE LOCATED ABOVE BASE FLOOD ELEV.



PROPOSED SECOND FLOOR PLAN
(ELECTRICAL)
SCALE: 1/4"=1'-0"



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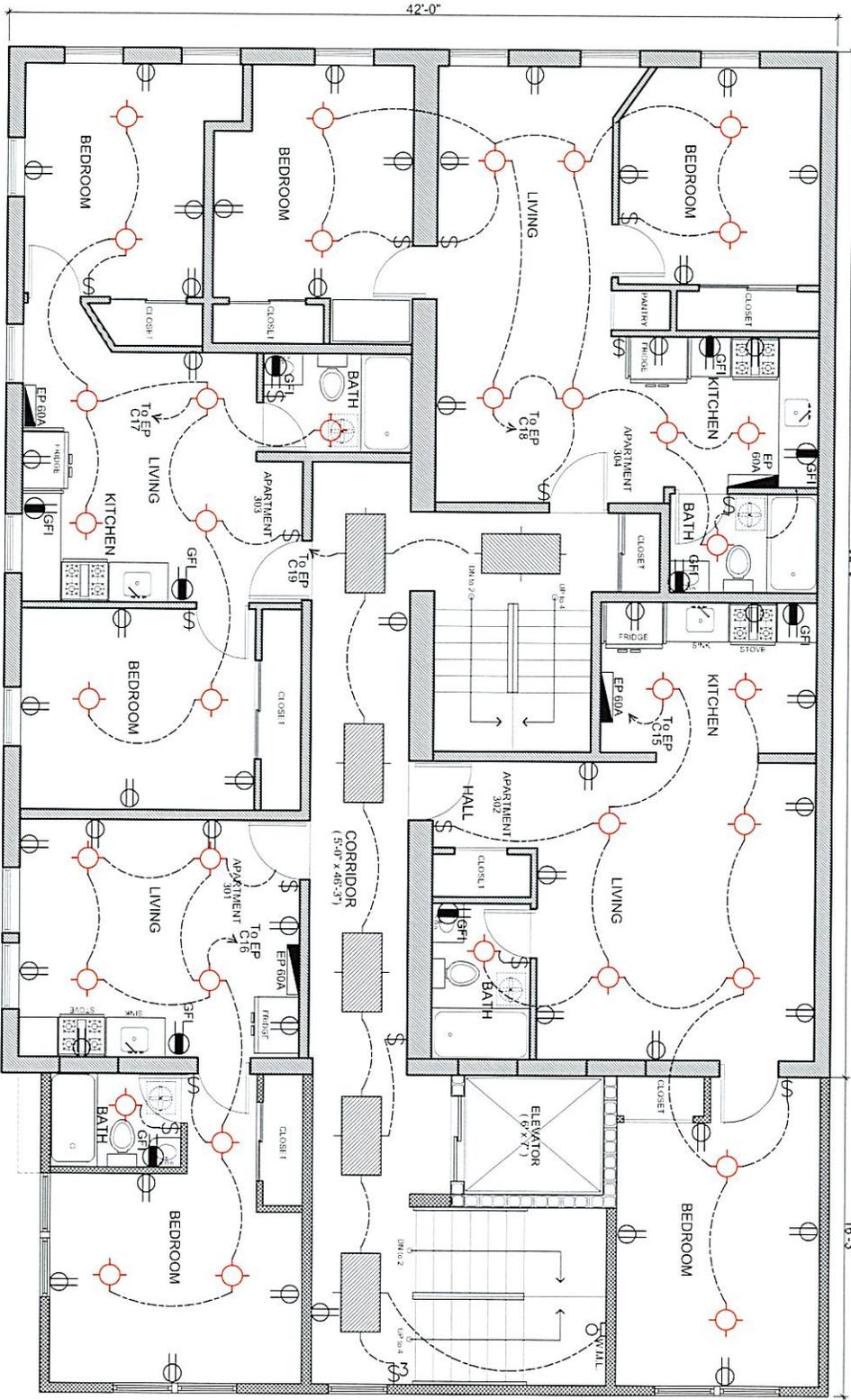
ELECTRICAL PLAN
SHEET 1 OF 39
41

ELECTRICAL SPECIFICATIONS:

1. THE ESTIMATE FOR THE ELECTRICAL WILL NOT INCLUDE ANY CHARGES FROM THE UTILITY COMPANY RELATED TO THE INSTALLATION OF THE MAIN ELECTRICAL SERVICE (THE MAIN ELECTRICAL SERVICE WILL BE A 400 AMP THREE-PHASE FOUR-WIRE OVERHEAD SERVICE RUNNING TO THE BUILDING.)
2. ALL BRANCH CIRCUITS, SUB-PANELS, FEEDERS TO SUB-PANELS, ETC. WILL BE SIZED ACCORDING TO LOAD CALCULATIONS AS SPECIFIED BY THE NATIONAL ELECTRICAL CODE (NEC).
3. SUB-FEEDERS AS WELL AS MAIN FEEDER WIRE WILL BE ALUMINUM AND SIZED ACCORDING TO NEC STANDARDS.
4. WE WILL PROVIDE THE POWER WIRING ONLY FOR THE HVAC EQUIPMENT (CONTROL WIRING THE RESPONSIBILITY OF OTHERS)
5. THE FINAL FIRE ALARM COST WILL BE DETERMINED ONCE THE PLANS ARE APPROVED BY THE HAVERHILL FIRE DEPARTMENT.
6. ALL LIGHTING FIXTURES USED WILL BE THE RESPONSIBILITY OF THE OWNER
7. WE WILL SUBMIT A SET OF FINAL ELECTRICAL PLANS OUTLINING WHAT WE FOR THE PROJECT

LEGEND:

	DUPLEX RECEPTACLE		ELECTRICAL BREAKER PANEL
	DEDICATED RECEPTACLE		CEILING OUTLET LIGHTING
	GFI DUPLEX RECEPTACLE		2' x 4' LAMP OUTLET LIGHTING
	240V RECEPTACLE		WALL MOUNTED LIGHTS
	SAFETY DISCONNECT SWITCH		BATHROOM EXHAUST FAN 7/16" x 7 1/2" x 3 5/8" 50 CFM 0.90 AMPS CEILING/WALL MOUNTED
	LIGHTING SWITCH @ 48"		MONOXIDE DETECTOR
	3WAY LIGHTING SWITCH @ 48"		
	SMOKE DETECTOR		
	COMBO MONOXIDE/CARBON DETECTOR		



PROPOSED THIRD FLOOR PLAN
(ELECTRICAL)
SCALE: 1/4" = 1'-0"



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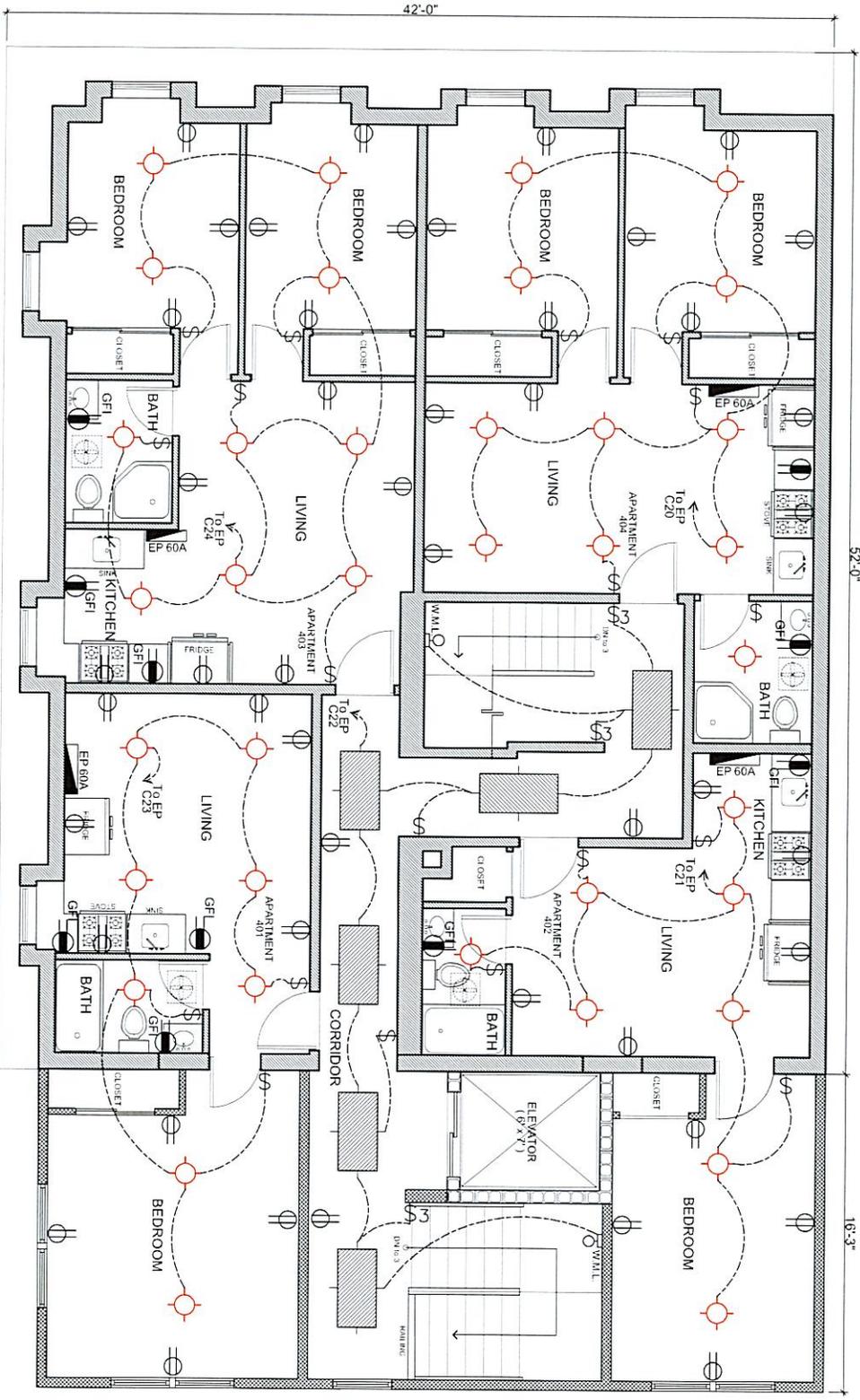
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ADDRESS: 125 MERRIMACK ST. HAVERHILL MA 01830
OWNER: DAVINCI MINI APTS-JONY PEREZ
PETITIONER: DAVINCI MINI APTS-JONY PEREZ

REVISED BY:
APPROVED BY:
DRAWN BY: GILBERTO JIMENEZ
DATE: 7/28/2025

ELECTRICAL PLAN	
1	40
LEHS	41

1. ALL WORK SHALL COMPLY WITH STATE AND LOCAL BUILDING CODES AND REGULATIONS.
2. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND PROCEDURES.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF THE CONSTRUCTION AND SHALL PROVIDE ADEQUATE SHORING AND BRACING TO ENSURE SUCH SAFETY.
4. ALL DIMENSIONS AND SITE CONDITIONS SHALL BE FIELD VERIFIED AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTIFY THE OWNER OR DESIGNER OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF WORK.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, AND TO PROTECT THEM FROM DAMAGE.
6. ALL DETAILS, SECTIONS, NOTES, OR REFERENCE TO OTHER DRAWINGS ARE INTENDED TO BE TYPICAL.
7. DURING CONSTRUCTION AND PRIOR TO THE INCORPORATION OF THE PERMANENT SECTIONS, MODIFICATIONS OR DEVIATION FROM THE CONDITIONS OF THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER OR DESIGNER AND OBTAIN APPROVAL FROM THE BUILDING INSPECTOR BEFORE PROCEEDING WITH THE WORK.
8. SPECIFIC NOTES AND DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS, WHERE NO DETAILS ARE SHOWN CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.
9. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION.
10. CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (10TH EDITION OF THE MBS:780 CM) (2021 IBC AND THE COMMONWEALTH OF MASSACHUSETTS AMENDMENT TO THE INTERNATIONAL COMMERCIAL CODE 2021) AND THE CITY OF HAVERHILL ORDINANCES.

GENERAL NOTES :



PROPOSED FOURTH FLOOR PLAN
(ELECTRICAL)
SCALE: 1/4"=1'-0"



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ELECTRICAL PLAN	
SHEET 1	41
	41



Jony M Perez, MBA
Chief Executive, Davinci Mini Apts
125 Merrimack Street
Haverhill, MA 01830
Tel.: (978) 375 – 0639
EMAIL.: jony_perez@hotmail.com

January 28, 2026

City Council
City of Haverhill
4 Summer Street
Haverhill, MA 01830

Special Permit Application
119-125 Merrimack Street, Haverhill, MA
City Council Rules and Regulations for Special Permits Information Required

General Criteria: General Special Permit Criteria

1. As required by the Special Permit criteria section of the Zoning Ordinance (Section 10.4.2), in order to grant a Special Permit, a Special Permit Granting Authority must make a written determination "that the proposed use or structure(s) shall not cause substantial detriment to the neighborhood or the City, taking into account the characteristics of the site and of the proposal in relation to that site." Under Section 10.4.2, "[i]n addition to any specific factors that may be set forth in th[e] [zoning] chapter, such determination shall include consideration of each of the following:
2. Community needs served by the proposal.
3. Traffic and pedestrian flow and safety, including parking and loading.
4. Adequacy of utilities and other public services
5. Neighborhood character and social structures
6. Impacts on the natural environment, and
7. Potential fiscal impact, including impact on City services, tax base, and employment.

Specific Findings Under Zoning Ordinance Section 10.4.2

8: Community needs served by the proposal.

9: We are redeveloping a vacant brick building in downtown Haverhill. Previous use was a dentist office on the first floor; stories above have been vacant for many decades.

Zoning District: Waterfront District C (WD-C) District
Permitted Uses: Mixed-use development is permitted with residential above and first floor commercial

Redevelopment of apartments units, modernizations and upgrades. The proposal is to increase the footprint of the building by ~600 square feet, add common space, add an elevator, and develop the following:

Bottom Floors: Davinci Child Center - 56 children EEC licensed high quality childcare program. The children served consists of 36 slots for infants and toddlers (from birth to 2.9 years old) and a PreK classroom of up to 20 children (from 2.9 to 5 years old). This new facility will employ 18-20 fulltime teachers, cooks, maintenance and administrative personnel.

Top 3 Floors: 12 - Units Lofts-Apartments (6x 2 Bedrooms, 6x 1 Bedroom). This will be high end, energy efficient spaces.

10: Traffic and pedestrian flow and Safety, including parking and loading.

11: Careful attention has been given to traffic flow and pedestrian safety in this development plan. The Haverhill Police Department has outlined several concerns typical with this type of institution, specifically during children drop-off and pick-up. We have modified the original plans to satisfy their concerns. This arrangement will also satisfy the requirement of no parking on How Street. Currently the site plans include parking for 10 vehicles: 5 parking spaces are allocated to drop-off and pickup of children and the other 5 parking spaces for tenants. These details of assigned parking spaces are outlined in the provided site plan filed with this Application.

To meet the parking requirements set by the city of ordinance our institution will have a contract to lease 7-10 parking spaces from the parking garage located on the corner of Merrimack and Main Streets. The mentioned garage is within 700 feet walking distance.

12: Adequacy of utilities and other public services.

13: The existing building is already connected to domestic water, fire service, and city sanitary systems, so no major utility extensions are required for this project. The proposed site plan fully complies with Section 6.3.3(8) concerning utilities, security, and emergency systems, ensuring all new connections meet city standards without the need for special approvals. City Departments have raised no concerns about utility availability currently. The project team will continue to collaborate closely with development services to confirm that all utility connections align with the city's expectations and requirements.

14: Neighborhood character and social structures.

15: The building will look amazing once it is cleaned up and the project is completed. The proposed addition is consistent with neighborhood character and social structures, as it will match the existing building in materials. The new annex addition will marginally increase the percentage of footprint on the site.

The children's playground will remove asphalt and replace it with grass and landscaping will improve sightlines of existing site. The dilapidated chain link fence will be replaced with a new black aluminum fence. Unsightly elements such as dumpsters will be shielded to the interior of the site and not visible from the street.

16: Impact on natural environment.

17: There are no expected impacts to the natural environment because of this project. The new annex addition will marginally increase the percentage of footprint on the site and the replacement of asphalt with grass and landscaping will increase permeable areas, allowing for improved natural rainwater infiltration.

18: Potential fiscal impact, including impact on City services, tax base, and employment.

19: This project will have no impact on city services. It is believed that this project will increase the tax base. No impact on schools. This project will create 18-20 fulltime employment opportunities for both teachers and non-teaching staff.

Specific Criteria: Specific Findings Under Zoning Ordinance Section 6.3.3

20. *[These standards apply to special permit applications for development review under*

21. Section 10.1.4 for multifamily, nonresidential or mixed use - omit this section if not applicable]

22. Zoning Ordinance Section 6.3.4 provides exemptions for the following: (a) emergency responses performed by a private entity or a public agency and fire or burglar alarms; (b) municipal uses and structures, including schools; and (c) parades, fairs, or outdoor entertainment between the hours of 7:00 a.m. and 11:00 p.m. so long as the City Council has granted a permit for not more than 10 days. Here, the proposed use [is/is not] exempt for the following reasons:

23. The City Council makes the following findings with respect to the standards set forth in Zoning Ordinance

Section 6.3.3 regarding lighting, noise, landscaping, stormwater management, site development standards, pedestrian and vehicular access, traffic management, aesthetics, utilities, and the City's general standards:

Lighting: The proposed lighting for this project will comply with city standard 6.3.3(1). The existing lot lighting will remain largely unchanged. The exterior of the building will include up-down lights to accentuate the brick façade, and the parking lot will have a light installed for safety and security.

Noise: The project will comply with city standard 6.3.3(2) as it pertains to noise. Construction will abide by the restrictions set forth in Chapter 182 of the Haverhill Code and 310 CMR 7.10 of the Department of Environmental Protection's regulations.

Landscaping: 6.3.3 (3) The children's playground will remove asphalt and replace it with grass and landscaping will improve sightlines of existing site. The dilapidated chain link fence will be replaced with a new 4' black aluminum fence. Four evergreen plants will be planted along the fence.

Stormwater Management: The existing on-site storm line will accommodate the new addition while maintaining its current outfall to the city sewer beneath How Street as per city standard 6.3.3(4). Additionally, the replacement of asphalt with grass and landscaping will increase permeable areas, allowing for improved natural rainwater infiltration.

Site Development Standards: The proposed development plan complies with all site development standards outlined in Section 6.3.3(5). The area of disturbance has been carefully minimized to accommodate the building addition, ensuring the new footprint aligns seamlessly with the existing building.

Pedestrian and Vehicular Access/Traffic Management: Careful attention has been given to traffic flow and pedestrian safety in this development plan ensuring adherence to Section 6.3.3(6). Pedestrian entrances are available in the building's front entrance and the back entrance to the parking lot area. The Haverhill Police Department has outlined several concerns typical with this type of institution, specifically during children drop-off and pick-up. We have modified the original plans to satisfy their concerns. This arrangement will also satisfy the local requirement of no parking on How Street. Currently the site plans include parking for 10 vehicles: 5 parking spaces are allocated to drop-off and pickup of children and the other 5 parking spaces for tenants. This arrangement of designated drop-off solves all issues traffic issues and provides a more secured interaction during drop-off and pickup.

Aesthetics: The proposed design of the building addition complies with the neighborhood compatibility requirement outlined in Section 6.3.3(7). The building addition will closely match the front façade of the existing building.

Utilities/Security/Emergency Systems: The existing building is already connected to domestic water, fire service, and city sanitary systems, so no utility extensions are required for this project. City development services have raised no concerns about utility availability currently. The project team will continue to collaborate closely with development services to confirm that all utility connections align with the city's expectations and requirements.

Other General Standards: The proposed project will cause no substantive change in the current facility's compliance with Section 6.3.3(9). The expansion will not be conducted in a manner as to emit any dangerous, noxious, injurious or otherwise objectionable fire, explosion, radioactive or other hazard; noise or vibration, smoke, dust, odor or other form of environmental pollution; electrical or other disturbance; glare; liquid or solid, refuse or wastes; conditions conducive to the breeding of insects, rodents or other substance, conditions or element in an amount as to affect adversely the surrounding environment. All operations shall be conducted in such a manner to comply with the laws of the Commonwealth of Massachusetts regulating air pollution.

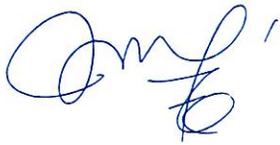
Based upon all the above as well as all the plans and other documents filed with this Application, we believe this Petition meets all the following requirements under Chapter 255 Section 10.4.2 for a Special Permit:

- A. The proposed addition will enhance downtown Haverhill's offerings. The project does not cause substantial detriment to the neighborhood or the City. The Site has an existing structure/use, and the additional will enhance the neighborhood. No objections to this project were received during Pre-development Review.
- B. Community needs for additional affordable apartments and high-quality childcare center are served by this proposal.
- C. Traffic and pedestrian flow and safety have been addressed and the required additional parking for the project is being contracted to the nearby garage.

- D. Adequate utilities and other public services are all supplied for this project. Property is on city water and sewer.
- E. The neighborhood character and structures have been addressed in the architectural designs of this project. The addition fits this lot and will fit in the neighborhood.
- F. There will be no impact to natural environment.
- G. The project will increase the city's tax base, create 18-20 fulltime jobs, provide 12 beautiful apartments and has no adverse impact on City services or City Schools.

Wherefore, the Petitioner would request that the Council approve this Special Permit.

Respectfully submitted.

A handwritten signature in blue ink, appearing to read 'Jony M Perez'.

Jony M Perez, MBA
Chief Executive, Davinci Mini Apts

119-125 Merrimack Street Haverhill, MA



PROJECT EXECUTIVE SUMMARY

Project Name: 125 Lofts Merrimack Street

Location: 119-125 Merrimack Street, Haverhill, MA 01830

Property Type: Vacant brick building in downtown Haverhill. Previous use was a dentist office (until summer of 2025) on the first floor; stories above have been vacant for many decades.

Zoning District: Waterfront District C (WD-C) District
Permitted Uses: Mixed-use development is permitted with residential above and first floor commercial

Construction Overview: Significant value-add through redevelopment of apartments units, modernizations and upgrades. The proposal is to increase the footprint of the building by ~ 600 square feet, add common space, add an elevator, and build the following:

First Floor: Davinci Child Center - 56 children EEC licensed high quality childcare program. The children served consists of 36 slots for

infants and toddlers (from birth to 2.9 years old) and a PreK classroom of up to 20 children (from 2.9 to 5 years old). This new facility will employ 18-20 fulltime teachers, cooks, maintenance and administrative personnel.

Top 3 Floors: 12 - Units Lofts-Apartments (6x 2 Bedrooms, 6x 1 Bedroom). This will be high end, energy efficient spaces and prices will be influenced by local trends. Also, our team will work to provide 25% of units to low-moderate income through Haverhill's housing authority clients.

In addition, the site plan allows for a children playground of 1000 sq. feet and parking for 10-vehicles (12-vehicles parking is required per city ordinance. The additional 2 parking spaces will be leased from existing city parking lot nearby.)

Project Plan:

1. **Phase 1 (Months 1-8):** Complete all Plans, Permitting and Interior Walls-In Demo.
2. **Phase 2 (Months 8-11):** Complete all rough construction and inspections as per City of Haverhill building code.
3. **Phase 3 (Months 11-13):** Complete all construction, finishes, and permitting.

Key Strengths:

- Strong submarket fundamentals (job growth, low vacancy).
- Proven value-add strategy with strong track record.
- Experienced management team.

Management Team:

Jony M Perez, MBA
CEO of Davinci Mini Apartments LLC and Davinci Child Center LLC
(978) 375 – 0639; jony_perez@hotmail.com

Cesar D. Perez, MM
Site Project Manager Davinci Mini Apartments LLC
(978) 420 – 8674; cesardavidpz@yahoo.com

Construction Funding: \$500K from Jony Perez and secured \$1.5M debt from Reading Cooperative Bank.

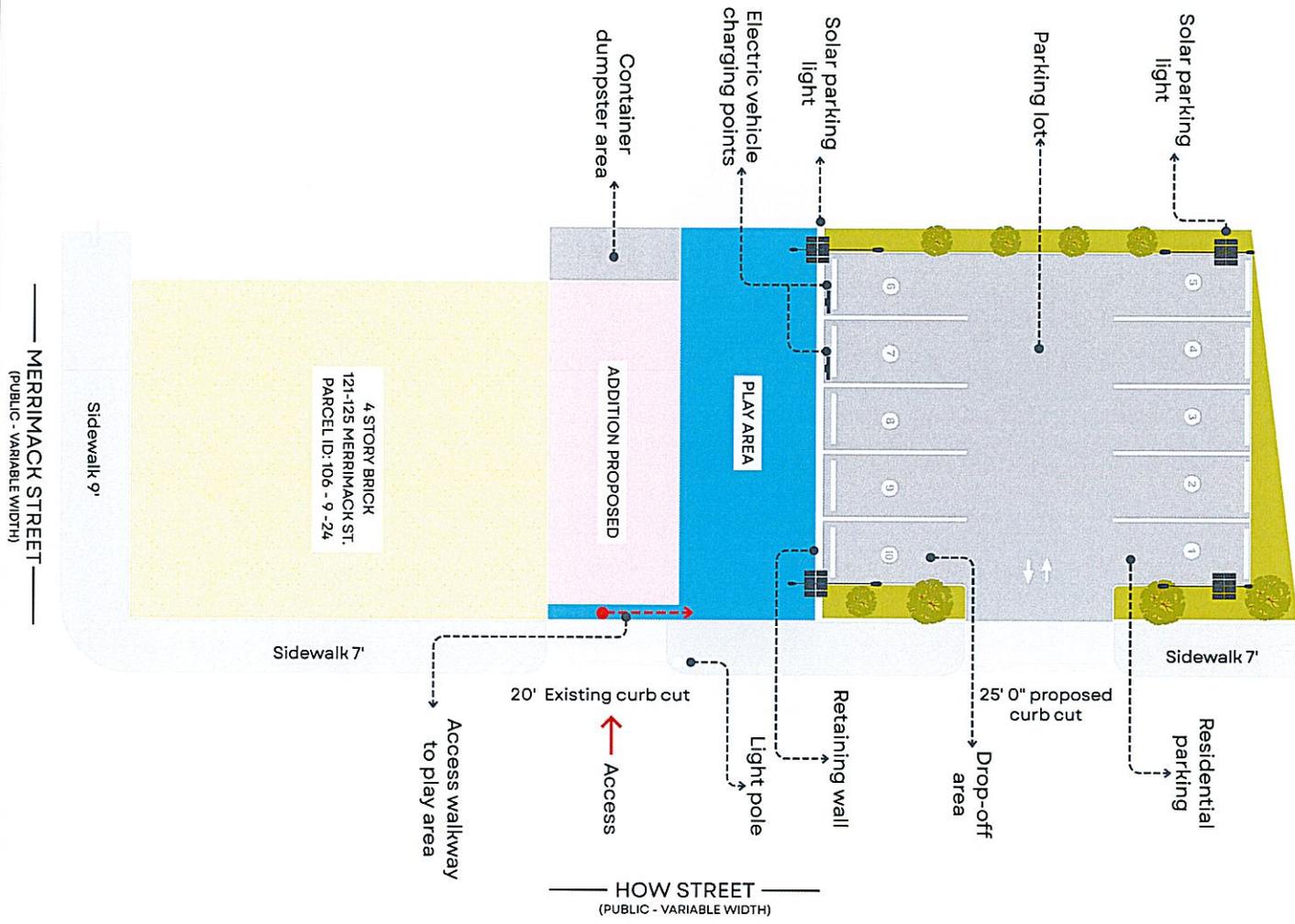
DAVINCI CHILD CENTER, LLC

Davinci Child Center was founded in 2005 by Jony Perez. Davinci Child Center has developed and operates 2 programs in Lawrence, Massachusetts: Parkside Children Academy on Jackson Street and Davinci Child Center on Avon Street. Our programs work with EEC's vouchers to provide high quality childcare to low-income families and is now serving ~200 children with ~50 full-time employees.

Davinci Child Center provides high-quality early childhood education and development programs that focus on health, safety and development of the whole child. Our administration, teachers, and assistants are dedicated to the growth and welfare of your child. We are committed to making our center the best choice for your child.

DAVINCI MINI APARTMENTS, LLC

Davinci Mini Apartments was started in 2014 to develop beautiful, energy efficient, and cost-effective environments where Davinci Child Center can operate. Davinci Mini Apartments has developed two building that were slated for demolition in Lawrence. Currently, these buildings provide the city of Lawrence with beautiful environments. Our company finances and provides maintenance to these facilities.



GJ
DESIGN GROUP LLC
 Assoc. AIA
 Professional Designer

118 WOODLAND ST LAWRENCE MA 01841
 978-601-2844 FAX 978-208-1335
 E. MAIL lach.o7812@gmail.com
 NOTE: THIS DESIGN IS THE INTELLECTUAL PROPERTY OF
 GILBERTO JIMENEZ GROUP. THEREFORE IT IS
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 DESIGN WITHOUT THE AUTHORIZATION OF THE AUTHOR.

PROJECT: COMMERCIAL RESIDENTIAL BUILDING
 ADDRESS: 125 MERRIMACK ST. HAVERHILL MA 01830
 OWNER: DAVINCI MINI APTS-JONY PEREZ
 PETITIONER: DAVINCI MINI APTS-JONY PEREZ

REVISED BY:
 APPROVED BY:
 DRAWN BY: GILBERTO JIMENEZ
 DATE: 1/30/2026

FLOOR PLAN
 SHEET 1 9 9



Jony M Perez, MBA
Chief Executive, Davinci Mini Apts
121 Merrimack Street
Haverhill, MA 01830
Tel.: (978) 375 – 0639
EMAIL.: jony_perez@hotmail.com

February 20, 2026

City Council
City of Haverhill
4 Summer Street
Haverhill, MA 01830

**Special Permit Application
Children Drop-Off and Pick-up Operations**

The following document will address concerns regarding the proposed drop-off and pick-up operations for this facility as per the police department and will answer the following concerns:

The applicant is requested to provide a detailed written traffic management plan addressing the following:

- 1. How vehicle flow will be managed during peak drop-off and pick-up times.*
- 2. How the facility will ensure that vehicles do not queue or line up on How Street.*
- 3. What contingency measures will be implemented if vehicle stacking or congestion occurs.*
- 4. How staff parking will be accommodated so as not to interfere with parent drop-off and pick-up operations.*

Additionally, with upcoming construction anticipated in the area, there is concern that roadway limitations and temporary disruptions may further complicate traffic flow. The applicant should address how construction impacts will be mitigated within the proposed traffic management plan.

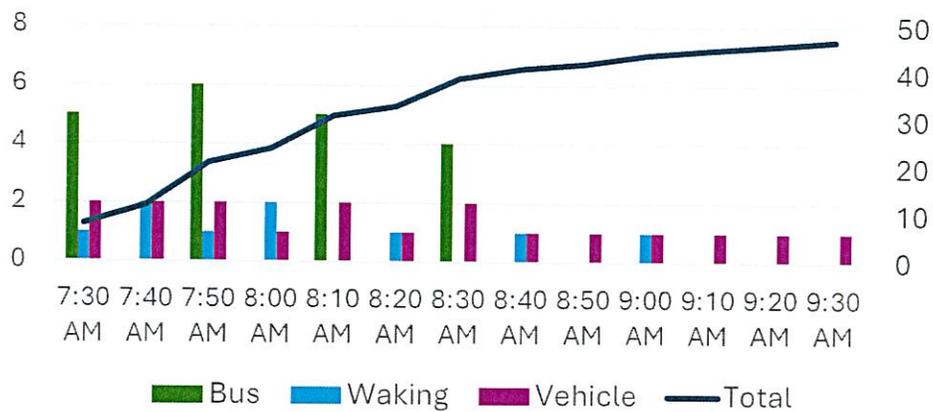
To ensure that our program has smooth children's arrivals and departures and to address concerns by the police department, we have put together a plan for arrival and departures for the proposed childcare program.

The following graphs have a projected arrival and departure schedule based on data from other programs. Note, that the asked capacity for the program is 56 children's slots, however, we anticipate that 80% of children attend on a given day on average.

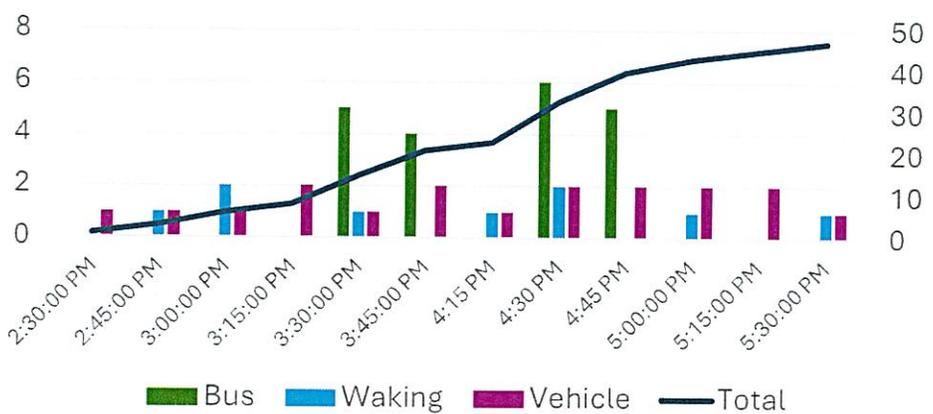
There are three methods of children arriving to the program:

- Buses (~50 %), 3-4 trips of 7D buses
- Walking (~15 %, we anticipate this number to increase in Downtown Haverhill)
- Vehicle (~35 %)

Davinci (121 Merrimack Street)
Projected Arrival Distribution



Davinci (121 Merrimack Street)
Projected Departure Distribution



We do not anticipate issues given the projected distribution arrivals and departures. First, one or two 7D buses will service the childcare program. The buses are scheduled

so that there is at least a :15 minutes time difference between arrivals. This ensures that only one parking slot is used for the buses. There are 4 designated parking spaces for buses and vehicles for the daycare program. So, the other three available spaces are available to parents that arrive by vehicles.

An administrative staff member is on duty working the arrivals and departures of children. And together with at least another teacher, this arrangement assists in a smoother and quicker transition and has proven invaluable in our other programs. Loading and unloading a 7D school bus generally is done in less than 5 minutes. Parent drop-off are also done in less than five minutes. Parents that want to meet the teachers and discuss children's progress are asked to come at a different time than drop-off or pickups.

In addition, our program will monitor the drop-off and pick-up times to ensure that in case were an inconvenience is noticed in the morning or afternoon the issue is addressed immediately, In case where continued issues are not resolved, our management will petition the City of Haverhill to designate a spot for drop-off and pick-up from 7:30AM to 9:30AM and from 2:30PM to 5:30PM in front of the building on Merrimack Street.

When fully operational, we anticipate that 5-7 parking spaces will be required for staff parking. These staff parking spaces are another issue that we are addressing by providing a long-term lease with the parking garage located on Merrimack Street.

Another concern is the EV charging stations for the tenants on the top three floors of the facility. These 2 charging stations will be in parking spaces designated for tenants only and will not be part of the drop-off spaces.

As with the upcoming construction anticipated in the area, there is concern that roadway limitations and temporary disruptions may further complicate traffic flow.

- In case where Merrimack Street is closed and not accessible, parents will be notified and asked to only use the How Street entrance. An administrative staff member and least another teacher will assist parents to minimize drop-off delays.
- In case were How Street is closed and not accessible, parents will be asked to properly park on Merrimack Street and hand off the children to our staff at the door to minimize traffic issues.

- In case both Merrimack and How Streets are closed to all traffic, parents will be notified that only walking's will be allowed for the duration of the street closures.

This Arrival and Departure plan not only addresses the concerns by the police department but also ensures that drop-off and pick-up times are quick and smooth.

Please advise if any additional concerns need addressing.

Respectfully submitted.

A handwritten signature in blue ink, appearing to read 'Jony M Perez'.

Jony M Perez, MBA
Chief Executive, Davinci Mini Apts



Storm Water Review

Record No. CCSP-26-1

Status Active

Became Active February 2, 2026

Type Approval

Due Date None

Assignee Robert Moore

Record No: CCSP-26-1

City Council Special Permit

Status: Active

Submitted On: 1/9/2026

Applicant



Jony Perez



978-375-0639



jony_perez@hotmail.com



121 Merrimack Street

Haverhill, MA 01830

Messages

Robert Moore

February 2, 2026 at 4:14 pm

1. Please provide civil site plan for actual proposed conditions.
2. The Plan of Land prepared by MES shows a CB in the parking lot, just off the NW building corner is connected to the Sanitary Sewer in How Street. Site plan must show the disconnection of this system from the sanitary.
3. Show new parking lot drainage system. New system must meet today's BMP design standards.
4. Design should include stormwater management improvements, such as the collection and recharge of roof runoff through an infiltration gallery. Standard is to design the system to accommodate the 1/2" rain event, with overflow then connecting to the drain main.
5. Site plan must include erosion and sediment control measures for any land disturbance that might be needed, i.e. protection of drainage system during any necessary parking lot reconstruction.
6. Submittal includes a general landscape plan (by G J Design Group, 1-30-26). Additional detail should be added to this sheet to demonstrate compliance with the landscaping requirements under C. 255-6.3. Please add such items as plant species, sizes, seed mixes, playground surface treatment...

@Shaun Burrier

Jony Perez

February 20, 2026 at 12:05 pm

Hi Robert, We are updating the site plan to address these concerns. New site plan should be uploaded next week. Thank you!

Kaitlin Wright  Internal

March 18, 2026 at 10:33 am

@Robert Moore please provide any updates to your review by close of business tomorrow 3/19 as this is coming before council next week.

Robert Moore

March 18, 2026 at 5:12 pm

@Kaitlin Wright @Shaun Burrier I understand this matter is slated for hearing at the March 24th Council meeting. We have not yet received the revised plan that Jony mentions on February 20th. The plan should not only address the departmental comments within this record, but should also demonstrate how the project will comply with the Performance Standards found within the Zoning Code under C. 255, s. 6.3. Should the Council look to move on this application Tuesday night, I would request any motion to

approve be conditioned to require the applicant to address all departmental comments to the satisfaction of the individual departments during the Development Review procedure.

Kaitlin Wright

March 19, 2026 at 8:49 am

@Robert Moore Would you recommend the matter be continued until the applicant provides the requested documents? It would seem that the application is not complete based off the requirements to draft another plan from the in person meeting. @Jacki Byerley can you weigh in?

Jacki Byerley

March 20, 2026 at 10:08 am

I would recommend the Council open the hearing and continue it to a later date until they file for the Site Plan of Section 10.8 and satisfy the comments received.



DPW Review

Record No. CCSP-26-1

Status Active

Became Active February 2, 2026

Type Approval

Due Date None

Assignee Robert Ward

Record No: CCSP-26-1

City Council Special Permit

Status: Active

Submitted On: 1/9/2026

Applicant



Jony Perez



978-375-0639



jony_perez@hotmail.com



121 Merrimack Street

Haverhill, MA 01830

Messages

Kaitlin Wright

March 18, 2026 at 10:32 am

@Robert Ward @Robert Kimball Please review as this is coming before Council on March 24th.

Messages

Kevin Lynch

February 16, 2026 at 12:57 am

The Police Department has concerns regarding the proposed drop-off and pick-up operations for this facility.

The applicant has indicated plans to operate 36 slots for infants and toddlers (birth to 2.9 years old) and one Pre-K classroom serving up to 20 children (2.9 to 5 years old). The facility will employ approximately 18–20 full-time staff members. Based on these numbers, there is concern that the available on-site parking will be insufficient to accommodate the anticipated traffic volume.

The current site plan reflects five designated parking spaces for drop-off and pick-up. However, it appears that the EV charging stations may be located within the same designated drop-off/pick-up area, which could further reduce usable short-term parking availability.

How Street is currently posted "No Parking," and Merrimack Street reflects only one handicap parking space in front of the building. This area is already heavily congested. The Department is concerned about the potential for excessive vehicle stacking and traffic congestion on How Street during peak drop-off (7:45 AM – 8:45 AM) and pick-up hours (4:30 PM – 6:00 PM).

The applicant is requested to provide a detailed written traffic management plan addressing the following:

1. How vehicle flow will be managed during peak drop-off and pick-up times.
2. How the facility will ensure that vehicles do not queue or line up on How Street.
3. What contingency measures will be implemented if vehicle stacking or congestion occurs.
4. How staff parking will be accommodated so as not to interfere with parent drop-off and pick-up operations.

Additionally, with upcoming construction anticipated in the area, there is concern that roadway limitations and temporary disruptions may further complicate traffic flow. The applicant should address how construction impacts will be mitigated within the proposed traffic management plan.

Jony Perez

February 20, 2026 at 11:59 am

Hi Kevin, we just uploaded a plan to address the concerns by the police department. Please advice. Thank you!

Kaitlin Wright  Internal

March 18, 2026 at 10:32 am

@Kevin Lynch please provide any updates to your review by close of business tomorrow 3/19 as this is coming before council next week.



Water/Wastewater Review

Record No. CCSP-26-1

Status Active

Became Active February 2, 2026

Type Approval

Due Date None

Assignee Shaun Burrier

Record No: CCSP-26-1

City Council Special Permit

Status: Active

Submitted On: 1/9/2026

Applicant



Jony Perez



978-375-0639



jony_perez@hotmail.com



121 Merrimack Street

Haverhill, MA 01830

Messages

Shaun Burrier

February 3, 2026 at 8:17 am

Please provide updated civil site plan showing sewer connection details including location, size of connection, materials, and slope.

Please submit water service application to include all fixture counts and any and all fire suppression requirements.

Jony Perez

February 20, 2026 at 12:05 pm

Hi Shaun, We are updating the site plan to address these concerns. New site plan should be uploaded next week. Thank you!

Kaitlin Wright  Internal

March 18, 2026 at 10:33 am

@Shaun Burrier please provide any updates to your review by close of business tomorrow 3/19 as this is coming before council next weeeek.



Building Inspector Review

Record No. CCSP-26-1

Status Active

Became Active February 2, 2026

Type Approval

Due Date None

Assignee Tom Bridgewater

Record No: CCSP-26-1

City Council Special Permit

Status: Active

Submitted On: 1/9/2026

Applicant



Jony Perez



978-375-0639



@ jony_perez@hotmail.com



121 Merrimack Street

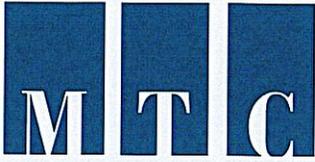
Haverhill, MA 01830

Messages

Kaitlin Wright

March 18, 2026 at 10:33 am

@Tom Bridgewater @Richard MacDonald Please review as this is coming before Council on March 24th.



Mead, Talerman & Costa, LLC
Attorneys at Law

30 Green Street
Newburyport, MA 01950

978.463.7700
www.mtclawyers.com

10.3

March 16, 2026

MAR 20 AM 9:10
HAVCITYCLERK

By Electronic Delivery

Tim Jordan
City Council President
Haverhill City Council
4 Summer Street,
Room 204
Haverhill, MA 01830

Re: Zoning Amendment / Battery Energy Storage Systems ("BESS")

Dear Mr. Jordan:

Reference is made to the above captioned matter. In that connection, on January 7, 2025 the former Economic Development Director submitted a Battery Energy Storage System Ordinance to the Council for your consideration. Since that time, the Mayor's office along with the Planning Director and myself have revised the 2025 submission. Additionally, the Department of Energy Resources has further issued guidance on BESS Zoning Ordinances. Finally, the Mayor has received comments from a potential developer of a BESS facility in the City.

I have attached for your advertisement and consideration a revised BESS Zoning Ordinance. I would ask that you table indefinitely the January 2025 Ordinance at the opening of the public hearing on this revised Ordinance, Further, I ask that the Council refer this Ordinance to the Planning Board for a public hearing and thereafter schedule a public hearing for the Council as well.

The Planning Director and I look forward to addressing questions you might have at the time of the public hearing.

Sincerely,

Atty. Lisa Mead, City Solicitor

Enclosure(s)

cc: Melinda E. Barrett, Mayor
Jacki Byerly, Planning Director

New Bedford Office
227 Union Street
New Bedford, MA 02740
Phone 774.206.6857

Millis Office
730 Main Street, Suite 1F
Millis, MA 02054
Phone 508.376.8400

10.3.1

MUNICIPAL ORDINANCE CHAPTER 255 Zoning

AN ORDINANCE RELATING TO AMENDING CHAPTER 255, ZONING BY ADDING A NEW SECTION 7.9 BATTERY ENERGY STORAGE SYSTEMS

BE IT ORDAINED by the City Council of the City of Haverhill that Chapter 255, Zoning, of the Code of the City of Haverhill, as amended, being and is hereby further amended as follows by inserting the following new section 7.9 entitled “Battery Energy Storage Systems”;

§7.9 BATTERY ENERGY STORAGE SYSTEMS

§7.9.1. Purpose.

The purpose of this Section is to advance and protect the public health, safety, welfare, and quality of life by creating regulations for the installation and use of free-standing battery energy storage systems (“BESS”), with the following objectives:

- A. To provide a regulatory scheme for the location, construction and operation of free-standing BESS consistent with best practices and safety protocols;
- B. To ensure compatible land uses in the vicinity of the areas affected by BESS and to mitigate any potential impacts on abutting and nearby properties; and
- C. To mitigate the impacts of BESS on environmental resources such as agricultural lands, forests, wildlife, wetlands and other natural resources.

This Section shall be construed to be consistent with state law, including but not limited to the provisions of General Laws chapter 40A, section 3, and state regulations, including but not limited to the provisions of the State Building Code, State Fire Code, and State Electrical Code. In the event of any conflict between the provisions of this section and the provisions of state law or regulations, the state law and regulations shall prevail.

§7.9.2. Establishment of the BESS Overlay District

The BESS Overlay District is an overlay district superimposed over the underlying district set forth in this Zoning Ordinance. Within the BESS, the requirements of the underlying district continue to apply, except when the following uses are proposed then the following provisions of this section 7.9 shall apply:

Tier 1 BESS

Tier 2 BESS and

Tier 3 BESS

§7.9.3 Applicability.

A. The requirements of this ordinance shall apply to BESS permitted, installed, decommissioned or modified after the effective date of this ordinance, excluding general maintenance and repair. BESS subject to this ordinance are only those that exceed the following capacities:

- Lead-acid with a capacity of greater than 70 kW
- Nickel with a capacity of greater than 70 kW
- Lithium-ion with a capacity of greater than 30 kW
- Sodium nickel chloride with a capacity of greater than 20 kW
- Flow with a capacity of greater than 20 kW
- Other battery technologies with a capacity of greater than 20 kW

B. Only BESS that meet the criteria herein shall be permitted under this ordinance. BESS permitted under and subject to this ordinance shall be classified either as a Tier 1, Tier 2 or Tier 3 BESS as set forth herein. All sizes noted in this section shall include the total capacity of the proposed facility and not refer solely as a limitation on total export. For avoidance of doubt, a proposed system which has an export capacity of 50 MW but has a total storage or redundancy capacity of 100 MW shall be treated as a 100 MW system.

1. Tier 1 BESS have an aggregate energy capacity less than or equal to 500 kWh, derive 51% or more of their power from Solar Energy Systems as defined herein, and, if in a room or enclosed area, consist of only a single energy storage system technology.
2. Tier 2 BESS consist of those which meet one or more of the following criteria;
 - a. have an aggregate energy capacity greater than 500kWh and less than 10 MWh, but no greater than 10 MWh;
 - b. are comprised of more than one storage battery facility in a room or enclosed area;
 - c. derive less than 51% of their power from Solar Energy Systems as defined herein.
3. Tier 3 BESS consist of those which meet one or more of the following criteria;
 - a. have an aggregate energy capacity greater than 10 MWh, but no greater than 350MWh;
 - b. are comprised of more than one storage battery facility in a room or enclosed area;

- c. derive less than 51% of their power from Solar Energy Systems as defined herein.

§ 7.9.4. General Requirements

- A. All permits required by state codes, including but not limited to building permit, an electrical permit, and a fire department permit shall be required for installation of all BESS.
- B. All BESS, all Dedicated Use Buildings, and all other buildings or structures that (a) contain or are otherwise associated with a battery energy storage system; and (b) subject to the requirements of the State Building Code, shall be designed, erected, and installed in accordance with all applicable provisions of the State Building Code 780 CMR, State Fire Code 527 CMR 1.00, and State Electrical Code 527 CMR 12.00. All BESS shall comply with NFPA 855, Standard for the Installation of Stationary Energy Storage Systems or subsequent standard.
- C. Energy storage system capacities, including array capacity and separation, are limited to the thresholds contained in NFPA 855 or subsequent standard.

§ 7.9.5. Permitting Requirements for Tier 1 BESS

Tier 1 BESS are allowed by right in all zoning districts, including the BESS Overlay District, subject to applicable provisions of the State Building Code, Electrical Code, Fire Code, and other applicable codes, and are subject to site plan review in accordance with section 10.8 hereof and such provisions of this ordinance as are applicable.

Tier 1 BESS and appurtenances shall be prohibited in the Zone A and Zone 1 public water supply protection areas.

§ 7.9.6. Permitting Requirements for, Tier 2 and Tier 3 BESS shall be permitted by Special Permit in the BESS Overlay District in accordance with the requirements below.

§ 7.9.6.1 Special Permit Required. Tier 2 and Tier 3 BESS subject to this ordinance require the issuance of a Special Permit in the BESS Overlay District and are subject to Major Site Plan Review pursuant to Section 10.8. Tier 2 and Tier 3 BESS shall comply with the applicable requirements set forth in this ordinance including the General Special Permit Criteria set forth in section 10.4.2, as well as this Section 7.9 , and the Haverhill General Ordinances. The City Council shall be the Special Permit Granting Authority ("SPGA"). The Applicant shall be required to submit all materials required in accordance with the SPGA Rules and Regulations, in addition to any other materials necessary or as may be required in order to support that the Application meets the Design Requirements set forth in section 7.9.6.2 herein.

§ 7.9.6.1.1 Development Review Required As Part of Hearing Process: For the purpose of a Special Permit filed hereunder, the Applicant shall be required to submit a complete application for a Special Permit in accordance with the Requirements hereunder. Following the opening of the Public Hearing by the SPGA, the Application shall be referred to the Development Review Committee as set forth in

§10.1.4 hereof. The Development Review Committee shall meet with the Applicant who shall be required to provide any additional information as the Committee may reasonably request and the Development Review Committee shall provide the SPGA with its recommendations within ninety (90) days of the date upon which the application was thereto referred.

§ 7.9.6.1.2 Prohibitions: Notwithstanding the foregoing, Tier 2 and Tier 3 BESS and appurtenances shall be prohibited in the Zone A and Zone I public water supply protection areas.

§ 7.9.6.2 Design Requirements. The following requirements apply to all BESS subject to this ordinance, except where it is specifically noted to apply only to Tier 2 or Tier 3 BESS:

- A. Site Plan Drawings. The Applicant shall provide a full set of Site Drawings stamped by a Massachusetts Registered Professional Engineer inclusive of items set forth in section 7.9.7.K.1 hereof.
- B. Utility Lines and Electrical Circuitry. All on-site utility lines shall be placed underground to the extent feasible and as permitted by the serving utility, with the exception of the main service connection at the utility company right-of-way and any new interconnection equipment, including without limitation any poles.
- C. Signage. Signage shall comply with the requirements of Section 6.2 of this Zoning Ordinance and the following additional requirements; in the event of a conflict between the provisions of Section 6.2 and this section, the requirements of this section shall control.
 1. The signage shall be in compliance with ANSI Z535 and shall include the type of technology associated with the BESS, any special hazards associated, the type of suppression system installed in the area of BESS, and 24-hour emergency contact information, including reach-back phone number.
 2. As required by the state electrical code, disconnect and other emergency shutoff information shall be clearly displayed on a light reflective surface. A clearly visible warning sign concerning voltage shall be placed at the base of all pad-mounted transformers and substations.
 3. Signage compliant with ANSI Z535 shall be provided on doors to rooms, entrances to BESS facilities, and on BESS outdoor containers.
- D. Lighting. Lighting of the BESS shall be limited to that minimally required for safety, security and operational purposes, shall be shielded from abutting properties, shall be directed downward, shall incorporate full cut-off fixtures to reduce light pollution and shall otherwise be consistent with local, state and federal law. A photometric plan shall be required.
- E. Vegetation and tree cutting. Areas within ten feet on each side of Tier 2 and Tier 3 BESS shall be cleared of combustible vegetation and other combustible growth. Single specimens of trees, shrubbery, or cultivated ground cover such as green grass, ivy, succulents, or similar plants used as ground covers shall be permitted provided that they do not form a means of readily transmitting fire. Removal of trees should be minimized to the extent possible. No tree or vegetation clearing shall be permitted within the Setbacks as noted below except for the

purposes of the area of ingress and egress to the site. Vegetation control in the Water Supply Protection Overlay District (WSPOD) shall be by mowing or other mechanical means. The use of synthetic pesticides, herbicides, and fertilizers shall be prohibited for BESS facilities within the WSPOD.

- F. **Setbacks.** Tier 2 and Tier 3 BESS shall be set back a minimum of 150 feet from all side, rear, and front lot lines; except that Tier 2 and Tier 3 BESS shall be set back a minimum of 300 feet from side, rear, and front lot lines that abut or are across a street from residential zoning districts or existing single, two-family, or multi-family structures. The minimum setback areas shall include a Buffer Area at least fifty feet wide along all property lines. Access drives and parking are allowed in the setback areas, except emergency access as noted below, but shall not intrude into the required setback areas except where necessary to provide access or egress to the property. In addition, a minimum of 50 feet must be maintained between BESS components and all buildings, stored combustible materials, hazardous materials, high-piled storage, personnel means of egress, and other exposure hazards not associated with electrical grid infrastructure. The Special Permit Granting Authority may waive these setback requirements so long as the approved setbacks protect the health and safety of nearby abutters.
- G. **Emergency Access:** There shall be a 60-foot-wide paved emergency access road around the complete perimeter of the facility but inside the required setback area which may not exceed a 7% grade at any time. Ongoing maintenance of the access road including snow removal after 3 inches of snow shall be included as part of the Operations and Maintenance Plan required herein.
- H. **Lot Size.** The minimum lot size for Tier 1 BESS shall not be less than 1 acre. The minimum lot size for a Tier 2 BESS shall be not less than 10 acres and the minimum lot size for a Tier 3 BESS shall be no less than 20.
- I. **Dimensional.** All BESS shall comply with the dimensional limitations for principal structures of the underlying zoning district as provided in Appendix B, Table 2, of this Zoning Ordinance, unless otherwise provided in this ordinance. No BESS shall exceed 15 feet in height and there shall be no vertical stacking of BESS units.
- J. **Fencing Requirements.** Tier 2 and Tier 3 BESS, including all mechanical equipment, shall be enclosed by a minimum eight-foot high fence with a self-locking gate to prevent unauthorized access unless housed in a dedicated-use building. All gates shall accommodate a knock box or other accessible means to allow access to public safety personnel. Security barriers, fences, landscaping, and other enclosures must not inhibit required air flow to or exhaust from the BESS and components. Electrical equipment greater than 1,000V require a separate and additional means to restrict access. NFPA 855 requires specialty safety systems to be provided based on the BESS chemistry and installed location.
- K. **Screening and Visibility.** Tier 2 and Tier 3 BESS shall have views minimized from adjacent properties to the extent reasonably practicable using architectural features, earth berms, landscaping, or other screening methods that will harmonize with the character of the property and surrounding area. Such features may not inhibit required air flow to or exhaust from the BESS and components and must comply with the setbacks established in paragraph G above.
- L. **Failure Protection.** All Tier 2 and Tier 3 BESS shall include an impenetrable layer beneath the

surface and no closer than four (4) feet to the closest water table which will cause any discharge to flow into a basin located on site which will then capture and/or treat any runoff as a result of a failed battery or fire or other destruction. The Application shall include details of the proposed catchment system along with a detailed stormwater report and stamped detailed engineering plans from a Massachusetts Registered Professional Engineer depicting the stormwater system. All BESS facilities located within the WSPOD shall have full containment to capture all releases, either intentionally from maintenance or accidental in nature. Release and runoff shall not be allowed.

- M. Batteries. Failed battery cells and modules shall not be stored on the site and shall be removed no later than 30 days after deemed failed by the BESS operator or cell/module manufacturer. The operator shall notify the Haverhill Fire Chief in advance if the type of battery or batteries used onsite is to be changed. All failed battery cells and modules shall not be stored outdoors and must be protected from further damage and potential release of contaminants to the environment.
- N. Storage. No equipment or hazardous materials, in liquid, dry, or gas form, shall be stored onsite of the BESS other than those items in quantities necessary for the proper operation of the facility. Any storage for materials deemed necessary shall be properly labeled, covered and contained to protect from release to the environment.
- O. Acoustical Impacts. No system shall cause an increase in acoustical levels over ambient at the Property line. An acoustical study prepared by a Massachusetts Registered Acoustical Engineer shall be provided.
- P. Water Source. A municipal water source shall be provided including a FDC within 100 feet before the entrance to the Hazard Area on the Property. The Applicant shall present evidence including a hydraulic analysis in accordance to the City standard to support that there is adequate volume and pressure for fire suppression on the Property and not have a detrimental impact on the surrounding neighborhood. The applicant shall be required to make any related offsite improvement to achieve the required standard to alleviate any impact on the adjacent users.
- Q. Stormwater Management. The applicant shall submit a stormwater management plan consistent with the Massachusetts Stormwater Management Policy.
- R. Decommissioning Plan. The applicant shall submit with its application a decommissioning plan for all BESS to be implemented upon abandonment and/or in conjunction with removal of the facility. The owner or operator of the BESS shall notify the Building Commissioner in writing at least twenty days prior to when a BESS will be decommissioned. Decommissioning of an abandoned or discontinued BESS shall be completed within six months after the facility ceases operation. The decommissioning plan shall include:
 - 1. A narrative description of the activities to be accomplished, including who will perform that activity and at what point in time, for complete physical removal of all BESS components, structures, equipment, security barriers, and transmission lines from the site;
 - 2. Disposal of all solid and hazardous waste in accordance with local, state, and

federal waste disposal regulations;

3. The anticipated life of the BESS;
 4. The estimated decommissioning costs and how said estimate was determined, including an allowance for annual cost of living increases or increases due to inflation;
 5. The method of ensuring that funds will be available for decommissioning and restoration;
 6. The method by which the decommissioning cost will be kept current;
 7. The manner in which the site will be restored, including a description of how any changes to the surrounding areas and other systems adjacent to the BESS, such as, but not limited to, structural elements, building penetrations, means of egress, and required fire detection suppression systems, will be protected during decommissioning and confirmed as being acceptable after the system is removed; and
 8. A listing of any contingencies for removing an intact operational energy storage system from service, and for removing an energy storage system from service that has been damaged by a fire or other event.
- S. Decommissioning Fund. The owner and/or operator of the energy storage system, shall continuously maintain a fund or other surety acceptable to the City, in a form approved by the City Council and City Solicitor, for the removal of the BESS, in an amount to be determined by the City, and which includes the City as loss payee, for the period of the life of the facility. All costs of the financial security shall be borne by the Applicant.
- T. Proof of Liability Insurance. The applicant or property owner shall provide evidence of commercial liability insurance in an amount and type generally acceptable in the industry and approved by the Planning Board prior to the issuance of a building permit, and shall continue such insurance in effect until such facility has been decommissioned, removed, and the site restored in accordance with this ordinance.

§ 7.9.6.3 Special Permit Criteria. In addition to the general Special Permit criteria set forth in section 10.4.2 of this Ordinance, an application for Tier 2 or Tier 3 BESS shall meet the following criteria:

- A. The project protects the ground water and surrounding properties from catastrophic failure of one or more of the batteries or cells by implementing appropriate catchment and filtration systems for water run off or run off from the system.
- B. The project appropriately attenuates sound intrusion beyond the property lines onto adjacent properties so that there is no change in ambient sound after construction and during operations of the system.
- C. The project includes only dark sky compliant down lighting which does not intrude beyond the property lines onto adjacent properties.

D. The project is secure and addresses possible trespass or other intrusion by individuals not affiliated with the project.

E. The project meets the public safety needs of the City.

F. The project minimizes visual impacts from utility infrastructure for interconnection.

F. The project is minimally visible from adjacent properties.

§ 7.9.7. Site Plan application.

For all BESS the Site Plan application shall include the following information, in addition to that required by Section 10.8 of this Zoning Ordinance and the applicable Planning Board requirements governing Site Plan Applications:

A. Utility Infrastructure information requirements:

1. A one- or three-line electrical diagram detailing the BESS layout, associated components, and electrical interconnection methods, with all State Electrical Code compliant disconnects and over current devices.
2. The Applicant shall provide certified verification that there is a fully executed Interconnection Services Agreement (“ISA”) with the local utility distribution company. Said certification shall include the cover and signature pages of the ISA.
3. If the ISA has not been issued, the Applicant shall be required to provide a full copy of the Application for Interconnection filed with the local utility distribution company.

B. Preliminary equipment specification sheets that document the proposed BESS components, inverters and associated electrical equipment that are to be installed. A final equipment specification sheet shall be submitted prior to the issuance of building permit.

C. Name, address, and contact information of proposed or potential system installer and the owner and/or operator of the BESS. Such information of the final system installer shall be submitted prior to the issuance of building permit.

D. Large-scale fire test data, evaluation information, and calculations, and modeling data. For any of the following, UL 9540A fire test data must be made available to the Planning Board for review:

- BESS systems with a capacity of greater than 50 kW
- BESS systems with spacing between arrays of less than 3 feet

E. Commissioning Plan. The system installer or commissioning agent shall prepare a commissioning plan prior to the start of commissioning. Such plan shall be compliant with NFPA 855 and document and verify that the system and its associated controls and safety

systems are in proper working condition per requirements set forth in applicable state codes. Where commissioning is required by the Building Code, BESS commissioning shall be conducted by a Massachusetts Licensed Professional Engineer after the installation is complete but prior to final inspection and approval. A corrective action plan shall be developed for any open or continuing issues that are allowed to be continued after commissioning. A report describing the results of the system commissioning and including the results of the initial acceptance testing required by applicable state codes shall be provided to Zoning Enforcement Officer prior to final inspection and approval and maintained at an approved on-site location.

- F. Fire Safety Compliance Plan. Such plan shall document and verify that the system and its associated controls and safety systems are in compliance with state codes, including documentation that BESS components comply with the safety standards set forth in subsection 7.9.9. Such plan shall also include a detailed training plan for public safety personnel.
- G. Operation and Maintenance Manual. Such plan shall describe continuing BESS maintenance and property upkeep, as well as design, construction, installation, testing and commissioning information and shall meet all requirements set forth state codes and NFPA 855. Maintenance provisions will be driven by manufacturer requirements for the specific listed system. It shall address maintenance of the access and perimeter roadways, perimeter fencing, and shall include a snow removal plan and 24 hours access requirements by public safety officials. There shall be an annual; acoustical review to assure ongoing compliance with the requirement of no change from ambient at the property line and fire department inspection.
- H. Depending on the location of the BESS in relation to and its interaction with the electrical grid, interconnection will be completed per 527 CMR 12.00. System interconnections into utility grids shall be in accordance with NFPA 855 and the local distribution company standards for interconnection of distributed energy resources. An accessible disconnect is required per 527 CMR 12.00.
- I. Prior to the issuance of the building permit, As Built engineering documents must be signed and sealed by a Massachusetts Licensed Professional Engineer and provided to the Building Commissioner and Planning Department .
- J. Emergency Operations Plan. An Emergency Operations Plan compliant with NFPA 855 is required. A copy of the approved Emergency Operations Plan shall be given to the system operator, the local fire department, local fire code official and police department. For so long as the BESS is operational, the operator shall provide the Fire Department, Police Department, Building Commissioner, and Mayor's office with contact information for personnel that can be reached 24 hours per day every day, and this contact information shall be updated by the operator whenever there is a change in the information. The operator shall also be required to have an official representative be present onsite not later than two hours after notification by the Fire Chief, Police Chief, or their designee. A permanent copy shall also be placed in an approved location to be accessible to facility personnel, fire code officials, and emergency responders. The emergency operations plan shall include the following information:

1. Procedures for safe shutdown, de-energizing, or isolation of equipment and systems under emergency conditions to reduce the risk of fire, electric shock, and personal injuries, and for safe start-up following cessation of emergency conditions.
2. Procedures for inspection and testing of associated alarms, interlocks, and controls, including time intervals for inspection and testing.
3. Procedures to be followed in response to notifications from the Battery Energy Storage Management System, when provided, that could signify potentially dangerous conditions, including shutting down equipment, summoning service and repair personnel, and providing agreed upon notification to fire department personnel for potentially hazardous conditions in the event of a system failure.
4. Emergency procedures to be followed in case of fire, explosion, release of liquids or vapors, damage to critical moving parts, or other potentially dangerous conditions. Procedures can include sounding the alarm, notifying the fire department, evacuating personnel, de-energizing equipment, and controlling and extinguishing the fire.
5. Response considerations similar to a safety data sheet (SDS) that will address response safety concerns and extinguishment when an SDS is not required.
6. Procedures for safe disposal of BESS equipment damaged in a fire or other emergency event, including maintaining contact information for personnel qualified to safely remove damaged BESS equipment from the facility.
7. Other procedures as determined necessary by the City to provide for the safety of occupants, neighboring properties, and emergency responders.
8. Procedures and schedules for conducting drills of these procedures and for training local first responders on the contents of the plan and appropriate response procedures.

K. Each Application shall be accompanied by the following information:

1. A certified plot plan at a minimum scale of one inch equals 40 feet and a maximum scale of one inch equals 20 feet. The site plan shall contain:
 - a. Date of site plan with all revisions noted and dated. Title of development, North arrow, scale, map and lot number, name and address of record owner, name and address of person preparing the site plan.
 - b. The names of all owners of record of adjacent properties, and the map and lot number of the properties and all buildings.
 - c. Zoning district boundaries and flood zone boundaries shall be shown as they affect the property including limits of the WSPOD and public water supply Zone A and Zone I on the overall site plan.
 - d. Boundaries of the property and lines of existing street, lots, easements and

- areas dedicated to public use, including rights of way.
 - e. A locus map showing the location of the property with reference to surrounding area.
 - f. A table indicating all calculations necessary to determine conformance to Bylaw regulations including current required and proposed regulations.
 - g. Square footage of property to the nearest 10 square feet.
2. All plans must include the location of existing and proposed buildings, walls, fences, culverts, parking areas, loading areas, walkways and driveways.
- a. Location and dimensions of utilities, gas, telephone, electrical, communications, water drainage, sewer and other waste disposal.
 - b. Location, type and dimensions of landscaping and screening.
 - c. Location of existing rock outcroppings, high points, vistas, ponds, depressions, wetlands, major trees (twelve-inch caliper and over) and any other significant existing features.
 - d. Two-foot contours where slopes are less than 15% and five-foot contours when 15% or more. Existing contours shall be indicated by dashed line. Proposed contours shall be indicated by solid line.
 - e. Dimensioned schematic drawings of all proposed buildings. Scale shall not exceed ¼ inch equals one foot nor less than 1/8 inch equals one foot.
 - f. A narrative describing the proposal and addressing the foregoing requirements.
 - g. Location of street numbers indicated on the schematic drawings and/or site plan.
 - h. Surface and water pollution. A report on the impact of Stormwater runoff on adjacent and downstream surface water bodies, subsurface groundwater and the water table.
 - i. Soils. The potential dangers of erosion and sedimentation caused by the operation and maintenance of the proposed development.
 - j. General environmental impact. A report on the relationship of the proposed development of the major botanical, zoological, geological and hydrological resources of the site, and compatibility of the proposed development with adjacent or surrounding land uses and neighborhoods.
 - k. Traffic impact. A report on existing street capacities, estimated average

daily traffic generation, composition, peak hour levels and directional flows resulting from the proposed development, proposed methods to mitigate the estimated traffic impact and methodology and sources used to derive existing data and estimations.

1. Renderings showing the proposed project in relationship to its surroundings.

§ 7.9.8. Ownership Changes.

If the owner of the BESS changes or the owner of the property changes, the Special Permit shall remain in effect, provided that the successor owner or operator assumes in writing all of the obligations of the Special Permit, Site Plan approval, and decommissioning plan. A new owner or operator of the BESS shall notify the Building Commissioner of such change in ownership or operator within 14 days of the ownership change. A new owner or operator must provide such notification to the Building Commissioner in writing.

§ 7.9.9. Safety

System Certification. BESS and equipment shall be listed by a Nationally Recognized Testing Laboratory to UL 9540 (Standard for BESS and Equipment) or approved equivalent, with subcomponents meeting each of the following standards as applicable:

- A. UL 1973 (Standard for Batteries for Use in Stationary, Vehicle Auxiliary Power and Light Electric Rail Applications),
- B. UL 1642 (Standard for Lithium Batteries),
- C. UL 1741 or UL 62109 (Inverters and Power Converters),
- D. Certified under the applicable electrical, building, and fire prevention codes as required.
- E. Alternatively, field evaluation by an approved testing laboratory for compliance with UL 9540 (or approved equivalent) and applicable codes, regulations and safety standards may be used to meet system certification requirements.

Site Access. BESS shall be maintained in good working order and in accordance with industry standards. Site access shall be maintained, including snow removal at a level acceptable to the local fire department.

BESS, components, and associated ancillary equipment shall have required working space clearances, and electrical circuitry shall be within weatherproof enclosures marked with the environmental rating suitable for the type of exposure in compliance with NFPA 70.

§ 7.9.11. Abandonment

The BESS shall be considered abandoned when it ceases to operate consistently for more than one year. If the owner and/or operator fails to comply with decommissioning upon any abandonment, the City may, after compliance with any applicable state and federal constitutional requirements, enter the property and utilize the available bond and/or security for the removal of any BESS and restoration of the site in accordance with the decommissioning plan.

And further add the following new definition to § 11.1 of Chapter 255

§ 11.1

AGGREGATE ENERGY CAPACITY: Total amount of energy stored that can be stored in all batteries that are a part of the BESS measured in kilowatt-hours (kWh) or megawatt-hours (MWh).

BATTERY or BATTERIES: A single cell or group of cells connected electrically in series, in parallel, or combination of both, which can charge, discharge and store energy electrochemically. For the purpose of this Ordinance, batteries utilized in consumer products are excluded from these requirements.

BATTERY ENERGY STORAGE SYSTEM (“BESS”) – A system containing one or more battery modules for storing electrical energy, any equipment needed to support the safe and proper function or usage of the battery modules, and one or more physical container(s) providing secondary containment to any of the above. It may be a primary use or an Accessory Use to a solar generating facility, power generation facility, electrical substation, or other similar uses. For the purposes of this bylaw, BESS are comprised of three (3) types as further described in § 7.9.3.B. of this bylaw; Tier 1 BESS, Tier 2 BESS and Tier 3 BESS.

And further to amend section 3.1.3, Table of Use and Parking regulations by allowing Tier 1, Tier 2 and Tier 3 BESS in the districts as follows:

BESS Overlay District - OD

	RS	RR	RL	RM	RH	RU	CN	CH	CG	CC	CM	OP	BG	BP	BESS OD	PC
I. MISCELLANEOUS COMMERCIAL USES (cont'd)																
22. Kennel or veterinary hospital in which all animals, fowl or other forms of life are completely enclosed in pens or other structures	BA	BA	N	N	N	N	N	BA	N	N	N	N	N	N		D
23. Commercial communications and/or television tower, provided that it shall be at least 500 feet from any R District	BA	N	N	N	N	N	N	BA	BA	BA	N	BA	BA	BA		None
24. Battery Energy Storage Systems: Tier 1	Y	N	Y	Y	Y	None										



DOCUMENT

CITY OF HAVERHILL

In Municipal Council

ORDERED:

Municipal Ordinance

Chapter 255

An Ordinance Relating to Amend Chapter 255 Zoning Ordinance and Zoning Map

Ordinance: re: Amend Chapter 255 Zoning Ordinance and Zoning Map – Battery Energy Storage Systems Overlay District (BESS)– by inserting a new section 7.9 Battery Energy Storage Systems, amending section 3.1.3 Table of Use and Parking regulations by allowing a Tier 1, Tier 2 and Tier 3 BESS and amending the Zoning Map to include the BESS Overlay District. The overlay district will be creating regulations for the installation and use of free-standing battery energy storage systems (“BESS”), adding to the table the overlay district with the allowed Tiers and updating the zoning map to include the BESS Overlay District, or take any other action related to.

Since this Ordinance exceeds in length eight octavo pages of ordinary book print, in lieu of advertising, it is published by the City Council in a municipal bulletin, placed on file in the City Clerk’s Office, and posted on the municipal bulletin in City Hall.

PLACED ON FILE for at least 14 days

Advertise in Gazette:

Thursday April 16th and Thursday April 23rd

Attest:


Kaitlin M. Wright, CMC
City Clerk

11.1.1



MELINDA E. BARRETT
MAYOR

**CITY OF HAVERHILL
MASSACHUSETTS**

MAR 20 AM 10:40
HAVCITYCLERK

CITY HALL, ROOM 100
FOUR SUMMER STREET
HAVERHILL, MA 01830
PHONE 978-374-2300
FAX 978-373-7544
MAYOR@HAVERHILLMA.GOV
WWW.HAVERHILLMA.GOV

March 20, 2026

To: City Council President Timothy J. Jordan & Members of the City Council

From: Mayor Melinda E. Barrett

RE: Community Affairs Advisory Board Reappointments

Dear Mr. President and Members of the City Council:

Please be advised I hereby reappoint the following members to the Community Affairs Advisory Board.

- Sharon Sullivan, Chairman, 20 Westminster Avenue, Haverhill
- Anne Vlack, 60 Hancock Street Haverhill
- William Lapierre, 1 Hanscom Avenue, Haverhill
- Nomsa Ncube, 67 Washington Street, 102-P Haverhill
- Penelope Guerrero, 89-93 Washington Street, Unit 3B, Haverhill
- Andrew Tarasuk, 88 Race Street, Haverhill

These are confirming appointments and take effect upon confirmation and expire on December 31st, 2026.

I recommend approval.

Sincerely,

Melinda E. Barrett
Mayor

MEB/em

cc: Andrew Herlihy, Division Director of Community Development



ANDREW K. HERLIHY
DIVISION DIRECTOR
TELEPHONE: 978-374-2344 V/TDD
FAX: 978-374-2332

**CITY OF HAVERHILL
COMMUNITY DEVELOPMENT**

CITY HALL, ROOM 309
FOUR SUMMER STREET
HAVERHILL, MA 01830-5843

March 19, 2026

Mayor Melinda E. Barrett
City of Haverhill
Four Summer Street
Haverhill, MA 01830

Dear Mayor Barrett:

Could you please reappoint the following members to the Community Affairs Advisory Board (CAAB) for one (1) year:

Sharon Sullivan, Chairman, 20 Westminster Avenue, Haverhill
Anne Vlack, 60 Hancock Street, Haverhill
William Lapierre, 1 Hanscom Avenue, Haverhill
Nomsa Ncube, 67 Washington Street, Haverhill
Penelope Guerrero, 89-93 Washington Street, Unit 3B, Haverhill
Andrew Tarasuk, 88 Race Street, Haverhill

Thank you for your attention to this matter.

Sincerely yours,

Andrew K. Herlihy
Division Director



FP-002A
(Rev. 6/23)

12.1
The Commonwealth of Massachusetts
City/Town of Haverhill

JAN 20 AM 11:55
HAUCITYCLERK

Application For License

Massachusetts General Law, Chapter 148 §13

New License Amended License

GIS Coordinates
<u>42.784050</u> LAT.
<u>-71.089870</u> LONG.
<u>5495</u> License Number

Application is hereby made in accordance with the provisions of Chapter 148 of the General Laws of Massachusetts for a license to store flammables, combustibles or explosives on land in buildings or structures herein described.

Location of Land: 168 Hale St, 602-457-1 and 602-457-2
Number, Street and Assessor's Map and Parcel ID

Attach a plot plan of the property indicating the location of property lines and all buildings or structures.

Owner of Land: Beehive Realty LLC + A+B Crossing LLC

Address of Land Owner: 7 Regency Ridge Andover, MA 01810

Use and Occupancy of Buildings and Structures: Fuel storage and distribution

If this is an application for amendment of an existing license, indicate date of original license and any subsequent amendments
1964, 2020, and June 21, 2022
Attach a copy of the current license

Flammable and Combustible Liquids, Flammable Gases and Solids

Complete this section for the storage of flammable and combustible liquids, solids, and gases; see 527 CMR 1.00 Table 1.12.8.50; Attach additional pages if needed. All tanks and containers are considered full for the purposes of licensing and permitting.

PRODUCT NAME	CLASS	MAXIMUM QUANTITY	UNITS gal., lbs, cubic feet	CONTAINER UST, AST, IBC, drums
Fuel Oil	II	238,000	gal	AST
Biofuel	III B	154,000	gal	AST
Propane	I	90,000	gal	AST
Propane	I	49,800	gal	truck mounted
Propane	I	16,000	gal	misc

Total quantity of all flammable liquids to be stored: none
Total quantity of all combustible liquids to be stored: 392,000
Total quantity of all flammable gases to be stored: 155,800
Total quantity of all flammable solids to be stored: none

LP-gas (Complete this section for the storage of LP-gas or propane)

Indicate the maximum quantity of LP-gas to be stored and the sizes and capacities of all storage containers. (See 527 CMR 1.00 Table 1.12.8.50)

❖ Maximum quantity (in gallons) of LP-gas to be stored in aboveground containers: 155,800

List sizes and capacities of all aboveground containers used for storage: 3 - 30,000 gals

4 - 3,000 gals truck tanks, 3 - 12,600 gals truck tanks,

❖ Maximum quantity (in gallons) of LP-gas to be stored in underground containers: 0 16,000 gals associated tanks

List sizes and capacities of all underground containers used for storage: n/a

Total aggregate quantity of all LP-gas to be stored: 155,800

Fireworks (Complete this section for the storage of fireworks)

Indicate classes of fireworks to be stored and maximum quantity of each class. (See 527 CMR 1.00 Table 1.12.8.50)

❖ Maximum amount (in pounds) of Class 1.3G: 0 Type/class of magazine used for storage: 0

❖ Maximum amount (in pounds) of Class 1.4G: 0 Type/class of magazine used for storage: 0

❖ Maximum amount (in pounds) of Class 1.4: 0 Type/class of magazine used for storage: 0

Total aggregate quantity of all classes of fireworks to be stored: 0

Explosives (Complete this section for the storage of explosives)

Indicate classes of explosive to be stored and maximum quantity of each class. (See 527 CMR 1.00 Table 1.12.8.50)

❖ Maximum amount (in pounds) of Class 1.1: 0 Number of magazines used for storage: 0

❖ Maximum amount (in pounds) of Class 1.2: 0 Number of magazines used for storage: 0

❖ Maximum amount (in pounds) of Class 1.3: 0 Number of magazines used for storage: 0

❖ Maximum amount (in pounds) of Class 1.4: 0 Number of magazines used for storage: 0

❖ Maximum amount (in pounds) of Class 1.5: 0 Number of magazines used for storage: 0

❖ Maximum amount (in pounds) of Class 1.6: 0 Number of magazines used for storage: 0

I, Hisham Fayed, hereby attest that I am authorized to make this application. I acknowledge that the information contained herein is accurate and complete to the best of my knowledge and belief. I acknowledge that all materials stored pursuant to any license granted hereunder must be stored or kept in accordance with all applicable laws, codes, rules and regulations, including but not limited to Massachusetts Chapter 148, and the Massachusetts Fire Code (527 CMR 1.00). I further acknowledge that the storage of any material specified in any license granted hereunder may not exceed the maximum quantity specified by the license.

Signature Hisham Fayed Date 01/20/2026 Name Hisham Fayed

PLEASE NOTE THAT ONLY APPLICATIONS WITH ORIGINAL WET SIGNATURES WILL BE ACCEPTED. PHOTOCOPIES OF APPLICATIONS WILL NOT BE PROCESSED.

Fire Department Use Only

I, ERIC M. TAPY, Head of the HAVERHILL Fire Department endorse this application with my

Approval Disapproval

A/C M/T
Signature of Head of the Fire Department

Applicant to follow ALL code requirements and ^{Date} BEST PRACTICES
Recommendations: ASSOCIATED WITH THE USE, STORAGE & MAINTENANCE OF TANK, PRODUCT & PROCESS.

Document # 100

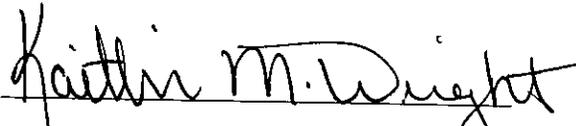
Revocation hearing relative to license issued to Broco Energy SPFL-25-2, due to failure to notify abutters within the statutory deadline

IN CITY COUNCIL: January 13, 2026

Revoked additional capacity granted under SPFL-25-2

10 YEAS, 0 NAYS, 1 ABSENT

Attest:



Kaitlin M. Wright, CMC

City Clerk

10.1

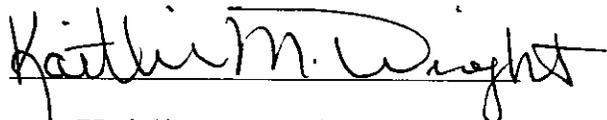
Document # 100

Request from Michael J. Rousseau, Gregg Walker, Dominic Giunta, and Judy and Larry Hinkle petitioning the City Council to hold a revocation hearing relative to Doc 100 SPFL-25-2, applicant Broco Energy, due to failure to notify abutters within the statutory deadline

IN CITY COUNCIL: December 16, 2025

**REVOCATION HEARING SCHEDULED FOR JANUARY 13,
2026**

7 YEAS, 0 NAYS, 4 ABSENT

Attest: 
Kaitlin M. Wright, CMC
City Clerk



Fire Chief Approval

Record No.SPFL-25-2

Status Completed

Became Active January 20, 2026

Type Approval

Due Date None

Assignee Brian Belfiore

Record No: SPFL-25-2

City Council Permit - Flammable Fuel Storage

Status: Stopped

Submitted On: 6/2/2025

Applicant



John McCann



978-891-2808



jmccann@brocoenergy.com



168 Hale St

Haverhill, MA 01830

Messages

Kaitlin Wright

January 20, 2026 at 12:25 pm

@Eric Tarpay @Brian Belfiore Please see attachments for a resubmittal of this application from Broco Oil.

Brian Belfiore  Internal

January 21, 2026 at 7:58 am

@Eric Tarpay I have printed the application for us to review and discuss.

Kaitlin Wright  Internal

January 27, 2026 at 2:05 pm

@Brian Belfiore any updates on this?

Kaitlin Wright

February 4, 2026 at 10:10 am

@Brian Belfiore @Eric Tarpay any updates on this?

Brian Belfiore

February 9, 2026 at 7:43 am

Good morning Hisham, if you could please give me a call we would like to schedule a time to have you come in to review the project, I left you a voicemail last Thursday and wanted to follow up 978-373-8460 or you can call me on my cell at 978-971-7576.

Hisham Fayed

February 10, 2026 at 12:26 pm

Hi Brian - I spoke with Bobby.

He is confirmed to meet you at 1PM today, Tuesday Feb 10, 2026.

Brian Belfiore

February 11, 2026 at 2:51 pm

The Fire Department requests that if this license increase is approved by the City Council that the following are conditions be considered by the Council to be conditions of their license and that all conditions are completed **PRIOR** to the City Clerk issuing the license.

Approval of the license will be based on the following conditions:

1. Receiving a Fire Safety Analysis by a Massachusetts Registered Professional Engineer. (Installation of any required fire protection systems)
2. Updated site plan showing the following:
Setbacks (to include all tanks and trucks)

Consumer tank locations

3. A sweep path analysis and evaluation showing Fire Department access to be done by a registered professional engineer and stamped.
4. Once the project has been permitted and completed the applicant will need to submit As-Built Plans.
5. Satisfactory inspections by the State Fire Marshals Office and Haverhill Fire Department.
6. Comply with "best practices" associated with use, storage and management of propane.
7. Installation of a minimum of 2 deluge guns locations TBD by a Fire Protection Engineer (To be designed and installed to applicable NFPA standards) Permit with plans to be obtained through the Haverhill Fire Department.
8. The applicant to supply a minimum of a \$5,000 yearly procurement of Firefighting foam/agent as determined by the Haverhill Fire Department to assist HFD with fire fighting efforts within Haverhill and/or surrounding communities.
9. Provide yearly training with the Haverhill Fire Department, specific to their site and the hazards associated with the storage of flammable and combustibles.

All above conditions are to be completed **PRIOR** to the license increase being issued and **PRIOR** to the Fire Department issuing a flammable storage permit.

Kaitlin Wright  Internal

February 11, 2026 at 3:10 pm

Thank you, Brian.



Tax Check

Record No.SPFL-25-2

Status Completed

Became Active January 20, 2026

Type Approval

Due Date None

Assignee Lynn Spitalere

Record No: SPFL-25-2

City Council Permit - Flammable Fuel Storage

Status: Stopped

Submitted On: 6/2/2025

Applicant



John McCann



978-891-2808



jmccann@brocoenergy.com



168 Hale St

Haverhill, MA 01830

Messages

No comments yet.



Water Bill Check

Record No. SPFL-25-2

Status Completed

Became Active January 20, 2026

Type Approval

Due Date None

Assignee Elizabeth Remmes

Record No: SPFL-25-2

City Council Permit - Flammable Fuel Storage

Status: Stopped

Submitted On: 6/2/2025

Applicant



John McCann



978-891-2808



jmccann@brocoenergy.com



168 Hale St

Haverhill, MA 01830

Messages

Kaitlin Wright  Internal February 11, 2026 at 3:09 pm

@Elizabeth Remmes is their still a hold on this account for water?

Kaitlin Wright February 19, 2026 at 1:10 pm

Please pay overdue water bill to move forward with hearing date.

Hisham Fayed February 20, 2026 at 9:47 am

Hi Kaitlin - I can confirm that we paid the bill in question.

Kaitlin Wright February 24, 2026 at 11:43 am

@Elizabeth Remmes can you confirm if the water bill is all set now?

Hisham Fayed February 28, 2026 at 3:49 pm

Hi Kaitlin - I just emailed you the receipt for the payment as confirmation.

Kaitlin Wright March 2, 2026 at 10:22 am

@Elizabeth Remmes Beth, is this all set now? If so, can you please release the hold? I cannot move forward with the hearing date until the hold is released.

Kaitlin Wright March 9, 2026 at 12:41 pm

Spoke with Beth on the phone, she indicated they are all paid up on their water bill.



City Clerk Review

Record No.SPFL-25-2

Status Completed

Became Active January 20, 2026

Type Approval

Due Date None

Assignee Kaitlin Wright

Record No: SPFL-25-2

City Council Permit - Flammable Fuel Storage

Status: Stopped

Submitted On: 6/2/2025

Applicant



John McCann



978-891-2808



jmccann@brocoenergy.com



168 Hale St

Haverhill, MA 01830

Messages

Kaitlin Wright

February 11, 2026 at 3:17 pm

Hisham, now that the Fire Department has signed off on the application - we can move forward with a hearing date. The earliest we could hear this is March 31, other dates available are April 7, 14, and 28. Please keep in mind you will need to notify the abutters, so be mindful of that when you pick a date. Let me know what date you would like.



City Clerk – Hearing Date Set

Record No.SPFL-25-2

Status Completed

Became Active March 9, 2026

Type Approval

Due Date None

Assignee Kaitlin Wright

Record No: SPFL-25-2

City Council Permit – Flammable Fuel Storage

Status: Stopped

Submitted On: 6/2/2025

Applicant



John McCann



978-891-2808



jmccann@brocoenergy.com



168 Hale St

Haverhill, MA 01830

Messages

Kaitlin Wright

March 9, 2026 at 1:19 pm

Hi John, I am looking to schedule a hearing date for your flammable permit. Right now, I have April 28th, May 5th, 12th, and 19th available. Do any of these dates work for your team?

Kaitlin Wright

March 18, 2026 at 9:27 am

John, Following up – I am looking to schedule a hearing date for your flammable permit. Right now, I have April 28th, May 5th, 12th, and 19th available. Do any of these dates work for your team?

Kaitlin Wright

March 18, 2026 at 1:55 pm

Spoke with applicant on phone, indicated they were seeking at May 5th hearing date.

Kaitlin Wright

March 18, 2026 at 1:56 pm

Will announce hearing on March 24th for hearing to be scheduled for May 5th.



Haverhill

City Clerk's Office, Room 118
Phone: 978-374-2312 Fax: 978-373-8490
cityclerk@haverhillma.gov

PUBLIC HEARING

City Council Chambers, City Hall, Room 202, 4 Summer st

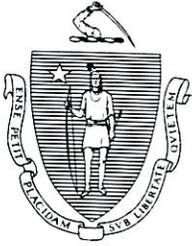
Notice is hereby given that the following application for a license to store, keep, and use INFLAMMABLE LIQUIDS has been made to the City Clerk and the City Council will conduct a hearing for all parties interested, in a hybrid meeting (virtual/in person), on Tuesday, May 5, 2026; at 7:00 PM. This notice is given under the provisions of Chapter 148 of the General Laws - John McCann on behalf of Broco Terminals, LLC. (SPFL-25-2); requesting to store an additional 30,000 gallons of propane in an above ground storage tank, three additional propane transport trailer trucks with a tank capacity of 12,600 gallons each for a total storage increase of 37,800 gallons of truck storage, and 8,000 gallons in miscellaneous empty customer tank. The overall propane storage capacity is being increased by 75,800 gallons at 168 Hale St.

(Residents who are interested in commenting on this item can either (1) Attend in person (Council Chambers, Room 202) or (2) Attend remotely using the link provided on the public meeting calendar on the City's website.)

Description of area, maps and plans are on file in the City Clerk's Office.

**Advertise: April 16 and 23, 2026
Haverhill Gazette**

Kaitlin M. Wright, CMC
City Clerk



FP-002A
(Rev. 6/23)

The Commonwealth of Massachusetts
City/Town of Haverhill

Application For License

Massachusetts General Law, Chapter 148 §13

New License Amended License

GIS Coordinates	
<u>42.784050</u>	LAT.
<u>-71.089870</u>	LONG.
<u>5495</u>	License Number

Application is hereby made in accordance with the provisions of Chapter 148 of the General Laws of Massachusetts for a license to store flammables, combustibles or explosives on land in buildings or structures herein described.

Location of Land: 168 Hale St, 602-457-1 and 602-457-2
Number, Street and Assessor's Map and Parcel ID

Attach a plot plan of the property indicating the location of property lines and all buildings or structures.

Owner of Land: Beehive Realty LLC + A+B Crossing LLC

Address of Land Owner: 7 Regency Ridge Andover, MA 01810

Use and Occupancy of Buildings and Structures: Fuel storage and distribution

If this is an application for amendment of an existing license, indicate date of original license and any subsequent amendments
1964, 2020, and June 21, 2022
Attach a copy of the current license

Flammable and Combustible Liquids, Flammable Gases and Solids

Complete this section for the storage of flammable and combustible liquids, solids, and gases; see 527 CMR 1.00 Table 1.12.8.50; Attach additional pages if needed. All tanks and containers are considered full for the purposes of licensing and permitting.

PRODUCT NAME	CLASS	MAXIMUM QUANTITY	UNITS gal., lbs, cubic feet	CONTAINER UST, AST, IBC, drums
Fuel Oil	II	238,000	gal	AST
Biofuel	III B	154,000	gal	AST
Propane	I	90,000	gal	AST
Propane	I	49,800	gal	truck mounted
Propane	I	16,000	gal	misc

Total quantity of all flammable liquids to be stored: none

Total quantity of all combustible liquids to be stored: 392,000

Total quantity of all flammable gases to be stored: 155,800

Total quantity of all flammable solids to be stored: none

LP-gas (Complete this section for the storage of LP-gas or propane)

Indicate the maximum quantity of LP-gas to be stored and the sizes and capacities of all storage containers. (See 527 CMR 1.00 Table 1.12.8.50)

- ❖ Maximum quantity (in gallons) of LP-gas to be stored in aboveground containers: 155,800
List sizes and capacities of all aboveground containers used for storage: 3 - 30,000 gals
4 - 3,000 gals truck tanks, 3 - 12,000 gals truck tanks,
 - ❖ Maximum quantity (in gallons) of LP-gas to be stored in underground containers: 0 16,000 gals
List sizes and capacities of all underground containers used for storage: n/A associated tanks
- Total aggregate quantity of all LP-gas to be stored: 155,800

Fireworks (Complete this section for the storage of fireworks)

Indicate classes of fireworks to be stored and maximum quantity of each class. (See 527 CMR 1.00 Table 1.12.8.50)

- ❖ Maximum amount (in pounds) of Class 1.3G: 0 Type/class of magazine used for storage: 0
 - ❖ Maximum amount (in pounds) of Class 1.4G: 0 Type/class of magazine used for storage: 0
 - ❖ Maximum amount (in pounds) of Class 1.4: 0 Type/class of magazine used for storage: 0
- Total aggregate quantity of all classes of fireworks to be stored: 0

Explosives (Complete this section for the storage of explosives)

Indicate classes of explosive to be stored and maximum quantity of each class. (See 527 CMR 1.00 Table 1.12.8.50)

- ❖ Maximum amount (in pounds) of Class 1.1: 0 Number of magazines used for storage: 0
- ❖ Maximum amount (in pounds) of Class 1.2: 0 Number of magazines used for storage: 0
- ❖ Maximum amount (in pounds) of Class 1.3: 0 Number of magazines used for storage: 0
- ❖ Maximum amount (in pounds) of Class 1.4: 0 Number of magazines used for storage: 0
- ❖ Maximum amount (in pounds) of Class 1.5: 0 Number of magazines used for storage: 0
- ❖ Maximum amount (in pounds) of Class 1.6: 0 Number of magazines used for storage: 0

I, Hisham Fayed, hereby attest that I am authorized to make this application. I acknowledge that the information contained herein is accurate and complete to the best of my knowledge and belief. I acknowledge that all materials stored pursuant to any license granted hereunder must be stored or kept in accordance with all applicable laws, codes, rules and regulations, including but not limited to Massachusetts Chapter 148, and the Massachusetts Fire Code (527 CMR 1.00). I further acknowledge that the storage of any material specified in any license granted hereunder may not exceed the maximum quantity specified by the license.

Signature Hisham Fayed Date 01/20/2026 Name Hisham Fayed
PLEASE NOTE THAT ONLY APPLICATIONS WITH ORIGINAL WET SIGNATURES WILL BE ACCEPTED. PHOTOCOPIES OF APPLICATIONS WILL NOT BE PROCESSED.

Fire Department Use Only

I, _____, Head of the _____ Fire Department endorse this application with my
 Approval Disapproval

Signature of Head of the Fire Department _____ Date _____

Recommendations: _____

12.1

December 11, 2025

To the Honorable Members of the Haverhill City Council,

DEC 11 AM 8:47
HAVERHILL CITY CLERK

Subject: Procedural Error — Lack of Abutter Notification for Broco Energy Application to Expand Propane Storage at 168 Hale Street (SPL-25-2)

We are writing as abutters to the property at 168 Hale Street, the subject of an application that was approved at the December 2nd hearing. We only recently became aware of this application and believe that a significant procedural error occurred.

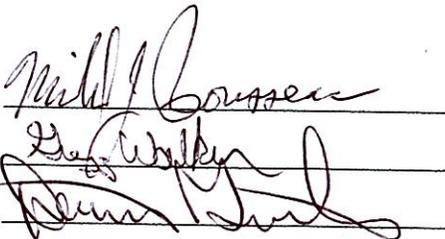
As required by statute, abutters must receive formal notification of such applications and the corresponding public hearings. Neither we, nor other nearby property owners, received the legally mandated notice for this request prior to the hearing.

This failure of notification prevented affected residents from understanding the proposed expansion and evaluating its potential impact on our properties, our neighborhood, and the broader community. It also deprived us of the opportunity to participate meaningfully in the review process.

We respectfully request that this matter be investigated and that all affected parties be formally notified of the oversight. We further ask that the approval of this application be rescinded until a properly noticed public hearing can be held in accordance with statutory requirements.

Thank you for your prompt attention to this important procedural issue.

Sincerely,



Signatures

Michael J Basson

Gregg Walker

Dominic Giunter

Printed Names

9 Burke Street

6 Burke St

5 Burke St

Addresses

DEC 12 AM 9:50
HAVCITYCLERK

December 12, 2025

Judy and Larry Hinkle
29 Burke Street
Haverhill MA 01830

Ms. Kaitlin Wright, Clerk
City of Haverhill

Dear Kaitlin,

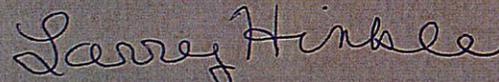
I am writing regarding Broco Oil and the recent hearing on December 2 concerning the proposed expansion of flammable fuel storage. Although we received notice of the hearing, it arrived with very little advance time, and we were unable to attend.

We would like to obtain additional information about the expansion, including the safeguards that will be implemented to protect our property and the surrounding neighborhood. We respectfully request that another hearing be scheduled so that we, along with other residents, can attend and learn more about this project.

We can be reached at 978-429-7740. Thank you for your attention and assistance.

Sincerely,


Judy Hinkle


Larry Hinkle



Mead, Talerman & Costa, LLC
Attorneys at Law

227 Union Street
Suite 606
New Bedford, MA 02740
www.mtclawyers.com

MEMORANDUM

To: Thomas Sullivan, City Council President, Kaitlin Wright, City Clerk
From: Per C. Vaage, Lisa L. Mead, City Solicitors
Date: December 11, 2025
Re: Flammable Storage Permit—168 Hale Street: Hearing of December 2, 2025

Reference is made to the above captioned matter. In that connection, we have been made aware of an issue concerning notice by the applicant for the above-referenced permit to the abutters, as statutorily required under G.L. c. 148, § 13. Specifically, that statute requires that notice to the abutters be provided notice “by registered mail, not less than seven days prior to ...hearing”. Here, it appears that notice was not mailed out until November 28, 2025, for a hearing which was held on December 2, 2025. As such, the notice was legally deficient, and the City Council did not have the authority at that time to grant the permit sought.

By way of remedy, the statutory scheme governing these types of storage facilities provides for appeals by an “aggrieved” party (which would include abutters) to the Fire Marshal, however those types of appeals are limited to whether the grant of the permit “would constitute a fire or explosion hazard”. G.L. c. 148, § 13. *See also*, G.L. c. 148, s. 31 (authorizing Fire Marshal to make orders on appeal “but only in so far as the appeal presents a direct question of fire or explosion hazard”).

In the current posture, given that the permit should not have issued in the first instance absent legally sufficient notice, the process will have to require a hearing, with appropriate and timely notice to the applicant to revoke the current permit, and at the same time, requiring the applicant to resubmit the application with appropriate notice to the abutters as required by the statute.

In order to address the revocation of this permit, the applicant must be provided with notice and an opportunity to be heard. The City Council should put this on a

Newburyport Office
30 Green Street
Newburyport, MA 01950

Millis Office
730 Main Street, Suite 1F
Millis, MA 02054
Phone/Fax 508.376.8400

future agenda and properly notice as it would any other application or hearing. However, in advance of doing so, the City Council must put the applicant on notice in writing of the City's contemplated revocation, and the specific basis for the Council's concerns. In this instance, the written notice should cite the failure of seven (7) days notice to abutters, based on the fact that the notice only appears to have been mailed on November 28, 2025, for a December 2, 2025, hearing, and should cite the concerns that abutters who otherwise would have had the opportunity to be heard in connection with the application for the permit may not have received notice, constructive or actual, thereby rendering the City Council's grant of the permit ineffective. Finally, the notice should advise the applicant that the purpose of the hearing is to show cause as to why the permit should not be revoked. This notice should be sent certified mail, return receipt requested, and be sent no sooner than 30 days before the planned hearing date.

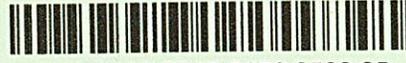
Please let me know if you have any questions.

cc. Melinda E. Barrett, Mayor

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:
 Broco Energy
 c/o Robert Brown and
 Hisham Fayed
 168 Hale Street
 Haverhill, MA 01830



9590 9402 7746 2152 8598 35

2. Article Number (Transfer from service label)
 017 2680 0000 0805 6859

COMPLETE THIS SECTION ON DELIVERY

A. Signature
 X  Agent Address

B. Received by (Printed Name) C. Date of Delivery

D. Is delivery address different from item 1? Yes No
 If YES, enter delivery address below:

HAVERHILL CITY CLERK DEC31/25 12:35

3. Service Type
- Adult Signature
 - Adult Signature Restricted Delivery
 - Certified Mail®
 - Certified Mail Restricted Delivery
 - Collect on Delivery
 - Collect on Delivery Restricted Delivery
 - Insured Mail
 - Insured Mail Restricted Delivery (over \$500)
 - Priority Mail Express
 - Registered Mail™
 - Registered Mail Restricted Delivery
 - Signature Confirmation
 - Signature Confirmation Restricted Delivery

PS Form 3811, July 2020 PSN 7530-02-000-9053

Domestic Return Rec

December 11, 2025

To the Honorable Members of the

Subject: Procedural Error — Lack of
Expand Propane Storage at 168 Hale Street

We are writing as abutters to the project which was approved at the December 2nd hearing. We only recently became aware of this application and believe that a significant procedural error occurred.

As required by statute, abutters must receive formal notification of such applications and the corresponding public hearings. Neither we, nor other nearby property owners, received the legally mandated notice for this request prior to the hearing.

This failure of notification prevented affected residents from understanding the proposed expansion and evaluating its potential impact on our properties, our neighborhood, and the broader community. It also deprived us of the opportunity to participate meaningfully in the review process.

We respectfully request that this matter be investigated and that all affected parties be formally notified of the oversight. We further ask that the approval of this application be rescinded until a properly noticed public hearing can be held in accordance with statutory requirements.

Thank you for your prompt attention to this important procedural issue.

Sincerely,




Signature

STEPHEN SANSONERO

Theresa Sansonero

Printed Name

127 8TH AVE HAV

Address

DEC 15 PM2:53
HAVERHILL CITY CLERK

December 11, 2025

To the Honorable Members of the Haverhill City Council,

Subject: Procedural Error — Lack of Abutter Notification for Broco Energy Application to Expand Propane Storage at 168 Hale Street (SPL-25-2)

We are writing as abutters to the property at 168 Hale Street, the subject of an application that was approved at the December 2nd hearing. We only recently became aware of this application and believe that a significant procedural error occurred.

As required by statute, abutters must receive formal notification of such applications and the corresponding public hearings. Neither we, nor other nearby property owners, received the legally mandated notice for this request prior to the hearing.

This failure of notification prevented affected residents from understanding the proposed expansion and evaluating its potential impact on our properties, our neighborhood, and the broader community. It also deprived us of the opportunity to participate meaningfully in the review process.

We respectfully request that this matter be investigated and that all affected parties be formally notified of the oversight. We further ask that the approval of this application be rescinded until a properly noticed public hearing can be held in accordance with statutory requirements.

Thank you for your prompt attention to this important procedural issue.

Sincerely,



Signature

JAMES A. FARRELL

Printed Name

19 Bunce St. Haverhill, MA 01830

Address

December 11, 2025

DEC 15 PM2:54
HAVERHILL CITY CLERK

To the Honorable Members of the Haverhill City Council,

Subject: Procedural Error — Lack of Abutter Notification for Broco Energy Application to Expand Propane Storage at 168 Hale Street (SPL-25-2)

We are writing as abutters to the property at 168 Hale Street, the subject of an application that was approved at the December 2nd hearing. We only recently became aware of this application and believe that a significant procedural error occurred.

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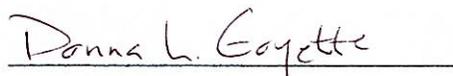
We respectfully request that this matter be investigated and that all affected parties be formally notified of the oversight. We further ask that the approval of this application be rescinded until a properly noticed public hearing can be held in accordance with statutory requirements.

Thank you for your prompt attention to this important procedural issue.

Sincerely,



Signature



Printed Name

143 5th Ave

Address

December 11, 2025

DEC 15 PM 2:54
HAVERHILL CITY CLERK

To the Honorable Members of the Haverhill City Council,

Subject: Procedural Error — Lack of Abutter Notification for Broco Energy Application to Expand Propane Storage at 168 Hale Street (SPL-25-2)

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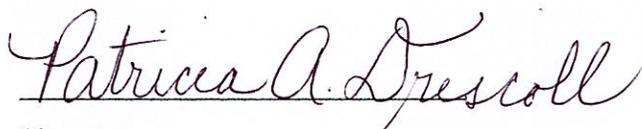
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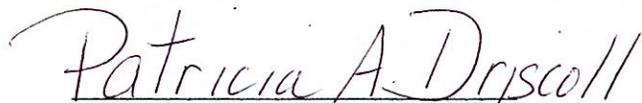
We respectfully request that this matter be investigated and that all affected parties be formally notified of the oversight. We further ask that the approval of this application be rescinded until a properly noticed public hearing can be held in accordance with statutory requirements.

Thank you for your prompt attention to this important procedural issue.

Sincerely,



Signature



Printed Name

125 8th Ave.

Address

December 11, 2025

DEC 15 PM 2:54
HAUGCITYCLERK

To the Honorable Members of the Haverhill City Council,

Subject: Procedural Error — Lack of Abutter Notification for Broco Energy Application to Expand Propane Storage at 168 Hale Street (SPL-25-2)

We are writing as abutters to the property at 168 Hale Street, the subject of an application that was approved at the December 2nd hearing. We only recently became aware of this application and believe that a significant procedural error occurred.

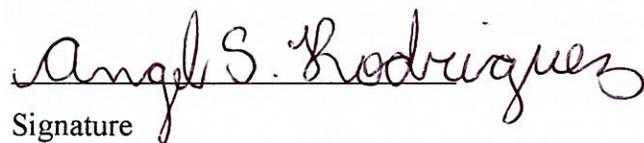
As required by statute, abutters must receive formal notification of such applications and the corresponding public hearings. Neither we, nor other nearby property owners, received the legally mandated notice for this request prior to the hearing.

This failure of notification prevented affected residents from understanding the proposed expansion and evaluating its potential impact on our properties, our neighborhood, and the broader community. It also deprived us of the opportunity to participate meaningfully in the review process.

We respectfully request that this matter be investigated and that all affected parties be formally notified of the oversight. We further ask that the approval of this application be rescinded until a properly noticed public hearing can be held in accordance with statutory requirements.

Thank you for your prompt attention to this important procedural issue.

Sincerely,


Signature

ANGELS RODRIGUEZ

Printed Name

781-241-2560

128 8TH AVE HAYVERHILL MASS

Address

DEC 15 PM 2:55
HAVERHILL CITY CLERK

December 11, 2025

To the Honorable Members of the Haverhill City Council,

Subject: Procedural Error — Lack of Abutter Notification for Broco Energy Application to Expand Propane Storage at 168 Hale Street (SPL-25-2)

We are writing as abutters to the property at 168 Hale Street, the subject of an application that was approved at the December 2nd hearing. We only recently became aware of this application and believe that a significant procedural error occurred.

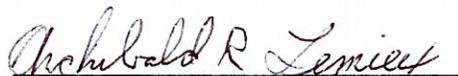
As required by statute, abutters must receive formal notification of such applications and the corresponding public hearings. Neither we, nor other nearby property owners, received the legally mandated notice for this request prior to the hearing.

This failure of notification prevented affected residents from understanding the proposed expansion and evaluating its potential impact on our properties, our neighborhood, and the broader community. It also deprived us of the opportunity to participate meaningfully in the review process.

We respectfully request that this matter be investigated and that all affected parties be formally notified of the oversight. We further ask that the approval of this application be rescinded until a properly noticed public hearing can be held in accordance with statutory requirements.

Thank you for your prompt attention to this important procedural issue.

Sincerely,



Signature



Printed Name

9. Norfolk ST

Address

Document # 100

SPFL-25-2; Guy Bresnahan for
Broco Energy
requests to store
additional propane
at 158 Hale St

IN CITY COUNCIL:

SEPTEMBER 23, 2025

HEARING SCHEDULED

FOR DECEMBER 2, 2025

IN CITY COUNCIL: DECEMBER 2, 2025
PERMIT GRANTED WITH ALL DEPT CONDITIONS

Special Permit - Flammable Fuel Storage

Applicant

Primary Location

SPFL-25-2

Guy Bresnahan
978 270-0505
@gbresnahan@brocooil.com

168 HALE ST
Haverhill, MA 01830

Submitted On: Jun 2, 2025

12.6

Important: Please Read Before Starting Your Application

SEP 19 AM 11:47
HAVERHILL CITY CLERK

Applicant Information

Is this application a new license or an amendment to an existing license?

Amendment

If amendment, please indicate date of original license

October 27, 2020

IF OTHER, please specify

--

What is Your Role in this Process?

Representative of Applicant

Applicant or Business/Firm Phone

781-246-1130

Applicant or Business/Firm Name

Broco Energy

Applicant or Business/Firm City

Haverhill

Applicant or Business/Firm Address

168 Hale Street

Applicant or Business/Firm Zip Code

01830

Applicant or Business/Firm State

MA

Name of Licensee

Broco Terminals LLC

Business Structure

Limited Liability Corporation (LLC)

Address of Licensee

168 Hale Street

Contact Information for Licensee (Email and Phone Number)

gbresnahan@brocoenergy.com 978-270-0505

Land Information

Location of Land

168 Hale Street

Owner of Land

Beehive Realty IIC

Address of Land Owner

7 Regency Ridge Andover MA 01810

Use and Occupancy of Buildings and Structures

Fuel storage and distribution

GIS Coordinants

latitude 42.784, longitude -71.089

Flammable and Combustible Liquids, Flammable Gases, and Solids

Product Name

LNG Propane

Maximum Quantity of Tank Storage

90,000

Container

Aboveground Storage Tank

Total quantity of all flammable liquids to be stored

392,000 gallons

Total quantity of all flammable gases to be stored

185,800 - all proposed AST's, truck tanks and misc. containers

Class of Flammable or Combustible

Class 1

Units

Gallons

IF OTHER, please specify

plus 49,800 truck storage + 18,000 gallons assorted customer tanks

Total quantity of all combustible liquids to be stored

392,000 - Class II & IIIB liquid fuels

Total quantity of all flammables solids to be stored

n/a

LP Gas or Propane Information

Will you have LP gas or propane?

Yes

List sizes and capacities of all aboveground containers used for storage

(3) 30,000 horizontal AST (two current one proposed, one future 30k expansion AST)

Total aggregate quantity of all LP gas to be stored:

185,800 gallons

Maximum quantity (in gallons) of LP gas to be stored in aboveground containers

120,000 gallons plus 49,800 gallons in delivery truck tanks and 18,000 in assorted new customer tanks

Maximum quantity (in gallons) of LP gas to be stored in underground containers

n/a

List sizes and capacities of all underground containers used for storage

n/a

Explosives Information

Will you have explosives?

No

Emergency Contact Information

Emergency Contact Name

Kris Ellis . COO

Emergency Contact Phone Number

978-228-0613

Acknowledgement

I, _____, hereby attest that I am authorized to make this application. I acknowledge that the information contained herein is accurate and complete to the best of my knowledge and belief. I acknowledge that all materials stored pursuant to any license granted hereunder must be stored or kept in accordance with all applicable laws, codes, rules and regulations, including but not limited to Massachusetts Chapter 148, and the Massachusetts Fire Code (527 CMR 1.00). I further acknowledge that the storage of any material specified in any license granted hereunder may not exceed the maximum quantity specified by the license.

true

Electronically Sign Here:

Guy Bresnahan

Signor's Role

Representative of Applicant



Fire Chief Approval

Record No.SPFL-25-2

Status Completed

Became Active June 2, 2025

Type Approval

Due Date None

Assignee Eric Tarpy

Record No: SPFL-25-2

Special Permit – Flammable Fuel Storage

Status: Active

Submitted On: 6/2/2025

Primary Location

168 HALE ST
Haverhill, MA 01830

Owner

BEEHIVE REALTY, LLC
HALE ST 168 HAVERHILL, MA 01830

Applicant

 Guy Bresnahan
 978-270-0505
 gbresnahan@brocooil.com
 168 Hale Street
Haverhill, MA 01830

Messages

Kaitlin Wright  Internal

July 23, 2025 at 3:48 pm

Thank you for the info!

Eric Tarpy  Internal

July 23, 2025 at 3:47 pm

@Kaitlin Wright Hi Kaitlin, Fire will be meeting with Guy next Tuesday the 29th to go over some additions/subtractions to the submittals for the license. These additions are at the suggestion of the State Fire Marshall's code compliance officer, Atty Lisa Meade and our office.

Kaitlin Wright  Internal

July 23, 2025 at 2:05 pm

@Eric Tarpy do you have an update? Guy called to check in today.

Kaitlin Wright

July 1, 2025 at 11:49 am

Guy, please review and correct your description. First sentence says increase of 60,000 gallons to get to 120 gallons – but I believe it should read 120,000 gallons. Please review the entire document for errors. Thank you!

Step Activity

OpenGov system activated this step

06/02/2025 at 2:32 pm

OpenGov system assigned this step to Robert O'Brien

06/02/2025 at 2:32 pm

Kaitlin Wright reassigned this step from Robert O'Brien to Eric Tarpy

06/02/2025 at 3:02 pm

Eric Tarpy approved this step

09/05/2025 at 7:52 am

Tax Check

Record No.SPFL-25-2

Status Completed

Became Active June 2, 2025

Type Approval

Due Date None

Assignee Lynn Spitalere

Record No: SPFL-25-2

Special Permit - Flammable Fuel Storage

Status: Active

Submitted On: 6/2/2025

Primary Location

168 HALE ST
Haverhill, MA 01830

Owner

BEEHIVE REALTY, LLC
HALE ST 168 HAVERHILL, MA 01830

Applicant

 Guy Bresnahan
 978-270-0505
 gbresnahan@brocooil.com
 168 Hale Street
Haverhill, MA 01830

Messages

No comments yet.



Water Bill Check

Record No.SPFL-25-2

Status Completed

Became Active August 13, 2025

Type Approval

Due Date None

Assignee Elizabeth Remmes

Record No: SPFL-25-2

Special Permit - Flammable Fuel Storage

Status: Active

Submitted On: 6/2/2025

Primary Location

168 HALE ST
Haverhill, MA 01830

Owner

BEEHIVE REALTY, LLC
HALE ST 168 HAVERHILL, MA 01830

Applicant

 Guy Bresnahan
 978-270-0505
 gbresnahan@brocooil.com
 168 Hale Street
Haverhill, MA 01830

Messages

No comments yet.



City Clerk Review

Record No.SPFL-25-2

Status Completed

Became Active August 13, 2025

Type Approval

Due Date None

Assignee Kaitlin Wright

Record No: SPFL-25-2

Special Permit - Flammable Fuel Storage

Status: Active

Submitted On: 6/2/2025

Primary Location

168 HALE ST
Haverhill, MA 01830

Owner

BEEHIVE REALTY, LLC
HALE ST 168 HAVERHILL, MA 01830

Applicant

 Guy Bresnahan
 978-270-0505
 gbresnahan@brocooil.com
 168 Hale Street
Haverhill, MA 01830

Messages

Kaitlin Wright

August 13, 2025 at 9:52 am

Met with Guy this morning to update application based on Fire Department comments. Broco is seeking to amend their existing flammable license to increase capacity of propane. They are requesting to add one 30,000 gallon tank. They presently have 2 30,000 gallon tanks, so if this increase is approved - the aboveground tank capacity would be a total of 90,000 gallons of aboveground storage propane. Further, they are seeking to increase the license to add 3 transport tractor trailers that carry 12,600 gallons each - which would total 37,800 gallons. They are already permitted for 4 3,000 gallon bobtail trucks. Finally, they are seeking to increase their customer tank capacity (currently licensed at 8,000 gallons) and would like to increase by another 8,000 gallons to total 16,000 gallons. Overall, the total increase in propane storage would be 75,800 gallons. If approved, the total propane licensed capacity would be 155,800 gallons. Please note, their existing license covers the following - 318,000 gallons of fuel oil, 154,000 gallons of biofuel, and 80,000 gallons of propane.

Kaitlin Wright

June 3, 2025 at 11:00 am

Spoke with applicant, Guy Bresnahan, at length this morning. Broco is seeking to amend their existing flammable license to increase capacity of propane. They are requesting to add two 30,000 gallon tanks of propane for a total increase of 60,00 gallons. They presently have 2 30,000 gallons - so if this increase is approved - the aboveground tank capacity would be a total of 120,000 gallons of aboveground storage propane. Further, they are seeking to increase the license to add 3 transport tractor trailers that carry 12,600 gallons each - which would total 37,800 gallons. Finally, they are seeking to increase their customer tank capacity (currently licensed at 8,000 gallons) and would like to increase by another 8,000 gallons to total 16,000 gallons. Overall, the total increase in propane storage would be 105,800 gallons.

Step Activity

Kaitlin Wright assigned this step to Kaitlin Wright

08/13/2025 at 9:53 am

Kaitlin Wright activated this step

08/13/2025 at 9:53 am

Kaitlin Wright approved this step

08/13/2025 at 9:53 am



First Ad Placement

Record No.SPFL-25-2

Status Completed

Became Active September 24, 2025

Type Approval

Due Date None

Assignee Kaitlin Wright

Record No: SPFL-25-2

Special Permit - Flammable Fuel Storage

Status: Active

Submitted On: 6/2/2025

Primary Location

168 HALE ST
Haverhill, MA 01830

Owner

BEEHIVE REALTY, LLC
HALE ST 168 HAVERHILL, MA 01830

Applicant

 Guy Bresnahan
 978-270-0505
 gbresnahan@brocooil.com
 168 Hale Street
Haverhill, MA 01830

Messages

Kaitlin Wright

September 8, 2025 at 12:47 pm

Will be advertised in the Gazette on 11/13 and 11/20.



Building Inspector Review

Record No.SPFL-25-2

Status Active

Became Active September 24, 2025

Type Approval

Due Date None

Assignee Tom Bridgewater

Record No: SPFL-25-2

Special Permit - Flammable Fuel Storage

Status: Active

Submitted On: 6/2/2025

Primary Location

168 HALE ST
Haverhill, MA 01830

Owner

BEEHIVE REALTY, LLC
HALE ST 168 HAVERHILL, MA 01830

Applicant

 Guy Bresnahan
 978-270-0505
 gbresnahan@brocooil.com
 168 Hale Street
Haverhill, MA 01830

Messages

Kaitlin Wright

November 14, 2025 at 8:31 am

Please review ASAP, this is coming to Council on 12/02.



Conservation Department/Stormwater Review

Record No.SPFL-25-2

Status Completed

Became Active September 24, 2025

Type Approval

Due Date None

Assignee Robert Moore

Record No: SPFL-25-2

Special Permit - Flammable Fuel Storage

Status: Active

Submitted On: 6/2/2025

Primary Location

168 HALE ST
Haverhill, MA 01830

Owner

BEEHIVE REALTY, LLC
HALE ST 168 HAVERHILL, MA 01830

Applicant

 Guy Bresnahan
 978-270-0505
 gbresnahan@brocooil.com
 168 Hale Street
Haverhill, MA 01830

Messages

Robert Moore

November 18, 2025 at 5:33 pm

Bob/Guyl walked the site today. No questions on the third propane tank. But you need to close out the rail siding permit with the Conservation Commission. I'll send additional information via email. Rob

Robert Moore

November 14, 2025 at 3:52 pm

Site inspection scheduled for Tuesday 11/18 at 12pm

Kaitlin Wright

November 14, 2025 at 8:31 am

Please review ASAP, this is coming to Council on 12/02.

Robert Moore

October 2, 2025 at 4:47 pm

Bob, good seeing you last week. When's a good time to meet on site next week to review this project and your future plans?

Step Activity

OpenGov system activated this step

09/24/2025 at 4:40 pm

OpenGov system assigned this step to Robert Moore

09/24/2025 at 4:40 pm

Robert Moore approved this step

11/18/2025 at 5:33 pm



DPW Review

Record No.SPFL-25-2

Status Completed

Became Active September 24, 2025

Type Approval

Due Date None

Assignee Robert Kimball

Record No: SPFL-25-2

Special Permit - Flammable Fuel Storage

Status: Active

Submitted On: 6/2/2025

Primary Location

168 HALE ST
Haverhill, MA 01830

Owner

BEEHIVE REALTY, LLC
HALE ST 168 HAVERHILL, MA 01830

Applicant

 Guy Bresnahan
 978-270-0505
 gbresnahan@brocooil.com
 168 Hale Street
Haverhill, MA 01830

Messages

No comments yet.



Engineering Review

Record No.SPFL-25-2

Status Completed

Became Active September 24, 2025

Type Approval

Due Date None

Assignee John Pettis

Record No: SPFL-25-2

Special Permit - Flammable Fuel Storage

Status: Active

Submitted On: 6/2/2025

Primary Location

168 HALE ST
Haverhill, MA 01830

Owner

BEEHIVE REALTY, LLC
HALE ST 168 HAVERHILL, MA 01830

Applicant

 Guy Bresnahan
 978-270-0505
 gbresnahan@brococoil.com
 168 Hale Street
Haverhill, MA 01830

Messages

John Pettis

November 14, 2025 at 10:53 am

I have no objection to the requested permit

Kaitlin Wright

November 14, 2025 at 8:31 am

Please review ASAP, this is coming to Council on 12/02.



Police Department Review

Record No.SPFL-25-2

Status Completed

Became Active September 24, 2025

Type Approval

Due Date None

Assignee Kevin Lynch

Record No: SPFL-25-2

Special Permit - Flammable Fuel Storage

Status: Active

Submitted On: 6/2/2025

Primary Location

168 HALE ST
Haverhill, MA 01830

Owner

BEEHIVE REALTY, LLC
HALE ST 168 HAVERHILL, MA 01830

Applicant

 Guy Bresnahan
 978-270-0505
 gbresnahan@brocooil.com
 168 Hale Street
Haverhill, MA 01830

Messages

No comments yet.



Water Supply Review

Record No.SPFL-25-2

Status Completed

Became Active September 24, 2025

Type Approval

Due Date None

Assignee Robert Ward

Record No: SPFL-25-2

Special Permit - Flammable Fuel Storage

Status: Active

Submitted On: 6/2/2025

Primary Location

168 HALE ST
Haverhill, MA 01830

Owner

BEEHIVE REALTY, LLC
HALE ST 168 HAVERHILL, MA 01830

Applicant

 Guy Bresnahan
 978-270-0505
 gbresnahan@brocooil.com
 168 Hale Street
Haverhill, MA 01830

Messages

Kaitlin Wright

November 14, 2025 at 8:31 am

Please review ASAP, this is coming to Council on 12/02.



Water/Wastewater Review

Record No.SPFL-25-2

Status Completed

Became Active September 24, 2025

Type Approval

Due Date None

Assignee Shaun Burrier

Record No: SPFL-25-2

Special Permit – Flammable Fuel Storage

Status: Active

Submitted On: 6/2/2025

Primary Location

168 HALE ST
Haverhill, MA 01830

Owner

BEEHIVE REALTY, LLC
HALE ST 168 HAVERHILL, MA 01830

Applicant

 Guy Bresnahan
 978-270-0505
 gbresnahan@brocooil.com
 168 Hale Street
Haverhill, MA 01830

Messages

Kaitlin Wright

November 14, 2025 at 8:31 am

Please review ASAP, this is coming to Council on 12/02.



Fire Department Second Review

Record No.SPFL-25-2

Status Active

Became Active September 24, 2025

Type Approval

Due Date None

Assignee Brian Belfiore

Record No: SPFL-25-2

Special Permit – Flammable Fuel Storage

Status: Active

Submitted On: 6/2/2025

Primary Location

168 HALE ST
Haverhill, MA 01830

Owner

BEEHIVE REALTY, LLC
HALE ST 168 HAVERHILL, MA 01830

Applicant

 Guy Bresnahan
 978-270-0505
 gbresnahan@brocooil.com
 168 Hale Street
Haverhill, MA 01830

Messages

Kaitlin Wright

November 14, 2025 at 8:31 am

Please review ASAP, this is coming to Council on 12/02.



Abutter Notification

Record No.SPFL-25-2

Status Inactive

Became Active Unknown

Type Approval

Due Date None

Assignee Unassigned

Record No: SPFL-25-2

Special Permit - Flammable Fuel Storage

Status: Active

Submitted On: 6/2/2025

Primary Location

168 HALE ST
Haverhill, MA 01830

Owner

BEEHIVE REALTY, LLC
HALE ST 168 HAVERHILL, MA 01830

Applicant

 Guy Bresnahan
 978-270-0505
 gbresnahan@brocooil.com
 168 Hale Street
Haverhill, MA 01830

Messages

Natalia Hernandez

November 25, 2025 at 4:04 pm

Guy, please deliver the certified mail abutter notifications to the City Clerk's office no later than close of business on Monday 12/01.

Kaitlin Wright

November 14, 2025 at 8:32 am

As a reminder - The advertisement will be printed on November 13 and 20th in the Gazette. Please be sure to send abutter notification on or around then. A list of abutters has also been attached. Prior to the hearing, the certified mail receipts will need to be submitted to our office. Please reach out with questions.

Kaitlin Wright

September 8, 2025 at 12:52 pm

Abutter notification for fuel storage applications are the applicant's responsibility. You may use the advertisement to send your abutter notification. The advertisement will be printed on November 13 and 20th in the Gazette. Please be sure to send abutter notification on or around then. A list of abutters has also been attached. Prior to the hearing, the certified mail receipts will need to be submitted to our office. Please reach out with questions.

Step Activity

There are no recorded events for this step



Haverhill

City Clerk's Office, Room 118
Phone: 978-374-2312 Fax: 978-373-8490
cityclerk@haverhillma.gov

September 8, 2025

PUBLIC HEARING

City Council Chambers, City Hall, Room 202, 4 Summer st

Notice is hereby given that the following application for a license to store, keep, and use INFLAMMABLE LIQUIDS has been made to the City Clerk and the City Council will conduct a hearing for all parties interested, in a hybrid meeting (virtual/in person), on Tuesday, December 2, 2025; at 7:00 PM. This notice is given under the provisions of Chapter 148 of the General Laws - Guy Bresnahan on behalf of Broco Terminals, LLC. (SPFL-25-2); requesting to store an additional 30,000 gallons of propane in an above ground storage tank, three additional propane transport trailer trucks with a tank capacity of 12,600 gallons each for a total storage increase of 37,800 gallons of truck storage, and 8,000 gallons in miscellaneous empty customer tank. The overall propane storage capacity is being increased by 75,800 gallons at 158 Hale St.

(Residents who are interested in commenting on this item can either (1) Attend in person (Council Chambers, Room 202) or (2) Attend remotely using the link provided on the public meeting calendar on the City's website.)

Description of area, maps and plans are on file in the City Clerk's Office.

Advertise: November 13 & November 20, 2025
Haverhill Gazette

Kaitlin M. Wright, CMC
City Clerk



FP-002A
(Rev. 6/23)

The Commonwealth of Massachusetts
City/Town of Haverhill

Application For License

Massachusetts General Law, Chapter 148 §13

New License Amended License

GIS Coordinates
<u>42.784050</u>
LAT.
<u>-71.089870</u>
LONG.
<u>5495</u>
License Number

Application is hereby made in accordance with the provisions of Chapter 148 of the General Laws of Massachusetts for a license to store flammables, combustibles or explosives on land in buildings or structures herein described.

Location of Land: 168 Hale St, 602-457-1 and 602-457-2
Number, Street and Assessor's Map and Parcel ID

Attach a plot plan of the property indicating the location of property lines and all buildings or structures.

Owner of Land: Beehive Realty LLC + A+BCrossing LLC

Address of Land Owner: 7 Regency Ridge Andover, MA 01810

Use and Occupancy of Buildings and Structures: fuel storage and distribution

If this is an application for amendment of an existing license, indicate date of original license and any subsequent amendments
1964, 2020, and June 21, 2022
Attach a copy of the current license

Flammable and Combustible Liquids, Flammable Gases and Solids

Complete this section for the storage of flammable and combustible liquids, solids, and gases; see 527 CMR 1.00 Table 1.12.8.50; Attach additional pages if needed. All tanks and containers are considered full for the purposes of licensing and permitting.

PRODUCT NAME	CLASS	MAXIMUM QUANTITY	UNITS gal., lbs, cubic feet	CONTAINER UST, AST, IBC, drums
Fuel Oil	II	238,000	gal	AST
Biodiesel	III B	154,000	gal	AST
Propane	I	90,000	gal	AST
Propane	I	49,800	gal	truck mounted
Propane	I	16,000	gal	misc

Total quantity of all flammable liquids to be stored: none
 Total quantity of all combustible liquids to be stored: 392,000
 Total quantity of all flammable gases to be stored: 155,800
 Total quantity of all flammable solids to be stored: none

LP-gas (Complete this section for the storage of LP-gas or propane)

Indicate the maximum quantity of LP-gas to be stored and the sizes and capacities of all storage containers. (See 527 CMR 1.00 Table 1.12.8.50)

❖ Maximum quantity (in gallons) of LP-gas to be stored in aboveground containers: 155,800

List sizes and capacities of all aboveground containers used for storage: 3 - 30,000 gals,
4 - 3,000 gals truck tanks, 3 - 12,600 gals truck tanks, 16,000 gals

❖ Maximum quantity (in gallons) of LP-gas to be stored in underground containers: Ø

List sizes and capacities of all underground containers used for storage: n/A

16,000 gals
assorted
tanks

Total aggregate quantity of all LP-gas to be stored: 155,800

Fireworks (Complete this section for the storage of fireworks)

Indicate classes of fireworks to be stored and maximum quantity of each class. (See 527 CMR 1.00 Table 1.12.8.50)

❖ Maximum amount (in pounds) of Class 1.3G: Ø Type/class of magazine used for storage: Ø

❖ Maximum amount (in pounds) of Class 1.4G: Ø Type/class of magazine used for storage: Ø

❖ Maximum amount (in pounds) of Class 1.4: Ø Type/class of magazine used for storage: Ø

Total aggregate quantity of all classes of fireworks to be stored: Ø

Explosives (Complete this section for the storage of explosives)

Indicate classes of explosive to be stored and maximum quantity of each class. (See 527 CMR 1.00 Table 1.12.8.50)

❖ Maximum amount (in pounds) of Class 1.1: Ø Number of magazines used for storage: Ø

❖ Maximum amount (in pounds) of Class 1.2: Ø Number of magazines used for storage: Ø

❖ Maximum amount (in pounds) of Class 1.3: Ø Number of magazines used for storage: Ø

❖ Maximum amount (in pounds) of Class 1.4: Ø Number of magazines used for storage: Ø

❖ Maximum amount (in pounds) of Class 1.5: Ø Number of magazines used for storage: Ø

❖ Maximum amount (in pounds) of Class 1.6: Ø Number of magazines used for storage: Ø

I, Guy Bresnahan, hereby attest that I am authorized to make this application. I acknowledge that the information contained herein is accurate and complete to the best of my knowledge and belief. I acknowledge that all materials stored pursuant to any license granted hereunder must be stored or kept in accordance with all applicable laws, codes, rules and regulations, including but not limited to Massachusetts Chapter 148, and the Massachusetts Fire Code (527 CMR 1.00). I further acknowledge that the storage of any material specified in any license granted hereunder may not exceed the maximum quantity specified by the license.

Signature Guy Bresnahan Date 8/13/25 Name Guy Bresnahan

Fire Department Use Only

I, ERIC M. TAPY, Head of the HAVERHILL Fire Department endorse this application with my

Approval Disapproval Follow ALL code

D/C TAPY
Signature of Head of the Fire Department

Follow ALL code REQUIREMENTS AND Date

8/13/25

Recommendations: BEST PRACTICES ASSOCIATED WITH THE USE, STORAGE AND MAINTENANCE OF TANK, PRODUCT AND PROCESS.

FORM U-1A MANUFACTURER'S DATA REPORT FOR PRESSURE VESSELS
 (Alternative Form for Single Chamber, Completely Shop or Field Fabricated Vessels Only)
 As Required by the Provisions of the ASME Boiler and Pressure Vessel Code Rules, Section VIII, Division 1

1. Manufactured and certified by Bigbee Steel & Tank Company, 4535 Elizabethtown Road, Manheim, PA 17545, USA
(Name and address of Manufacturer)
2. Manufactured for Hiltz Propane Systems LLC, 693 West Market Street, Marietta, PA 17547, USA
(Name and address of Purchaser)
3. Location of installation Unknown
(Name and address)
4. Type Horizontal 4259 - 112875-3 2914 2020
(Horizontal or vertical, tank) (Manufacturer's serial number) (CRN) (Drawing number) (National Board number) (Year built)
5. ASME Code, Section VIII, Division 1 2019 Edition - -
(Edition and Addenda, if applicable (date)) (Code Case numbers) (Special service per UG-120(f))
6. Shell SA-516 70 0.875" 0" 10'-10.25" 39'-6"
(Material spec. number, grade) (Nominal thickness) (Cor. allow.) (Inner diameter) (Length overall)

Body Flanges on Shells										Bolts			
No.	Type	ID	OD	Flange Thk	Min Hub Thk	Material	How Attached	Location	Num & Size	Bolt Material	Washer I.D. ID. thk	Washer Material	
													-
-	-	-	-	-	-	-	-	-	-	-	-	-	
-	-	-	-	-	-	-	-	-	-	-	-	-	
-	-	-	-	-	-	-	-	-	-	-	-	-	

7. Seams Type 1 Full 100% - - Type 1 UW-11(a)(5) 85 4
(Long, welded, dbl. sing., lap, butt) (R.T. spot or hot) (E.H. % (H.T. temp.) (Time, hr) (Short welded, dbl. sing., lap, butt) (P.T. (Spot or Full) (E.H. % (No. of courses)
8. Heads: (a) Material SA-516 70 (b) Material SA-516 70
(Spec. no., grade) (Spec. no., grade)

	Location (Top, Bottom, Ends)	Minimum Thickness	Corrosion Allowance	Crown Radius	Knuckle Radius	Elliptical Ratio	Conical Apex Angle	Hemispherical Radius	Flat Diameter	Side to Pressure (Convex or Concave)
(b)	END	0.8244"	0"	-	-	2:1	-	-	-	Concave

Body Flanges on Heads										Bolts			
	Location	Type	ID	OD	Flange Thk	Min Hub Thk	Material	How Attached	Num & Size	Bolt Material	Washer I.D. ID. thk	Washer Material	
													(a)
(b)	-	-	-	-	-	-	-	-	-	-	-	-	

9. MAWP 250 psi - at max. temp. 150 °F
(Internal) (External) (Internal) (External)
- Min. design metal temp. -20 °F at 250 psi. Hydro., pneu., or comb. test pressure Hydro. at 325 psi

10. Nozzles, inspection, and safety valve openings:

Purpose (Inlet, Outlet, Drain, etc.)	No.	Diameter or Size	Type	Material		Nozzle Thickness		Reinforcement Material	Attachment Details		Location (Insp. Open.)
				Nozzle	Flange	Nom.	Corr.		Nozzle	Flange	
Manway	1	18"	CL 150 Studding Outlet	SA-105	-	1.125"	0"	None	UW-16.1(p)	-	Shell
Relief	1	4"	CL 300 Studding Outlet	SA-105	-	1.5"	0"	None	UW-16.1(p)	-	Shell
Vapor	2	2"	6000# H.C.	SA-105	-	0.625"	0"	None	UW-16.1(f)	-	Shell
Float Gauge	2	2.5"	6000# F.C.	SA-105	-	0.685"	0"	None	UW-16.1(f)	-	Shell
85% Fixed Level	1	0.75"	6000# F.C.	SA-105	-	0.845"	0"	None	UW-16.1(f)	-	Left/Right Heads
Thermometer	1	0.75"	Pipe w/ 6000# F.C.	SA-105 B/SA-105	-	0.154"	0"	None	UW-16.1(f)	-	Left Head

Additional Nozzles - See attached.

11. Supports: Skirt No Lugs - Legs - Other - Attached -
(Yes or no) (Number) (Number) (Describe) (Where and how)

12. Remarks: Manufacturer's Partial Data Reports properly identified and signed by Commissioned Inspectors have been furnished for the following items of the report: _____
(Name of part, item number, Manufacturer's name and identifying stamp)

Shop test performed in the horizontal position. Vessel intended for non-lethal and non-corrosive service.
Vessel impact exempt per UG-20(f). See attached U-4 Form.

Mfg. Representative: SM Date: 10-7-20 Page 2 of 2
Authorized Inspector: BP Date: 10-7-20

Form U-1A

Manufactured by Bigbee Steel & Tank Company
Manufacturer's Serial No. 4259 CRN - National Board No. 2914

CERTIFICATE OF SHOP/FIELD COMPLIANCE

We certify that the statements made in this report are correct and that all details of design, material, construction, and workmanship of this vessel conform to the ASME BOILER AND PRESSURE VESSEL CODE, Section VIII, Division 1. "U" Certificate of Authorization number 17158 expires November 30, 2020.

Date 10-7-20 Co. name Bigbee Steel & Tank Company Signed [Signature]
(Manufacturer) (Representative)

CERTIFICATE OF SHOP/FIELD INSPECTION

Vessel constructed by Bigbee Steel & Tank Company at 4535 Elizabethtown Road, Manheim PA 17545
I, the undersigned, holding a valid commission issued by the National Board of Boiler and Pressure Vessel Inspectors and employed by The Hartford Steam Boiler Inspection and Insurance Company of Hartford, CT
have inspected the component described in this Manufacturer's Data Report on 9-25-20, and state that, to the best of my knowledge and belief, the Manufacturer has constructed this pressure vessel in accordance with ASME BOILER AND PRESSURE VESSEL CODE, Section VIII, Division 1. By signing this certificate neither the Inspector nor his/her employer makes any warranty, expressed or implied, concerning the pressure vessel described in this Manufacturer's Data Report. Furthermore, neither the Inspector nor his/her employer shall be liable in any manner for any personal injury or property damage or a loss of any kind arising from or connected with this inspection.

Date 10-7-20 Signed [Signature] Commissions HB13523
(Authorized Inspector) (National Board Authorized Inspector Commission number)

FORM U-4 MANUFACTURER'S DATA REPORT SUPPLEMENTARY SHEET
 As Required by the Provisions of the ASME Boiler and Pressure Vessel Code Rules, Section VIII, Division 1

1. Manufactured and certified by Bigbee Steel & Tank Company 4535 Elizabethtown Road Manheim, PA 17545 USA
(Name and address of Manufacturer)

2. Manufactured for Hilitz Propane Systems LLC 693 West Market Street Marietta, PA 17547 USA
(Name and address of Purchaser)

3. Location of installation Unknown
(Name and address)

4. Type Horizontal Tank 4259
(Horizontal, vertical, or sphere) (Tank, separator, heat exch., etc.) (Manufacturer's serial number)

- 112875-3 2914 2020
(CRN) (Drawing Number) (National Board number) (Year built)

Additional Nozzles:

Purpose (Inlet, Outlet, Drain, etc)	No.	Diameter or Size	Type	Material		Nozzle Thickness		Reinforcement Material	Attachment Details		Location (Insp. Open.)
				Nozzle	Flange	Nom.	CRN		Nozzle	Flange	
Liquid	4	3"	6000# H.C.	SA-105	-	0.75"	0"	None	UW-16.1(d)	-	Shell
Vapor w/ Int. Pipe	2	2"	6000# H.C.	SA-105	-	0.625"	0"	None	UW-16.1(f)	-	Shell
-	-	-	-	-	-	-	-	-	-	-	-
-	-	-	-	-	-	-	-	-	-	-	-

Certificate of Authorization: Type U No. 17156 Expires November 30, 2020

Date 10-7-20 Name Bigbee Steel & Tank Company Signed [Signature]
(Manufacturer) (Authorized Inspector)

Date 10-7-20 Commissions NB 13523
(National Board Authorized Inspector Commission number)



Highland Tank

www.Highlandtank.com

Celebrating 65 Years of Experience

4535 Elizabethtown Rd P: 717-664-0600
Manheim, PA 17545-9410 F: 717-664-0617

October 8, 2020

Hiltz Propane Systems LLC
693 W Market St
Marietta, PA 17547

To Whom It May Concern:

Enclosed are your copies of the Data Report for your pressure vessel ordered on your PO #2020024.

Sincerely,

Todd J. Shearer

Todd J. Shearer
Engineering Manager

TJS:tt

Enclosure

Mfg. Representative: ML Date: 11/1/21 Page 1 of 2
 Authorized Inspector: ML Date: 11-01-2021

FORM U-1A MANUFACTURER'S DATA REPORT FOR PRESSURE VESSELS
 (Alternative Form for Single Chamber, Completely Shop or Field Fabricated Vessels Only)
 As Required by the Provisions of the ASME Boiler and Pressure Vessel Code Rules, Section VIII, Division 1

1. Manufactured and certified by Highland Tank of Central Michigan LLC, 4701 White Lake Road, Clarkston, MI 48347, USA
(Name and address of Manufacturer)
2. Manufactured for Hiltz Propane Systems LLC, 693 West Market Street, Marietta, PA 17547, USA
(Name and address of Purchaser)
3. Location of installation Unknown
(Name and address)
4. Type Horizontal 49 - 113764 rev3 49 2021
(Horizontal or vertical, tank) (Manufacturer's serial number) (CRN) (Drawing number) (National Board number) (Year built)
5. ASME Code, Section VIII, Division 1 2019 Edition - -
(Edition and Addenda, if applicable (date)) (Code Case numbers) (Special service per UG-120(d))
6. Shell SA-516 70 0.875" 0" 10'-10.25" 39'-6"
(Material spec. number, grade) (Nominal thickness) (Corr. allow.) (Inner diameter) (Length overall)

Body Flanges on Shells									Bolting			
No.	Type	ID	OD	Flange Thk	Min Hub Thk	Material	How Attached	Location	Num & Size	Bolting Material	Washer (OD, ID, thk)	Washer Material
-	-	-	-	-	-	-	-	-	-	-	-	-
-	-	-	-	-	-	-	-	-	-	-	-	-
-	-	-	-	-	-	-	-	-	-	-	-	-

7. Seams Butt Full 100% - - Butt Spot 85 4
(Long. (welded, dbl., sng., lap, butt)) (R.T. (spot or full)) (Efl., %) (H.T. temp.) (Time, hr) (Sirth (welded, dbl., sng.L, lap, butt)) (R.T. (Spot or Full)) (Efl., %) (No. of courses)
8. Heads: (a) Material SA-516 70 (b) Material SA-516 70
(Spec. no., grade) (Spec. no., grade)

	Location (Top, Bottom, Ends)	Minimum Thickness	Corrosion Allowance	Crown Radius	Knuckle Radius	Elliptical Ratio	Conical Apex Angle	Hemispherical Radius	Flat Diameter	Side to Pressure (Convex or Concave)
(a)	Left Head	0.8244"	None	118.8"	22.44"	2:1	-	-	-	Concave
(b)	Right Head	0.8244"	None	118.8"	22.44"	2:1	-	-	-	Concave

Body Flanges on Heads									Bolting			
	Location	Type	ID	OD	Flange Thk	Min Hub Thk	Material	How Attached	Num & Size	Bolting Material	Washer (OD, ID, thk)	Washer Material
(a)	-	-	-	-	-	-	-	-	-	-	-	-
(b)	-	-	-	-	-	-	-	-	-	-	-	-

9. MAWP 250 psi - at max. temp. 150 °F
(Internal) (External) (Internal) (External)

Min. design metal temp. -20 °F at 250 psi. Hydro., pneu., or comb. test pressure Hydro. at 325 psi
 Proof test -

10. Nozzles, inspection, and safety valve openings:

Purpose (Inlet, Outlet, Drain, etc.)	No.	Diameter or Size	Type	Material		Nozzle Thickness		Reinforcement Material	Attachment Detail		Location (Insp. Open.)
				Nozzle	Flange	Nom	Corr.		Nozzle	Flange	
Inspection	1	18"	CL 150 Studding Outlet	NA	SA 105	150#	0"	None	NA	UW-16.1(p-1)	Shell
Inlet/Outlet	1	4"	CL 300 Studding Outlet	NA	SA 105	300#	0"	None	NA	UW-16.1(p-1)	Shell
Inlet/Outlet	2	2"	H.Clog	SA-105	NA	6000#	0"	None	UW-16.1(i)	NA	Shell
Inlet/Outlet	2	2-1/2"	F.Clog	SA-105	NA	6000#	0"	None	UW-16.1(j)	NA	Left/Right Heads
Inlet/Outlet	1	3/4"	F.Clog	SA-105	NA	6000#	0"	None	UW-16.1(f)	NA	Left Head
Inlet/Outlet	1	3/4"	Pipe	SA-106 GB	NA	Sch 80	0"	None	UW-16.1(i)	UW-16.1(k)	Left Head

Additional Nozzles - See attached

11. Supports: Skirt No Lugs - Legs - Other SADDLES Attached Welded - Shell
(Yes or no) (Number) (Number) (Describe) (Weld and how)

12. Remarks: Manufacturer's Partial Data Reports properly identified and signed by Commissioned Inspectors have been furnished for the following items of the report: -
(Name of part, item number, Manufacturer's name and identifying stamp)

Vessel intended for non-lethal service. Safety relief valve installed by owner. Vessel impact exempt per UG-20(f) and UCS-66(c)

Mfg. Representative: La Date: 11/1/21 Page 2 of 2
Authorized Inspector: [Signature] Date: 11/01/2021

Form U-1A

Manufactured by Highland Tank of Central Michigan LLC
Manufacturer's Serial No. 49 CRN - National Board No. 49

CERTIFICATE OF SHOP/FIELD COMPLIANCE

We certify that the statements made in this report are correct and that all details of design, material, construction, and workmanship of this vessel conform to the ASME BOILER AND PRESSURE VESSEL CODE, Section VIII, Division 1. "U" Certificate of Authorization number 57,508 expires April 8, 2022.

Date 11/1/21 Co. name Highland Tank of Central Michigan LLC Signed La
(Manufacturer) (Representative)

CERTIFICATE OF SHOP/FIELD INSPECTION

Vessel constructed by Highland Tank of Central Michigan LLC at Clarkston MI
I, the undersigned, holding a valid commission issued by the National Board of Boiler and Pressure Vessel Inspectors and employed by The Hartford Steam Boiler Inspection and Insurance Company of Connecticut
have inspected the component described in this Manufacturer's Data Report on NOV 1, 2021 and state that, to the best of my knowledge and belief, the Manufacturer has constructed this pressure vessel in accordance with ASME BOILER AND PRESSURE VESSEL CODE, Section VIII, Division 1. By signing this certificate neither the Inspector nor his/her employer makes any warranty, expressed or implied, concerning the pressure vessel described in this Manufacturer's Data Report. Furthermore, neither the Inspector nor his/her employer shall be liable in any manner for any personal injury or property damage or a loss of any kind arising from or connected with this inspection.

Date 11/01/2021 Signed [Signature] Commissions NB9486 M1610
(Authorized Inspector) (National Board Authorized Inspector Commission number)

(07/17)

FORM U-4 MANUFACTURER'S DATA REPORT SUPPLEMENTARY SHEET
As Required by the Provisions of the ASME Boiler and Pressure Vessel Code Rules, Section VIII, Division 1

1. Manufactured and certified by Highland Tank of Central Michigan LLC 4701 White Lake Road, Clarkston, MI 48347
(Name and address of Manufacturer)

2. Manufactured for Hilz Propane Systems LLC 693 West Market Street Marietta, PA 17547 USA
(Name and address of Purchaser)

3. Location of installation Unknown
(Name and address)

4. Type Horizontal Tank 49
(Horizontal, vertical, or sphere) (Tank, separator, heat exch., etc.) (Manufacturer's serial number)

- 113764 rev3 49 2021
(CRN) (Drawing Number) (National Board number) (Year built)

Additional Nozzles:

Purpose (Inlet, Outlet, Drain, etc)	No.	Diameter or Size	Type	Material		Nozzle Thickness		Reinforcement Material	Attachment Details		Location (Insp. Open.)
				Nozzle	Flange	Nom.	Corr.		Nozzle	Flange	
Inlet/Outlet	4	3"	6000# H.C.	SA-105	-NA	6000#	0"	None	UW-16.1(i)	-NA	Shell
Inlet/Outlet	2	2"	6000# H.C.	SA-105	-NA	6000#	0"	None	UW-16.1(i)	-NA	Shell
-	-	-	-	-	-	-	-	-	-	-	-
-	-	-	-	-	-	-	-	-	-	-	-

Certificate of Authorization: Type U No. 57,508 Expires April 8, 2022

Date 11/1/21 Name Highland Tank of Central Michigan LLC Signed Lee Leppin Ph.D.
(Manufacturer) (Representative)

Date 11/01/2021 Signed [Signature] Commissions NB9486 MI610
(Authorized Inspector) (National Board Authorized Inspector Commission number)

Broco Energy Special Permit SPFL 25-2

Haverhill Fire Department Review

Supplemental Information

Clarify Propane tank construction, installation and inspection standards: Broco's existing propane storage and distribution system was completed in accordance with all applicable Codes and Standards.

The existing 30,000-gallon horizontal steel pressure vessels were constructed in accordance with the *American Society of Mechanical Engineers (A.S.M.E) Code for Pressure Vessels, Section VIII, Division 1, 2019 Edition*. Broco's propane storage tanks, appurtenances, piping components, piping materials, pumpset components and the installation of these components and equipment meet the requirements of NFPA 58, Liquefied Petroleum Gas Code, 2014 edition. In addition to NFPA 58, the system was designed and installed in accordance with all applicable Codes and Standards including 527CMR 1.00, Massachusetts Comprehensive Fire Safety Code; 780 CMR, Massachusetts State Building Code; the completed Fire Safety Analysis, and good engineering practice. Electrical systems for the bulk facility were installed in accordance with the MA Fire Safety Code , 527CMR 12.00 and the National Electric Code with Massachusetts Amendments.

Hydrostatic pressure tests were performed and recorded on the storage vessels and piping was pressure tested at a pressure of 375 PSIG for 12 hours with successful results. Annual storage tank inspections have been, and will continue to be, conducted in accordance with the National Board Inspection Code (NBIC) requirements.

Aboveground Storage Tank #1 was built in 2020, by Bigbee Steel & Tank Company of Manheim, Pennsylvania for Highland Tank and carries a manufacturer's serial number of #4259 and a National Inspection Board number of #2914. The tank was newly constructed to contain propane (Flammable Gas).

Aboveground Storage Tank #2 was built in 2021 by Highland Tank of Central Michigan, LLC of Clarkston Michigan and carries a manufacturer's serial number of #49 and a National Inspection Board number of #49. The tank was newly constructed to contain propane (Flammable Gas).

Copies of the tank Manufacturer's Data Report Forms (Form U-1A) have been uploaded as an attachment to the SPFL 25-2 permit file.

and features immediate staff cellphone alert messages and the ability to notify HFD and other first responders depending on the nature for the alarm.

Broco acknowledges that any future expansion of its propane business beyond the pending storage permit request (SPFL 25-2) will require additional municipal and state permitting and all future proposed work must be in compliance any updated state and federal fire and safety codes in existence at the time of such proposed expansion. Expansion tanks and associated distribution equipment will additionally feature an expansion of gas leak detection monitors and IR flash detection cameras, as deemed appropriate prior to commissioning.

Broco has further agreed to provide, on an annual basis, a \$5,000 expenditure to ensure that a ready supply of F-500 Encapsulation Agent (or equivalent firefighting agent) is on supply at HFD and/or Broco's Hale Street fuel terminal should it be needed to suppress a fire. Broco views this renewable annual safety expenditure as shared resource and a partnership donation to the Haverhill Fire Department.

2025 Permit Increase to Store Flammables (SPFL 25-2)
Broco Energy - 168 Hale Street, Haverhill MA

Broco Energy Class II & IIIB Liquid Fuel Storage Capacity

12 AST's

<u>Diesel/HO Volumes</u>	<u>Gallons</u>
Vertical Tanks 1-4 (49.5k ea.)	198,000
Vertical Tanks 5 & 6 (20k ea.)	<u>40,000</u>
	238,000
<u>Biodiesel Volumes</u>	<u>Gallons</u>
Tanks 7, 8 & 9	90,000
Tanks 10 & 11	60,000
Tank 12	<u>4,000</u>
	154,000
Class I & II Storage Total	392,000

Broco Energy Class I Propane Gas Storage Capacity

10 AST's

<u>Propane Volumes</u>	<u>Gallons</u>
Horizontal AST Tanks 1-2 (30k ea.)	60,000
Horizontal AST Proposed tank 3 (30k)	30,000
Bobtail truck storage Trucks 1-4 (3k ea.)	12,000
Three Proposed Transport Tractor Trailers 1-3 (12.6k ea)	37,800
Miscellaneous customer tanks -assorted	<u>16,000</u>
	155,800
Class I Storage Total	155,800
Total Terminal Storage - combustible liquids & flammable gases	547,800

Project Description

Summary - The proposed storage permit modification will increase Broco's above ground propane storage tank (AST) capacity by 30,000 gallons. The storage increase (scheduled for this fall) will add one additional 30,000-gallon skid mounted tank for a total of three propane storage tanks, or 90,000 gallons

Broco is also looking to add three Propane Transport Trailer trucks with a tank capacity of 12,600 gallons each, for a total storage increase of 37,800 gallons of truck storage. The last permit increase request involves an increase of 8,000 gallons in miscellaneous empty customer tanks for a revised total of 16,000 gallons of assorted sizes of customer tanks awaiting placement.

Overall, Broco's existing propane storage capacity is being increase by 75,800 gallons – from 80,000 gallons to 155,800 gallons under this permit increase request..

A project locus plan has been included to highlight the location of the proposed improvements at the site and show the relationship of proposed improvements to existing storage tanks and rail offload tower. The construction of the second railcar offload tower (shown on the locus plan) is informational and not part of this permit request.

This fall the project will procure and install one 30,000–gallon 250 psi ASME horizontal propane storage tank with steel support saddles on a skid support system with a fully-equipped truck loading stanchion including a 4" pump system, explosion proof motor, a 450 GPM meter, break away hoses and a TopTech Terminal Automation System to create bills of lading for all delivery and transport trucks loading at Broco. The LPG tank will match the existing two propane tanks previously installed.

The new propane storage tank will include all required gauges and safety valves and distribution equipment and an electronic emergency shut off valve. The tank and distribution/loading equipment will be placed on a 20' x 60' engineered concrete slab and will be connected to, and monitored by, Broco's Macurco gas leak and infrared flash detection control panel and devices 24/7.

The design plans are complete. Broco's current Fire Safety Analysis will be updated and sent to the State Fire Marshal's Office (SFMO) for review along with the FP-101 Application for Construction and Installation, the approval of which is required. The SFMO Community Compliance Officer and HFD will inspect the system installation to ensure all fire and safety codes are met before the new tank can be filled and put in use

Project Description

Summary - The proposed storage permit modification will increase Broco's above ground propane storage tank (AST) capacity by 30,000 gallons. The storage increase (scheduled for this fall) will add one additional 30,000-gallon skid mounted tank for a total of three propane storage tanks, or 90,000 gallons

Broco is also looking to add three Propane Transport Trailer trucks with a tank capacity of 12,600 gallons each, for a total storage increase of 37,800 gallons of truck storage. The last permit increase request involves an increase of 8,000 gallons in miscellaneous empty customer tanks for a revised total of 16,000 gallons of assorted sizes of customer tanks awaiting placement.

Overall, Broco's existing propane storage capacity is being increase by 75,800 gallons – from 80,000 gallons to 155,800 gallons under this permit increase request..

A project locus plan has been included to highlight the location of the proposed improvements at the site and show the relationship of proposed improvements to existing storage tanks and rail offload tower. The construction of the second railcar offload tower (shown on the locus plan) is informational and not part of this permit request.

This fall the project will procure and install one 30,000–gallon 250 psi ASME horizontal propane storage tank with steel support saddles on a skid support system with a fully-equipped truck loading stanchion including a 4" pump system, explosion proof motor, a 450 GPM meter, break away hoses and a TopTech Terminal Automation System to create bills of lading for all delivery and transport trucks loading at Broco. The LPG tank will match the existing two propane tanks previously installed.

The new propane storage tank will include all required gauges and safety valves and distribution equipment and an electronic emergency shut off valve. The tank and distribution/loading equipment will be placed on a 20' x 60' engineered concrete slab and will be connected to, and monitored by, Broco's Macurco gas leak and infrared flash detection control panel and devices 24/7.

The design plans are complete. Broco's current Fire Safety Analysis will be updated and sent to the State Fire Marshal's Office (SFMO) for review along with the FP-101 Application for Construction and Installation, the approval of which is required. The SFMO Community Compliance Officer and HFD will inspect the system installation to ensure all fire and safety codes are met before the new tank can be filled and put in use

COMMONWEALTH OF MASSACHUSETTS



CITY OF HAVERHILL
INFLAMMABLES REGISTRATION
2025



Date of Issue: April 9, 2025

Date of Application: March 24, 2025

Permit Number: INFL-25-1

Historic Registration Number: 5495

Company Name: Broco Energy

Address: 168 HALE ST

This permit expires: April 30, 2026

MBL: 602-457-2

Kaitlin M. Wright

Kaitlin Wright, Haverhill City Clerk



THIS PERMIT MUST BE CONSPICUOUSLY POSTED UPON THE PREMISES





HAVERHILL
 2 WASHINGTON SQ
 HAVERHILL, MA 01830-9998
 www.usps.com

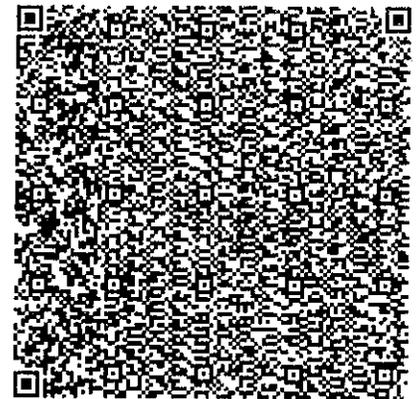
11/28/2025

03:38 PM

TRACKING NUMBERS

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TRACK STATUS OF ITEMS WITH THIS CODE
 (UP TO 25 ITEMS)



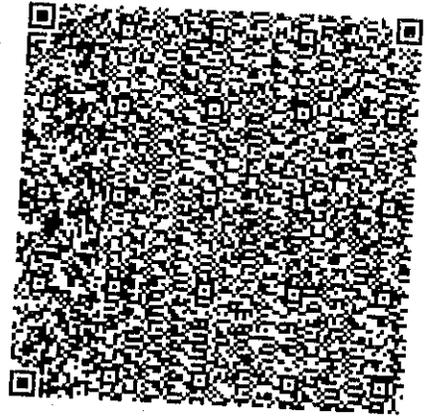
Displays first 25 tracking numbers only

TRACK STATUS BY TEXT MESSAGE
 Send tracking number to 28777 (2USPS)
 Standard message and data rates may apply

TRACK STATUS ONLINE
 Visit <https://www.usps.com/tracking>
 Text and e-mail alerts available

PURCHASE DETAILS

Product	Qty	Unit Price	Price
NCardinal#10R Env	66	\$1.01	\$66.66
First-Class Mail® Letter	1		\$0.78
Haverhill, MA 01830			
Weight: 0 lb 0.30 oz			



Displays first 25 tracking numbers only

TRACK STATUS BY TEXT MESSAGE
Send tracking number to 28777 (2USPS)
Standard message and data rates may apply

TRACK STATUS ONLINE
Visit <https://www.usps.com/tracking>
Text and e-mail alerts available

PURCHASE DETAILS

Product	Qty	Unit Price	Price
NCardinal#10R Env	66	\$1.01	\$66.66
First-Class Mail® Letter	1		\$0.78

Haverhill, MA 01830
Weight: 0 lb 0.30 oz
Estimated Delivery Date
Mon 12/01/2025

Tracking #: 9545 3114 1848 5332 6053 15

Insurance Amount: \$100.00 \$3.40

Affixed Postage Affixed Amount: \$0.78 -\$0.78

Total \$3.40

Estimated Delivery Date: Mon 12/01/2025
 Tracking #: 9545 3114 1848 5332 6053 39
 Insurance Amount: \$100.00
 Affixed Postage Amount: \$0.78
 Total: \$3.40
 -\$0.78
 \$3.40

First-Class Mail® 1
 Letter
 Haverhill, MA 01830
 Weight: 0 lb 0.30 oz
 Estimated Delivery Date: Mon 12/01/2025
 Tracking #: 9545 3114 1848 5332 6054 14
 Insurance Amount: \$100.00
 Affixed Postage Amount: \$0.78
 Total: \$0.78
 \$3.40
 -\$0.78
 \$3.40

First-Class Mail® 1
 Letter
 Waltham, MA 02451
 Weight: 0 lb 0.30 oz
 Estimated Delivery Date: Mon 12/01/2025
 Tracking #: 9545 3114 1848 5332 6054 52
 Insurance Amount: \$100.00
 Affixed Postage Amount: \$0.78
 Total: \$0.78
 \$3.40
 -\$0.78
 \$3.40

First-Class Mail® 1
 Letter
 Haverhill, MA 01832
 Weight: 0 lb 0.30 oz
 Estimated Delivery Date: Mon 12/01/2025
 Tracking #: 9545 3114 1848 5332 6055 13
 Insurance Amount: \$100.00
 Affixed Postage Amount: \$0.78
 Total: \$0.78
 \$3.40
 -\$0.78
 \$3.40

First-Class Mail® 1
 Letter
 Boston, MA 02110
 Weight: 0 lb 0.30 oz
 Estimated Delivery Date: Mon 12/01/2025
 Tracking #: 9545 3114 1848 5332 6054 90
 Insurance Amount: \$100.00
 Affixed Postage Amount: \$0.78
 Total: \$0.78
 \$3.40
 -\$0.78
 \$3.40

First-Class Mail® 1
 Letter
 Haverhill, MA 01830
 Weight: 0 lb 0.30 oz
 Estimated Delivery Date: Mon 12/01/2025
 Tracking #: 9545 3114 1848 5332 6055 51
 Insurance Amount: \$100.00
 Affixed Postage Amount: \$0.78
 Total: \$0.78
 \$3.40
 -\$0.78
 \$3.40

Haverhill, MA 01830
 Weight: 0 lb 0.30 oz
 Estimated Delivery Date
 Mon 12/01/2025
 Tracking #: 9545 3114 1848 5332 6055 75
 Insurance Amount: \$100.00
 Affixed Postage
 Affixed Amount: \$0.78
 Total \$3.40
 -\$0.78
 \$3.40

First-Class Mail® 1
 Letter
 Haverhill, MA 01830
 Weight: 0 lb 0.30 oz
 Estimated Delivery Date
 Mon 12/01/2025
 Tracking #: 9545 3114 1848 5332 6056 50
 Insurance Amount: \$100.00
 Affixed Postage
 Affixed Amount: \$0.78
 Total \$3.40
 -\$0.78
 \$3.40

First-Class Mail® 1
 Letter
 Haverhill, MA 01830
 Weight: 0 lb 0.30 oz
 Estimated Delivery Date
 Mon 12/01/2025
 Tracking #: 9545 3114 1848 5332 6057 59
 Insurance Amount: \$100.00
 Affixed Postage
 Affixed Amount: \$0.78
 Total \$3.40
 -\$0.78
 \$3.40

First-Class Mail® 1
 Letter
 Malden, MA 02148
 Weight: 0 lb 0.30 oz
 Estimated Delivery Date
 Mon 12/01/2025
 Tracking #: 9545 3114 1848 5332 6057 11
 Insurance Amount: \$100.00
 Affixed Postage
 Affixed Amount: \$0.78
 Total \$3.40
 -\$0.78
 \$3.40

Haverhill, MA 01830
 Weight: 0 lb 0.30 oz
 Estimated Delivery Date
 Mon 12/01/2025
 Tracking #: 9545 3114 1848 5332 6056 36
 Insurance Amount: \$100.00
 Affixed Postage
 Affixed Amount: \$0.78
 Total \$3.40
 -\$0.78
 \$3.40

First-Class Mail® 1
 Letter
 Haverhill, MA 01830
 Weight: 0 lb 0.30 oz
 Estimated Delivery Date
 Mon 12/01/2025
 Tracking #: 9545 3114 1848 5332 6056 98
 Insurance Amount: \$100.00
 Affixed Postage
 Affixed Amount: \$0.78
 Total \$3.40
 -\$0.78
 \$3.40

First-Class Mail® 1
 Letter
 Haverhill, MA 01830
 Weight: 0 lb 0.30 oz
 Estimated Delivery Date
 Mon 12/01/2025
 Tracking #: 9545 3114 1848 5332 6057 35
 Insurance Amount: \$100.00
 Affixed Postage
 Affixed Amount: \$0.78
 Total \$3.40
 -\$0.78
 \$3.40

First-Class Mail® 1
 Letter
 Haverhill, MA 01830
 Weight: 0 lb 0.30 oz
 Estimated Delivery Date
 Mon 12/01/2025
 Tracking #: 9545 3114 1848 5332 6057 73
 Insurance Amount: \$100.00
 Affixed Postage
 Affixed Amount: \$0.78
 Total \$3.40
 -\$0.78
 \$3.40

First-Class Mail® 1
 Letter
 Haverhill, MA 01830
 Weight: 0 lb 0.30 oz
 Estimated Delivery Date
 Mon 12/01/2025
 Tracking #: 9545 3114 1848 5332 6057 97
 Insurance Amount: \$100.00
 Affixed Postage
 Affixed Amount: \$0.78
 Total \$3.40
 -\$0.78
 \$3.40

First-Class Mail® 1
 Letter
 Haverhill, MA 01830
 Weight: 0 lb 0.30 oz
 Estimated Delivery Date
 Mon 12/01/2025
 Tracking #: 9545 3114 1848 5332 6058 10
 Insurance Amount: \$100.00
 Affixed Postage
 Affixed Amount: \$0.78
 Total \$3.40
 -\$0.78
 \$3.40

First-Class Mail® 1
 Letter
 Haverhill, MA 01830
 Weight: 0 lb 0.30 oz
 Estimated Delivery Date
 Mon 12/01/2025
 Tracking #: 9545 3114 1848 5332 6057 11
 Insurance Amount: \$100.00
 Affixed Postage
 Affixed Amount: \$0.78
 Total \$3.40
 -\$0.78
 \$3.40

First-Class Mail® 1
 Letter
 Haverhill, MA 01830
 Weight: 0 lb 0.30 oz
 Estimated Delivery Date
 Mon 12/01/2025
 Tracking #: 9545 3114 1848 5332 6057 11
 Insurance Amount: \$100.00
 Affixed Postage
 Affixed Amount: \$0.78
 Total \$3.40
 -\$0.78
 \$3.40

Haverhill, MA 01830
Weight: 0 lb 0.30 oz
Estimated Delivery Date
Mon 12/01/2025

Tracking #: 9545 3114 1848 5332 6060 53
Insurance Amount: \$100.00
Affixed Postage
Affixed Amount: \$0.78

Total \$0.78
First-Class Mail® 1
Letter

Haverhill, MA 01830
Weight: 0 lb 0.30 oz
Estimated Delivery Date
Mon 12/01/2025
Tracking #: 9545 3114 1848 5332 6060 77
Insurance Amount: \$100.00
Affixed Postage
Affixed Amount: \$0.78

Total \$0.78
First-Class Mail® 1
Letter

Haverhill, MA 01830
Weight: 0 lb 0.30 oz
Estimated Delivery Date
Mon 12/01/2025
Tracking #: 9545 3114 1848 5332 6060 91
Insurance Amount: \$100.00
Affixed Postage
Affixed Amount: \$0.78

Total \$3.40
First-Class Mail® 1
Letter

Haverhill, MA 01830
Weight: 0 lb 0.30 oz
Estimated Delivery Date
Mon 12/01/2025
Tracking #: 9545 3114 1848 5332 6061 14
Insurance Amount: \$100.00
Affixed Postage
Affixed Amount: \$0.78

Total \$3.40
First-Class Mail® 1
Letter

Haverhill, MA 01830
Weight: 0 lb 0.30 oz
Estimated Delivery Date
Mon 12/01/2025
Tracking #: 9545 3114 1848 5332 6061 38
Insurance Amount: \$100.00
Affixed Postage
Affixed Amount: \$0.78

Haverhill, MA 01830
Weight: 0 lb 0.30 oz
Estimated Delivery Date
Mon 12/01/2025

Tracking #: 9545 3114 1848 5332 6059 57
Insurance Amount: \$100.00
Affixed Postage
Affixed Amount: \$0.78

Total \$3.40
First-Class Mail® 1
Letter

Haverhill, MA 01830
Weight: 0 lb 0.30 oz
Estimated Delivery Date
Mon 12/01/2025
Tracking #: 9545 3114 1848 5332 6059 71
Insurance Amount: \$100.00
Affixed Postage
Affixed Amount: \$0.78

Total \$3.40
First-Class Mail® 1
Letter

New York, NY 10019
Weight: 0 lb 0.30 oz
Estimated Delivery Date
Mon 12/01/2025
Tracking #: 9545 3114 1848 5332 6059 95
Insurance Amount: \$100.00
Affixed Postage
Affixed Amount: \$0.78

Total \$3.40
First-Class Mail® 1
Letter

Haverhill, MA 01830
Weight: 0 lb 0.30 oz
Estimated Delivery Date
Mon 12/01/2025
Tracking #: 9545 3114 1848 5332 6060 15
Insurance Amount: \$100.00
Affixed Postage
Affixed Amount: \$0.78

Total \$3.40
First-Class Mail® 1
Letter

Haverhill, MA 01830
Weight: 0 lb 0.30 oz
Estimated Delivery Date
Mon 12/01/2025
Tracking #: 9545 3114 1848 5332 6060 39
Insurance Amount: \$100.00
Affixed Postage
Affixed Amount: \$0.78

Haverhill, MA 01830
Weight: 0 lb 0.30 oz
Estimated Delivery Date
Mon 12/01/2025

Tracking #: 9545 3114 1848 5332 6058 58
Insurance Amount: \$100.00
Affixed Postage
Affixed Amount: \$0.78

Total \$3.40
First-Class Mail® 1
Letter

Haverhill, MA 01830
Weight: 0 lb 0.30 oz
Estimated Delivery Date
Mon 12/01/2025
Tracking #: 9545 3114 1848 5332 6058 72
Insurance Amount: \$100.00
Affixed Postage
Affixed Amount: \$0.78

Total \$3.40
First-Class Mail® 1
Letter

Haverhill, MA 01830
Weight: 0 lb 0.30 oz
Estimated Delivery Date
Mon 12/01/2025
Tracking #: 9545 3114 1848 5332 6058 96
Insurance Amount: \$100.00
Affixed Postage
Affixed Amount: \$0.78

Total \$3.40
First-Class Mail® 1
Letter

Haverhill, MA 01830
Weight: 0 lb 0.30 oz
Estimated Delivery Date
Mon 12/01/2025
Tracking #: 9545 3114 1848 5332 6059 19
Insurance Amount: \$100.00
Affixed Postage
Affixed Amount: \$0.78

Total \$3.40
First-Class Mail® 1
Letter

Haverhill, MA 01830
Weight: 0 lb 0.30 oz
Estimated Delivery Date
Mon 12/01/2025
Tracking #: 9545 3114 1848 5332 6059 33
Insurance Amount: \$100.00
Affixed Postage
Affixed Amount: \$0.78

First-Class Mail® 1 \$0.78
 Letter
 Haverhill, MA 01830
 Weight: 0 lb 0.30 oz
 Estimated Delivery Date
 Mon 12/01/2025
 Tracking #: 9545 3114 1848 5332 6064 66
 Insurance
 Amount: \$100.00 \$3.40
 Affixed Postage
 Affixed Amount: \$0.78 -\$0.78
 Total \$0.78

First-Class Mail® 1 \$0.78
 Letter
 Haverhill, MA 01832
 Weight: 0 lb 0.30 oz
 Estimated Delivery Date
 Mon 12/01/2025
 Tracking #: 9545 3114 1848 5332 6065 41
 Insurance
 Amount: \$100.00 \$3.40
 Affixed Postage
 Affixed Amount: \$0.78 -\$0.78
 Total \$3.40

First-Class Mail® 1 \$0.78
 Letter
 Haverhill, MA 01832
 Weight: 0 lb 0.30 oz
 Estimated Delivery Date
 Mon 12/01/2025
 Tracking #: 9545 3114 1848 5332 6065 65
 Insurance
 Amount: \$100.00 \$3.40
 Affixed Postage
 Affixed Amount: \$0.78 -\$0.78
 Total \$3.40

First-Class Mail® 1 \$0.78
 Letter
 Haverhill, MA 01830
 Weight: 0 lb 0.30 oz
 Estimated Delivery Date
 Mon 12/01/2025
 Tracking #: 9545 3114 1848 5332 6064 80
 Insurance
 Amount: \$100.00 \$3.40
 Affixed Postage
 Affixed Amount: \$0.78 -\$0.78
 Total \$3.40

First-Class Mail® 1 \$0.78
 Letter
 Haverhill, MA 01830
 Weight: 0 lb 0.30 oz
 Estimated Delivery Date
 Mon 12/01/2025
 Tracking #: 9545 3114 1848 5332 6065 27
 Insurance
 Amount: \$100.00 \$3.40
 Affixed Postage
 Affixed Amount: \$0.78 -\$0.78
 Total \$3.40

First-Class Mail® 1 \$0.78
 Letter
 Haverhill, MA 01830
 Weight: 0 lb 0.30 oz
 Estimated Delivery Date
 Mon 12/01/2025
 Tracking #: 9545 3114 1848 5332 6065 03
 Insurance
 Amount: \$100.00 \$3.40
 Affixed Postage
 Affixed Amount: \$0.78 -\$0.78
 Total \$3.40

523-326-1 CITY OF HAVERHILL 4 SUMMER ST HAVERHILL, MA 01830	524-326-5 THE JUNE M CHILDS REALTY TRUST 8 LEBLANC ST HAVERHILL, MA 01832	524-326-6 CHRISTOFFERSON JAMES R 9 LEBLANC STREET HAVERHILL, MA 01832
524-327-1 COMEAU LAWRENCE L 10 LEBLANC ST HAVERHILL, MA 01832	524-327-6 GIDDINGS LLOYD W 207 HILLDALE AVE HAVERHILL, MA 01832	524-327-7 JIMENEZ JOEL-ETAL 211 HILLDALE AVE HAVERHILL, MA 01832
524-328A-13 FOUNTAIN ERNEST H-ETUX 3 WHITTIER PLACE HAVERHILL, MA 01832	524-328A-13A VASQUEZ AMARILIZ 1 WHITTIER PL HAVERHILL, MA 01832	601-451-2 134 HALE STREET REALTY TRUST 89 SEVEN SISTER RD HAVERHILL, MA 01830
601-451-2B MASSACHUSETTS ELECTRIC CO 40 SYLVAN RD WALTHAM, MA 02451	601-451-4 JOZ PROPERTY MANAGEMENT, INC. 140 HALE ST HAVERHILL, MA 01830	601-453-1 M BAY TRANS AUTHORITY 10 PARK PLAZA BOSTON, MA 02116
601-453-2A M BAY TRANS AUTHORITY 45 HIGH ST BOSTON, MA 02110	601-454-1 NM PASTA, L.L.C 1633 BROADWAY 48TH FLOOR NEW YORK, NY 10019	601-455-10 DELACRUZ RAMONA 142 EIGHTH AVE HAVERHILL, MA 01830
601-455-11 GORDON W HALE REVOCABLE TRUST 146 EIGHTH AVE HAVERHILL, MA 01830	601-455-12 JOZ PROPERTY MANAGEMENT, INC. 140 HALE ST HAVERHILL, MA 01830	601-455-7 RODRIGUEZ ANGEL S-ETUX 128 EIGHTH AVE HAVERHILL, MA 01830
601-455-8 ZEPEDA JOSE-ETUX 132 EIGHTH AVE HAVERHILL, MA 01830	601-455-9 FABIAN FRANCISCO A ETAL 138 EIGHTH AVE HAVERHILL, MA 01830	601-456-1A KASANA SOPHIE N-ETUX 150 HALE ST HAVERHILL, MA 01830
602-451-1 M BAY TRANS AUTHORITY 45 HIGH ST BOSTON, MA 02110	602-457-1 A & B CROSSING, LLC 168 HALE ST HAVERHILL, MA 01830	602-457-2 BEEHIVE REALTY, LLC 168 HALE ST HAVERHILL, MA 01830
602-457-8 ROUSSEAU MICHELLE L 160 HALE ST HAVERHILL, MA 01830	602-458-1 GOYETTE DONNA L 143 EIGHTH AV HAVERHILL, MA 01830	602-458-10 KELLY'S TRUST OF 2025 129 EIGHTH AVE HAVERHILL, MA 01830
602-458-11 HICKEY FRANCIS D 133 EIGHTH AVE HAVERHILL, MA 01830	602-458-12 UYEDA RAQUEL A 135-137 EIGHTH AVE HAVERHILL, MA 01830	602-458-2 ROSARIO ANDRES JR 26 BURKE ST HAVERHILL, MA 01830

523-326-1
CITY OF HAVERHILL
4 SUMMER ST
HAVERHILL, MA 01830

524-327-1
COMEAU LAWRENCE L
10 LEBLANC ST
HAVERHILL, MA 01832

524-328A-13
FOUNTAIN ERNEST H-ETUX
3 WHITTIER PLACE
HAVERHILL, MA 01832

601-451-2B
MASSACHUSETTS ELECTRIC CO
40 SYLVAN RD
WALTHAM, MA 02451

601-453-2A
M BAY TRANS AUTHORITY
45 HIGH ST
BOSTON, MA 02110

601-455-11
GORDON W HALE REVOCABLE TRUST
146 EIGHTH AVE
HAVERHILL, MA 01830

601-455-8
ZEPEDA JOSE-ETUX
132 EIGHTH AVE
HAVERHILL, MA 01830

602-451-1
M BAY TRANS AUTHORITY
45 HIGH ST
BOSTON, MA 02110

602-457-8
ROUSSEAU MICHELLE L
160 HALE ST
HAVERHILL, MA 01830

602-458-11
HICKEY FRANCIS D
133 EIGHTH AVE
HAVERHILL, MA 01830

524-326-5
THE JUNE M CHILDS REALTY TRUST
8 LEBLANC ST
HAVERHILL, MA 01832

524-327-6
GIDDINGS LLOYD W
207 HILLDALE AVE
HAVERHILL, MA 01832

524-328A-13A
VASQUEZ AMARILIZ
1 WHITTIER PL
HAVERHILL, MA 01832

601-451-4
JOZ PROPERTY MANAGEMENT, INC.
140 HALE ST
HAVERHILL, MA 01830

601-454-1
NM PASTA, L.L.C
1633 BROADWAY 48TH FLOOR
NEW YORK, NY 10019

601-455-12
JOZ PROPERTY MANAGEMENT, INC.
140 HALE ST
HAVERHILL, MA 01830

601-455-9
FABIAN FRANCISCO A ETAL
138 EIGHTH AVE
HAVERHILL, MA 01830

602-457-1
A & B CROSSING, LLC
168 HALE ST
HAVERHILL, MA 01830

602-458-1
GOYETTE DONNA L
143 EIGHTH AV
HAVERHILL, MA 01830

602-458-12
UYEDA RAQUEL A
135-137 EIGHTH AVE
HAVERHILL, MA 01830

524-326-6
CHRISTOFFERSON JAMES R
9 LEBLANC STREET
HAVERHILL, MA 01832

524-327-7
JIMENEZ JOEL-ETAL
211 HILLDALE AVE
HAVERHILL, MA 01832

601-451-2
134 HALE STREET REALTY TRUST
89 SEVEN SISTER RD
HAVERHILL, MA 01830

601-453-1
M BAY TRANS AUTHORITY
10 PARK PLAZA
BOSTON, MA 02116

601-455-10
DELACRUZ RAMONA
142 EIGHTH AVE
HAVERHILL, MA 01830

601-455-7
RODRIGUEZ ANGEL S-ETUX
128 EIGHTH AVE
HAVERHILL, MA 01830

601-456-1A
KASANA SOPHIE N-ETUX
150 HALE ST
HAVERHILL, MA 01830

602-457-2
BEEHIVE REALTY, LLC
168 HALE ST
HAVERHILL, MA 01830

602-458-10
KELLY'S TRUST OF 2025
129 EIGHTH AVE
HAVERHILL, MA 01830

602-458-2
ROSARIO ANDRES JR
26 BURKE ST
HAVERHILL, MA 01830

602-458-3
FLORENTINO MERCEDES
22 BURKE ST
HAVERHILL, MA 01830

602-458-5
GAUDREAU FAMILY REALTY TRUST
14 BURKE STREET
HAVERHILL, MA 01830

602-458-8
PAPAETHEMIOU CHRISOULA-LF EST
306 PRIMROSE ST
HAVERHILL, MA 01830

602-459-10
SHERIDAN WILLIAM ETUX
2 NORFOLK STREET
HAVERHILL, MA 01830

602-459-18
JIMINEZ MARCUS A-ETAL
17 BURKE STREET
HAVERHILL, MA 01830

602-459-20
ROBINSON RICHARD A
23 BURKE ST
HAVERHILL, MA 01830

602-459-6
SPIRDIONE WILLIAM J ETUX
14 NORFOLK ST
HAVERHILL, MA 01830

602-459-9-4
GIARD AARON M
4 NORFOLK ST
HAVERHILL, MA 01830

602-461-10
MOREIRA CIRO J
11 NORFOLK ST
HAVERHILL, MA 01830

602-461-5
LEO J. SERRATORE 1996 REVOCABLE TRUST
21 WEST GILE ST
HAVERHILL, MA 01830

602-458-4-1
CARRESI JANE M
29 CROWELL ST
HAVERHILL, MA 01830

602-458-6
WALKER GREGG S
6 BURKE ST
HAVERHILL, MA 01830

602-458-9
DRISCOLL PATRICIA A
125 EIGHTH AV
HAVERHILL, MA 01830

602-459-14
GIUNTA DOMINIC C
5 BURKE ST
HAVERHILL, MA 01830

602-459-19
FARRELL ANDREA M
19 BURKE ST
HAVERHILL, MA 01830

602-459-3
VERETTE RONALD G
16 NORFOLK ST
HAVERHILL, MA 01830

602-459-7
ROSARIO ALEXIRA
12 NORFOLK ST
HAVERHILL, MA 01830

602-459-X-3
VERETTE RONALD G
16 NORFOLK ST
HAVERHILL, MA 01830

602-461-12
LEMIEUX ARCHIBALD R ETAL
9 NORFOLK STREET
HAVERHILL, MA 01830

602-461-8
THE CATHERINE A BRUNAULT LIVING TRUST
17 NORFOLK ST
HAVERHILL, MA 01830

602-458-4-2
ZELIC 2019 TRUST
20 HANCOCK CIRCLE
METHUEN, MA 01844

602-458-7A
BOUCHER DAVID J ETUX
4 BURKE ST
HAVERHILL, MA 01830

602-459-1
HINKLE LAWRENCE W-ETUX
29 BURKE ST
HAVERHILL, MA 01830

602-459-17
ROUSSEAU MICHAEL J
9 BURKE ST
HAVERHILL, MA 01830

602-459-2
VERETTE RONALD G
16 NORFOLK ST
HAVERHILL, MA 01830

602-459-5
VERETTE RONALD G
16 NORFOLK ST
HAVERHILL, MA 01830

602-459-9-10
EUGENIO REALTY TRUST
6 NORFOLK ST
HAVERHILL, MA 01830

602-461-1
THE CATHOLIC CEMETERY ASSOC
175 BROADWAY
MALDEN, MA 02148

602-461-13
CORDEIRO CYR MARILIA D ETUX
7 NORFOLK ST
HAVERHILL, MA 01830

602-461-9
DEWHURST BENJAMIN D-ETAL
15 NORFOLK ST
HAVERHILL, MA 01830

602-458-3
FLORENTINO MERCEDES
22 BURKE ST
HAVERHILL, MA 01830

602-458-5
GAUDREAU FAMILY REALTY TRUST
14 BURKE STREET
HAVERHILL, MA 01830

602-458-8
PAPAETHEMIQOU CHRISOULA-LF EST
306 PRIMROSE ST
HAVERHILL, MA 01830

602-459-10
SHERIDAN WILLIAM ETUX
2 NORFOLK STREET
HAVERHILL, MA 01830

602-459-18
JIMINEZ MARCUS A-ETAL
17 BURKE STREET
HAVERHILL, MA 01830

602-459-20
ROBINSON RICHARD A
23 BURKE ST
HAVERHILL, MA 01830

602-459-6
SPIRDIONE WILLIAM J ETUX
14 NORFOLK ST
HAVERHILL, MA 01830

602-459-9-4
GIARD AARON M
4 NORFOLK ST
HAVERHILL, MA 01830

602-461-10
MOREIRA CIRO J
11 NORFOLK ST
HAVERHILL, MA 01830

602-461-5
LEO J. SERRATORE 1996 REVOCABLE TRUST
21 WEST GILE ST
HAVERHILL, MA 01830

602-458-4-1
CARREST JANE M
29 CROWELL ST
HAVERHILL, MA 01830

602-458-6
WALKER GREGG S
6 BURKE ST
HAVERHILL, MA 01830

602-458-9
DRISCOLL PATRICIA A
125 EIGHTH AV
HAVERHILL, MA 01830

602-459-14
GIUNTA DOMINIC C
5 BURKE ST
HAVERHILL, MA 01830

602-459-19
FARRELL ANDREA M
19 BURKE ST
HAVERHILL, MA 01830

602-459-3
VERETTE RONALD G
16 NORFOLK ST
HAVERHILL, MA 01830

602-459-7
ROSARIO ALEXIRA
12 NORFOLK ST
HAVERHILL, MA 01830

602-459-X-3
VERETTE RONALD G
16 NORFOLK ST
HAVERHILL, MA 01830

602-461-12
LEMIEUX ARCHIBALD R ETAL
9 NORFOLK STREET
HAVERHILL, MA 01830

602-461-8
THE CATHERINE A BRUNAULT LIVING TRUST
17 NORFOLK ST
HAVERHILL, MA 01830

602-458-4-2
ZELIC 2019 TRUST
20 HANCOCK CIRCLE
METHUEN, MA 01844

602-458-7A
BOUCHER DAVID J ETUX
4 BURKE ST
HAVERHILL, MA 01830

602-459-1
HINKLE LAWRENCE W-ETUX
29 BURKE ST
HAVERHILL, MA 01830

602-459-17
ROUSSEAU MICHAEL J
9 BURKE ST
HAVERHILL, MA 01830

602-459-2
VERETTE RONALD G
16 NORFOLK ST
HAVERHILL, MA 01830

602-459-5
VERETTE RONALD G
16 NORFOLK ST
HAVERHILL, MA 01830

602-459-9-10
EUGENIO REALTY TRUST
6 NORFOLK ST
HAVERHILL, MA 01830

602-461-1
THE CATHOLIC CEMETERY ASSOC
175 BROADWAY
MALDEN, MA 02148

602-461-13
CORDEIRO CYR MARILIA D ETUX
7 NORFOLK ST
HAVERHILL, MA 01830

602-461-9
DEWHURST BENJAMIN D-ETAL
15 NORFOLK ST
HAVERHILL, MA 01830

649-611-4

THE CATHOLIC CEMETERY ASSOC.

175 BROADWAY

MALDEN, MA 02148

649-611-6

M BAY TRANS AUTHORITY

45 HIGH STREET

BOSTON, MA 02110

649-611-7

CITY OF HAVERHILL

4 SUMMER ST

HAVERHILL, MA 01830



Haverhill

City Clerk's Office, Room 118
Phone: 978-374-2312 Fax: 978-373-8490
cityclerk@haverhillma.gov

September 8, 2025

PUBLIC HEARING

City Council Chambers, City Hall, Room 202, 4 Summer st

Notice is hereby given that the following application for a license to store, keep, and use INFLAMMABLE LIQUIDS has been made to the City Clerk and the City Council will conduct a hearing for all parties interested, in a hybrid meeting (virtual/in person), on Tuesday, December 2, 2025; at 7:00 PM. This notice is given under the provisions of Chapter 148 of the General Laws - Guy Bresnahan on behalf of Broco Terminals, LLC. (SPFL-25-2); requesting to store an additional 30,000 gallons of propane in an above ground storage tank, three additional propane transport trailer trucks with a tank capacity of 12,600 gallons each for a total storage increase of 37,800 gallons of truck storage, and 8,000 gallons in miscellaneous empty customer tank. The overall propane storage capacity is being increased by 75,800 gallons at 158 Hale St.

(Residents who are interested in commenting on this item can either (1) Attend in person (Council Chambers, Room 202) or (2) Attend remotely using the link provided on the public meeting calendar on the City's website.)

Description of area, maps and plans are on file in the City Clerk's Office.

Advertise: November 13 & November 20, 2025
Haverhill Gazette

Kaitlin M, Wright, CMC
City Clerk

Special Permit – Flammable Fuel Storage

SPFL-25-2

Your Submission

Attachments

Guests (1)

- ✔ Special Permit Filing Fee
- ✔ Fire Chief Approval
- ✔ Tax Check
- ✔ Water Bill Check
- ✔ City Clerk Review
- ✔ City Clerk – Hearing Date Set
- ✔ City Council Admin Notified
- ✔ Hearing Date Announced Before Council
- ✔ Assessor Notified for Abutter's List
- ✔ First Ad Placement
- ✔ Conservation Department/Stormwater Review
- ✔ DPW Review
- ✔ Engineering Review
- ✔ Police Department Review
- ✔ Water Supply Review
- ✔ Water/Wastewater Review
- ✔ Second Ad Placement
- ▶ Building Inspector Review
- ▶ Fire Department Second Review

Abutter Notification

City Council Meeting and Decision

Fire Dept – Apply for Storage of Flammable and Combustibles Permit

Abutter Notification

In progress. This step is in progress.

Notice of hearing to be mailed by certified mail, to all abutters and owners of real estate, not less than seven days prior to the hearing, at the applicant's expense. The City Clerk's Office will help with this.



Kaitlin Wright

Dec 1, 2025 at 1:16 pm

Thank you. Please provide us with any documents, slideshows, etc that you may wish to display on the screen during the meeting. We will send to our media channel to display.



Hisham Fayed

Nov 30, 2025 at 6:54 pm

Dear Natalia,

I am writing to follow up on your request regarding the abutter notifications. Please note that I am the new Chief Operating Officer at Broco Energy. I will be assuming all activities and responsibilities regarding this matter from Guy Bresnahan moving forward.

Regarding the deadline, a representative from Broco Energy will drop off the mail delivery confirmations to the City Clerk's office tomorrow, Monday, December 1st.

Could you please let me know if any further documentation is required specifically ahead of the meeting scheduled for this Tuesday at 7:00 PM? We want to ensure the Council has everything they need prior to the start of the hearing.

Thank you
Heesh

Hisham Fayed
Chief Operations Officer

Broco Energy

168 Hale Street | Haverhill, MA 01830

O: (781) 246-1130

C: (978) 914-4445



Natalia Hernandez

Nov 25, 2025 at 4:04 pm

Guy, please deliver the certified mail abutter notifications to the City Clerk's office no later than close of business on Monday 12/01.



Kaitlin Wright

Nov 14, 2025 at 8:32 am

As a reminder – The advertisement will be printed on November 13 and 20th in the Gazette. Please be sure to send abutter notification on or around then. A list of abutters has also been attached. Prior to the hearing, the certified mail receipts will need to be submitted to our office. Please reach out with questions.



Kaitlin Wright

Sep 8, 2025 at 12:52 pm

Abutter notification for fuel storage applications are the applicant's responsibility. You may use the advertisement to send your abutter notification. The advertisement will be printed on November 13 and 20th in the Gazette. Please be sure to send abutter notification on or around then. A list of abutters has also been attached. Prior to the hearing, the certified mail receipts will need to be submitted to our office. Please reach out with questions.

Message the reviewer

Send Message

City of Haverhill, MA

Your Profile

[Your Records \(/dashboard/records\)](#)

Resources

[Search for Records \(/search\)](#)

[Claim a Record \(/claimRecord\)](#)

[Employee Login \(https://haverhillma.workflow.opengov.com\)](https://haverhillma.workflow.opengov.com)

Portal powered by **OpenGov**



10.2

Haverhill

City Clerk's Office, Room 118
Phone: 978-374-2312 Fax: 978-373-8490
cityclerk@haverhillma.gov

December 23, 2025

PUBLIC HEARING

City Council Chambers, City Hall, Room 202, 4 Summer St

Notice is hereby given that the following petition for a revocation of a license to store, keep, and use INFLAMMABLE LIQUIDS on the property at 168 Hale Street has been made by abutters to the City Clerk and the City Council citing failure to notify abutters in the statutorily required timeframe required under MGL Ch. 148, §13. After review of materials, it has been determined that the notice was legally deficient and the City Council did not have the authority at that time to grant the permit sought.

The City Council will conduct a revocation hearing for all parties interested, in a hybrid meeting (virtual/in person), on Tuesday, January 13, 2025; at 7:00 PM. This notice is given under the provisions of Chapter 148 of the General Laws.

This notice is relative to an application by Hisham Fayed on behalf of Broco Terminals, LLC. (SPFL-25-2); requesting to store an additional 30,000 gallons of propane in an above ground storage tank, three additional propane transport trailer trucks with a tank capacity of 12,600 gallons each for a total storage increase of 37,800 gallons of truck storage, and 8,000 gallons in miscellaneous empty customer tank. The overall propane storage capacity is being increased by 75,800 gallons at 168 Hale St.

(Residents who are interested in commenting on this item can either (1) Attend in person (Council Chambers, Room 202) or (2) Attend remotely using the link provided on the public meeting calendar on the City's website.)

Description of area, maps and plans are on file in the City Clerk's Office.

Advertise: January 1 & January 7, 2025
Haverhill Gazette

Kaitlin M. Wright, CMC
City Clerk

December 11, 2025

To the Honorable Members of the Haverhill City Council,

HAV CITY CLRK DEC30'25 1438

Subject: Procedural Error — Lack of Abutter Notification for Broco Energy Application to Expand Propane Storage at 168 Hale Street (SPL-25-2)

We are writing as abutters to the property at 168 Hale Street, the subject of an application that was approved at the December 2nd hearing. We only recently became aware of this application and believe that a significant procedural error occurred.

As required by statute, abutters must receive formal notification of such applications and the corresponding public hearings. Neither we, nor other nearby property owners, received the legally mandated notice for this request prior to the hearing.

This failure of notification prevented affected residents from understanding the proposed expansion and evaluating its potential impact on our properties, our neighborhood, and the broader community. It also deprived us of the opportunity to participate meaningfully in the review process.

We respectfully request that this matter be investigated and that all affected parties be formally notified of the oversight. We further ask that the approval of this application be rescinded until a properly noticed public hearing can be held in accordance with statutory requirements.

Thank you for your prompt attention to this important procedural issue.

Sincerely,



Signature





Printed Name



15 NORFOLK STREET

Address

December 11, 2025

To the Honorable Members of the Haverhill City Council,

HAU CITY CLRK DEC30'25 1438

Subject: Procedural Error — Lack of Abutter Notification for Broco Energy Application to Expand Propane Storage at 168 Hale Street (SPL-25-2)

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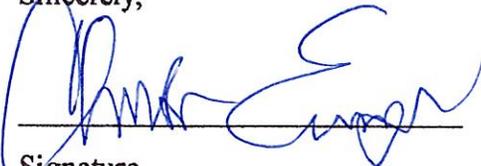
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We respectfully request that this matter be investigated and that all affected parties be formally notified of the oversight. We further ask that the approval of this application be rescinded until a properly noticed public hearing can be held in accordance with statutory requirements.

Thank you for your prompt attention to this important procedural issue.

Sincerely,


Signature

Charles Eugenio
Printed Name

Le Norfolk St

Address

December 11, 2025

To the Honorable Members of the Haverhill City Council,

HAU CITY CLERK DEC30'25 14:38

Subject: Procedural Error — Lack of Abutter Notification for Broco Energy Application to Expand Propane Storage at 168 Hale Street (SPL-25-2)

We are writing as abutters to the property at 168 Hale Street, the subject of an application that was approved at the December 2nd hearing. We only recently became aware of this application and believe that a significant procedural error occurred.

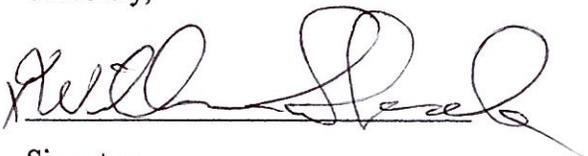
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Thank you for your prompt attention to this important procedural issue.

Sincerely,



Signature

William Sheridan

Printed Name

2 Norfolk st

Address

Haverhill, MA, 01830

December 11, 2025

To the Honorable Members of the Haverhill City Council,

HAU CITY CLRK DEC30'25 14:38

Subject: Procedural Error — Lack of Abutter Notification for Broco Energy Application to Expand Propane Storage at 168 Hale Street (SPL-25-2)

We are writing as abutters to the property at 168 Hale Street, the subject of an application that was approved at the December 2nd hearing. We only recently became aware of this application and believe that a significant procedural error occurred.

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We respectfully request that this matter be investigated and that all affected parties be formally notified of the oversight. We further ask that the approval of this application be rescinded until a properly noticed public hearing can be held in accordance with statutory requirements.

Thank you for your prompt attention to this important procedural issue.

Sincerely,



Signature

Helen Nicholas

Printed Name

1 NORFOLK STREET

Address

December 11, 2025

HAV CITY CLRK DEC30'25 1438

To the Honorable Members of the Haverhill City Council,

Subject: Procedural Error — Lack of Abutter Notification for Broco Energy Application to Expand Propane Storage at 168 Hale Street (SPL-25-2)

We are writing as abutters to the property at 168 Hale Street, the subject of an application that was approved at the December 2nd hearing. We only recently became aware of this application and believe that a significant procedural error occurred.

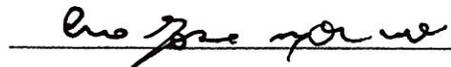
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We respectfully request that this matter be investigated and that all affected parties be formally notified of the oversight. We further ask that the approval of this application be rescinded until a properly noticed public hearing can be held in accordance with statutory requirements.

Thank you for your prompt attention to this important procedural issue.

Sincerely,



Signature

Ciro Moreira

Printed Name

11 Norfolk St. Haverhill
Address MA, 01830

December 11, 2025

To the Honorable Members of the Haverhill City Council,

HAV CITY CLRK DEC30'25 1438

Subject: Procedural Error — Lack of Abutter Notification for Broco Energy Application to Expand Propane Storage at 168 Hale Street (SPL-25-2)

We are writing as abutters to the property at 168 Hale Street, the subject of an application that was approved at the December 2nd hearing. We only recently became aware of this application and believe that a significant procedural error occurred.

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We respectfully request that this matter be investigated and that all affected parties be formally notified of the oversight. We further ask that the approval of this application be rescinded until a properly noticed public hearing can be held in accordance with statutory requirements.

Thank you for your prompt attention to this important procedural issue.

Sincerely,



Signature



Printed Name

14 NORFOLK ST

Address

Kaitlin Wright

From: North of Boston <noreply@wave2adportal.com>
Sent: Wednesday, March 18, 2026 3:10 PM
To: CityClerk
Cc: cmacdonald@northofboston.com; Kaitlin Wright; Natalia Hernandez
Subject: Thank you for placing your order with us.

Warning! External Email. Exercise caution when opening attachments or clicking on any links.
THANK YOU for your notice submission!

This is your confirmation that your order has been submitted. Below are the details of your transaction. Please save this confirmation for your records.

Job Details

Order Number:
W0142702
Business Type:
All Other Public Notices
Notice Size:
Public Notices
Notice Estimate:
\$196.16
Referral Code:
New SPFL 168 Hale St

Account Details

Haverhill Clerk
4 SUMMER ST STE 118
HAVERHILL, MA 01830
978-374-2312
cityclerk@cityofhaverhill.com
HAVERHILL CITY CLERK

Schedule for notice number W01427020

Thu Apr 16, 2026
Haverhill Gazette Public Notices
All Zones

Thu Apr 23, 2026
Haverhill Gazette Public Notices
All Zones

PUBLIC HEARING **City Council Chambers, City Hall,** **Room 202, 4 Summer St**

Notice is hereby given that the following application for a license to store, keep, and use INFLAMMABLE LIQUIDS has been made to the City Clerk and the City Council will conduct a hearing for all parties interested, in a hybrid meeting (virtual/in person), on Tuesday, May 5, 2026; at 7:00 PM. This notice is given under the provisions of Chapter 148 of the General Laws – John McCann on behalf of Broco Terminals, LLC. (SPFL-25-2); requesting to store an additional 30,000 gallons of propane in an above ground storage tank, three additional propane transport trailer trucks with a tank capacity of 12,600 gallons each for a total storage increase of 37,800 gallons of truck storage, and 8,000 gallons in miscellaneous empty customer tank. The overall propane storage capacity is being increased by 75,800 gallons at 168 Hale St.

(Residents who are interested in commenting on this item can either (1) Attend in person (Council Chambers, Room 202) or (2) Attend remotely using the link provided on the public meeting calendar on the City's website.)

Description of area, maps and plans are on file in the City Clerk's Office.

Kaitlin M. Wright, CMC
City Clerk
HG - Publication Dates

12.3.1

Event Permit

EVNT-26-1

Submitted On: Mar 2, 2026

Applicant

 Nicholas DiSalvo
 978-930-5791
 ndisalvo@aol.com

Primary Location

137 MONUMENT ST
Haverhill, MA 01832

MAR 13 PM 3:58
HAVCITYCLERK

Organization Information

Organization

Boston Boxing Promotions

Organization Phone

9789305791

Organization Address

44 Chatham Rd.

Organization City

Billerica

Organization State

MA

Organization Zip

01821

Is the Organization Tax Exempt?

No

Is the Organization Non-Profit?

No

Is the Organization a House of Worship?

No

Contact Information

Contact Name

Nick DiSalvo

Contact Title

Promoter

Contact Phone

9789305791

Contact Email

ndisalvo@aol.com

Contact Address

44 Chatham Rd.

Contact City

Billerica

Contact State

MA

Contact Zip

01821

Property Owner Information

Property Owner Name

City of Haverhill

Property Owner Phone

9783581311

Property Owner Address

4 Summer St.

Property Owner City

Haverhill

Property Owner State

MA

Property Owner Zip

01830

Is the Applicant the Property Owner?

No

Event Information

Description of event

Professional boxing event with Haverhill's Nicky Tejada in the main event at the gymnasium of Haverhill High School. We ran the same event last November.

Type of Event

Other

IF OTHER, Please Specify

Boxing

Event Date

04/25/2026

Event Location

Haverhill High School Gymnasium

is the Event on Bradford Common?

No

Is the Event on City Property?

Yes

Event Venue

Indoor

Number of Anticipated Attendees

800

Do attendees need to purchase a ticket to attend?

Yes

Is this event open to the public? Or private?

Public

Are You Requesting Additional Fees Be Waived? (APPLICATION FEE IS NOT WAIVABLE)

No

Event Start Time

4 pm

Event End Time

9 pm

Will Food Be Served/Sold at the Event?

Yes

IF YES TO FOOD, By What Means?

Vendors

IF YES To FOOD, How Will it be Cooked?

Prepared Off-site

Any Helpful Comments about Food

We plan to sell bags of chips, candy bars, bottled soda and water and pizza from the local Domino's

Special Considerations (i.e. fireworks)

None

Parking Information

Number of Parking Spaces Onsite

400

Have Off-site Parking Arrangements Been Made?

No

Are There Charges/Fees for Parking?

No

Sanitation Information

Number of Public Restrooms Available

2

Type of Toilets

Permanent

Please Describe Plans for Solid Waste Disposal & Recycling

Custodial staff at the high school will handle

General Release & Indemnity Agreement

Yes

true

Terms of Understanding

Yes

true



City Clerk Approval

Record No. EVNT-26-1

Status Completed

Became Active March 2, 2026

Type Approval

Due Date None

Assignee Kaitlin Wright

Record No: EVNT-26-1

Event Permit

Status: Active

Submitted On: 3/2/2026

Applicant



Nicholas DiSalvo



978-930-5791



ndisalvo@aol.com



44 Chatham Road

Billerica, MA 01821

Messages

Kaitlin Wright

March 2, 2026 at 2:16 pm

Waiting on property owner permission. Spoke with applicant, they are going before School Committee on 3.12.26 and will provide that documentation afterwards.



Building Inspector Approval

Record No. EVNT-26-1

Status Completed

Became Active March 2, 2026

Type Approval

Due Date None

Assignee Tom Bridgewater

Record No: EVNT-26-1

Event Permit

Status: Active

Submitted On: 3/2/2026

Applicant

 Nicholas DiSalvo

 978-930-5791

 ndisalvo@aol.com

 44 Chatham Road

Billerica, MA 01821

Messages

No comments yet.



Fire Inspector Approval

Record No. EVNT-26-1

Status Completed

Became Active March 2, 2026

Type Approval

Due Date None

Assignee Justin Borden

Record No: EVNT-26-1

Event Permit

Status: Active

Submitted On: 3/2/2026

Applicant

 Nicholas DiSalvo

 978-930-5791

 ndisalvo@aol.com

 44 Chatham Road

Billerica, MA 01821

Messages

Justin Borden

March 2, 2026 at 4:42 pm

I see in the event from last November that an EMS detail was at the event from LGH. Do you already have an EMS detail lined up for this event as well?

Nicholas DiSalvo

March 2, 2026 at 9:56 pm

I do not just yet, but I will definitely be setting that up this week.

Justin Borden

March 3, 2026 at 2:08 pm

Thank you. Please just drop me a note here once you have that all set up.

Nicholas DiSalvo

March 6, 2026 at 10:22 am

EMS detail confirmed with Lawrence General Hospital/Merrimack Health.



Health Inspector Approval

Record No. EVNT-26-1

Status Completed

Became Active March 2, 2026

Type Approval

Due Date None

Assignee Mark Tolman

Record No: EVNT-26-1

Event Permit

Status: Active

Submitted On: 3/2/2026

Applicant

 Nicholas DiSalvo
 978-930-5791
 ndisalvo@aol.com
 44 Chatham Road
Billerica, MA 01821

Messages

Mark Tolman

March 2, 2026 at 2:29 pm

Hi Nicholas,

All non licensed food vendors that are not from the city must apply for a temporary food permit. All food vendors will be inspected during the event.

High school bathrooms and rubbish barrels will be used.

Any other questions or comments let me know.

Mark



Police Department Approval

Record No. EVNT-26-1

Status Completed

Became Active March 2, 2026

Type Approval

Due Date None

Assignee Kevin Lynch

Record No: EVNT-26-1

Event Permit

Status: Active

Submitted On: 3/2/2026

Applicant

 Nicholas DiSalvo
 978-930-5791
 ndisalvo@aol.com
 44 Chatham Road
Billerica, MA 01821

Messages

No comments yet.



Public Works Director Approval

Record No. EVNT-26-1

Status Completed

Became Active March 2, 2026

Type Approval

Due Date None

Assignee Robert Kimball

Record No: EVNT-26-1

Event Permit

Status: Active

Submitted On: 3/2/2026

Applicant

 Nicholas DiSalvo
 978-930-5791
 ndisalvo@aol.com
 44 Chatham Road
Billerica, MA 01821

Messages

No comments yet.



Recreation Department Approval

Record No. EVNT-26-1

Status Completed

Became Active March 2, 2026

Type Approval

Due Date None

Assignee Ben Delaware

Record No: EVNT-26-1

Event Permit

Status: Active

Submitted On: 3/2/2026

Applicant



Nicholas DiSalvo



978-930-5791



ndisalvo@aol.com



44 Chatham Road

Billerica, MA 01821

Messages

No comments yet.

**REQUEST FOR USE OF FACILITIES
SCHOOL COMMITTEE MEETING
03/12/26**

1. Requested by Nick DiSalvo from Boston Boxing Promotions for use of the high school gym on Saturday 4/25/26 from 10am-9pm (event starts at 4pm).

**Rental Fees: \$50/Hour
Custodial Fees: \$45/Hour (2 needed)
Security Fee: \$25.50/Hour (2 needed)
Utilities Fee: \$20/Hour**

2. Requested by Julian Taylor from Synergy Basketball LLC for use of the Hunking gym on Fridays 3/20-6/5 from 6:15pm-9:15pm

**Rental Fees: \$50/Hour
Custodial Fees: \$30/Hour
Utilities Fee: \$20/Hour**

3. Requested by Julian Taylor from Synergy Basketball LLC for use of the Hunking gym on Saturday 3/21, 3/28 and 4/11/26 from 9:30am-2pm.

**Rental Fees: \$50/Hour
Custodial Fees: \$45/Hour
Utilities Fee: \$20/Hour**

4. Requested by Office Conor Clark from the Haverhill Police Dept. for use of the high school gym on Tuesdays from 3/17-6/9/26 from 5pm-6pm.

**Rental Fees: \$50/Hour
Custodial Fees: \$30/Hour
Utilities Fee: \$20/Hour**

5. Requested by Carlos Nunez from North Shore Sports Academy for us of the Consentino gym on Wednesdays from 3/18-6/11/26 from 7:30-8:30.

Rental Fees: \$50/Hour

Custodial Fees: \$30/Hour

Utilities Fee: \$20/Hour



Haverhill Public Schools
Use of Facilities Form

requester
* will secure police
detail.

Please Print

Name of Organization: Boston Boxing Promotions	<u>Name of Representative:</u> Nick DiSalvo		
Address: 44 Chatham Rd., Billerica, MA 01821	Phone Number: 978-930-5791	Email: ndisalvo@aol.com	
Date Requested 4/25/26	Arrival Time: 10 am	Start Time of Event: 4 pm	End Time of Event: 9 pm

Please check: () Profit Making Group () Non-Profit Group # _____

Please check off the location requested and attach list of equipment to be brought into the facility.						
Gym	# of Classroom(s)	Cafeteria	Auditorium	Library	Fields	Computer Lab
X						
Expected Number of Participants: # 800			Type of Event: Boxing			

Item	Base Fee	Hours	Sub Total	Total	Additional information
Rental Fee	\$ 50	11	\$ 550	\$	
Security (2)	\$ 25.50	5	\$ 255	\$	
Custodial (2)	\$ 45	12	\$ 1080	\$	Custodial staff work 30 minutes before and after event.
Utilities	\$ 20	11	\$ 220	\$	
Lighting Panel	\$		\$	\$	
Cafeteria	\$		\$	\$	
	\$		\$	\$	
	\$		\$	\$	

	2/26/26
<u>Signature of Representative</u>	Date Requested

Subtotal:	
Processing Fee:	\$10.00
Miscellaneous:	
Balance Due:	2105-

Principal to complete:

Authorization: Approved Denied ()

Signature of Principal

Superintendent to complete:

Authorization: Approved () Denied ()

Signature of Superintendent

HPS FACILITIES	PHONE	FAX	WEB
4 Summer Street, Haverhill, MA	978-374-5725	978-374-2376	haverhill-ps.org



Haverhill Public Schools
Use of Facilities Form

Please Print

Name of Organization: Synergy Basketball LLC	Name of Representative: Julian Taylor
Address: 378 South Main, Bradford, Ma, 01835	Phone Number: 978-476-3770 Email: jt.synergybasketball@gmail.com billing.synergybasketball@gmail.com
Date Requested: FRIDAY: March :20th, 27th April 3rd, 10th May : 1st, 8th, 15th, 22nd, 29th June 5th	Arrival Time: 6:15PM Start Time of Event: 6:15pm End Time of Event: 9:15pm

Good Friday

OCASIO 6-7:30

Please check: () Profit Making Group () Non-Profit Group # _____

Please check off the location requested and attach list of equipment to be brought into the facility.

Hunking Middle School

Gym	#of Classroom(s)	Cafeteria	Auditorium	Library	Fields	Computer Lab
X						

Expected Number of Participants:#	Type of Event:
-----------------------------------	----------------

To be filled out by HPS facilities only

Item	Base Fee	Hours	Sub Total	Total	Additional Info
Rental Fee	\$ 50	3	\$ 150	\$	
Security	\$ /		\$	\$	
Custodial	\$ 30	3	\$ 90	\$	<i>Custodial staff work 30 minutes before and after event.</i>
Utilities	\$ 20	3	\$ 60	\$	
Lighting Panel	\$		\$	\$	
Cafeteria	\$		\$	\$	

<i>Julian Taylor</i> Signature of Representative	Feb. 5th. 2026 Date Requested
---	----------------------------------

Subtotal	
Processing Fee	\$10.00
Balance Due	

Principal Authorization: Approved (✓) Denied ()
School Committee : Approved () Denied ()

[Signature]

Signature of Principal

HPS FACILITIES	PHONE	WEB
4 Summer Street, Room 104, Haverhill, MA	978-374-5725	haverhill-ps.org



Haverhill Public Schools
Use of Facilities Form

Please Print

Name of Organization: Synergy Basketball LLC	Name of Representative: Julian Taylor
Address: 378 South Main, Bradford , Ma,01835	Phone Number: 978-476-3770 Email: jt.synergybasketball@gmail.com billing.synergybasketball@gmail.com
Date Requested: Saturday :MARCH :21ST,28TH April:11th	Arrival Time: 9:30am Start Time of Event: 10am End Time of Event: 2pm

Please check: () Profit Making Group () Non-Profit Group # _____

Please check off the location requested and attach list of equipment to be brought into the facility.

Hunking School

Gym	#of Classroom(s)	Cafeteria	Auditorium	Library	Fields	Computer Lab
X						

Expected Number of Participants:#	Type of Event:
-----------------------------------	----------------

To be filled out by HPS facilities only

Item	Base Fee	Hours	Sub Total	Total	Additional Info
Rental Fee	\$ 50	4.5	\$ 225	\$	
Security	\$		\$	\$	
Custodial	\$ 45	5.5	\$ 247.50	\$	<i>Custodial staff work 30 minutes before and after event.</i>
Utilities	\$ 20	4.5	\$ 90	\$	
Lighting Panel	\$		\$	\$	
Cafeteria	\$		\$	\$	

<i>Julian Taylor</i> Signature of Representative	Feb 5, 2026 Date Requested
---	-------------------------------

Subtotal	
Processing Fee	\$10.00
Balance Due	

Principal Authorization: Approved (✓) Denied ()
School Committee : Approved () Denied ()

[Signature]
Signature of Principal

HPS FACILITIES	PHONE	WEB
4 Summer Street, Room 104, Haverhill, MA	978-374-5725	haverhill-ps.org



Haverhill Public Schools
Use of Facilities Form

Please Print

Name of Organization: HAVERHILL POLICE DEPT	Name of Representative: OFFICER CONOR CLARK
Address: 40 BAILEY BLVD HAVERHILL	Phone Number: 978-609-1011 Email: CCLARK@HAVERHILLPOLICE.COM
Date Requested: TUESDAYS OR THURSDAYS	Arrival Time: 5:00PM Start Time of Event: End Time of Event: 6:00 pm

Please check: () Profit Making Group () Non-Profit Group # _____

Please check off the location requested and attach list of equipment to be brought into the facility.

Gym	#of Classroom(s)	Cafeteria	Auditorium	Library	Fields	Computer Lab
X						

Expected Number of Participants:# 10-14	Type of Event: BASKETBALL LEAGUE
--	---

To be filled out by HPS facilities only

Item	Base Fee	Hours	Sub Total	Total	Additional Info
Rental Fee	\$ 50	1	\$ 50	\$	
Security	\$		\$	\$	
Custodial	\$ 30	1	\$ 30	\$	<i>Custodial staff work 30 minutes before and after event.</i>
Utilities	\$ 20	1	\$ 20	\$	
Lighting Panel	\$		\$	\$	
Cafeteria	\$		\$	\$	

CONOR CLARK	2/19/26
Signature of Representative	Date Requested

Subtotal	
Processing Fee	\$10.00
Balance Due	

Principal Authorization: Approved Denied ()
School Committee : Approved () Denied ()



Signature of Principal

HPS FACILITIES	PHONE	WEB
4 Summer Street, Room 104, Haverhill, MA	978-374-5725	haverhill-ps.org



Haverhill Public Schools
Use of Facilities Form

Consented

Please Print

Name of Organization: <i>North Shore Sports Academy</i>	Name of Representative: <i>Carlos Nunez</i>
Address: <i>1136 Boston Rd Haverhill, MA</i>	Phone Number: <i>(978) 888-4791</i>
Date Requested: <i>1/28/2026</i>	Arrival Time: <i>5:15pm</i>
<i>3/18 - last week</i> <i>6/11/26</i>	Start Time of Event: <i>5:30pm</i>
	End Time of Event: <i>7:30pm</i>
	Email: <i>730.1.70.1520-1@yahoo.com</i>

Please check: Profit Making Group () Non-Profit Group #

Wednesdays

Please check off the location requested and attach list of equipment to be brought into the facility.

Gym	#of Classroom(s)	Cafeteria	Auditorium	Library	Fields	Computer Lab
<input checked="" type="checkbox"/>						

basketball, cones, pads

Expected Number of Participants # *20-30 students* Type of Event: *basketball skills & drills*

To be filled out by HPS facilities only

Item	Base Fee	Hours	Sub Total	Total	Additional Info
Rental Fee	\$ <i>50</i>	<i>1</i>	\$ <i>50</i>	\$	
Security	\$		\$	\$	
Custodial	\$ <i>30</i>	<i>1</i>	\$ <i>30</i>	\$	<i>Custodial staff work 30 minutes before and after event.</i>
Utilities	\$ <i>20</i>	<i>1</i>	\$ <i>20</i>	\$	
Lighting Panel	\$		\$	\$	
Cafeteria	\$		\$	\$	

[Signature] *1/28/2026*
Signature of Representative Date Requested

Subtotal	
Processing Fee	\$10.00
Balance Due	

Principal Authorization: Approved Denied ()
School Committee : Approved () Denied ()

[Signature]
Signature of Principal

HPS FACILITIES	PHONE	WEB
Summer Street, Room 104, Haverhill, MA	978-374-5725	haverhill-ps.org



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

03/02/2026

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER O2 Sports Insurance 110 E Broward Blvd, Suite 1700 Fort Lauderdale, FL 33301	CONTACT NAME: Kandace Kalin PHONE (A/C, No, Ext): 1-855-351-0202 E-MAIL ADDRESS: info@o2sportsinsurance.com	FAX (A/C, No): 1-855-984-2379
	INSURER(S) AFFORDING COVERAGE	
INSURED Nicholas C. DiSalvo & Peter Czymbor d/b/a Boston Boxing Promotions 44 Chatham Road Billerica, MA 01821 A Member of O2 Program Management Inc., Athletic Association	INSURER A: Certain Underwriters at Lloyd's of London	NAIC # AA-1120157
	INSURER B:	
	INSURER C:	
	INSURER D:	
	INSURER E:	
	INSURER F:	

COVERAGES**CERTIFICATE NUMBER:****REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL SUBR INSD' WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
<input checked="" type="checkbox"/>	COMMERCIAL GENERAL LIABILITY					EACH OCCURRENCE \$1,000,000
	CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR					DAMAGE TO RENTED PREMISES (Ea Occurrence) \$300,000
A		Y	22B06410-3381	04/25/2026 12:00 AM	04/25/2026 11:59 PM	MED EXP (Any one Person) EXCLUDED
	GEN'L AGGREGATE LIMIT APPLIES PER: POLICY PRO-JECT LOC					PERSONAL & ADV INJURY \$1,000,000
	OTHER:					GENERAL AGGREGATE \$3,000,000
	AUTOMOBILE LIABILITY					PRODUCTS-COMP/OP AGG \$1,000,000
	ANY AUTO					COMBINED SINGLE LIMIT (Ea accident)
	OWNED AUTOS ONLY SCHEDULED AUTOS					BODILY INJURY (Per person)
	HIRED AUTOS ONLY NON-OWNED					BODILY INJURY (Per accident)
	AUTOS ONLY EXCLUDING HA-WAII					PROPERTY DAMAGE (Per accident)
	UMBRELLA LIAB OCCUR					EACH OCCURRENCE
	EXCESS LIAB CLAIMS-MADE					AGGREGATE
	DED RETENTION \$					
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY					PER STATUTE OTH-ER
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	<input type="checkbox"/> Y <input type="checkbox"/> N <input type="checkbox"/> N/A				E.L. EACH ACCIDENT
						E.L. DISEASE - EA EMPLOYEE
						E.L. DISEASE - POLICY LIMIT

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

The certificate holder is added as an additional insured, but only for liability caused, in whole or in part, by the acts or omissions of the named insured.

Event Name: Boston Boxing Promotions. Amateur Bouts: 0. Professional Bouts: 10.

CERTIFICATE HOLDER

City of Haverhill, MA
 4 Summer St.
 Haverhill, MA 01830

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

Kandace Kalin

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THIS ENDORSEMENT CHANGES THE POLICY. PLEASE READ IT CAREFULLY.
ADDITIONAL INSURED – MANAGERS OR LESSORS

This endorsement modifies insurance provided under the following:

COMMERCIAL GENERAL LIABILITY COVERAGE PART

SCHEDULE

<p>Name Of Person Or Entity (Additional Insured): City of Haverhill, MA 4 Summer St. Haverhill, MA 01830</p> <p>Name of Insured: Nicholas C. DiSalvo & Peter Czymbor d/b/a Boston Boxing Promotions</p>
--

A. Section II – Who Is An Insured is amended to include as an additional insured the person or entity shown in the Schedule, but only with respect to liability arising in that part of the designated premises leased, licensed, or otherwise available to you and subject to the following additional exclusions:

of any additional insured, this insurance does not apply.

Coverage for an additional insured under this endorsement shall be excess. Any other insurance the additional insured has shall be primary with respect to this insurance.

1. This insurance does not apply to any loss, claim, "suit", cost, expense or liability for damages directly or indirectly based on, attributable to, arising out of, involving, resulting from, or in any way related to:

Except as provided herein, all other terms, conditions, provisions, exclusions, and endorsements of this policy remain the same and applicable.

a. Any "occurrence" which takes place prior to your occupancy or after you cease to be a tenant in that premises or;

b. Structural conditions, alterations, construction, demolition, maintenance or other operations performed by or on behalf of the person or entity shown in the Schedule.

2. Coverage (including defense) is provided only to the extent that liability is created for an additional insured by the negligent acts, errors, or omissions of the Named Insured. If liability for injury or damage is imposed or sought to be imposed on any additional Insured because of the acts, errors, or omissions of any additional insured or any person or entity under the direction or control

Includes copyrighted material of Insurance Services Office, Inc., with its permission.

Tag Day Permit

TAGD-26-6

Submitted On: Mar 9, 2026

Applicant

12.5.1
Michael Pazzanese
508-768-8717
@ pazzng77@comcast.net

Primary Location

30 RED MAPLE RD
Haverhill, MA 01832

MAR 18 AM 9:36
HAVCITYCLERK

Organization Information

Organization

Knights of Columbus

Organization Phone

508-768-8717

Organization Address

120 Bellevue Ave

Organization City

Haverhill

Organization State

MA

Organization Zip

01832

Is the Organization Tax Exempt?

Yes

Is the Organization Non-Profit?

Yes

Is your organization affiliated with the Haverhill Public School system?

No

Is the Applicant a Haverhill Resident

Yes

Off-Street Locations Information [OFF-STREET LOCATIONS NOT PERMITTED]

How Many Locations Will You Cover?

3

Location 1

Market Basket Riverside

Location 2

Market Basket Westgate

Location 3

Market Basket Central Plaza

Date Information -MAXIMUM 3 CONSECUTIVE DAYS

How Many Dates Will the Event Include?

2

Date #1

05/16/2026

Date #2

05/17/2026



City Clerk Approval

Record No. TAGD-26-6

Status Completed

Became Active March 9, 2026

Type Approval

Due Date None

Assignee Kaitlin Wright

Record No: TAGD-26-6

Tag Day Permit

Status: Active

Submitted On: 3/9/2026

Applicant

 Michael Pazzanese

 508-768-8717

 pazzng77@comcast.net

 30 Red Maple Rd

Haverhill, MA 01832

Messages

Kaitlin Wright

March 10, 2026 at 11:40 am

Applicant is obtaining documents for permission to tag from various Market Baskets and will email or hand deliver letters when ready.

Kaitlin Wright

March 16, 2026 at 3:20 pm

Checking in on the status of obtaining documents showing permission to tag. If received, please bring them to our office or upload to this application directly. Your application will not move forward until received.

Kaitlin Wright

March 17, 2026 at 9:52 am

Received, thank you!



Police Approval

Record No. TAGD-26-6

Status Completed

Became Active March 17, 2026

Type Approval

Due Date None

Assignee Kevin Lynch

Record No: TAGD-26-6

Tag Day Permit

Status: Active

Submitted On: 3/9/2026

Applicant

 Michael Pazzanese
 508-768-8717
 pazzng77@comcast.net
 30 Red Maple Rd
Haverhill, MA 01832

Messages

No comments yet.



March 11, 2026

Michael Pazzanese
Knights of Columbus
Pazzng77@comcast.net

Dear Michael:

This letter is to inform you that your organization has been granted permission to hold a fund-raising event at the store listed below between the hours of 9:00AM – 3:00PM. **However, it is the responsibility of the organization to acquire the appropriate permits if required by the town.** At the request of our customers, we have put into effect the following guidelines your volunteers are required to adhere to. DeMoulas Super Markets, Inc. has the right to curtail any fund-raising events we feel necessary.

1. Upon arriving at the store you must check in with the store manager.
2. Children under the age of fourteen are required to have adult supervision with them at all times.
3. There should never be more than two people from your organization at the store at any given time.
4. Fund-raising events should take place outside the store at least 10 feet away from the entrance/exit doors. Do not interrupt the flow of traffic entering and exiting the building.
5. All volunteers representing your organization must be well groomed and properly attired. They should present themselves in a courteous and friendly manner at all times.
6. Volunteers must allow the customer to approach them.
7. The person representing you should be located at the entrance door only.
8. If a table is being set up, discuss with the store manager where it should be located.
9. **Due to the numerous requests we receive to fundraise, if you must reschedule the dates you were approved for you will need to resubmit a new letter with new dates at least 2 weeks in advance.**

If you have any questions pertaining to this notice, please contact Lori Page at (978) 851-8000 or fundraising@demoulasmaketbasket.com. We wish you luck in your endeavor!

DeMoulas Super Markets, Inc.

STORE LOCATION: Haverhill #9

DATE(S): May 16



March 11, 2026

Michael Pazzanese
Knights of Columbus
Pazzng77@comcast.net

Dear Michael:

This letter is to inform you that your organization has been granted permission to hold a fund-raising event at the store listed below between the hours of 9:00AM – 3:00PM. **However, it is the responsibility of the organization to acquire the appropriate permits if required by the town.** At the request of our customers, we have put into effect the following guidelines your volunteers are required to adhere to. DeMoulas Super Markets, Inc. has the right to curtail any fund-raising events we feel necessary.

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9. **Due to the numerous requests we receive to fundraise, if you must reschedule the dates you were approved for you will need to resubmit a new letter with new dates at least 2 weeks in advance.**

If you have any questions pertaining to this notice, please contact Lori Page at (978) 851-8000 or fundraising@demoulasmaketbasket.com. We wish you luck in your endeavor!

DeMoulas Super Markets, Inc.

STORE LOCATION: Haverhill #15

DATE(S): May 16



March 11, 2026

Michael Pazzanese
Knights of Columbus
Pazzng77@comcast.net

Dear Michael:

This letter is to inform you that your organization has been granted permission to hold a fund-raising event at the store listed below between the hours of 9:00AM – 3:00PM. **However, it is the responsibility of the organization to acquire the appropriate permits if required by the town.** At the request of our customers, we have put into effect the following guidelines your volunteers are required to adhere to. DeMoulas Super Markets, Inc. has the right to curtail any fund-raising events we feel necessary.

1. Upon arriving at the store you must check in with the store manager.
2. Children under the age of fourteen are required to have adult supervision with them at all times.
3. There should never be more than two people from your organization at the store at any given time.
4. Fund-raising events should take place outside the store at least 10 feet away from the entrance/exit doors. Do not interrupt the flow of traffic entering and exiting the building.
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9. **Due to the numerous requests we receive to fundraise, if you must reschedule the dates you were approved for you will need to resubmit a new letter with new dates at least 2 weeks in advance.**

If you have any questions pertaining to this notice, please contact Lori Page at (978) 851-8000 or fundraising@demoulasmaketbasket.com. We wish you luck in your endeavor!

DeMoulas Super Markets, Inc.

STORE LOCATION: Haverhill #48

DATE(S): May 16



12.7.1.1

Record No: FIXD-26-5

Fixed Location Street
Vendor Permit

Status: Active

Submitted On: 3/16/2026

Primary Location

96 BLOSSOM ST
Bradford, MA 01835

Owner

AZEVEDO GAIL A
BLOSSOM ST 96 BRADFORD,
MA 01835

Applicant

Gail Azevedo
978-994-7660
@ azzy4141@gmail.com
96 Blossom St
Haverhill, MA 01835

Vendor Information

Vendor Date of Birth*

06/16/1953

Vendor Social Security Number*

***-**-0904



Vendor Primary Phone*

9789947660

Vendor Secondary Phone

Duration of Business*

1 Year

Number of Employees*

1

Merchandise to be Sold*

Lemonade & steamed hot dogs

Location Information

Days to be Open*

Over 30 Days

Start Date* ?

05/01/2026



Recreation Review and Approval

Record No. FIXD-26-5

Status Completed

Became Active March 17, 2026

Type Approval

Due Date None

Assignee Ben Delaware

Record No: FIXD-26-5

Fixed Location Street Vendor Permit

Status: Active

Submitted On: 3/16/2026



Applicant



Gail Azevedo



978-994-7660



azzy4141@gmail.com



96 Blossom St

Haverhill, MA 01835

Messages

No comments yet.



Health Department Approval

Record No.FIXD-26-5

Status Completed

Became Active March 17, 2026

Type Approval

Due Date None

Assignee Mark Tolman

Record No: FIXD-26-5

Fixed Location Street Vendor Permit

Status: Active

Submitted On: 3/16/2026

Applicant



Gail Azevedo



978-994-7660



azzy4141@gmail.com



96 Blossom St

Haverhill, MA 01835

Messages

Mark Tolman

March 18, 2026 at 8:35 am

Vendor has applied for a mobile food permit.



Police Department Approval

Record No.FIXD-26-5

Status Completed

Became Active March 17, 2026

Type Approval

Due Date None

Assignee Kevin Lynch

Record No: FIXD-26-5

Fixed Location Street Vendor Permit

Status: Active

Submitted On: 3/16/2026

Applicant



Gail Azevedo



978-994-7660



@ azzy4141@gmail.com



96 Blossom St
Haverhill, MA 01835

Messages

No comments yet.



COLONIAL SURETY COMPANY

- Inc 1930 -

123 Tice Boulevard, Suite 250
Woodcliff Lake, NJ 07677
201-573-8788

BOND NUMBER: CSC-127268

LICENSE/PERMIT BOND

KNOW ALL PERSONS BY THESE PRESENTS that we,

AZZY'S, 96 Blossom St, Haverhill, MA 01835

(hereinafter called the Principal) as Principal, and COLONIAL SURETY COMPANY, a corporation with principal offices at Woodcliff Lake, New Jersey (hereinafter called the Surety) as Surety, are held and firmly bound unto

City of Haverhill, 4 Summer St, Haverhill, MA 01830

(hereinafter called the Obligee), in the penal sum of

Ten Thousand Dollars and No Cents (\$10,000),

for the payment of which well and truly to be made we do hereby bind ourselves, our heirs, executors, administrators, successors and assigns, jointly and severally, firmly by these presents.

Signed and sealed this **13th day of March, 2026**.

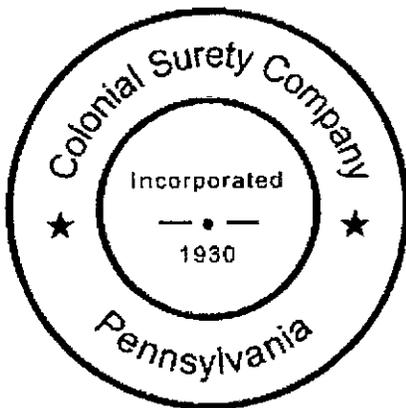
WHEREAS, the said Principal has made or is about to make application to said Obligee for [a license as] or [a permit to] **Street Obstruction**

for a term beginning on **March 16th, 2026** and ending on **March 16th, 2027**.

NOW THEREFORE, if the Principal shall indemnify the Obligee against any loss directly arising by reason of the failure of said Principal to comply with the laws or ordinances under which such license or permit is granted, or any lawful rules or regulations pertaining thereto, then this obligation shall be void; otherwise to be and remain in full force and effect.

PROVIDED, HOWEVER, AND UPON THE FOLLOWING EXPRESS CONDITIONS:

1. This bond shall remain in full force during the term of said license or permit unless cancelled in accordance with paragraph 2 below; but if said license or permit was issued for a term of one year or any other specific term, and said license or permit is renewed for one or more specific terms, this bond shall be and is hereby extended to cover during such additional term or terms. In no event, however, shall the liability of the Surety be cumulative from year to year or from period to period, nor exceed the penal sum written in the first paragraph of this bond.
2. This bond may be terminated or cancelled by Surety by giving **30** days prior notice in writing from Surety to Principal and said Obligee, such notice to be given by standard mail. Such termination or cancellation shall not affect liability incurred or accrued under this bond to the effective date of such termination or cancellation.



By _____ (Seal)
AZZY'S, Principal

COLONIAL SURETY COMPANY

By Wayne Nunziata (Seal)

Wayne Nunziata, President

13.1



MELINDA E. BARRETT
MAYOR

CITY OF HAVERHILL
MASSACHUSETTS

CITY HALL, ROOM 100
FOUR SUMMER STREET
HAVERHILL, MA 01830
PHONE 978-374-2300
FAX 978-373-7544
MAYOR@HAVERHILLMA.GOV
WWW.HAVERHILLMA.GOV

March 20, 2026

To: City Council President Timothy J. Jordan and Members of the Haverhill City Council

From: Mayor Melinda E. Barrett

RE: FY25 Bills

Dear Mr. President and Members of the Haverhill City Council:

Attached, please find an order to pay bills from the previous fiscal year:

Vendor	Amount	Account
A1 Auto Care Inc.	\$ 35.00	Police

Total: \$ 35.00

I recommend approval.

Sincerely,

Melinda E. Barrett
Mayor

MEB/em



Document
CITY OF HAVERHILL
In Municipal Council

MAR 20 AM 9:29
MAYOR/CITY CLERK

Ordered:

That in accordance with General Laws, Chapter 44, Section 64, authorize the payment of bill(s) of the previous years and to further authorize the payment from current year departmental appropriations as listed below:

<u>Vendor</u>	<u>Amount</u>	<u>Account</u>
A1 Auto Care Inc.	\$35.00	Police



Vehicle Inspection Report

Please Review This Important Information

Your vehicle has **PASSED** both its **SAFETY TEST** and its **EMISSIONS TEST**. The results are summarized in this report.

Questions? Visit www.mass.gov/vehiclecheck or call Customer Service at 844-358-0135. Customer Service is staffed from 7 a.m. to 5 p.m. Monday through Friday and from 7 a.m. to Noon on Saturday.

For PD

#27

Overall Result: **PASS**
 Safety Result: PASS
 Emissions Result: PASS
 Start Test Date/Time: 6/12/2025 10:37 AM
 End Test Date/Time: 6/12/2025 10:44 AM
 Test Type: Regular
 Sticker Number: 263815342
 Inspection Type: Initial
 Inspection Counter: 1

Vehicle Information
 VIN: 1C4SDJFT7LC381790
 License Plate: D833
 Plate Type/State: MVN / MA
 Vehicle Type: PASSENGER
 Year / Make: 2020 Dodge
 Model: Durango
 Fuel Type: GASOLINE
 Engine Cyl / Size: 8 / 5.7L
 GVWR: 8000
 Odometer: 113966

Station Information
 A1 AUTO CARE INC.
 620 Main Street
 HAVERHILL MA
 (978) 521-3936
 Station Number: PB100058
 Workstation Number: MAW00001007
 Inspector Number: *****1758

Inspection Fee \$35.00

Safety Inspection Results

License Plate Mounting and Condition	PASS	Service Brakes	PASS	Parking Brake	PASS
Horn	PASS	Stop Lights and Tail Lights	PASS	Headlight Aim and Operation	PASS
Lighting Devices and Reflectors	PASS	Directional Signals and 4-Ways	PASS	Front End	PASS
Steering and Suspension	PASS	Frame	PASS	Windshield Wipers and Cleaner	PASS
Safety Belts	PASS	Air Bags	PASS	Muffler and Exhaust System	PASS
Window Tint	PASS	Windshield	PASS	Rear View Mirror	PASS
Bumpers/Fenders/Exterior Sheet Metal	PASS	Fuel Tank Filler Cap	PASS	Fuel Tank Filler Neck and Components	PASS
Visible Smoke	PASS	Altered Vehicle Height	PASS	Tires	PASS
Other	PASS				

Inspection Comments

None

On-Board Diagnostic (OBD) Results

Tampering Check: PASS
 Connector Result: PASS
 RPM Result: N/A
 Key-On Bulb Check: N/A
 Engine-Running Bulb Check: N/A
 Scan Tool Check: PASS
 Communication Result: PASS
 MIL Status Result: PASS
 Readiness Result: PASS

OBD Readiness Monitor Results

Catalyst: READY
 Catalyst Heater: UNSUPPORTED
 Evaporative System: READY
 Secondary Air System: UNSUPPORTED
 A/C System: UNSUPPORTED
 Oxygen Sensor: READY
 Oxygen Sensor Heater: READY
 EGR and/or VVT System: READY
 Other: READY

OBD Additional Data

Miles Since Code Clearing: 327
 Warm-Ups Since Code Clearing: 20
 Pin 16 Voltage: 14.

OBD Diagnostic Trouble Codes

None

OBD Permanent Fault Codes

None

VIR Number



Scan to visit website:



File 10 days

14.1



Haverhill

Lisa E. DeMeo, P.E.
City Engineer/Assistant director of Public Works
Phone: 978-374-2335
ldemeo@haverhillma.gov

MAR 17 PM 2:01
HAVCITYCLERK

March 17, 2026

**MEMO TO: CITY COUNCIL PRESIDENT TIMOTHY JORDAN AND
MEMBERS OF THE CITY COUNCIL**

Subject: *Auburn Street #53 – HPS-26-7 - Add Handicap Parking*

As requested, attached is the subject Ordinance to add handicap parking.
Please contact me if you have any questions.

Sincerely,

Lisa E. DeMeo, P.E.
City Engineer

C: Mayor Barrett, Lt. Lynch, K. Wright, R. Ward, L. Mead, R. Kimball



DOCUMENT

CITY OF HAVERHILL

In Municipal Council

ORDERED:

AN ORDINANCE RELATING TO VEHICLES AND TRAFFIC

BE IT ORDAINED by the City Council of the City of Haverhill that the Code of the City of Haverhill, Chapter 240, §85, Schedule B: Parking Restrictions and Prohibitions, as amended, is hereby further amended by **ADDING** the following:

Auburn Street:	No Parking	24 hours
In front of #53	(except for 1 24-hour handicap parking space)	

APPROVED AS TO LEGALITY

City Solicitor

Thank you for placing your order with us.

From North of Boston <noreply@wave2adportal.com>

Date Wed 3/18/2026 9:07 AM

To CityClerk <cityclerk@haverhillma.gov>

Cc cmacdonald@northofboston.com <cmacdonald@northofboston.com>; Kaitlin Wright <kwright@haverhillma.gov>; Natalia Hernandez <NHernandez@HaverhillMa.gov>

Warning! External Email. Exercise caution when opening attachments or clicking on any links.

THANK YOU for your notice submission!

This is your confirmation that your order has been submitted. Below are the details of your transaction. Please save this confirmation for your records.

<p>Job Details</p> <p>Order Number: W0142660 Business Type: All Other Public Notices Notice Size: Public Notices Notice Estimate: \$69.23 Referral Code: 53 Auburn St. Parking ord.</p> <p>Account Details</p> <p>Haverhill Clerk 4 SUMMER ST STE 118 HAVERHILL, MA 01830 978-374-2312 cityclerk@cityofhaverhill.com HAVERHILL CITY CLERK</p>	<p>Schedule for notice number W01426600</p> <p>Thu Mar 26, 2026 Haverhill Gazette Public All Zones Notices</p> <table border="1"><tr><td colspan="3">CITY OF HAVERHILL In Municipal Council</td></tr><tr><td colspan="3">ORDERED: AN ORDINANCE RELATING TO VEHICLES AND TRAFFIC BE IT ORDAINED by the City Council of the City of Haverhill that the Code of the City of Haverhill, Chapter 240, §85, Schedule B: Parking Restrictions and Prohibitions, as amended, is hereby further amended by ADDING the following:</td></tr><tr><td>Auburn Street: In front of #53</td><td>No Parking (except for 1 24-hour handicap parking space)</td><td>24 hours</td></tr><tr><td colspan="3">HG - Publication Dates</td></tr></table>	CITY OF HAVERHILL In Municipal Council			ORDERED: AN ORDINANCE RELATING TO VEHICLES AND TRAFFIC BE IT ORDAINED by the City Council of the City of Haverhill that the Code of the City of Haverhill, Chapter 240, §85, Schedule B: Parking Restrictions and Prohibitions, as amended, is hereby further amended by ADDING the following:			Auburn Street: In front of #53	No Parking (except for 1 24-hour handicap parking space)	24 hours	HG - Publication Dates		
CITY OF HAVERHILL In Municipal Council													
ORDERED: AN ORDINANCE RELATING TO VEHICLES AND TRAFFIC BE IT ORDAINED by the City Council of the City of Haverhill that the Code of the City of Haverhill, Chapter 240, §85, Schedule B: Parking Restrictions and Prohibitions, as amended, is hereby further amended by ADDING the following:													
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HG - Publication Dates													

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File 10 days

14.2

Haverhill

Lisa E. DeMeo, P.E.
City Engineer/Assistant director of Public Works
Phone: 978-374-2335
ldemeo@haverhillma.gov

MAR 17 PM 2:01
HAVCITYCLERK

March 17, 2026

MEMO TO: CITY COUNCIL PRESIDENT TIMOTHY JORDAN AND MEMBERS OF THE CITY COUNCIL

Subject: *Middlesex Street #111 – HPS-26-5 - Add Handicap Parking*

As requested, attached is the subject Ordinance to add handicap parking.
Please contact me if you have any questions.

Sincerely,

Lisa E. DeMeo, P.E.
City Engineer

C: Mayor Barrett, Lt. Lynch, K. Wright, R. Ward, L. Mead, R. Kimball



DOCUMENT

CITY OF HAVERHILL

In Municipal Council

ORDERED:

AN ORDINANCE RELATING TO VEHICLES AND TRAFFIC

BE IT ORDAINED by the City Council of the City of Haverhill that the Code of the City of Haverhill, Chapter 240, §85, Schedule B: Parking Restrictions and Prohibitions, as amended, is hereby further amended by **ADDING** the following:

Middlesex Street: In front of #111	No Parking (except for 1 24-hour handicap parking space)	24 hours
---	---	-----------------

APPROVED AS TO LEGALITY

City Solicitor

Thank you for placing your order with us.

From North of Boston <noreply@wave2adportal.com>

Date Wed 3/18/2026 8:57 AM

To CityClerk <cityclerk@haverhillma.gov>

Cc cmacdonald@northofboston.com <cmacdonald@northofboston.com>; Kaitlin Wright <kwright@haverhillma.gov>; Natalia Hernandez <NHernandez@HaverhillMa.gov>

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THANK YOU for your notice submission!

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<h4>Job Details</h4> <p>Order Number: W0142658 Business Type: All Other Public Notices Notice Size: Public Notices Notice Estimate: \$69.23 Referral Code: 111 Middlesex St. Parking Ord.</p> <h4>Account Details</h4> <p>Haverhill Clerk 4 SUMMER ST STE 118 HAVERHILL, MA 01830 978-374-2312 cityclerk@cityofhaverhill.com HAVERHILL CITY CLERK</p>	<h4>Schedule for notice number W01426580</h4> <p>Thu Mar 26, 2026 Haverhill Gazette Public All Zones Notices</p> <table border="1"><tr><td colspan="3" style="text-align: center;">CITY OF HAVERHILL In Municipal Council</td></tr><tr><td colspan="3">ORDERED:</td></tr><tr><td colspan="3">AN ORDINANCE RELATING TO VEHICLES AND TRAFFIC</td></tr><tr><td colspan="3">BE IT ORDAINED by the City Council of the City of Haverhill that the Code of the City of Haverhill, Chapter 240, §85, Schedule B: Parking Restrictions and Prohibitions, as amended, is hereby further amended by ADDING the following:</td></tr><tr><td>Middlesex Street: In front of #111</td><td>No Parking (except for 1 24-hour handicap parking space)</td><td>24 hours</td></tr><tr><td colspan="3">HG - Publication Dates</td></tr></table>	CITY OF HAVERHILL In Municipal Council			ORDERED:			AN ORDINANCE RELATING TO VEHICLES AND TRAFFIC			BE IT ORDAINED by the City Council of the City of Haverhill that the Code of the City of Haverhill, Chapter 240, §85, Schedule B: Parking Restrictions and Prohibitions, as amended, is hereby further amended by ADDING the following:			Middlesex Street: In front of #111	No Parking (except for 1 24-hour handicap parking space)	24 hours	HG - Publication Dates		
CITY OF HAVERHILL In Municipal Council																			
ORDERED:																			
AN ORDINANCE RELATING TO VEHICLES AND TRAFFIC																			
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Middlesex Street: In front of #111	No Parking (except for 1 24-hour handicap parking space)	24 hours																	
HG - Publication Dates																			

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File 10 days

14.3

Haverhill

Engineering Department, Room 300

978-374-2335

Lisa E. DeMeo, P.E.

City Engineer/Assistant Director of Public Works

ldemeo@haverhillma.gov

MAR 13 AM 9:35
HAVCITYCLERK

March 12, 2026

MEMO TO: CITY COUNCIL PRESIDENT TIMOTHY JORDAN AND MEMBERS OF THE CITY COUNCIL

Subject: *Research Dr, TSO-26-1 – No Parking Ordinance*

As requested by Traffic & Safety, attached is an Ordinance for No Parking on both sides of Research Drive between Creek Brook Drive and Broadway.

Please contact me if you have any questions.

Sincerely,

Lisa E. DeMeo, P.E.

City Engineer

C: Mayor Barrett, Ward, Kimball, Wright, Lynch, Mead



DOCUMENT

CITY OF HAVERHILL

In Municipal Council

ORDERED:

MUNICIPAL ORDINANCE

CHAPTER 240

AN ORDINANCE RELATING TO VEHICLES AND TRAFFIC

BE IT ORDAINED by the City Council of the City of Haverhill that the Code of the City of Haverhill, Chapter 240, as amended, be further amended by **ADDING** the following to § 240-85 Schedule B: Parking Restrictions and Prohibitions:

Research Drive	No Parking	24 hrs
Both sides, between		
Creek Brook Dr & Broadway		

APPROVED AS TO LEGALITY:

City Solicitor

Thank you for placing your order with us.

From North of Boston <noreply@wave2adportal.com>
Date Wed 3/18/2026 9:05 AM
To CityClerk <cityclerk@haverhillma.gov>
Cc cmacdonald@northofboston.com <cmacdonald@northofboston.com>; Kaitlin Wright <kwright@haverhillma.gov>; Natalia Hernandez <NHernandez@HaverhillMa.gov>

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THANK YOU for your notice submission!

This is your confirmation that your order has been submitted. Below are the details of your transaction. Please save this confirmation for your records.

Job Details Order Number: W0142659 Business Type: All Other Public Notices Notice Size: Public Notices Notice Estimate: \$69.23 Referral Code: Research Drive Parking Ord.	Schedule for notice number W01426590 Thu Mar 26, 2026 Haverhill Gazette Public All Zones Notices <table border="1"><tr><td colspan="3" style="text-align: center;">CITY OF HAVERHILL In Municipal Council</td></tr><tr><td colspan="3">ORDERED: AN ORDINANCE RELATING TO VEHICLES AND TRAFFIC BE IT ORDAINED by the City Council of the City of Haverhill that the Code of the City of Haverhill, Chapter 240, §85, Schedule B: Parking Restrictions and Prohibitions, as amended, is hereby further amended by ADDING the following: Research Drive: No Parking 24 hours Both Sides, between Creek Brook Dr & Broadway HG - Publication Dates</td></tr></table>	CITY OF HAVERHILL In Municipal Council			ORDERED: AN ORDINANCE RELATING TO VEHICLES AND TRAFFIC BE IT ORDAINED by the City Council of the City of Haverhill that the Code of the City of Haverhill, Chapter 240, §85, Schedule B: Parking Restrictions and Prohibitions, as amended, is hereby further amended by ADDING the following: Research Drive: No Parking 24 hours Both Sides, between Creek Brook Dr & Broadway HG - Publication Dates		
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Account Details Haverhill Clerk 4 SUMMER ST STE 118 HAVERHILL, MA 01830 978-374-2312 cityclerk@cityofhaverhill.com HAVERHILL CITY CLERK							

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15.1

CITY COUNCIL

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John A. Michitson, *Vice President*
Thomas J. Sullivan
Colin F. LePage
Melissa J. Lewandowski
Catherine P. Rogers
Shaun P. Toohey
Michael S. McGonagle
Daniel R. Diodati
Devan Ferreira
Ralph T. Basiliere



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FACSIMILE: 978-374-2329
WWW.CITYOFHAVERHILL.GOV
CITYCOUNCIL@HAVERHILLMA.GOV

CITY OF HAVERHILL
HAVERHILL, MASSACHUSETTS 01830-5843

March 20, 2026

MAR 20 AM 8:41
HAVCITYCLERK

To: President and Members of the City Council

Vice President Michitson wishes to announce the Planning and Development Committee meeting on Monday, March 30, 2026 at 6PM in Room 202, City Council Chambers.

John A. Michitson
Vice President John A. Michitson *(initials)*

(Meeting: 3.24.26)

CITY COUNCIL

Timothy J. Jordan, *President*
John A. Michitson, *Vice President*
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Colin F. LePage
Melissa J. Lewandowski
Catherine P. Rogers
Shaun P. Toohey
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CITYCOUNCIL@HAVERHILLMA.GOV

CITY OF HAVERHILL

HAVERHILL, MASSACHUSETTS 01830-5843

March 16, 2026

TO: Kaitlin M. Wright, City Clerk

RE: Planning and Development Committee Meeting -
Monday, March 30, 2026, 6:00 PM

Dear Ms. Wright:

Please be advised, I have scheduled a Planning and Development Committee meeting for **Monday, March 30, 2026, at 6:00 PM in the City Council Chambers, Room 202, City Hall, 4 Summer Street.**

The purpose of the meeting is to discuss and review the following: Follow-up to the Planning and Development Meeting held on March 2, 2026

- Doc. 94-B Motion by Councilor Ferreira to look at updating the standards of Ch. 250 Article VI of the Haverhill Zoning Code regarding water use restrictions established in 2016.
- Doc.1-F Motion by Councilor Lewandowski to send for discussion relative to establishing or formalizing and ordinance regarding water conservation program.

You can also join the meeting remotely by using the link: <https://meet.google.com/hpw-pgry-dzd>

Sincerely,

John A. Michitson

John A. Michitson, Chairperson
Planning and Development Committee

JAM/lar
Attachments

C: P&D Committee Members, City Council, Mayor Melinda E. Barrett, Lisa DeMeo, Engineering Department, Robert Ward, Robert Moore, Conservation Department, Kay Emery, MVPC

Lori Robertson

From: Erinn Scott <escott@haverhillcommunitytv.org>
Sent: Monday, March 16, 2026 1:52 PM
To: Lori Robertson; Matt Belfiore; cbowden; Lindsay Paris; cellson; Dave Shultz; Matthew Scharn; Escott@haverhillcommunitytv.org
Subject: Planning & Development Committee Meeting - Monday, March 30, 2026, at 6PM

Warning! External Email. Exercise caution when opening attachments or clicking on any links. .

Warning! External Email. Exercise caution when opening attachments or clicking on any links.

Good afternoon,

Here is the information to virtually join the Planning & Development Committee Meeting through Google Meet on Monday, March 30, 2026, at 6PM.

<https://meet.google.com/hpw-pgry-dzd>

Or open Meet and enter this code: hpw-pgry-dzd

Dial in (audio only): (US) +1 501-697-9586 PIN: 507 804 596#

Thank you!

Erinn E. Scott, Office Manager
escott@haverhillcommunitytv.org
HC Media
60 Elm St.
Haverhill, MA 01830
(978) 372-8070 Ex. 202

CITY COUNCIL

Timthoy J. Jordan, *President*
John A. Michitson, *Vice President*
Thomas J. Sullivan
Colin F. LePage
Melissa J. Lewandowski
Catherine P. Rogers
Shaun P. Toohey
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CITY OF HAVERHILL

HAVERHILL, MASSACHUSETTS 01830-5843

MINUTES/SUMMARY OF THE PLANNING AND DEVELOPMENT COMMITTEE MEETING

March 2, 2026

A Planning and Development Committee Meeting was held on Monday, March 2, 2026 at 6:00 PM in the City Council Chambers, Room 202

Committee Members: Committee Chair, John Michitson, Councilor Catherine Rogers and Councilor Daniel Diodati

Councilors Present: President Timothy Jordan, Councilor Devan Ferreira and Councilor Lewandowski

City Officials: Mayor Melinda Barrett, Robert Moore, Conservation Department, Robert Ward, DPW Director

The following items were discussed:

- **Doc. 94-B Motion by Councilor Ferreira to look at updating the standards of Ch. 250 Article VI of the Haverhill Zoning Code regarding water use restrictions established in 2016.**
- **Doc. 1-F Motion by Councilor Lewandowski to send for discussion relative to establishing or formalizing an ordinance regarding water conservation program.**

Councilor Ferreira proposed strengthening the water conservation ordinance by tightening restriction triggers, implementing earlier and clearer color-coded levels, increasing enforcement and fines, requiring irrigation moisture sensors, applying regulations to private wells, reconsidering deduct meter credits, and potentially adopting year-round watering limits. She emphasized that the city's designation as a Green Community and adoption of stretch code standards already require higher efficiency in new construction, often making newer homes more water efficient than older ones, and noted that drought remains a significant contributing factor. Councilor Lewandowski supported enhancing conservation efforts through mandatory summer watering restrictions, stronger ordinance language requiring conservation plans for large or multi-unit developments to support neutral growth objectives, identifying high-volume users for targeted reductions, reviewing water impacts during renovations or changes of use, and possibly establishing a dedicated water commission. She also highlighted the need for clearer public education and outreach.

CITY COUNCIL

Timothy J. Jordan, *President*
John A. Michitson, *Vice President*
Thomas J. Sullivan
Colin F. LePage
Melissa J. Lewandowski
Catherine P. Rogers
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CITY OF HAVERHILL

HAVERHILL, MASSACHUSETTS 01830-5843

President Jordan expressed support for forming an advisory committee that could include expert volunteers while leaving final decisions to the City Council. Councilor Diodati inquired about the frequency of water audits and how homeowners are notified of leaks it was noted by Robert Ward they are conducted every three years, that letters are typically sent and most residents respond promptly. Councilor Diodati suggested sharing comparative usage data with residents and encouraging drought-tolerant landscaping in new developments. Councilor Rogers had concerns about not having the full proposal in writing, stating that it was unclear exactly what would be voted on.

Christine Kwitchoff (14 Colby's Lane) suggested replacing large lawns with pollinator-friendly plantings, citing Cedardale as an example of a company that could benefit from that. Demi Costarides (14 Mendum Road) stated she has lived near Crystal Lake her whole life and has seen the lake dry up many times, expressing concern that increased development, particularly new condominiums, is placing additional strain on the water supply despite drought conditions. Al Perreira (39 Smith Street) asked about current water levels, typical daily water consumption for households of two to six people, how residents can track their usage, and whether home monitoring solutions are available. David Monson (26 John Street) questioned characterizing the situation as a drought, citing regional rainfall data from Blue Hill showing above-average precipitation in five of the past seven years and arguing that water scarcity is driven more by consumption than natural conditions.

Robert Ward reported that daily water use has remained relatively stable at approximately 5 to 5.5 million gallons per day since 2000, with efficiency improvements in older homes offsetting the impact of new development. Average residential use is about 52 gallons per person per day, or roughly 130–150 gallons per household and has slightly declined in recent years. Current reservoir levels were shared, and officials noted minimal snowmelt contribution this season. Robert Moore reported no significant impacts from beaver dams, though gradually declining water levels have affected some mussels and shellfish while helping control invasive Chinese mystery snails. A new well was identified as necessary to maintain sustainable lake levels for residents and wildlife. Chair Michitson requested a more detailed analysis of the causes of current water conditions, particularly the impact of development versus drought, and suggested inviting state representatives to a future meeting given pending related legislation. The committee agreed to compile questions and responses for further review and to continue the discussion at a subsequent meeting.

CITY COUNCIL

Timthoy J. Jordan, *President*
John A. Michitson, *Vice President*
Thomas J. Sullivan
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CITY OF HAVERHILL

HAVERHILL, MASSACHUSETTS 01830-5843

Proposed ordinance/policy changes to consider

- Tighten drought restriction triggers.
- Implement earlier, clearer, color-coded restriction levels.
- Increase enforcement measures and fines.
- Require irrigation moisture sensors.
- Apply watering restrictions to private wells.
- Reconsider or modify deduct meter credit policies.
- Consider year-round outdoor watering limits.
- Adopt mandatory summer watering restrictions.
- Strengthen ordinance language overall.
- Require conservation plans for large or multi-unit developments.
- Require conservation plans for currently exempt properties.
- Review water impacts during renovations or changes of use.
- Identify and target high-volume users for demand reduction.
- Consider establishing a dedicated water commission or advisory committee.
- Improve and expand public education and outreach efforts.
- Share comparative water usage data with residents.
- Promote drought-tolerant landscaping in new developments.
- Consider citywide mailing comparing residential growth to water usage trends.
- Conduct deeper analysis of development impacts on water supply.
- Invite state representatives to align with pending state legislation to next P&D meeting

Committee Member Rogers motioned to adjourn. Second by Committee Member Diodati.

YEAS 3, NAYS 0

ADJOURNED: 19:19

Respectfully submitted:

John A. Michitson

John A. Michitson

Chair Planning and Development Committee

16.3

Document # 107-A

Ordinance re: Boards and Commissions- Article XX Agricultural Commission
Related communication from City Solicitor, Lisa Mead

IN CITY COUNCIL: OCTOBER 28, 2025

PLACED ON FILE FOR 10 DAYS

10 YEAS, 0 NAYS, 1 ABSENT,

Attest: Kaitlin M. Wright
Kaitlin M. Wright, CMC
City Clerk

IN CITY COUNCIL: MARCH 10, 2026
FILE FOR 10 DAYS 10 YEAS, 0 NAYS, 1 ABSENT

ATTEST: Kaitlin M. Wright
CITY CLERK

IN CITY COUNCIL: DECEMBER 2, 2025
COUNCIL VOTED TO CONTINUE TO JANUARY 13, 2026

ATTEST: Kaitlin M. Wright
CITY CLERK

IN CITY COUNCIL: JANUARY 13, 2026
CONTINUED TO JANUARY 27, 2026 10 yeas, 0 nays, 1 absent
ATTEST:

Kaitlin M. Wright
KAITLIN M. WRIGHT, CITY CLERK

IN CITY COUNCIL: JANUARY 27, 2026
CONTINUED TO MARCH 3, 2026 11 YEAS, 0 NAYS
ATTEST:

Kaitlin M. Wright
KAITLIN M. WRIGHT, CITY CLERK

IN CITY COUNCIL: MARCH 3, 2026
CONTINUED TO: MARCH 10, 2026 10 YEAS, 0 NAYS, 1 ABSENT
ATTEST:

Kaitlin M. Wright
KAITLIN M. WRIGHT, CITY CLERK

Kaitlin Wright

From: Melissa Lewandowski
Sent: Thursday, January 8, 2026 4:30 PM
To: Lori Robertson; Tim Jordan; Kaitlin Wright
Subject: AG comm

Good afternoon

My agenda item regarding AG commission originally continued to 1/13 is not yet ripe for agenda as we are awaiting final draft from Atty. Mead. I have spoken to President Jordan about placing it on the agenda for 1/27. Please move the item to 1/27.

Thank you

Councilor Lewandowski

Get [Outlook for iOS](#)

JAN 9 AMB:18
HANCITYCLERK



Mead, Talerman & Costa, LLC
Attorneys at Law

30 Green Street
Newburyport, MA 01950

978.463.7700
www.mtclawyers.com

16.1

October 22, 2025

By Electronic Delivery

Thomas J. Sullivan
City Council President
Haverhill City Council
4 Summer Street,
Room 204
Haverhill, MA 01830

Re: Amendment to Ch. 11 of the City Ordinances re: Agriculture Commission

Dear Mr. Sullivan:

Reference is made to the above captioned matter. In that connection, the City has provided us with comments and materials related to codifying the creation and duties of the City's Agriculture Commission. Please find transmitted along with this letter a new Municipal Ordinance document and correcting the Council's Order 123 of 2019, originally creating the Agriculture Commission.

Sincerely,

/s/ Lisa L. Mead

Atty. Lisa Mead, City Solicitor

Enclosure(s)

cc: Melinda E. Barrett, Mayor

New Bedford Office
227 Union Street
New Bedford, MA 02740
Phone 774.206.6857

Millis Office
730 Main Street, Suite 1F
Millis, MA 02054
Phone 508.376.8400

file for 10 days (14.1)



MELINDA E. BARRETT
MAYOR

CITY OF HAVERHILL
MASSACHUSETTS

CITY HALL, ROOM 100
FOUR SUMMER STREET
HAVERHILL, MA 01830
PHONE 978-374-2300
FAX 978-373-7544
MAYOR@HAVERHILLMA.GOV
WWW.HAVERHILLMA.GOV

October 24, 2025

To: City Council President Thomas J. Sullivan and Members of the Haverhill City Council

From: Mayor Melinda E. Barrett

Re: An Ordinance Relating to Boards and Commissions – Article XX Agricultural Commission

Dear Mr. President and Members of the City Council:

Attached please find An Ordinance Relating to Boards and Commissions – Article XX Agricultural Commission.

I recommend approval

Very truly yours,

Melinda E. Barrett
Mayor



Document
CITY OF HAVERHILL
In Municipal Council

Ordered:

MUNICIPAL ORDINANCE

CHAPTER 11

AN ORDINANCE RELATING TO BOARDS AND COMMISSIONS

BE IT ORDAINED by the City Council of the City of Haverhill that Chapter 11 of the Code of the City of Haverhill, as amended, being and is hereby further amended by adding the following:

Article XX Agricultural Commission

§ 11-101 Establishment; purpose

There shall be established in the City of Haverhill, in accordance with G.L. c. 40 sec. 8L, which is hereby accepted to the extent set forth below, an Agricultural Commission, which Commission is hereby established for the following general purposes: to promote and develop the agricultural resources of the municipality.

§ 11-102 Duties

Such Commission shall:

- advocate for farmers, farm businesses and farm interests;
- seek to coordinate agricultural related activities with other governmental bodies or unofficial local groups or organizations that promote agriculture;
- receive grants, gifts, bequests or devises of money or personal property of any nature and interest in real property with permission of the City Council and the Mayor;
- apply for, receive, expend and act on behalf of the municipality in connection with federal and state grants or programs or private grants related to local agriculture, with the approval of the Mayor;
- advertise, prepare, print and distribute books, maps, charts and pamphlets related to local agriculture that the municipal Agricultural Commission deems necessary for its work.

§ 11-103 Membership

The Commission shall consist of five (5) members who shall be residents of the City. A

majority of members shall be farmers or employed in an agriculture-related field. If farmers or persons employed in agriculture are not available to serve on the Commission, then the Commission shall include a majority of members with knowledge and experience in agricultural practices or knowledge of related agricultural business.

Each member of the Commission shall serve for a term of 3 years; provided, however, that the initial members appointed under this section shall serve for terms of 1, 2 or 3 years and the terms shall be arranged by the appointing authority so that the terms of approximately 1/3 of the Commission's members shall expire each year.

The members of the Commission shall be appointed by the Mayor and confirmed by the City Council.

A member of the Commission who fails to attend, without reasonable excuse, more than 60% of the meetings of the Commission in any year, may be removed by the appointing authority. A vacancy created by a member being removed shall be filled by the appointing authority for the remainder of the unexpired term in the same manner as the original appointment.

§ 11-104 Operations of the Commission

The Commission may appoint a chair, clerks, and may contract for materials and services as it may require, subject to appropriation by the City.

The Commission shall comply with all purchasing and contracting requirements of the City.

The Commission shall keep accurate records of its meetings and actions and shall file an annual report with the City Clerk. The Commission's annual report shall be posted on the City's website.

The Commission shall work with and keep informed the Conservation Agent or its designee on all happenings and activities of the Commission.

123



DOCUMENT 123

CITY OF HAVERHILL

In Municipal Council December 10 2019

~~ORDAINED~~

MUNICIPAL ORDINANCE

CHAPTER 11

AN ORDINANCE RELATING TO BOARDS AND COMMISSIONS

BE IT ORDAINED by the City Council of the City of Haverhill that Chapter 11 of the Code of the City of Haverhill, as amended, being and is hereby further amended by adding the following:

"Article XIX. Agriculture Commission

§ 11-92 Establishment; purpose.

There shall be established in the City of Haverhill, in accordance with MGL c. 40, §8L, which is hereby accepted, an Agriculture Commission, which Commission is hereby established for the following general purposes: to promote and develop the agricultural resources of the municipality.

§ 11-93 Duties.

A. Such Commission shall advocate for farmers, farm businesses and farm interests; assist farmers in resolving municipal problems or conflicts related to farms; seek to coordinate agricultural- related activities with other governmental bodies or unofficial local groups or organizations that promote agriculture; receive grants, gifts, bequests or devises of money or personal property of any nature and interests in real property with permission of the City Council and the Mayor; apply for, receive, expend and act on behalf of the municipality in connection with federal and state grants or programs or private grants related to local agriculture, with the approval of the Mayor; advertise, prepare, print and distribute books, maps, charts and pamphlets related to local agriculture that the municipal agricultural Commission deems necessary for its work; and, buy, hold, manage, license or lease land for agricultural purposes with permission of the City Council and the Mayor

Legal Ad For Haverhill

From Natalia Hernandez <NHernandez@HaverhillMa.gov>

Date Thu 10/30/2025 4:52 PM

To hglegals@hgazette.com <hglegals@hgazette.com>

Cc Kaitlin Wright <kwright@haverhillma.gov>; Natalia Hernandez <NHernandez@HaverhillMa.gov>

 1 attachment (51 KB)

Ad for Article XX Agricultural Commission 2025.pdf;

Good Afternoon,

Please run the following legal ad one time in the Gazette on November 6, 2025.

An Ordinance relating to Boards and Commissions Article XX Agricultural Commission.

Any questions, please call 978-420-3621. Thank you!

Sincerely,
Natalia Hernandez



Kaitlin Wright

From: Tim Jordan
Sent: Friday, January 23, 2026 8:10 AM
To: Melissa Lewandowski; Kaitlin Wright
Subject: Re: AG

How about March 3rd?

Get [Outlook for iOS](#)

From: Melissa Lewandowski <mlewandowski@haverhillma.gov>
Sent: Thursday, January 22, 2026 3:26:18 PM
To: Kaitlin Wright <kwright@haverhillma.gov>; Tim Jordan <tjordan@haverhillma.gov>
Subject: Re: AG

Understood. President Jordan, please suggest a date in early March and I'll follow suit.

Thank you,
Melissa

Get [Outlook for iOS](#)

From: Kaitlin Wright <kwright@haverhillma.gov>
Sent: Thursday, January 22, 2026 2:43:50 PM
To: Melissa Lewandowski <mlewandowski@haverhillma.gov>; Tim Jordan <tjordan@haverhillma.gov>
Subject: RE: AG

Thank you.

Just to be clear, at the meeting, when the item is continued, it will need to be continued to a set date. I don't necessarily need that date in advance for the agenda – I can place it on as *Communication from Councilor Lewandowski to a date to be determined during Council meeting*, but a date will need to be set for the item to return to.

All my best,

Kaitlin

Kaitlin M. Wright, CMC

City Clerk

4 Summer Street, Room 118

Office: (978) 374-2312

Fax: (978) 373-8490

kwright@haverhillma.gov



DOCUMENT

CITY OF HAVERHILL

In Municipal Council

ORDERED:

Municipal Ordinance

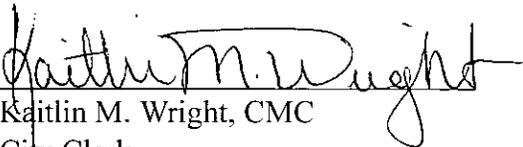
Chapter

An Ordinance Relating to Amendment to Chapter 11 of the Haverhill City Ordinances

Since this Ordinance exceeds in length eight octavo pages of ordinary book print, in lieu of advertising, it is published by the City Council in a municipal bulletin, placed on file in the City Clerk's Office, and posted on the municipal bulletin in City Hall.

PLACED ON FILE for at least 10 days

Attest:


Kaitlin M. Wright, CMC
City Clerk



Document
CITY OF HAVERHILL
In Municipal Council

Ordered:

MAR 5 AM 11:31
HAUCITYCLERK

MUNICIPAL ORDINANCE

CHAPTER 11

**AN ORDINANCE RELATING TO AMENDMENT TO CHAPTER 11 OF THE
HAVERHILL CITY ORDINANCES**

BE IT ORDAINED by the City Council of the City of Haverhill Chapter 11, -Agricultural Commission, of the Code of the City of Haverhill, as amended, being and is hereby further amended as follows:

Article XX Agricultural Commission

11-101 Establishment; purpose

There shall be established in the City of Haverhill, in accordance with G.L. c. 40 sec. 8L, which is hereby accepted to the extent set forth below, an Agricultural Commission, which Commission is hereby established for the following general purposes: to promote and develop the agricultural resources of the municipality.

11-102 Duties

Such Commission shall:

- advocate for farmers, farm businesses and farm interests;
- educate the public on agricultural issues
- seek to coordinate agricultural related activities with other governmental bodies or unofficial local groups or organizations that promote agriculture;
- receive grants, gifts, bequests or devises of money or personal property of any nature and interest in real property with permission of the City Council and the Mayor;
- apply for, receive, expend and act on behalf of the municipality in connection with federal and state grants or programs or private grants related to local agriculture, with the approval of the Mayor;
- advertise, prepare, print and distribute books, maps, charts and pamphlets related to local agriculture that the municipal Agricultural Commission deems necessary for its work.

- assist farmers in resolving municipal problems or conflicts related to farms as follows;
 - Any person who seeks to complain about the operation of a farm may, notwithstanding pursuing any other available remedy, file a grievance with the Zoning Enforcement Officer, or the Health Agent, depending upon the nature of the grievance. The filing of the grievance does not suspend the time within which to pursue any other available remedies that the aggrieved may have. The Zoning Enforcement Officer or the Health Agent, except in cases of imminent danger or public health risk, may forward a copy of the grievance to the Agricultural Commission or its agent, which shall review and facilitate the resolution of the grievance, and report its recommendations to the referring City authority within an agreed upon time frame.

11-103 Membership

The Commission shall consist of five (5) members who shall be residents of the City. A majority of members shall be farmers or employed in an agriculture-related field. If farmers or persons employed in agriculture are not available to serve on the commission, then the commission shall include a majority of members with knowledge and experience in agricultural practices or knowledge of related agricultural business.

Each member of the commission shall serve for a term of 3 years; provided, however, that the initial members appointed under this section shall serve for terms of 1, 2 or 3 years and the terms shall be arranged by the appointing authority so that the terms of approximately 1/3 of the commission's members shall expire each year.

The members of a commission shall be appointed by the Mayor and confirmed by the City Council.

A member of a commission who fails to attend, without reasonable excuse, more than 60% of the meetings of the commission in any year, may be removed by the appointing authority. A vacancy created by a member being removed shall be filled by the appointing authority for the remainder of the unexpired term in the same manner as the original appointment.

11-95 Operations of the Commission

The commission may appoint a chair, clerks, and may contract for materials and services as it may require, subject to appropriation by the City.

The commission shall comply with all purchasing and contracting requirements of the City.

The commission shall keep accurate records of its meetings and actions and shall file an annual report with the City Clerk. The commission's annual report shall be posted on the City's website.

The commission shall work with and keep informed the Conservation Agent or its designee on all happenings and activities of the commission.

APPROVED AS TO LEGALITY:

City Solicitor

Thank you for placing your order with us.

From North of Boston <noreply@wave2adportal.com>
Date Fri 3/6/2026 9:43 AM
To Natalia Hernandez <NHernandez@HaverhillMa.gov>

 1 attachment (16 KB)
W01423490.pdf;

Warning! External Email. Exercise caution when opening attachments or clicking on any links.

THANK YOU for your notice submission!

This is your confirmation that your order has been submitted. Below are the details of your transaction. Please save this confirmation for your records.

Job Details Order Number: W0142349 Business Type: All Other Public Notices Notice Size: Public Notices Notice Estimate: \$51.92 Referral Code: Chapter 11 Ord.	Schedule for notice number W01423490 Thu Mar 12, 2026 Haverhill Gazette Public All Zones Notices CITY OF HAVERHILL In Municipal Council ORDERED: Municipal Ordinance Chapter An Ordinance Relating to Amend- ment to Chapter 11 of the Haverhill City Ordinances Since this Ordinance exceeds in length eight octavo pages of ordi- nary book print, in lieu of advertis- ing, it is published by the City Coun- cil in a municipal bulletin, placed on file in the City Clerk's Office, and posted on the municipal bulletin in City Hall. PLACED ON FILE for at least 10 days Attest: Kaitlin M. Wright, CMC City Clerk HG - Publication Dates
Account Details Haverhill Clerk 4 SUMMER ST STE 118 HAVERHILL, MA 01830 978-374-2312 cityclerk@cityofhaverhill.com HAVERHILL CITY CLERK	

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 FACSIMILE: 978-374-2329
WWW.CITYOFHAVERHILL.GOV
CITYCOUNCIL@HAVERHILLMA.GOV

CITY OF HAVERHILL
 HAVERHILL, MASSACHUSETTS 01830-5843

DOCUMENTS REFERRED TO COMMITTEE STUDY

Document Number	Motion Details	Committee	Date Sent
103-HH	Motion by Councilor Michitson to send the Home Rule Petition – <i>An Act Establishing Guidelines for the Installation and Use of Electric Vehicle Charging Stations in the City of Haverhill</i> to committee in order to coordinate with condominium associations.	A&F	12/23/23
40	Motion by Councilor Lewandowski to send updated <i>Cannabis Social Equity Best Practices</i> for the Cannabis Control Commission to A&F for further review.	A&F	4/2/24
12-S	Motion by Councilor Ferreira to send the City's Swimming Ordinance (Chapter 193, Article III) and related items at Lake Saltonstall (Plug Pond) to NRPP for further discussion.	NRPP	6/18/24
33-F	Motion by Councilor Basiliere to send resident winter parking concerns and offer suggestions for improvements to the Public Health & Safety Committee.	Public Health & Safety	3/11/25
33-L	Motion by Councilor Lewandowski to send Bill 3360 (vacancy tax on residential properties) for review, along with further review of the Massachusetts Vacant Storefront Program (MVSP).	Planning & Development	6/24/25
33-P	Motion by Councilor Ferreira to send for review the City's local strategies regarding traffic and safety, including evaluation of intersections at Amesbury Line Road and Merrimac Road for public safety improvements.	Public Health & Safety	9/16/25
94-B	Motion by Councilor Ferreira to review and update standards of Chapter 250, Article VI of the Haverhill Zoning Code regarding water use restrictions established in 2016.	Planning & Development	9/16/25
33-T	Motion by Councilor Lewandowski to establish a working group, as previously discussed, to implement a control management plan for vegetation in Riverside Park / Edible Avenue along the river.	NRPP	9/30/25
85-E	Motion by Councilor Michitson to send Judi Barrett's progress report on the fiscal impact analysis prepared for the Council for further discussion.	Planning & Development	12/9/25
1-F	Motion by Councilor Lewandowski to send for discussion the establishment or formalization of an ordinance regarding a water conservation program.	Planning & Development	1/27/26
1-Q / 1-QQ	Motion by Councilor Lewandowski to send for further discussion amendments to Chapter 216 – Snow and Ice Removal, including changes to Sections 1-16, Article I, Chapter 1 (General Provisions), to increase fines for violations.	Public Health & Safety	3/17/26

Updated: March 19, 2026

MAR 20 AMB:41
 HAUCITYCLERK