



**CITY OF HAVERHILL
CITY COUNCIL AGENDA**

Tuesday, December 9, 2025, at 7:00 PM - **AMENDED**

Theodore A. Pelosi, Jr. Council Chambers, 4 Summer st, Room 202

In-Person/Remote Meeting

This meeting of Haverhill City Council will be held in-person at the location provided on this notice as its official meeting location pursuant to the Open Meeting Law. As the meeting is held in person at a physical location that is open and accessible to the public, the City Council is not required to provide remote access to the meeting. Members of the public are welcome to attend this in-person meeting. Please note that a live stream of the meeting is being provided only as a courtesy to the public, and the meeting will not be suspended or terminated if technological problems interrupt the virtual broadcast, unless otherwise required by law. Members of the public with particular interest in any specific item on this agenda should make plans for in-person vs. virtual attendance accordingly. Those attending tonight's meeting should be aware that the meeting is being audio and video recorded by HCTV, The Eagle Tribune, and WHAV. Any audience members who wish to record any part of the meeting must inform the Council President who will announce the recording. This is to comply with the MA wiretap statute. Thank you.

1. OPENING PRAYER

2. PLEDGE OF ALLEGIANCE

3. APPROVAL OF MINUTES OF PRIOR MEETING

4. ASSIGNMENT OF THE MINUTES REVIEW FOR THE NEXT MEETING:

5. COMMUNICATIONS FROM THE MAYOR:

5.1. Mayor Barrett submits an order authorizing the City Council to accept a gift of \$100.00 dollars for the Holiday Luncheon at the Citizen's Center from Sarah's Place to Council on Aging Department

5.1.1. Order- That the City Council on behalf of the City votes to accept a gift of \$100.00 for the Holiday Luncheon at the Citizens Center. Consistent with the purpose of the donation, as stated in the letter from Sarah's Place addressed to the City of Haverhill dated December 2025, the Gift shall be used by the Council on Aging Department

5.2. Mayor Barrett submits an order authorizing the City Council to accept a gift of \$100.00 dollars for the Thanksgiving Luncheon at the Citizen Center from Wingate Residences at Haverhill to Council on Aging Department

5.2.1. Order- That the City Council on behalf of the City votes to accept a gift of \$100.00 for the Thanksgiving Luncheon at the Citizens Center. Consistent with the purpose of the donation, as stated in the letter from Wingate Residences at Haverhill addressed to the City of Haverhill dated November 2025, the Gift shall be used by the Council on Aging Department



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5.3. Mayor Barrett submits the *Memorandum of Agreement for the Police Patrolman Association Group*

5.3.1. Memorandum of Agreement between the City of Haverhill and the *Police Patrolman Association Group*

File 10 Days

5.4. Mayor Barrett wishes to introduce Judi Barrett of Barrett Planning Group, LLC to provide a progress report on the Fiscal Impact Analysis prepared for Council

6. COMMUNICATIONS FROM COUNCILORS TO INTRODUCE AN INDIVIDUAL(S) TO ADDRESS THE COUNCIL:

6.1. President Sullivan wishes to introduce Jonathan Gagne who is requesting a Home Rule Age waiver petition for the position of police officer in the City of Haverhill

6.1.1. Home Rule Petition- Authorizing Jonathan Gagne to take the Civil Service Exam for the position of Police Officer in the City of Haverhill notwithstanding the maximum age requirement

6.2. Vice President Jordan requests to introduce Lisa Marzilli from the *Cogswell Club*, and Cindy Davis Jackson, Board President of *Whittier Birthplace*, and Alice Mann, Board President of *Urban Bridges*, the 2025 recipients of Cogswell Club grants

7. PUBLIC PARTICIPATION- REQUESTS UNDER COUNCIL RULE 28

8. COMMUNICATIONS AND REPORTS FROM CITY OFFICERS AND EMPLOYEES:

8.1. Christine Webb, *City Assessor*, submits the abatement report for the month of November 2025

9. UTILITY HEARING(S) AND RELATED ORDER(S):

10. HEARINGS AND RELATED ORDERS:

10.1. Document 91 - CCSP 25-7; Attorney Paul Magliocchetti for client 233 *Winter Street LLC* requests to construct a Mixed-Use Store and a 10-Unit Multifamily Dwelling at 233 Winter st; Map 306, Block 75, Lots 3

Continued from October 7, 2025

11. APPOINTMENTS:

11.1. **Confirming Appointments:**

11.2. **Non-Confirming Appointments:**

11.3. **Constables**



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11.4. **Resignations**

11.4.1. *Haverhill Planning Board- Carmen Garcia- effective November 6, 2025*

12.PETITIONS:

12.1. **Applications Handicap Parking Sign:** *with Police approval*

12.2. **Amusement/Event Application:** *with Police approval*

12.3. **Auctioneer License:**

12.4. **Tag Days:** *with Police approval*

12.5. **One Day Liquor License –with HPD approval**

12.6. **ANNUAL LICENSE RENEWALS:**

12.6.1. **Hawker Peddlers License- Fixed location – w/Police approval**

12.6.2. **Coin-Op License Renewals – with Police approval**

12.6.3. **Christmas Tree Vendor – with Police approval**

12.6.4. **Taxi Driver Licenses for 2024: with Police approval**

12.6.5. **Taxi/Limousine License with Police approval**

12.6.6. **Junk Dealer /Collector License - with Police approval**

12.6.7. **Pool/Billiard**

12.6.8. **Bowling**

12.6.9. **Sunday Bowling**

12.6.10. **Buy & Sell Second Hand Articles with Police approval**

12.6.11. **Buy & Sell Second Hand Clothing with Police approval**

12.6.12. **Pawnbroker license - with police approval**

12.6.13. **Fortune Teller with - Police approval**

12.6.14. **Buy & Sell Old Gold – with Police approval**

12.6.15. **Roller Skating Rink**

12.6.16. **Sunday Skating**

12.6.17. **Exterior Vending Machines/Redbox Automated Retail, LLC**

12.6.18. **Limousine/Livery License/Chair Cars with Police approval**

13.MOTIONS AND ORDER:

13.1. Order- Pay bills of previous years and authorize payment from the current year departmental appropriation listed:

Vendor	Amount	Account
Tree Green Capital	\$1,320.74	Public Property
Tree Green Capital	\$999.81	Public Property



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Tree Green Capital	\$1,574.89	Public Property
Tree Green Capital	\$1,731.64	Public Property
AAT	\$1,020.00	Highway

TOTAL = \$6,647.08

14.ORDINANCES (FILE 10 DAYS):

15.COMMUNICATIONS FROM COUNCILORS:

15.1. Councilors Ferreira and Michitson wish to discuss pedestrian safety in Haverhill

16.UNFINISHED BUSINESS OF PRECEEDING MEETING:

17.RESOLUTIONS AND PROCLAMATIONS:

18.COUNCIL COMMITTEE REPORTS AND ANNOUNCEMENTS:

19.DOCUMENTS REFERRED TO COMMITTEE STUDY:

20.LONG TERM MATTERS STUDY LIST:

21. ADJOURN:

MELINDA E. BARRETT
MAYOR



CITY OF HAVERHILL
MASSACHUSETTS

5.1

CITY HALL, ROOM 100
FOUR SUMMER STREET
HAVERHILL, MA 01830
PHONE 978-374-2300
FAX 978-373-7544
MAYOR@HAVERHILLMA.GOV
WWW.HAVERHILLMA.GOV

December 4, 2025

To: City Council President Thomas J. Sullivan and Members of the Haverhill City Council

From: Mayor Melinda E. Barrett

RE: Order Authorizing City Council to Accept a Gift of \$100.00 Dollars from Sarah's Place at Haverhill for the Holiday Luncheon to Council on Aging Department.

Dear Mr. President and Members of the Haverhill City Council:

Please see attached an order authorizing City Council to accept a gift of \$100.00 dollars for the Holiday Luncheon at the Citizen's Center from Sarah's Place to Council on Aging Department.

I recommend approval.

Sincerely,

Melinda E. Barrett
Mayor

MEB/em



Document

5.1.1

CITY OF HAVERHILL

In Municipal Council

DEC 4 PM 3:34
HAVERHILL CLERK

Ordered:

GIFT ACCEPTANCE

At a regularly convened meeting of the City Council of the City of Haverhill, held on the 9th day of December 2025, it was voted as follows:

That the City Council of the City of Haverhill, duly elected, qualified, and acting as such, on behalf of the City votes to accept a gift of one hundred dollars (\$100.00) for the Holiday Luncheon at the Citizens Center. Consistent with the purpose of the donation, as stated in the letter from Sarah's Place addressed to the City of Haverhill dated December 2025, the Gift shall be used by the Council on Aging Department.

YEAS: _____

NAYS: _____

ABSENT: _____

PASSED IN COUNCIL: _____

A True Record, Attest:

Date Approved

Kaitlin M. Wright, City Clerk

Melinda E. Barrett, Mayor

Remittance Info: Inv Holiday Lunch Donation

Sarah's Place Adult Day Health Center

180 Water Street
Haverhill, MA 01810
9783742160

JPMorgan Chase Bank, N.A.

Verify: 888-237-9615
90-7162/3222

11/21/2025

PAY TO THE ORDER OF HAVERHILL COUNCIL ON AGING

\$ 100.00

One Hundred and 00/100

DOLLARS

VOID AFTER 90 DAYS



18_3549
HAVERHILL COUNCIL ON AGING
10 WELCOME ST
HAVERHILL, MA 01830-5631

John Kelly

Bill.com, LLC, Issuer

MP

From: Sarah's Place Adult Day Health Center

Date: 11/21/2025

Pay To: HAVERHILL COUNCIL ON AGING

Invoice Number	Bill Amount	Bill Payment Amount
lday Lunch Donation	\$100.00	\$100.00
Total		\$100.00

**Get paid up to
7 days earlier
with BILL!**

Easily create your account and
get paid electronically.

Scan the QR code to get started



OR

Go to bill.com/epay and enter this
code:



Date of Invoice
Vendor
Invoice
P.O. 25 SP 197
Account: 6439
PJ CD

Sarah's Place Adult Day Health

Request for Payment

Payable to: Haverhill Council on Aging

In the Amount of: \$100.00

Date of Service: 12/19/2025

Bldg Manager Approval: *Hidi Rine*

Payment Approval

In Payment for: Donation

Date Requested: 11/18/2025

Due Date: 11/25/2025

Date of Check

Check Number



JobID:DFUUBF, PieceID:003549, Page 01 of 01, Feed Inserts:00000000, File Page:3886 of 12342

5.2



MELINDA E. BARRETT
MAYOR

CITY OF HAVERHILL
MASSACHUSETTS

CITY HALL, ROOM 100
FOUR SUMMER STREET
HAVERHILL, MA 01830
PHONE 978-374-2300
FAX 978-373-7544
MAYOR@HAVERHILLMA.GOV
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December 4, 2025

To: City Council President Thomas J. Sullivan and Members of the Haverhill City Council

From: Mayor Melinda E. Barrett

RE: Order Authorizing City Council to Accept a Gift of \$100.00 Dollars from Wingate Residences at Haverhill for the Thanksgiving Luncheon to Council on Aging Department.

Dear Mr. President and Members of the Haverhill City Council:

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I recommend approval.

Sincerely,

Melinda E. Barrett
Mayor

MEB/em



Document

5.2.1

CITY OF HAVERHILL

In Municipal Council

REC'D
DEC 4 2025
CITY CLERK

Ordered:

GIFT ACCEPTANCE

At a regularly convened meeting of the City Council of the City of Haverhill, held on the 9th day of December 2025, it was voted as follows:

That the City Council of the City of Haverhill, duly elected, qualified, and acting as such, on behalf of the City votes to accept a gift of one hundred dollars (\$100.00) for the Thanksgiving Luncheon at the Citizens Center. Consistent with the purpose of the donation, as stated in the letter from Wingate Residences at Haverhill addressed to the City of Haverhill dated November 2025, the Gift shall be used by the Council on Aging Department.

YEAS: _____

NAYS: _____

ABSENT: _____

PASSED IN COUNCIL: _____

A True Record, Attest:

Date Approved

Kaitlin M. Wright, City Clerk

Melinda E. Barrett, Mayor

11-7-25

To Whom it May Concern:

Wingate Residences at Haverhill has donated \$100 to the Haverhill Council on Aging for the use of the Thanksgiving Luncheon. We enjoy being included in your programming and look forward to more opportunities to work together.

Kind Regards, -

Stacey Blakeslee

Director of Community Relations

Wingate Residences at Haverhill

TRUE WATERMARK PAPER SHOULD LOOK TO NEW HERE IN THE PINK IMAGE DISAPPEARS WITH HEAT

WSL Haverhill AL LLC

10 Residences Way
Haverhill, MA 01830

Needham Bank
1063 Great Plain Ave
Needham, MA 02492

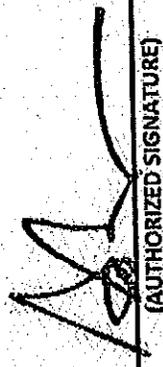
53-7353/2113

11/20/2025

\$100.00

Pay ***** ONE HUNDRED AND 00/100 DOLLARS

Pay to the Haverhill Council on Aging
Order of 10 WELCOME ST
HAVERHILL, MA 01830


(AUTHORIZED SIGNATURE)

DATE: 11/20/2025 TOTAL: \$100.00
PAYEE: HAVERHILL COUNCIL ON AGING

Property Account	Invoice - Date	Description	Amount
		thanksgiving luncheon	100.00
			<u>100.00</u>

File for 10 days

5.3



MELINDA E. BARRETT
MAYOR

CITY OF HAVERHILL
MASSACHUSETTS

CITY HALL, ROOM 100
FOUR SUMMER STREET
HAVERHILL, MA 01830
PHONE 978-374-2300
FAX 978-373-7544
MAYOR@HAVERHILLMA.GOV
WWW.HAVERHILLMA.GOV

December 5, 2025

To: City Council President Thomas J. Sullivan and Members of the Haverhill City Council

From: Mayor Melinda E. Barrett

RE: **MOA- Police Patrolman Association Group**

Dear Mr. President and Members of the Haverhill City Council:

Please find attached a Memorandum of Agreement for the Police Patrolman Association Group. This item must be placed on file for 10 days after which I recommend approval.

Sincerely,

Melinda E. Barrett
Mayor

MEB/em



5.3.1

Haverhill

Human Resources Department, Room 306

Phone: (978) 374-2357 Fax: (978) 374-2343

Denise McClanahan, HR Director - dmcclanahan@haverhillma.gov

Christina Carrie, HR Technician - ccarrie@haverhillma.gov

John DeRossa, HR Technician - jdelrosso@haverhillma.gov

Bridget Panniello, Head Clerk/Floater - bpanniello@haverhillma.gov

TO: Mayor Melinda Barrett
FROM: Denise McClanahan, HR Director 
DATE: December 5, 2025
RE: MOA submission

As a result of recent negotiations, attached please find the MOA for the Police Patrolman Association group. Please submit this document to the next City Council meeting for action.

dIm

TO: MAYOR MELINDA BARRETT
FROM: Denise McClanahan, HR Director 
DATE: 12/4/2025
RE: COLLECTIVE BARGAINING FINANCIAL DISCLOSURE

DECEMBER 4 2025

NAME OF CONTRACT OR GROUP: Police Patrolman Group
CONTRACT PERIOD: 7/1/2025 to 6/30/2028

% INCREASE FOR EACH CONTRACT YEAR:

Year 1 2 % Year 2 2 % Year 3 2 %

In FY 26, drop start, year 1, & year 2 steps – make year 3 the new start step

Cost of COLAs (along with market adjustments) for each fiscal year of contract (amounts are approximate and include contractual step increases):

Year 1 – FY <u>26</u>	Cost amount	<u>\$317,805</u>
Year 2 – FY <u>27</u>	Cost amount	<u>\$136,570</u>
Year 3 – FY <u>28</u>	Cost amount	<u>\$139,860</u>

ADDITIONAL COSTS

(i.e., OT, Hazardous Duty, Professional Development, Clothing Allowance, Holiday Pay, etc.)

Approx longevity increase	<u>\$32,950</u>
Approx accreditation reduction FY26	<u>\$-56,950</u>
Approx education reduction FY 26	<u>\$-111,833</u>
Approx Interpreter stipend increase	<u>\$2,700</u>

Total salary budget for this group was: \$5,500,000

Total salary budget at end of contract period: \$6,000,000

Percent increase in salary budget (includes contractual steps): 10% over 3 years

Are there any other groups or individuals that would be directly affected by this budget? No

What would be the effect? _____

Are there any other known implications to this contract? _____

Yes No

Funds are appropriated

Where funds are located

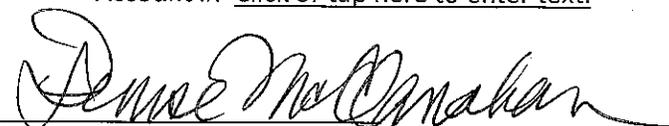
Account #: Click or tap here to enter text.

Yes No

Funds need appropriation by council

Where funds to come from

Account #: Click or tap here to enter text.



Auditors Office

HR Dept

**TENATIVE AGREEMENTS OFF-THE-RECORD FOR SUCCESSOR
MEMORANDUM OF AGREEMENT**

Dated: December 4, 2025

THE CITY OF HAVERHILL

AND

THE HAVERHILL POLICE PATROLMEN'S ASSOCIATION

This proposed term sheet modifies the existing collective bargaining agreement 07/01/2022 – 06/30/2025 for the term of 07/01/2025 – 06/30/2028. All terms of the existing agreement are extended except as modified herein. Unless otherwise provided, all provisions shall become effective on the date the contract is ratified by the Union Membership and funded (or otherwise approved) by City Council.

1 ALTERNATIVE PATHWAYS

The Parties agree to implement Alternative Pathways for Public Safety Hiring as codified in Chapter 238, § 147 of the Acts of 2024, which adds sections 59A-59D to M.G.L. c. 31, provided seniority is within the exclusive authority of the Union.

2 VACATION

The parties agree to the attached amended vacation policy shown in redline.

3 BODY WORN CAMERAS

The parties agree to implement the attached Body Worn Camera Policy.

4 OVERTIME

The Union agrees to negotiate the hold over policy in good faith with the Chief.

5 SALARIES / COLA

The parties agree to amend the wages scales as follows:

July 1, 2025	2%
July 1, 2026	2%
July 1, 2027	2%

The parties agree to eliminate first three years in wage scale and start new hire officers on the existing third year.

6 4/4 SHIFT – ARTICLE 8

The parties agree to amend Article 8 by adding following new paragraph “(f)”:

(f) The parties have agreed to implement a 4/4 and 4/3 (detectives) schedule under the following conditions:

1. As the 4/4 schedule configuration results in one hundred twenty (120) hours (“Kelly hours”) per year owed to the City (30 hours per quarter), while the 4/4 schedule is in effect, officers are responsible for ensuring that their Kelly hours are reflected in the time bank each quarter, which may be repaid by members using any accrued time, except for sick leave.
2. If an officer fails to document Kelly hours in the time bank or repay said hours in accordance with the prior section, the administrative Captain shall assign any undocumented Kelly hours to suit the best needs of the Department.
3. If the Chief determines that the operations of the department require elimination of use of the Four-and-Four and Four-and-Three Shifts, except in the case of the public emergency, 180 days’ notice must first be provided to the Union of the Chief’s intent to change the schedule and the Union shall have an obligation to bargain with the Chief to impasse. In the event of a public emergency, the response to which having a nexus to elimination of the Four-and-Four and Four-and-Three Shifts, the Chief may immediately and temporarily change the shift schedule to respond to said emergency until such time as the emergency ceases to exist. Notice of either **intent to change the shifts in non-emergency situations or notice of emergency changes to the shifts shall be posted on the Department’s bulletin board and shall be emailed to all officers and the Union executive board.**

7 PRIVATE PAID DETAIL – ARTICLE 9

The parties agree to the following amendments to Article 9. All other language in Article 9 shall remain.

The following provisions shall govern the assignment of private paid details to Police Officers where the detail is to be paid for by an outside individual, group, corporation or organization.

- (a) All private details will be assigned by the Chief or his/her designee, on a voluntary basis, distributed as evenly as possible among officers on a rotating basis.
- (b) No such assignment shall be made until the person or organization requesting the same has agreed to pay the following rates:

1. The rate shall be ~~fifty-two dollars (\$62.00)~~ **sixty-eight dollars (\$68.00)** per hour, with an ~~four (4)~~ **eight (8)** hour minimum. The rate shall commence upon ratification by the Union and approval by the City Council and there shall be no retroactive payments. There shall be a 10% differential paid on details worked on nights and a 10% differential paid on details worked on weekends. City Details and details for non-profit charities shall be straight fifty-five dollars (\$55.00) per hour.

2. ~~Any work in excess of four (4) hour minimum shall be for another period of four (4) hours unless the officer was hired for a specific number of hours.~~ Any hours worked in excess of eight (8) shall be compensated at the rate of 1.5 times the detail rate.

8 OVERTIME - ARTICLE 19

The parties agree to amend Article 19 by adding the following sentence at the end of the first paragraph:

Once a member has been relieved from duty after being assigned to perform overtime, said member is authorized to accept Private Paid Details from the time they are relieved of duty, and shall be permitted to receive contractual minimum hours of pay as required by Articles 19.

9 LONGEVITY – ARTICLE 22

The parties agree to amend Article 22 by replacing the scale with the following

After 5th year - \$1400

After 10th year - \$1450

After 15th year - \$1500

After 20th year - \$1550

After 25th year - \$2000

30 years – 3% of base wage

10. COURT TIME – ARTICLE 23

The parties agree to amend Article 23 by adding the following sentence at the end of the first paragraph:

Once a member has been relieved from duty after appearing for Court Time, said member is authorized to accept Private Paid Details from the time they are relieved

of duty, and shall be permitted to receive contractual minimum hours of pay as required by Articles 23.

11 MISCELLANEOUS (SPECIALTY STIPEND) – ARTICLE 27

The parties agree to amend Article 27 as follows:

Detective On-Call List:

All members assigned to the Detectives On-call Coverage List, or any new member assigned to the Detectives On-call Coverage List by the Chief of Police, will be provided with four (4) hours of time due for every day assigned "on-call".

The weekly stipend for members assigned to Detectives On-Call shall be expanded to all specialties and those members assigned to Northeastern Massachusetts Law Enforcement Council (NEMLEC) and the amount shall be increased to ~~forty dollars (\$40.00)~~ sixty dollars (\$60) per week, effective upon funding by the City Council (there shall be no retroactive payments). This weekly stipend shall not included in the base pay or any other monetary items. ~~A weekly stipend for all other Specialty Positions shall be paid in the amount of twenty-five (\$25.00).~~

12 TUITION REIMBURSEMENT - ARTICLE 28

The parties agree to increase per course reimbursement to \$1000 and increase per year cap as follows:

FY25 - \$2500

FY26 - \$2750

FY27 - \$3000

13 EDUCATION – ARTICLE 29

The parties agree to amend Article 29 as follows:

Effective until June 30, 2010, the City agrees to continue to make payments to Police Officers under the provisions of General Laws Chapter 41, Section 108L.

A. It is the intent of both parties that the City's obligation to make educational incentive payments under the so-called Quinn Bill be phased out, and, accordingly, only those bargaining unit members who are on the active payroll of the Haverhill Police Department on May 19, 2010, and active members this bargaining unit on May 19, 2010, shall be entitled to payments. Members are entitled to payments only at the educational level they are receiving on May 19, 2010, unless they are on said

date in a degree program in which event they may go to said higher level upon receipt of said degree.

B. During the phase out period of the Quinn Bill payments, the City shall pay to bargaining unit members eligible as set forth above, educational incentive payments according to the following schedule:

- 10% for an associate's degree in law enforcement or 60 points earned towards a Baccalaureate degree in law enforcement from an accredited institution.
- 20% for a Baccalaureate degree in law enforcement from an accredited institution.
- 25% for a master's degree in law enforcement or for a degree in law from an accredited institution.

C. The payments as described in paragraph B above shall be made by the City regardless of whether the State reimburses the City for all or any portion of the payments and regardless of any legislative changes to G.L. c. 41, §108L, including, but not limited to, potential legislative changes that authorize the City to modify such payments. No eligible member shall receive any educational incentive payment greater than that specified in this Article.

D. The payments as described in paragraph B above shall be made in weekly installments commencing 7/1/2010. The weekly installment payments will not affect overtime, longevity, holiday pay, or other contractual payments tied to weekly base pay.

E. ~~In the event that a member of the bargaining unit who is not eligible for payment of education incentive benefits pursuant to paragraphs A and B above, obtains such benefits notwithstanding the Contract language of paragraphs A and B above, through any forum, and thus avoids the intended Quinn Bill phase out, then such person(s) shall not be paid in accordance with Wage Scale A but shall be paid in accordance with Wage Scales B-D. Wage Scale A applies to persons receiving payment in accordance with the intended Quinn Bill phase out set forth in paragraphs A and B above; Wage Scale B shall apply to persons who obtain benefits as a result of an associate's degree and is 10% below Wage Scale A; Wage Scale C shall apply to persons who obtain benefits as a result of a bachelor's degree and is 15% below Wage Scale A; Wage Scale D shall apply to persons who obtain benefits of a master's degree or equivalent and is 20% below Wage Scale A.~~

Effective July 1, 2022, those officers not eligible for the above so-called Quinn benefits shall be eligible to receive educational incentive benefits as follows: \$2,500 for an associate's degree; \$5,000 for a bachelor's degree; \$7,000 for a master's degree, for all Quinn-qualifying criminal justice degrees or a law degree from an accredited institution. Payments as described herein shall be calculated in the same manner as Quinn level payments under Article 29(d), 2nd sentence.

(MOU 5/24/2022)

Effective July 1, 2024, the above rates shall increase an additional \$1,000 to: \$3,500 for an associate's degree; \$6,000 for a bachelor's degree; and \$8,000 for a master's degree. (MOU 5/24/2022)

~~The Union will not support or finance or encourage any litigation to avoid or undermine the Quinn Bill phase-out.~~

E. In the event that a member of the bargaining unit who is not eligible for payment of education incentive benefits pursuant to paragraphs A and B above (i.e. the Quinn Bill), effective July 1, 2025 in accordance with this section E., the City agrees to provide educational incentive over and above this is required by the current CBA to officers who are not eligible for educational incentive pursuant to the Quinn Bill, who are actively employed by the City, who are listed on the attached appendix and who have successfully attained a degree in Criminal Justice or its equivalent from an accredited college or university* in those fields specified in the CBA as follows:

- | | |
|------------------------------|------------|
| a. <u>Associate's Degree</u> | <u>10%</u> |
| b. <u>Bachelor's Degree</u> | <u>20%</u> |
| c. <u>Master's Degree</u> | <u>25%</u> |

***The Police Chief shall determine if the program satisfies this provision (both the university or college from which the degree is attained and the equivalency to Criminal Justice, which positive determination shall not be unreasonably withheld.**

As agreed, between the parties, effective 7/1/25, employees who have achieved their Associate's Degree will be paid 75% of the 10% rate for an Associate's Degree; employees who have achieved their Bachelor's Degree will be paid 75% of the 20% rate for a Bachelor's Degree; employees who have achieved their Master's Degree will be paid 75% of the 25% rate for an Master's Degree.

Effective 7/1/26 employees shall be eligible for the full % rate according to their degree.

Additionally, for those officers who have less than a full associate's or bachelor's degree the City will provide ½ the amount as follows on receipt of credits towards a qualifying degree:

- a. **30 credits toward associate's degree (½ of the associate's degree %); each year**
- b. **90 credits toward bachelor's degree (associate's degree % plus ½ of the bachelor's degree %); each year**

14 CIVILIAN POSITIONS – ARTICLE 34

The parties agree to amend Article 34 by adding the following new paragraph E.

E. Pursuant to Paragraph A of this Section, the Association and the City agree to allow the Chief, upon the current Bargaining Unit members' retirement or removal from the assignment, to replace the following positions with civilian personnel:

1. Firearms Licensing
2. Evidence/Property Custodian
3. Background checks for prospective police officer applicants

Such appointments shall only be implemented upon the retirement, voluntary relinquishment of assignment or removal for cause, of the Bargaining Unit member(s) currently assigned to the above-listed positions, provided that the City maintains a minimum of 84 funded positions within the bargaining unit.

15 **LANGUAGE INTERPRETER STIPEND - ARTICLE 38**

The parties agree to amend Article 38 as follows:

~~Effective January 1, 2023, employees~~ **Employees** who demonstrate fluency in a language, other than English, spoken by more than 5% of the City's population or approved by the Chief and Human Resources as a language that will benefit the department, shall receive a yearly bonus ~~of five hundred dollars (\$500)~~ **as set forth in the schedule below**. Officers interested in qualifying for this stipend who speak a language not previously identified as a qualifying language may petition the Chief to request that the additional language be added to the list. The determination of the language meeting the 5% level or being a benefit to the department shall be made by the City upon a review of relevant, objective data, including review of officers used to interpret as reflected by Department entry code assignment 101 T. Fluency in American Sign Language qualifies for this stipend, regardless of the percentage of the City population that uses ASL. Fluency shall be assessed each year in an interview with a competent speaker chosen by the City. The interviewer must determine that the employee is fluent in order for him/her to qualify for the bonus. Any employee receiving this stipend must respond to situations requiring their fluency skills as ordered, while on duty.

~~Effective July 1, 2023, this annual stipend shall be increased to \$575 for those who qualify.~~

~~Effective July 1, 2024, this annual stipend shall be increased to \$650 for those who qualify. (MOU 5/24/2022)~~

FY26 – 50 or more calls* \$1000; less than 50 existing rates + \$50

FY27 – 50 or more calls* \$1100; less than 50 existing rates + \$50

FY28 – 50 or more calls* \$1200; less than 50 existing rates + \$50

Language interpreter compensation section only effective for the duration of this successor contract.

16 ACCREDITATION STIPEND - ARTICLE 39

Amend Article XXIII, section 3. by adding the following:

Section 3. Accreditation stipend

As agreed, between the parties, the \$1,000 accreditation stipend paid to employees will be reduced during FY26 and be replaced with 33% of the \$1,000 stipend (\$333.33). In FY27, the accreditation stipend will increase to 66% of the \$1,000 stipend (\$666.66). In FY28, officers shall receive a stipend of \$1,000 for the accreditation. All other language shall remain.

17. HOUSEKEEPING

The parties agree to the following housekeeping items:

- a. Integrate the collective bargaining agreement with this and all prior memoranda of agreement as soon as possible.*
- b. Remove the existing grades pertaining to educational incentives and challenges thereto.*
- c. Correct any and all non-substantive changes, including grammar, punctuation, spelling.*

REDLINED VACATION POLICY

Preapproved Vacation Requests

A vacation request shall consist of a minimum of four consecutive work days (shifts) off, which can include the two work days preceding, and the two work days following the member's regularly scheduled days off.

Example: Requesting Tuesday and Wednesday off, regular days off being Thursday and Friday, and requesting Saturday and Sunday off, equaling a total of four consecutive work days

Members must make the request with **four (4) weeks'** advance notice via the current time management program and also email the Division Commander, or his/her designee, of the entered request; **vacation requests may not be submitted more than one (1) year in advance. Vacation shall be approved in accordance with the following seniority schedule:**

0-5 years two (2) preapproved vacation requests per fiscal year

5-10 years three (3) preapproved vacation requests per fiscal year

10-21 years four (4) preapproved vacation requests per fiscal year

21+ four (4) preapproved vacation requests per fiscal year, plus additional ten hours per year for next four years. For the additional hours, the four workday minimum language shall not apply.

Members may continue to submit preapproved vacation requests even after use of the seniority based pre-approved vacation policy allotment above, and they may still receive pre-approval of a vacation. The above seniority schedule reflects the maximum number of guaranteed requests. However, once a member has utilized their fiscal year preapproved vacation allotment, the Chief may refuse a request for preapproval or rescind such approval in the event of a hold or forced overtime shift. The members are permitted to do a straight time swap where swap days are identified within 60 days of the swap. Swap days must be identified in advance. Any swap that is outside of the 60 day window as approved by the Chief at his discretion. For those days swapped, the differential or holiday shall be paid to the officer working.

Division Commander, or his/her designee, will respond to the email acknowledging receipt of vacation request; a granted request for time off will be done in the current time management system, which provides an automatic written notification to the member. Requests for preapproved vacations will be granted on a first come, first serve basis, and by seniority when applicable. Preapproved vacations requests shall not be limited to those traveling, and otherwise will not require proof of travel plans or purchases. Members assigned to Administrative, Specialty, or Detectives positions

will submit their request in a similar fashion to their perspective supervisor or designee.

“Black Out” dates, as described previously by the Chief of Police, are holidays or specific dates within the calendar year where additional staffing is required to fill a special event or other function. Black Out dates considered dates where time off requests for preapproved vacation will not be considered in advance until the required number of employees has been filled for such duties or events. Time off for as the staffing needs of the department have been met. Black Out dates are as follows: July Annual City Fireworks event, July 4th, Thanksgiving Eve, Thanksgiving Day, November Annual Santa Parade, Christmas Eve, Christmas Day, New year’s Eve, New year’s Day.

In drafting the MOA and/or Integrated CBA, the parties agree to include language that clarifies that members may continue to submit preapproved vacation requests even after use of the seniority based pre-approved vacation policy allotment, and they may still receive pre-approval of a vacation. The above change reflects the maximum number of guaranteed requests.

Haverhill Police Department

Body Worn Camera Policy

Massachusetts police accreditation standards referenced: 1.1.2; 41.3.8; 42.2.1; 42.2.2; 52.1.1 Link to Police Reform Law Requirements	GENERAL ORDER ----- POLICY NUMBER: 012
<u>Effective Date:</u> 11/15/2025 <u>Revised Date:</u> Total Pages: 13	<div style="text-align: center;"><i>ISSUING AUTHORITY</i></div> <hr style="width: 50%; margin: auto;"/>

I. GENERAL CONSIDERATIONS:

The purpose of this policy is to establish guidelines for the proper use, management, storage, and retrieval of video and audio data recorded by Body Worn Cameras (BWCs). BWCs are effective law enforcement tools that reinforce the public's perception of police professionalism and preserve factual representations of officer-civilian interactions. BWCs may be useful in documenting crime and accident scenes or other events that include the confiscation and documentation of incidental evidence or contraband. The equipment will enhance the Haverhill Police Department's ability to document and review statements and events during the course of an incident, preserve video and audio information and evidence for investigative and prosecutorial purposes. BWC recordings, however, provide limited perspective of encounters and incidents and must be considered with all other available evidence, such as witness statements, officer interviews, forensic analysis and documentary evidence. Additionally, studies have shown that BWCs are a contributing factor in reducing complaints against police officers, increasing police accountability, and enhancing public trust.

It is the policy of the Haverhill Police Department to respect the legitimate privacy interests of all persons in Haverhill, while ensuring professionalism in its workforce. Officers shall only use BWCs within the context of existing and applicable federal, state, and local laws, regulations, and department rules and policies. The Haverhill Police Department prohibits recording civilians based solely upon the civilian's political or religious beliefs or upon the exercise of the civilian's constitutional rights, including but not limited to freedom of speech, religious expression, and lawful petition and assembly. BWC footage shall not be reviewed to identify the presence of individual participants at such events who are not engaged in unlawful conduct. BWCs will not include

technological enhancements including, but not limited to, facial recognition or night-vision capabilities. **41.3.8 (4g)**

When performing any patrol function, as determined by the Police Commissioner, officers must wear and activate BWCs according to the Haverhill Police Department policy.

Officers shall not be disciplined for violations of this policy during the first 180 days of the implementation of the BWC program. This 180 day period shall begin on the first day that BWC's are being utilized by officers in the field. **41.3.8 (2); 41.3.8 (4a)**

II. PROCEDURES:

Sec. 2.1 Training: Prior to being issued a BWC, officers shall successfully complete Haverhill Police Department approved training related to this policy as well as the activation, use, categorization, and uploading of data. All department personnel who may supervise officers wearing BWCs or will require access to review videos shall also attend Haverhill Police Department approved training. **41.3.8 (4j)**

Sec. 2.2 Camera Activation and Incidents of Use: Officers will activate the BWC only in conjunction with official law enforcement duties, where such use is appropriate to the proper performance of duties, and where the recordings are consistent with this policy and the law. As in all law enforcement and investigative activities, the safety of officers and members of the public are the highest priority. If an immediate threat to the officer's life or safety makes BWC activation dangerous, then the officer shall activate the BWC at the first reasonable opportunity to do so. **Once activated, the officer shall not deactivate the BWC until the encounter has fully concluded and/or the officer leaves the scene** (see Section 2.8, BWC Deactivation). Officers shall record all contact with civilians in the following occurrences unless the decision to stop recording is made pursuant to Section 2.6 and 2.7: **41.3.8 (4c)**

1. Vehicle Stops;
2. Investigative person stops: consensual, or FIO's, or articulable reasonable suspicion stops, or stops supported by probable cause;
3. All dispatched calls for service involving contact with civilians;
4. Initial responses by patrol officers, including on-site detentions, investigations pursuant to an arrest, arrests, and initial suspect interviews on-scene;
5. Prisoner transports;
6. Pat frisks and searches of persons incident to arrest (if not already activated);
7. Incidents of Emergency Driving;
8. Incidents of Pursuit Driving;
9. When an officer reasonably believes a crowd control incident may result in unlawful activity;
10. Any contact that becomes adversarial, including a Use of Force incident, when the officer has not already activated the BWC; or
11. Any other civilian contact or official duty that the officer reasonably believes should be recorded to enhance policing transparency, increase public trust and police-community relations, or preserve factual

representations of officer-civilian interactions, provided that recording is consistent with Sections 2.3, 2.4, 2.5, 2.6, 2.7, 4.1 and 4.2 of this policy.

If an officer fails to activate the BWC, fails to record the entire contact, or interrupts the recording, the officer shall notify his/her Duty Supervisor and shall document in the incident report that a recording failure occurred. If an officer fails to activate the BWC, fails to record the entire contact, or interrupts the recording, and does not create an incident report, the officer shall notify his/her Duty Supervisor and shall submit a BWC Special Notification Form via the department intranet to document that a recording failure occurred by the end of the shift or as soon as practical. The submission of the BWC Special Notification Form will result in email notifications to the Patrol Commander and the VEU Supervisor.

Sec. 2.3 Recording within a Residence: Upon entering a private residence without a warrant or in non-exigent circumstances, the officer shall notify occupants they are being recorded. When determining whether or not to record, the officer shall be guided by the safety of all person(s) present, and weigh the discretionary factors referenced in Section 2.4 with the fact that a home is a uniquely private location. If the officer turns off the recording per occupant request, that officer should notify operations by radio that the incident is no longer being recorded by request, if possible. Officers recording in a residence shall be mindful not to record beyond what is necessary to the civilian contact, and shall not use the BWC with exploratory intent to create an inventory of items in the residence

If an officer uses his/her discretion to turn off the BWC, the officer shall document this action in the incident report. If the officer does not create an incident report, the officer shall notify his/her Duty Supervisor and shall submit a BWC Special Notification Form via the department intranet to document that he/she decided to stop recording by the end of the shift or as soon as practical. The submission of the BWC Special Notification Form will result in email notifications to the Patrol Commander and the VEU Supervisor.

Sec. 2.4 Recording in Areas Where There May be a Reasonable Expectation of Privacy: Officers should be mindful of locations where recording may be considered insensitive or inappropriate. Such locations may include locker rooms, places of worship, religious ceremonies, certain locations in hospitals or clinics, law offices, and day care facilities. At such locations, at the officer's discretion and based on the circumstances, the officer may turn off the BWC. The officer may also consider diverting the BWC away from any subjects and recording only audio, if appropriate. When exercising discretion in such situations, the officer should generally base his/her decision to stop recording, divert the BWC, or record only audio on the following BWC Discretionary Recording Considerations.

The officer must be able to articulate the reason for his/her decision to exercise discretion. BWC Discretionary Recording Considerations include, but are not limited to: the sensitive or private nature of the activities or circumstances observed; the presence of individuals who are not the subject of the officer-civilian interaction; the presence of people who appear to be minors; any request by a civilian to stop recording; and the extent to which absence of BWC recording will affect the investigation.

If an officer uses his/her discretion to turn off the BWC, the officer shall document this action in the incident report. If the officer does not create an incident report, the officer

shall notify his/her Duty Supervisor and shall submit a BWC Special Notification Form via the department intranet to document that he/she decided to stop recording by the end of the shift or as soon as practical. The submission of the BWC Special Notification Form will result in email notifications to the Patrol Commander and the VEU Supervisor.

Sec. 2.5 Notice of Recording: The officer shall make a reasonable effort to inform civilians, as close to the start of the encounter as is reasonably possible, that the officer is recording them unless an immediate threat to the officer's life or safety or the life or safety of any other person makes BWC notification dangerous. Officers shall notify civilians with language such as "I am advising you that I am recording our interaction with my Body Worn Camera." Officers shall not record civilians surreptitiously. The officer shall notify other department members and/or criminal justice personnel (prosecutors, judges, other law enforcement personnel) when a BWC is recording.

Sec. 2.6 Consent to Record: Officers do not have to obtain consent to record. If a civilian requests the officer stop recording, the officer(s) has no obligation to stop recording if the officer is recording an occurrence identified in Section 2.2. When evaluating whether to stop recording, officers should weigh the BWC Discretionary Recording Considerations identified in Section 2.4. Officers should record the request to turn the BWC off and the officer's response to that request, if possible.

If an officer deactivates a BWC in response to a civilian request, the officer shall also indicate the request in an incident report. If an officer deactivates a BWC in response to a civilian request and does not create an incident report, the officer shall notify his/her Duty Supervisor and shall submit a BWC Special Notification Form via the department intranet indicating that a civilian requested the officer turn the BWC off by the end of the shift or as soon as practical. The submission of the BWC Special Notification Form will result in email notifications to the Patrol Commander and the VEU Supervisor. **41.3.8 (4c)**

Sec. 2.7 Recording of Victims / Witnesses: If an officer's BWC would capture a visual or audio recording of a victim or witness who is giving his/her first account of a crime, the officer may record the encounter but should weigh the BWC Discretionary Recording Considerations specified in Section 2.4 in determining whether to activate or discontinue audio and/or video recording. If the officer decides to activate and/or continue audio and/or video recording, the officer shall make the notification specified in Section 2.5. If the victim is in any way unsure of the need for the recording or is uncomfortable with the thought of being recorded, the officer shall inform the civilian that the civilian may request to have the BWC turned off. If the camera is already activated, the officer should record the request to turn the BWC off and the officer's response, if possible. If the recording is stopped, the officer shall notify his/her Duty Supervisor that a recording was stopped pursuant to a civilian request and the officer shall submit a BWC Special Notification Form via the department intranet by the end of the shift or as soon as practical. The submission of the BWC Special Notification Form will result in email notifications to the Patrol Commander and the VEU Supervisor.

Sec. 2.8 BWC Deactivation: To the extent possible, prior to deactivating a BWC, the officer shall state the reason for doing so. Generally, once the officer activates the BWC, the officer will continue recording until the event has concluded. Below are some non-exhaustive examples of when deactivation may be permissible: **41.3.8 (4c)**

1. The officer has concluded the interaction;

2. All persons stopped have been released or left the scene or an arrestee has arrived inside the station at the booking desk or secure court or corrections/jail facility.
3. The event is sensitive, the officer has weighed the BWC Discretionary Recording Considerations specified in Section 2.4, and has decided to deactivate the BWC;
4. The incident has concluded prior to the arrival of the officer;
5. A supervisor orders the officer to stop recording.

Sec 2.8.1 Audio Muting: Officers may activate the audio muting feature of the BWC during a recording event while consulting with other law enforcement members or supervisors, as such discussions:

- May be for training purposes; or
- Could undermine, reveal or disrupt Haverhill Police Department strategy or plans, ongoing investigations; or
- Could jeopardize the secrecy, safety or security of victims, witnesses, confidential informants, undercover members, sworn members, or members of the public; or
- For another legitimate law enforcement related reason

To the extent possible, the officer should state the reason for muting the audio prior to activating that feature of the BWC. Upon completion of the discussion, the audio muting feature shall be turned off, allowing the BWC to continue with both video and audio recording.

If an officer activates the audio muting feature of the BWC, that officer shall notify his/her Duty Supervisor and shall complete a BWC Special Notification Form via the department intranet to indicate that he/she activated the audio muting feature by the end of the shift or as soon as practical.

Sec. 2.8.2 Suspicious Device Protocol: First initial responding officers and/or first officers on the scene of a suspicious object shall power off their BWC when in the immediate proximity of the suspicious object. All other responding officers shall ensure they are at least 300 feet from the object prior to activating their BWC's. When dispatching any calls for suspicious objects, operations should remind first responding officers to power off their BWC's prior to approaching the scene.

Sec. 2.9 Special Operations/Tactical/Traffic Unit Activation Factors

1. Special Operations Unit (SOU) Callouts: Briefings, tactical discussions or communications regarding officer placement or safety are not to be recorded. SOU officers will activate their BWC's on approach to any entry point or at the direction of SOU supervisors.
2. Supervisor and SOU Patrol Cars: Officers should avoid capturing lock codes to the extent feasible when accessing gun safes.
3. Traffic Units/Motorcycles: Traffic and motorcycle units shall wear BWC's and record consistent with this policy. Traffic and motorcycle units are not required to activate BWC's during escorts, unless an interaction with the public warrants it.

4. Sensitive Nature/Redaction: Concerns regarding tactics and internal communications shall be redacted for public dissemination when legally permissible.

Sec. 2.10 Pre-Event Buffer: The pre-event buffer on each BWC will be set to 30 seconds and will consist only of video recording. No audio will be recorded during the 30 second pre-event buffer.

III. CAMERA DEPLOYMENT:

Sec. 3.1 Officer Responsibility: BWC equipment is the responsibility of every officer issued the equipment. Officers must use the equipment with reasonable care to ensure proper functioning. Officers shall inform their Duty Supervisor as soon as possible of equipment malfunctions or loss of a BWC so that the Duty Supervisor can procure a replacement unit. **41.3.8 (4i)**

Police officers shall use only BWCs issued by this Department. The BWC equipment and all data, images, video recordings, audio recordings, and metadata captured, recorded, or otherwise produced by the equipment is the sole property of the Haverhill Police Department and shall not be released without the authorization of the Commissioner or his/her designee. **41.3.8 (4i); 41.3.8 (4i)**

1. At the beginning of each shift, the officer will: **41.3.8 (4i)**
 - a. Ensure that the issued equipment has a fully charged battery and is functioning properly; and
 - b. Ensure that the BWC does not contain data from a prior shift; and
 - c. Power on his/her BWC and leave it powered on for the duration of the shift; and
 - d. Notify a Duty Supervisor whenever there is a malfunction or damage to the BWC
2. During each shift, the officer shall:
 - a. Affix his/her BWC properly upon his/her uniform in a manner consistent with training; and
 - b. Position and adjust the BWC to record events; and
 - c. Position and adjust the BWC microphone to ensure that it is unobstructed; and **41.3.8 (4i)**
 - d. Maintain sufficient battery power during his/her shift by charging the BWC via the cruiser's USB port or mobile data terminal **41.3.8 (4i)**
 - e. Activate the BWC and record as outlined in Section II above; and
 - f. Document the existence of a BWC recording in all of the appropriate documents, i.e., Incident Report, Crash Report, Citation, FIO, Administrative Reports; and
 - g. Notify investigative or specialized unit personnel of the existence of BWC recording; and
 - h. Document in the incident report the circumstances and reasons if he/she fails to activate the BWC, fails to record the entire contact, interrupts the recording, or the BWC malfunctions. If the officer does not create an incident report, the officer shall notify his/her Duty

Supervisor and shall submit a BWC Special Notification Form via the department intranet by the end of shift or as soon as practical to document the circumstances and reasons. The submission of the BWC Special Notification Form will result in email notifications to the Patrol Commander and the VEU Supervisor.

3. Prior to end of shift: docking/uploading requirements:
 - a. At the end of the shift, each officer shall place his/her BWC in his/her assigned docking station. The docking station will charge the BWCs battery, conduct firmware updates, and transfer video data to the storage system. **41.3.8 (4i)**
 - b. If an officer becomes aware that this process is not occurring or becomes aware of any other malfunction of the system, the officer shall notify his/her Duty Supervisor immediately. **41.3.8 (4i)**
 - c. A supervisor may order, due to investigative needs, an officer to upload their videos via evidence.com at any time.

Sec. 3.2 Labeling and Categorization of BWC Recordings: Proper categorization of recorded data is critical. The retention time for recorded data typically depends on the category of the event captured in the video. Accurate categorization and accurate descriptions also help officers, supervisors, prosecutors, and other authorized personnel to readily identify and access the data they need for investigations or court proceedings.

Section 3.2.1 Categorization: At the conclusion of the call or prior to the end of their shift, officers shall tag data with the appropriate BWC Mobile Device Application categories in accordance with the nature of police activity. Categorization options are in order of seriousness and should be labeled to reflect the most serious nature of police activity. These categories include but are not limited to:

1. Death Investigation
2. Use of Deadly Force or Less than Lethal Force
3. Crash Investigation - Fatal
4. Sexual Assault Investigation
5. Use of Force
6. Arrest
7. Felony - No Arrest
8. Misdemeanor - No Arrest
9. Crash Investigation – Non-Fatal
10. Investigate Person
11. Investigate Premise
12. Public Assist
13. Significant Event - Public Safety
14. Traffic Stop
15. Encounter/FIO
16. Medical Aid/Mental Health
17. No Contact/Other
18. Prisoner Transport

19. Test/Training
20. Accidental Recording

The Department may develop other categories, as needed.

Encounters or incidents should be labeled by the officer to reflect the most serious category. If an officer is assisting other officers on a call, the assisting officer shall use the category of the original incident.

Sec. 3.2.2 Body Worn Camera Mobile Device Application: When installed, the BWC Mobile Device Application's location services will be set to off and should be maintained in the off status with any use of the application. Employees shall follow the training and procedures provided by the department and the BWC vendor.

Section 3.2.3 Title Description: In most instances, the Computer Aided Dispatch (CAD) system will auto-populate the BWC Mobile Device Application title of each data file with the incident location. Officers may also include in the title description specifics of the incidents not easily categorized above for ease of retrieval. Officers are responsible for ensuring the accuracy of the title description of each of their BWC recordings prior to the end of their shift.

Sec. 3.2.4 ID Description: In most instances the Computer Aided Dispatch (CAD) system will auto-populate the BWC Mobile Device Application "ID" field of each data file with the CAD number assigned to the incident. Officers are responsible for ensuring the accuracy of the ID description of each of their BWC recordings prior to the end of their shift.

Sec. 3.3 Request to Redact: Officers wearing BWCs should be aware that their BWCs may unintentionally capture private/security information such as door codes, phone codes, and computer codes. If the officer knows that his/her BWC captured sensitive information or material, the officer shall inform his/her Duty Supervisor and request redaction of the video prior to distribution to any outside parties. The officer shall submit a BWC Special Notification Form via the department intranet, documenting the nature of the information captured and the request for redaction. The submission of the BWC Special Notification Form will result in email notifications to the Patrol Commander and the VEU Supervisor. The supervisor of the VEU will authorize redaction when he/she determines it is necessary.

IV. RECORDING RESTRICTIONS:

Sec. 4.1 Improper Recording: Officers shall not use BWCs to record in violation of this Policy or any rule or procedure of the Haverhill Police Department, including: **41.3.8 (4b)**

1. During breaks, lunch periods, or time periods when an officer is not responding to a call, or when not in service;
2. Any personal conversation of or between other department employees without the recorded employee's knowledge;
3. Non-work-related personal activity, especially in places where a reasonable expectation of privacy exists, such as locker rooms, dressing rooms, or restrooms;
4. Investigative briefings;
5. Strip Searches;

6. Encounters with undercover officers or confidential informants; or
7. Departmental meetings, workgroups, in-service training, or assignments of an operational or administrative nature.

Using BWCs for training purposes is not a violation of this restriction.

If an officer inadvertently records as listed above, the officer shall follow the request to redact/delete procedures described in Section 3.3.

Sec. 4.2 Improper Use of BWC Footage: 41.3.8 (4b)

1. Officers shall use BWC data, images, video recordings, audio recordings, or metadata only for legitimate law enforcement reasons. They shall not use data, images, video recordings, audio recordings, or metadata for personal reasons, or non-law enforcement reasons.
2. Department personnel shall not use BWC data, images, video recordings, audio recordings, or metadata to ridicule or embarrass any employee or person depicted on the recording.
3. Department personnel shall not disseminate BWC data, images, video recordings, audio recordings, or metadata unless the Police Commissioner or his/her designee approve the dissemination and the Department personnel disseminates the BWC data, images, video recordings, audio recordings, or metadata in the course of his/her official duties.
4. Department personnel shall not copy or otherwise reproduce any BWC recording/footage (including using an iPhone, iPad, or other electronic or other device).
5. Department personnel shall not upload or share any BWC recording/footage to any public or social media websites without approval of the police commissioner or his/her designee.
6. Department personnel shall not allow civilians to review any BWC recording/footage.
7. Department supervisory personnel who are authorized to access and view BWC recording/footage will only do so in situations that are specifically authorized and defined by department policy. The viewing of BWC recording/video shall not be done arbitrarily, on the basis of random choice, curiosity, or personal inclination.

V. SUPERVISOR RESPONSIBILITIES:

Sec. 5.1 Duty Supervisors: All Duty Supervisors and OIC's assigned to oversee officers utilizing Department-issued BWCs shall:

1. Ensure officers are utilizing their BWC consistent with this directive.
2. Ensure BWCs and related equipment are kept in a secure location within the department. **41.3.8 (4i)**
3. Notify the Video Evidence Unit if an officer utilizes a BWC that is not assigned to him or her, so the Unit may reassign the recordings of audio and video to the officer who created the recordings.

4. Contact the Video Evidence Unit whenever any officer is unable to use the BWC or upload digitally recorded data due to technical problems.
5. Request replacement BWC equipment from the Video Evidence Unit when an officer indicates the equipment is lost or malfunctioning via the Special Notification Form. Once procured by Video Evidence Unit ensure new equipment is received by requesting officer. **41.3.8 (4i)**
6. Ensure that officers include all required references to BWCs in appropriate department documentation, such as incident reports or Special Notification Form.

Duty Supervisors may review BWC data, images, video recordings, audio recordings, or metadata, consistent with this Policy, to approve any reports.

Sec. 5.2 Video Evidence Unit:

The VEU supervisor will review BWC activity logs and reports utilizing Axon Performance software to ensure officers remain in compliance with Department BWC policy and training. **41.3.8 (4m)**

VI. INTERNAL ACCESS/REVIEW:

Sec. 6.1 Officer Access to Their Own Footage (Not Related to Officer Involved Death, Officer Involved Shooting, or Other Use of Deadly Force): : 1.1.2

Officers may review their own BWC recording when they are:

1. Involved in an incident, for the purposes of completing an investigation and preparing official reports. To help ensure accuracy and consistency, officers should review the BWC recording prior to preparing reports;
2. Preparing for court. Officers should advise the prosecuting attorney that they reviewed the BWC recording; and
3. Providing a statement pursuant to an internal investigation or other critical incidents.

If an officer requests access to footage be made available for a time frame longer than the retention schedule allows, a request to extend retention schedule via the BWC Special Notification Form must be sent to the Video Evidence Unit. The footage will be available according to the Retention Schedule in Section 9.2.

If an officer needs a physical copy of their footage, that officer shall submit a BWC Special Notification Form via the department intranet. The submission of the BWC Special Notification Form will result in email notifications to the Keeper of Records and VEU. Physical copies of the video shall be subject to M.G.L. Ch. 66, Sec. 10 and in accordance with all applicable state laws and regulations.

Sec. 6.2 Officer Access to Footage Following an Officer Involved Death, Officer Involved Shooting, or Other Use of Deadly Force: 1.1.2

Following an officer involved death, officer involved shooting or other use of deadly force, officers and supervisors at the scene shall not view any video before the CID Commander and the Patrol Commander views the footage and uploads it into the system. The on-scene incident commander shall be permitted to view BWC video and relay necessary information if exigent circumstances exist and it is necessary to view the video to (1) identify suspect information or (2) gather pertinent information that is necessary to

protect life or safety prior to the arrival of the CID Commander and the Patrol Commander.

At a time determined by the supervisor in charge of the investigation, officers who: (1) were involved in the incident, (2) discharged their weapon, and/or (3) witnessed the incident may view their own video before giving a statement. At the officer's request, the officer's attorney may be present when the officer views the video.

BWC video footage is a tool that may aid officers in providing an accurate and complete account of the incident. BWC footage should not replace an officer's memories of the incident and the officer should base his/her statement on his/her memories, not solely on the video.

Sec 6.3 Collecting and Securing BWC Footage Following an Officer Involved Death, Officer Involved Shooting, or Other Use of Deadly Force: 1.1.2

The CID Commander shall respond immediately to a death investigation or reported use of deadly force.

The Patrol Supervisor, as soon as circumstances allow, shall collect all BWC equipment assigned to the officers who: (1) were involved in the incident, (2) discharged their weapon, and/or (3) witnessed during the time of the officer involved death, officer involved shooting or other use of deadly force, and store the equipment in a secure compartment of his/her vehicle until CID personnel arrives on scene. Once on scene, CID personnel shall secure any remaining BWC equipment from involved officers and witness officers, as well as equipment already secured by the Patrol Supervisors, at the earliest opportunity. The CID personnel will transport the cameras to the Haverhill Police Department for upload into the system. The BWC equipment will be returned to the officer as soon as possible following the event.

Once uploaded, the Video Evidence Unit shall restrict video access from all users except for the CID investigators assigned to the case. The CID Commander may approve access to other users, as necessary.

Sec. 6.4 Officer Access to Footage: Officers who need to review video or audio footage from another officer shall make a request via the Special Notification Form to the Video Evidence Unit describing why they need to review the footage.

The Supervisor of the Video Evidence Unit shall approve or deny the request. With approval, the Video Evidence Unit will provide access to the video and audio footage to the requesting officer. If providing another officer's video or audio, the Video Evidence Unit shall notify the Patrol Commander and the officer whose BWC footage is requested that the BWC footage is being shared.

Sec. 6.5 Supervisor Access to Footage: Any supervisor within the recording officer's chain of command may review the footage consistent with Section 4.2. A supervisor outside of the chain of command shall only be allowed to review footage with the permission of the Video Evidence Unit Supervisor.

Sec. 6.6 Patrol Commander Access to Footage: The Patrol Commander shall conduct periodic checks to ensure department personnel are using BWCs according to department policy. **41.3.8 (4m)**

Sec. 6.7 Internal Affairs Access to Footage: Supervisors conducting investigations based on civilian complaint or on allegations of criminal behavior or violation of department policy by department personnel may access and view BWC recording/footage related to the investigation. **41.3.8 (4e); 52.1.1**

VII. CID COMMANDER AND DETECTIVE RESPONSIBILITIES:

The CID Commander must ensure that detectives adhere to the duties and responsibilities as follows in this Section:

Detectives will not use the BWC system or evidence.com until they have successfully completed the required training.

The Department will give detectives access to all BWC footage related to their assigned cases and detectives shall review all footage that relates to their assigned case. **42.2.1; 42.2.2**

When assigned a case for investigation, the assigned detectives will: **42.2.1; 42.2.2**

1. Determine the identity of all involved officers.
2. Search evidence.com for any associated BWC media, using applicable search parameters to verify that they have located all relevant files.

BWC footage related to an incident may be updated at a later time or date. Detectives must be aware of and organize all BWC footage related to their cases.

Should a detective consider material too sensitive to be accessible for other members of the Department, the detective shall notify his/her supervisor of the sensitive material. The detective's supervisor shall review the video and, if deemed appropriate, send a request via the BWC Special Notification Form to the Video Evidence Unit to make the data unavailable for a given amount of time.

VIII. EXTERNAL ACCESS:

Sec. 8.1 Prosecutorial / Law Enforcement Access: Federal, state, and local prosecutors shall make requests for BWC footage directly to the Video Evidence Unit. In accordance with current practice, should an officer receive a subpoena for BWC footage, the officer shall direct the subpoena to the Haverhill Police Department Prosecutor. The officer shall indicate that a request for video has been made. The officer shall also direct a copy of the subpoena as soon as practicable to the Video Evidence Unit for response. **41.3.8 (4e)**

Officers are not permitted to provide video to any external partners and shall forward any requests made without a subpoena directly to the Video Evidence Unit.

Upon receipt of the request, the Video Evidence Unit shall determine if the case has been assigned to a detective. If the case has a detective assigned, the Video Evidence Unit shall contact the CID Commander or his/her designee who must authorize the release of the video. Notice to the Video Evidence Unit authorizing the release of the video will be made via the BWC Special Notification Form available via the department intranet. The video evidence unit shall review the BWC footage and provide it directly to the requestor after authorization.

If no detective is assigned to the case, the Video Evidence Unit shall review the BWC footage and provide it directly to the requestor after approval from Video Evidence Unit supervisor.

Sec. 8.2 Public Information Requests: The Video Evidence Unit shall respond to public information requests submitted under M.G.L. Ch. 66, sec. 10 in accordance with all applicable state laws and regulations. The video evidence unit shall complete redactions as necessary. **41.3.8 (4f)**

Sec. 8.3 Other External Information Requests: The Department may receive requests for BWC footage not covered by sections 8.1 and 8.2. For example, civil discovery requests are appropriately submitted to the assigned attorney in the Legal Department. Should an officer receive a civil case subpoena or court order, he or she shall forward the request directly to the Prosecutor of the Haverhill Police Department who shall contact the Legal Department.

If these offices receive other external requests for BWC footage, they shall request necessary and responsive footage from the Video Evidence Unit. Any requests shall be made in writing.

The Video Evidence Unit shall maintain a log of the request, and assist the requesting office to collect and process the requested footage. The Video Evidence Unit shall provide the requested footage to the requesting office, and complete redactions if required by the requesting office. The requesting office will be responsible for the review, approval, and release of footage to the appropriate person(s) as consistent with applicable law and agreements.

Sec. 8.4 Officer Notification: In cases where the officer has not received a subpoena or request for BWC footage directly, the Video Evidence Unit will inform officers when their videos and/or BWC information are released, unless prohibited by legal or investigative restrictions.

Sec. 8.5 Detective Notification: When releasing BWC footage to the public that has been designated as part of an investigation via the BWC Platform, the assigned detective shall be notified, unless prohibited by legal or investigative restrictions.

IX. RETENTION: 41.3.8 (4h)

Sec. 9.1 Camera Storage: BWC recordings and data are kept in a cloud-based storage platform managed by the Video Evidence Unit.

Sec. 9.2 Video Footage Retention: The Department will retain BWC footage based on categorization, but may retain the footage longer on a case-by-case basis as determined by the Police Commissioner or his/her designee. The footage retention schedule for cloud-based footage access is as follows:

a. Schedule I- Indefinite Retention:

- Death Investigation
- Use of Deadly Force or Less than Lethal Force **1.1.2**
- Sexual Assault Investigation
- Crash Investigation - Fatal

b. Schedule II- 7 Year Retention:

- Use of Force
- Arrest
- Felony - No Arrest
- Misdemeanor – No Arrest

c. Schedule III- 3 Year Retention:

- Investigate Person
- Investigate Premise

- Crash Investigation – Non-Fatal
- Public Assist

d. Schedule IV- 180 Day Retention:

- Significant Event - Public Safety
- Traffic Stop
- Encounter/FIO
- Medical Aid/Mental Health
- Prisoner Transport
- No Contact/Other
- Test/Training
- Accidental Recording

Body Worn Camera Special Notification Form

Date: _____

BWC Device: _____

IC#: _____

Time: _____

- Officer failed to activate the BWC
- Officer failed to record the entire contact
- The recording was interrupted
- Discretion used to turn off BWC in a residence
- Discretion used to turn off BWC due to reasonable expectation of privacy
- Officer deactivates BWC in response to civilian request
- Officer request to redact unintentional private/security information
- Officer request to redact sensitive information or material
- BWC is lost
- BWC is malfunctioning
- Request to extend retention schedule for access to footage
- Request for a copy of BWC footage
- Request to review video or audio footage from another officer
- Request by detective to limit access of footage because material is too sensitive
- External request for BWC footage
- Audio was muted

Additional Notes: _____

Submitted by: _____

PSN: _____

Received by: _____

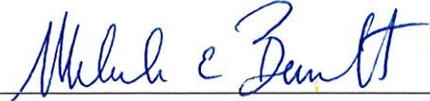
PSN: _____

CITY OF HAVERHILL

HAVERHILL POLICE PATROLMEN'S
ASSOCIATION

BY

BY



Melinda E. Barrett, Mayor


Conor Clark (Dec 5, 2025 09:09:44 EST)

Conor Clark, President


Dan Trocki (Dec 5, 2025 09:19:01 EST)

Daniel Trocki, Vice President

Approved as to legality:

Approved as to legality:

Katherine M. Feodoroff, City Solicitor



Joseph A. Padolsky, Association Counsel

MOA Haverhill Patrol (clean - final)

Final Audit Report

2025-12-05

Created:	2025-12-05
By:	Joseph Padolsky (jpadolsky@lccplaw.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAAG55MkJiYAqg_jglgYCNi3Hh3Ibvy6TK_

"MOA Haverhill Patrol (clean - final)" History

-  Document created by Joseph Padolsky (jpadolsky@lccplaw.com)
2025-12-05 - 2:08:53 PM GMT
-  Document emailed to Conor Clark (hppapresident1@gmail.com) for signature
2025-12-05 - 2:08:58 PM GMT
-  Document emailed to Dan Trocki (dtrocki@haverhillpolice.com) for signature
2025-12-05 - 2:08:58 PM GMT
-  Email viewed by Conor Clark (hppapresident1@gmail.com)
2025-12-05 - 2:09:15 PM GMT
-  Email viewed by Dan Trocki (dtrocki@haverhillpolice.com)
2025-12-05 - 2:09:16 PM GMT
-  Document e-signed by Conor Clark (hppapresident1@gmail.com)
Signature Date: 2025-12-05 - 2:09:44 PM GMT - Time Source: server
-  Document e-signed by Dan Trocki (dtrocki@haverhillpolice.com)
Signature Date: 2025-12-05 - 2:19:01 PM GMT - Time Source: server
-  Agreement completed.
2025-12-05 - 2:19:01 PM GMT

SALARY SCALE - POLICE PATROLMAN GROUP

FY26		NEW START	YEAR 5	YEAR 10	YEAR 20	YEAR 25
102%	Wkly	\$ 1,256.63	\$ 1,299.53	\$ 1,328.77	\$ 1,358.67	\$ 1,399.43
	Yrly	\$ 65,344.75	\$ 67,575.61	\$ 69,096.27	\$ 70,650.87	\$ 72,770.35
7/1/2025	Hrly	\$ 33.60	\$ 34.75	\$ 35.53	\$ 36.33	\$ 37.42
FY27		NEW START	YEAR 5	YEAR 10	YEAR 20	YEAR 25
102%	Wkly	\$ 1,281.76	\$ 1,325.52	\$ 1,355.35	\$ 1,385.84	\$ 1,427.42
	Yrly	\$ 66,651.64	\$ 68,927.12	\$ 70,478.19	\$ 72,063.89	\$ 74,225.76
7/1/2026	Hrly	\$ 34.27	\$ 35.44	\$ 36.24	\$ 37.05	\$ 38.17
FY28		NEW START	YEAR 5	YEAR 10	YEAR 20	YEAR 25
102%	Wkly	\$ 1,307.40	\$ 1,352.03	\$ 1,382.46	\$ 1,413.56	\$ 1,455.97
	Yrly	\$ 67,984.68	\$ 70,305.67	\$ 71,887.76	\$ 73,505.17	\$ 75,710.27
7/1/2027	Hrly	\$ 34.96	\$ 36.15	\$ 36.96	\$ 37.80	\$ 38.93

MELINDA E. BARRETT
MAYOR



CITY OF HAVERHILL
MASSACHUSETTS

CITY HALL, ROOM 100
FOUR SUMMER STREET
HAVERHILL, MA 01830
PHONE 978-374-2300
FAX 978-373-7544
MAYOR@HAVERHILLMA.GOV
WWW.HAVERHILLMA.GOV

DEC 5 AM 11:51
HACIVLERK

December 5, 2025

To: City Council President Thomas J. Sullivan and Members of the
Haverhill City Council

From: Mayor Melinda E. Barrett

Re: Judi Barrett, Barrett Planning Group, LLC – Fiscal Impact Analysis
Presentation

Dear Mr. President and Members of the City Council:

I wish to introduce Judi Barrett of Barrett Planning Group, LLC to provide a progress report on the Fiscal Impact Analysis prepared for Council.

Very truly yours,

Melinda E. Barrett
Mayor

601

CITY COUNCIL

Thomas J. Sullivan, *President*
Timothy J. Jordan, *Vice President*
John A. Michitson
Colin F. LePage
Melissa J. Lewandowski
Catherine P. Rogers
Shaun P. Toohey
Michael S. McGonagle
Katrina Hobbs Everett
Devan Ferreira
Ralph T. Basiliere



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FACSIMILE: 978-374-2329
WWW.CITYOFHAVERHILL.COM
CITYCOUNCIL@HAVERHILLMA.GOV

CITY OF HAVERHILL

HAVERHILL, MASSACHUSETTS 01830-5843

December 3, 2025

DEC 4 PM 1:44
HAVERHILL CITY CLERK

To: Members of the City Council

President Sullivan wishes to introduce Jonathan Gagne who is seeking a home rule age waiver petition for the position of police officer in the City of Haverhill.

Thomas J. Sullivan
President Thomas J. Sullivan 

(Meeting: 12.9.25)



DOCUMENT

6-101

DEC 4 PM 1:44
HAVERHILL CITY CLERK

CITY OF HAVERHILL

In Municipal Council

ORDERED:

THAT THE FOLLOWING HOME RULE PETITION BE ADOPTED BY THE CITY COUNCIL AND FORWARDED TO THE GENERAL COURT

HOME RULE PETITION

AN ACT AUTHORIZING JONATHAN GAGNE TO TAKE THE CIVIL SERVICE EXAMINATION FOR THE POSITION OF POLICE OFFICER IN THE CITY OF HAVERHILL NOTWITHSTANDING THE MAXIMUM AGE REQUIREMENT.

Be it enacted, etc. as follows:

Section 1. Notwithstanding any general or special law or rule or regulation to the contrary regulating the maximum age of applicants for appointment as police officer, Jonathan Gagne of the City of Haverhill, shall be eligible for appointment to the position of police officer in the City if he meets all other requirements, in which case he shall be eligible for certification and appointment to the police department of the City of Haverhill.

Section 2. This act shall take effect upon its passage.

Jonathan Gagne'

01035

1

Haverhill Police Department

40 Bailey Boulevard
Haverhill, MA 01830

Dear Hiring Committee,

I am writing to express my interest in joining the Haverhill Police Department as a Police Officer. With three years of dedicated service in the United States Army, extensive experience in both armed and unarmed security roles, and deep roots within the Haverhill community, I am eager to bring my training, discipline, and commitment to public service to your department.

My military background provided me with a strong foundation in leadership, teamwork, situational awareness, and the ability to remain calm and decisive under pressure—all skills essential to effective law enforcement. In addition, my many years of security work, including armed security and school security positions, have given me practical, hands-on experience responding to safety concerns, managing conflicts, and interacting professionally with people in a wide range of environments.

I am especially proud of my six years of service as a minister for the Deaf here in Haverhill. This role allowed me to build meaningful relationships within the community, develop strong communication skills, and support individuals with diverse needs. It strengthened my belief that successful policing relies on empathy, respect, and genuine connection with the people one serves.

I am particularly drawn to the Haverhill Police Department's emphasis on community policing and building trust with residents. I believe that effective law enforcement begins with strong community relationships, and I am committed to fostering a positive presence, demonstrating respect, and maintaining open communication with the people I serve.

As an Eagle Scout, I have long held the values of integrity, responsibility, and service close to my heart. These principles have guided me throughout my career and continue to drive my desire to serve the City of Haverhill in a law enforcement capacity.

I would be honored to contribute my experience, dedication, and community-focused mindset to the Haverhill Police Department. Thank you for your time and consideration. I welcome the opportunity to discuss how my background and skills align with the needs of your department.

Respectfully,
Jonathan Gagne'

JONATHAN GAGNE

2022- 2024

3/2025 TO PRESENT

SECURITY

HAVERHILL PUBLIC SCHOOLS

MAINTAIN SAFETY AND SECURITY OF THE SCHOOL AND STUDENTS.
WORK WITH LOCAL LAW ENFORCEMENT IN TIMES OF EMERGENCIES

5/2023 – PRESENT (SUMMER TIME ONLY NOW)

INTERNAL SECURITY ASSOCIATES

WORK AS AN ARMED SECURITY FOR A STATE BUILDING WORKING WITH AT RISK PEOPLE AND CHILDREN. HELPING THEM TO REMAIN SAFE AND SECURE WHILE THEY ARE IN THE BUILDING. WORK WITH LOCAL LAW ENFORCEMENT.

IN THE SUMMER I WORK AT A SUMMER CAMP PROVIDING SECURITY FOR ALL THE CHILDREN ATTENDING. WE WORK WITH LOCAL LAW ENFORCEMENT TO MAINTAIN SECURITY AND REPORT TO CAMP DIRECTOR. WE MAINTAIN VIGILANCE THROUGH FOOT PATROLS AND CCTV. INITIATE PROTOCOLS FOR CHILDREN WHEN THEY GO MISSING.

3/2023 TO PRESENT

GLOBAL SECURITY (NATIONAL CINEMA SECURITY)

ARMED SECURITY FOR AMC SECURITY WHERE WE MAINTAIN A SAFE AND FRIENDLY ATMOSPHERE FOR PEOPLE COMING IN TO WATCH A MOVIE AND A SAFE WORK ENVIRONMENT FOR THE EMPLOYEES WORKING THERE. WE MAINTAIN A PROFESSIONAL WORK ETHIC AS WE ARE ALWAYS MONITORING SUSPICIOUS ACTIVITIES. REPORT ANY UNUSUAL SITUATION TO MANAGEMENT BEFORE WE ENGAGE.

2019 – PRESENT

DIRECTOR OF DEAF MINISTRIES (MINISTER)

Meet with our youth on a weekly basis and prepare for a weekly sermon. Oversee and guest speakers that may be there that week.

Interpret the service for the Deaf Community on a weekly basis as to provide equal access.

4/2019 – 12/2021

TRANSPORTATION MANAGER, CROSSWAY TRANSPORTATION

Responsibilities were but not limited to: Managing a fleet of drivers and their vehicles. Maintaining a relationship with our contracts and clients. Organizing and carrying out trainings on a quarterly basis.

Scheduling transportation rides and monitoring the drivers to make sure that they are carried out in a timely manner.

2015 – 2019

FULL TIME SCHOOL

2009 – 2013

ADVANCED SECURITY SERVICES (STARTED FULL TIME THEN WENT PART TIME)

Armed and unarmed Security officer providing security in various locations.

Maintained situational awareness.

Able to read peoples body language to deter possible threats.

Worked with a team for 8 plus hours.

2007 - 2009

INFANTRY, US ARMY

Problem solving skills in a timely manner.

Situational awareness

Evasive driving training

Being able to de-escalate many different types of situations

Firearms Proficiency

EDUCATION

05/2019

B.A. PASTORAL MINISTRIES AND BIBLE STUDIES, NORTHPOINT BIBLE COLLEGE

Training on how to deal with modern day psychological impairments

Relevant coursework/skills: counseling, ethics, crisis communication, leadership.

Developed strong communication, conflict resolution, and community engagement skills.

Training emphasized leadership, mentoring, public speaking, and working with diverse populations.

05/2021

CERT. SIGN LANGUAGE INTERPRETING, NORTHERN ESSEX COMMUNITY COLLEGE

Held honors for 4 of 5 semesters.

Knowledge in Deaf culture

Knowledge and proficient in ASL

QUALITIES

- Organized
- Give 100%
- Mass L.T.C
- Time orientated
- Work Focused
- Strong interpersonal skills

ACTIVITIES

In 2020 I got a SERV safe certificate to help with nonprofit organizations.

After completing my Eagle Scout in 2003 I went on to run a Boy Scout troop until I went into the Army. 2016 until present I, with my father and others, run a Cub Scout pack in Haverhill where I serve as a Chaplain and a Den Leader.

I am a Youth Pastor at Renaissance City Church where we meet every week. We have 25- 30 teenagers on a weekly basis.

I run the Deaf Ministry at Renaissance City Church. Every week I interpret the message over Facebook live to allow equal access for the Deaf community in the area.

I serve as the Chaplain the AMVETS Post 147 in Haverhill MA. Here I meet with Veterans and discuss issues that are going on in their lives. There are many issues that our veterans go through these days and my responsibility is to be apathetic no matter their religious views. Upon request I will organize the Veterans part of the service for wakes and funerals and present the family with a flag and a special prayer.

For the past 5 years I have served as Head Coach for Riverside Bradford Baseball where I will meet with the youth and develop trainings for them to learn and be proficient in the game on whatever level that they are at.

Most recently I am a coach for my sons flag football team.

CITY COUNCIL

Thomas J. Sullivan, *President*
Timothy J. Jordan, *Vice President*
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Colin F. LePage
Melissa J. Lewandowski
Catherine P. Rogers
Shaun P. Toohey
Michael S. McGonagle
Katrina Hobbs Everett
Devan Ferreira
Ralph T. Basiliere



6.2

CITY HALL, ROOM 204
4 SUMMER STREET
TELEPHONE: 978-374-2328
FACSIMILE: 978-374-2329
WWW.CITYOFHAVERHILL.COM
CITYCOUNCIL@HAVERHILLMA.GOV

CITY OF HAVERHILL

HAVERHILL, MASSACHUSETTS 01830-5843

December 5, 2025

DEC 5 AM 8:47
HAVCITYCLERK

To: President and Members of the City Council

Communication from Vice President Jordan requesting to introduce Lisa Marzilli from the Cogswell Club, and Cindy Davis Jackson, Board President of Whittier Birthplace, and Alice Mann, Board President of Urban Bridges, the 2025 recipients of Cogswell Club grants.

Timothy J. Jordan
Vice President Timothy J. Jordan

(Meeting: 12.9.25)



8.1

CITY OF HAVERHILL
ASSESSORS OFFICE – ROOM 115
Phone: 978-374-2316 Fax: 978-374-2319
Assessors@cityofhaverhill.com

Dec. 3, 202

REC 9 AM:57
CITY CLERK

TO: MEMBERS OF THE HAVERHILL CITY COUNCIL:

In accordance with Municipal Ordinance, Chapter 7,
entitled "Assessor" as follows:

The Board of Assessors shall file monthly with the
City Council a copy of the report submitted to the
Auditor showing a summary of the above abated
amounts for that month.

Attached herewith is the report for the month of
November as filed in the Assessors Office.

Very truly yours,

Christine Webb, MAA
Assessor

Transaction Summary All Years

City of Haverhill

All Entry Date range 11/01/2025 through 11/30/2025 for Abatements

Totals	Tax Paid	Interest Paid	Fees Paid	Tax Reversals	Interest Reversals	Fee Reversals	Refunds	Refund Reversals	Abate	Exemp	Adjust	Transfers	
Motor Vehicle Excise Tax	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	98.07	0.00	0.00	0.00	
2021 Motor Vehicles	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	98.07	0.00	0.00	0.00	
2021	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	98.07	0.00	0.00	0.00	
Motor Vehicle Excise Tax	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	79.75	0.00	0.00	0.00	
2022 Motor Vehicles	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	79.75	0.00	0.00	0.00	
2022	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	79.75	0.00	0.00	0.00	
Motor Vehicle Excise Tax	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	103.23	0.00	0.00	0.00	
2023 Motor Vehicles	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	103.23	0.00	0.00	0.00	
2023	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	103.23	0.00	0.00	0.00	
Motor Vehicle Excise Tax	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	320.49	0.00	0.00	0.00	
2024 Motor Vehicles	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	320.49	0.00	0.00	0.00	
2024	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	320.49	0.00	0.00	0.00	
Motor Vehicle Excise Tax	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	11,258.55	0.00	0.00	0.00	
2025 Motor Vehicles	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	11,258.55	0.00	0.00	0.00	
2025	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	11,258.55	0.00	0.00	0.00	
Boat Excise Tax	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	90.00	0.00	0.00	0.00	
2026 Boats	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	90.00	0.00	0.00	0.00	
2026	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	90.00	0.00	0.00	0.00	
Report	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	11,950.09	0.00	0.00	0.00	
Total All Charges										11,950.09			

Total All Charges: Add all columns except Adjustments.

Document # 91

Document 91 - CCSP 25-7; Attorney Paul Magliocchetti
client 233 Winter Street LLC requests to
construct a Mixed-Use Store
and a 10-Unit Multifamily Dwelling at 233 Winter st;

**CONTINUE TO
DECEMBER 9, 2025**

IN CITY COUNCIL: October 7, 2025

10.1

91

101

Thoroughly Describe the Reason(s) for thre Special Permit

See attached Brief in Support

Property Description

See attached plan

Current Property Use

Other

IF OTHER USE, Please Describe

Commercial

TOTAL Number of Units Planned

10

TOTAL Number of Parking Spaces Planned

47

Planned Lot Use

Lot Number Lot 1	Lot Plat Number, Bock, Lot 306-75-3
Lot Dimensions 85 +/- x 140 +/-	Number of Existing Buildings on Lot 1
Size of Existing Building(s) on Lot 79.5 x 62.86 +/- GFA 5,325	Number of Buildings Planned for Lot 1
Size of Proposed Building(s) 79.5 x 62.86 +/- GFA 5,325	Number of Families to be Accommodated 10
Extent of Proposed Alterations Other	IF OTHER ALTERATIONS, Please Describe Mixed Use
Types of Units Planned on Lot Rental	Number of Units Planned on Lot 11

Lot Number Lot 2	Lot Plat Number, Bock, Lot 304-61-8,9,10
Lot Dimensions 100.38 +/- x 159 +/-	Number of Existing Buildings on Lot 2
Size of Existing Building(s) on Lot 0	Number of Buildings Planned for Lot 0
Size of Proposed Building(s) 0	Number of Families to be Accommodated 0
Extent of Proposed Alterations Renovation	IF OTHER ALTERATIONS, Please Describe None
Types of Units Planned on Lot Rental	Number of Units Planned on Lot 30

Special Circumstances

Building Coverage

--

Dimensional Variance

--

Front Yard Setback

--

Side Yard Setback

--

Rear Yard Setback

--

Lot Depth

--

Building Height

--

Open Space

--

Sign Size

--

Other

--

Lot Frontage

--

Lot Area

--

Floor Area Ratio

--

Parking

--

Use

--

Hearing Waiver

Agrees

No

Agreement & Signature

Agrees

true

PLEASE READ



City of Haverhill, MA

July 9, 2025

CCSP-25-7

City Council Special
Permit

Status: Active
Submitted On: 6/4/2025

Primary Location

233 WINTER ST
Haverhill, MA 01830

Owner

233 WINTER STREET, LLC
TEMPLE DRIVE 10
METHUEN, MA 01844

Applicant

Paul Magliocchetti
 978-373-9161
 pmagliocchetti@ssjmattorneys.com
 70 Bailey Boulevard
Haverhill, MA 01830

Applicant Information

What is Your Role in This Process?*

Attorney/Agent

Applicant Business/Firm Name*

Paul A. Magliocchetti

Applicant Business/Firm Phone*

978-373-9161

Applicant Business/Firm Address*

70 Bailey Boulevard

Applicant Business/Firm City*

Haverhill

Applicant Business/Firm State*

MA

Applicant Business/Firm Zip*

01830

Client Name*

233 Winter Street LLC

Client Business Name*

233 Winter Street LLC

Client Phone*

978-373-9161

Client Email*

pmagliocchetti@ssjmattorneys.com

Client Address*

10 Temple Street



City of Haverhill, MA

July 18, 2025

Health Department Review

Record No. CCSP-25-7

Status Completed

Became Active July 9, 2025

Assignee Bonnie Dufresne

Due Date None

Primary Location

233 WINTER ST
Haverhill, MA 01830

Owner

233 WINTER STREET, LLC
TEMPLE DRIVE 10 METHUEN, MA 01844

Applicant

Paul Magliocchetti
 978-373-9161
 pmagliocchetti@ssjmattorneys.com
 70 Bailey Boulevard
Haverhill, MA 01830

Messages

Bonnie Dufresne

July 9, 2025 at 9:55 am

Municipal water and sewer available. If units are rentals - The Board of Health has a rental permit regulation. More than 8 units requires private trash removal. Please supply a trash storage and removal plan.

Step Activity

OpenGov system activated this step

07/09/2025 at 9:33 am

OpenGov system assigned this step to Bonnie Dufresne

07/09/2025 at 9:33 am

Bonnie Dufresne approved this step

07/09/2025 at 9:56 am



City of Haverhill, MA

July 18, 2025

Police Department Review

Record No. CCSP-25-7

Status Active

Became Active July 9, 2025

Assignee Kevin Lynch

Due Date None

Primary Location

233 WINTER ST
Haverhill, MA 01830

Owner

233 WINTER STREET, LLC
TEMPLE DRIVE 10 METHUEN, MA 01844

Applicant

Paul Magliocchetti
 978-373-9161
 pmagliocchetti@ssjmattoorneys.com
 70 Bailey Boulevard
Haverhill, MA 01830

Messages

Kevin Lynch

July 17, 2025 at 11:16 am

Plans submitted for crosswalk do not show a Rapid Flashing Beacons (RRFBs) as advised in the meeting. Additionally, the crosswalk shown cannot lead to a driveway it must lead to a sidewalk.

Step Activity

OpenGov system activated this step

07/09/2025 at 9:33 am

OpenGov system assigned this step to Kevin Lynch

07/09/2025 at 9:33 am



City of Haverhill, MA

July 18, 2025

Building Inspector Review

Record No. CCSP-25-7

Status Active

Became Active July 9, 2025

Assignee Tom Bridgewater

Due Date None

Primary Location

233 WINTER ST
Haverhill, MA 01830

Owner

233 WINTER STREET, LLC
TEMPLE DRIVE 10 METHUEN, MA 01844

Applicant

Paul Magliocchetti
 978-373-9161
 pmagliocchetti@ssjmattoorneys.com
 70 Bailey Boulevard
Haverhill, MA 01830

Messages

Tom Bridgewater

July 18, 2025 at 9:50 am

A building permit was issued for the first-floor Commercial use and then was revised for second and third floor "Shell Only" however, the contractor chose to go beyond the permit, without authorization, and began roughing in for apartments. Inspectional Services has issued a stop work order until the decision by Council.

Step Activity

OpenGov system activated this step

07/09/2025 at 9:33 am

OpenGov system assigned this step to Tom
Bridgewater

07/09/2025 at 9:33 am



City of Haverhill, MA

July 18, 2025

Fire2 Department Review

Record No. CCSP-25-7

Status Completed

Became Active July 9, 2025

Assignee Robert Irvine

Due Date None

Primary Location

233 WINTER ST
Haverhill, MA 01830

Owner

233 WINTER STREET, LLC
TEMPLE DRIVE 10 METHUEN, MA 01844

Applicant

Paul Magliocchetti
 978-373-9161
 pmagliocchetti@ssjmattoorneys.com
 70 Bailey Boulevard
Haverhill, MA 01830

Messages

Robert Irvine

July 10, 2025 at 2:18 pm

Fire will require a design professional to submit stamped plans for the sprinkler system as well as the fire alarm system. Also, a 3rd party review of the fire suppression system as well as the fire alarm system. A Master Box notification system shall also be required. Trash storage as well as snow storage will need to be addressed.

Step Activity

OpenGov system activated this step

07/09/2025 at 9:33 am

OpenGov system assigned this step to Robert Irvine

07/09/2025 at 9:33 am

Robert Irvine approved this step

07/10/2025 at 2:18 pm

SHEEHAN, SCHIAVONI, JUTRAS & MAGLIOCCHETTI, LLP
ATTORNEYS AT LAW

12, 4



RICHARD J. SHEEHAN, JR.
TIMOTHY J. SCHIAVONI
ROBERT A. JUTRAS
PAUL A. MAGLIOCCHETTI
SONJA STARINS
THOMAS C. TRETTER
WILLIAM D. CHASE
STEPHEN R. AGNATOVECH

OF COUNSEL
KRISTIN M. YASENKA
JOSHUA S. ENGLAND, LLM

VIA UPLOAD

June 4, 2025

City Council
City of Haverhill
4 Summer Street
Haverhill, MA 01830

**RE: Application for a Special Permit
To Construct a Mixed Use
Store and 10-Unit Multi Family Dwelling
Allowed in the CC Zone by SP
Owner/Applicant is 233 Winter Street, LLC
Property: 233 Winter Street (Map 306, Block 75, Lots 3)**

The Owner and Applicant 233 Winter Street, LLC, a Massachusetts Limited Liability Company with an address at 10 Temple Drive, Methuen, MA 01844, submits this application to the City Council for a Special Permit pursuant to the City of Haverhill Zoning Ordinance Chapter 255. The Applicant wishes to construct a Mixed-Use development with a Store and a 10-unit residential dwelling on property it owns at 233 Winter Street, as shown on Site Plan and Floor Plans filed herewith.

A mixed-use development is allowed in the CC zone with a Special Permit from the City Council (see attached Table of Use and Parking Regulations). There are no variances required for this development from the Haverhill Zoning Board of Appeals. The proposed mixed-use development with a Store and a 10-unit residential dwelling is the best use for the property and the neighborhood where it is situated, with other similar buildings in the area and on Winter Street.

The neighborhood is densely populated with other mixed-use multifamily dwellings, and this development will not affect the character of the neighborhood, has ample onsite parking, and will bring added tax revenue to the City. The property, once built out, will greatly improve the parcel and add value to the surrounding properties. The granting of the relief sought may be given without nullifying or substantially derogating from the intent or purpose of the zoning

SHEEHAN, SCHIAVONI, JUTRAS & MAGLIOCCHETTI, LLP
ATTORNEYS AT LAW

ordinance. Furthermore, the proposed mixed-use development will not cause substantial detriment to the neighborhood or the city taking into account the characteristics of the site (its size, location, and existing structure) and the proposal in regard to this site. The Site has an existing commercial structure/use, and the additional 10 residential units will not be detrimental to the neighborhood. All concerns of departments during pre-development review are being addressed.

The Applicant meets all the requirements under City of Haverhill Zoning Ordinance Ch. 255, Sec. 10.4.2 for a Special Permit:

1. Community needs for additional housing are served by the proposal which adds needed housing in the City and the proposal also creates a new Latino grocery store and market; Traffic and pedestrian flow and safety have been addressed and required parking for the proposed number of units is being provided. (See Site Plans filed with this Application). The property was previously used as a sandwich shop and as a parking lot, and the development, which includes ample parking, will not be detrimental to traffic, pedestrian flow, and safety, including parking and loading;
2. The neighborhood has adequate infrastructure for utilities and other public services, including public water and sewer;
3. The neighborhood has adequate infrastructure for utilities, emergency services, and other public services, including public water and sewer.
4. The neighborhood character and structures have been addressed in the plans and architectural designs of this project. The new building fits this lot and will fit in with the neighborhood, and there is no impact on the natural environment;
5. There are no obvious impacts to the natural environment since the multi-use building will be situated in a densely populated neighborhood and it is similar in size and mass to neighboring properties. Additionally, the new housing in the neighborhood will be attractive to residents that fit in with the neighborhood character and social structures;
and
6. The development of this mixed-use development with a store and 10 residential units will have a positive fiscal impact on the City's tax base which will contribute to supporting City services.

In addition, the applicant has appeared before the City's Developmental Review Board for pre-development review and all issues and concerns have been addressed. For more specific details regarding compliance with Sec. 10.4.2, Sec. 6.3.3 (1-9), and City Council Ordinance 92B, reference is made to the site plans and building plans, and the Information Required Pursuant to City Council Ordinance 92B attached to the application. Furthermore, the Applicant meets the requirements under applicable City of Haverhill Zoning Ordinances including but not limited to Ch. 255, Sec. 6.1 regarding parking, and Ch. 255, Sec. 8.3.2 regarding affordability.

SHEEHAN, SCHIAVONI, JUTRAS & MAGLIOCCHETTI, LLP
ATTORNEYS AT LAW

The Applicant respectfully requests that the City Council approve this Application for a Special Permit for the Mixed-Use development with a Store and a 10-unit residential dwelling on property it owns at 233 Winter Street.

Respectfully submitted,

Paul A. Magliocchetti

Paul A. Magliocchetti, Esquire

pmagliocchetti@ssjmattorneys.com

Property Address: 233 Winter Street, 3-5 Lewis Street, Haverhill, MA 01830



SO.ESSEX #395 Bk:41098 Pg:482
07/29/2022 01:05 PM DEED Pg 1/3
eRecorded

MASSACHUSETTS EXCISE TAX
Southern Essex District ROD
Date: 07/29/2022 01:05 PM
ID: 1539836 Doc# 20220729003950
Fee: \$4,104.00 Cons: \$900,000.00

Quitclaim Deed

KARM Realty LLC, a Massachusetts Limited Liability Company with a business address of 42 Stillman Road, Lynnfield, MA 01940, in consideration Paid and in full consideration of Nine Hundred Thousand Dollars and 00/100 (\$900,000.00) **GRANT TO 233 Winter Street, LLC**, a Massachusetts Limited Liability Company with a business address of 10 Temple Drive, Methuen, MA 01844

With ***QUITCLAIM COVENANTS***

PARCEL 1

The land in Haverhill, Essex County, Massachusetts, with the buildings thereon with an address of 233 Winter Street, Haverhill, Massachusetts, shown as occupied by an existing building on a plan entitled "Plan of Land in Haverhill, Massachusetts Owned by Gerald A. Berube" dated December 16, 1983, by William G. Troy & Associates bounded and described as follows:

Southerly by Winter Street, eighty-five and 85/100 (85.85) feet;
Westerly by Lewis Street, ninety-nine and 18/100 (99.18) feet;
Northerly by land shown on said plan as now for formerly of Leon J. Blanchet,
Easterly by land shown on said plan as now or formerly of George and Helen Siodis, ninety-seven and 30/100 (97.30) feet;

Containing 8,150 square feet according to said plan.

PARCEL 2

The land in Haverhill, Essex County, Massachusetts, with the buildings thereon with an address of 3-5 Lewis Street, Haverhill, Massachusetts, bounded and described as follows:

Beginning at the Southwesterly corner thereof bu land now or formerly of H.K Snow and by said Lewis Street; and thence running Northerly by said Lewis Street forty-three (43) feet to land now or formerly of Mary A. McCarty; thence running Easterly by said McCarty land about ninety-three (93) feet to land of heirs of R. Regan; thence running Southerly by said Regan land and land now of formerly of F. Donahue about forty-three (43) feet to land of Snow; and thence

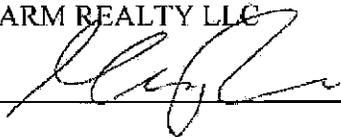
running Westerly by said land now for formerly of Snow about ninety-two (92) feet to the pint begun at.

The grantor herein release any and all rights of homestead they may have acquired in and to the subject property by statute or otherwise and further states under the pains and penalties of perjury, no other person has the right to claim homestead benefits in said property.

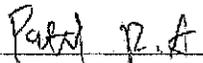
For Grantor's Title, see deed dated May 17, 2016 and recorded with the Southern Essex at Book 34928, Page 336.

Executed as a sealed instrument this 27th day of July, 2022

s

KARM REALTY LLC


By: Mahavir Patel
Its: Manager

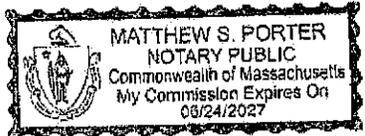


By: Ramila A. Patel
Its: Manager

Commonwealth of Massachusetts
Bristol, ss.

On this 27th day of July, 2022 before me, the undersigned notary public, personally appeared **Mahavir Patel and Ramila A. Patel, Managers of KARM REALTY LLC**, the above-named and proved to me through satisfactory evidence of identification, to be the person whose name is signed on this document, and acknowledged to me that he/she/they signed it voluntarily for its stated purpose and that the foregoing instrument is his/her/their free act and deed on behalf of KARM REALTY LLC .


Notary Public: Matthew S. Porter
My Commission Expires: 6/24/27



Special Permit Application-233 Winter Street, Haverhill, MA
City Council Rules and Regulations for Special Permits Information Required
Pursuant to City Ordinance 92B

General Criteria: General Special Permit Criteria

1. As required by the Special Permit criteria section of the Zoning Ordinance (Section 10.4.2), in order to grant a Special Permit, a Special Permit Granting Authority must make a written determination "that the proposed use or structure(s) shall not cause substantial detriment to the neighborhood or the City, taking into account the characteristics of the site and of the proposal in relation to that site." Under Section 10.4.2, "[i]n addition to any specific factors that may be set forth in th[e] [zoning] chapter, such determination shall include consideration of each of the following:
2. Community needs served by the proposal;
3. Traffic and pedestrian flow and safety, including parking and loading;
4. Adequacy of utilities and other public services;
5. Neighborhood character and social structures;
6. Impacts on the natural environment; and
7. Potential fiscal impact, including impact on City services, tax base, and employment.

Specific Findings Under Zoning Ordinance Section 10.4.2

1. Community needs served by the proposal: Haverhill has a large and growing Latino community and the commercial use on the site will be a Latino store and market. Additionally, countless articles and reports have emphasized the need for additional housing, including affordable opportunities for low to moderate income households. Haverhill is no exception to this demand and has recently adopted new ordinances intended to address the local housing shortage, including but not limited to the MBTA zone, and ADU's. The applicant has agreed to comply with the city's ordinance and designate one of the 10 residential units as an affordable unit.
2. Traffic and pedestrian flow and Safety, including parking and loading: Careful attention has been given to traffic flow and pedestrian safety in this development plan. As part of the additional housing in the development the Applicant has agreed to purchase the lot across the street for additional parking for the store and the residents. The entrance for the store parking at to the rear of the property has access off of Lewis Street, where

the entrance to the store is also located. Locating the parking lot to the rear will prevent the hazards of cars entering and exiting onto Winter Street traffic throughout the day. There is also an entrance in the front of the building to allow for additional pedestrian and emergency access to the building directly from Winter Street. The parking lots are large for the neighborhood and provide more than the required number of spaces for the development. These details are outlined in the provided site plans filed with this Application.

3. Adequacy of utilities and other public services: The existing building is already connected to domestic water, emergency systems, and city sanitary systems, so no major utility extensions are required for this project. The proposed site plan as well as the building plans have been reviewed by all departments and complies with Section 6.3.3(8) concerning utilities, security, and emergency systems, ensuring all new connections meet city standards without the need for special approvals. City departments have raised no concerns about utility availability at this time, and the parcel's location within the neighborhood provides ample utility access. This favorable positioning as a corner lot, and proximity to the additional parking allow for seamless integration of the mixed-use building into existing infrastructure, minimizing disruptions, and ensuring efficient service delivery. The project team will continue to collaborate closely with the city's development team to confirm that all utility connections align with the city's expectations and requirements.
4. Neighborhood character and social structures: The proposed mixed-use development is consonant with neighborhood character and social structures, and the addition of the 10 residential units represents a substantive change in the current use of the lot. The new building will only marginally decrease the percentage of open space on the site and will greatly improve the aesthetics of the site. Unsightly elements such as dumpsters and trash receptacles will be shielded to the rear corner of the site away from public view.
5. Impact on natural environment: There are no expected impacts to the natural environment as a consequence of this project. The new addition will only marginally decrease the percentage of open space on the site, and the building has been designed to blend in with its surroundings in size and mass.
6. Potential fiscal impact, including impact on City services, tax base, and employment: This project will have minimal or no impact on city services. It is believed that this project will increase the tax base and due to the residential units size, have minimal or no impact on schools. This development will create as many as 20 new jobs, desperately needed housing opportunities, and significantly increase the city's tax revenues over what the current tax revenues are.

Specific Findings Under Zoning Ordinance Section 6.3.3

Lighting: The proposed lighting for this project will comply with city standard 6.3.3(1): The existing lot lighting will remain largely unchanged, with the addition of lights directed at the crosswalk for pedestrians, at the request of Haverhill Police Department. The exterior building and parking lot lights are designed to ensure no light is directed outward beyond the property, minimizing glare and maintaining a focused, compliant lighting environment where required on the site. Reference is made to the building plans submitted with this application.

Noise: The project will comply with city standard 6.3.3(2) as it pertains to noise: Construction will abide by the restrictions set forth in Chapter 1 82 of the Haverhill Code and 310 CMR 7.10 of the Department of Environmental Protection's regulations. A dumpster and trash receptacles will be located at the rear corner of the periphery of the site which should reduce noise at times of refuse collection.

Landscaping: 6.3.3 (3): The lot is located in the city's urban center and has minimal lot space for landscaping. The limited landscaping will be minimal and consistent with neighboring properties.

Stormwater Management: The proposed development will comply with city standard 6.3.3(4), and the Applicant will provide details on a plan as required by the city's development team. All necessary Erosion Prevention and Sediment Control (EPSC) measures will be implemented if required during construction to minimize sediment displacement, and maintain compliance with city regulations.

Site development Standards: The proposed development plan complies with all site development standards outlined in Section 6.3.3(5). The area of disturbance has been carefully minimized to accommodate the new building, ensuring the best and most efficient use of the limited land area. This thoughtful approach preserves the functionality of the site while reducing disturbance and improving accessibility for residents and visitors.

Pedestrian and Vehicular Access/Traffic Management: Careful attention has been given to traffic flow and pedestrian safety in this development plan ensuring adherence to Section 6.3.3(6). The relocation of the building to the front of the site and the removal of the parking entrance on winter street are intended to reduce issues related to traffic management, vehicular access, and pedestrian access. Pedestrian traffic and parking will be located at the rear of the building and across the street, while there will also be customer, tenant and visitor access in the front and rear of the building. The customer parking is designated at the rear of the building during operating hours, and residents will have assigned parking across the street at 236 Winter Street, (as shown on the plans) which maintains separation of these traffic elements. The site complies with code requirements related to parking. Detailed parking requirements are outlined in the Site Plans. The Applicant has agreed to work with the city to install pedestrian lights and other agreed to safety measures. A traffic study has not been requested by city departments.

Aesthetics: The proposed design of the building complies with the neighborhood compatibility requirement outlined in Section 6.3.3(7). Prior to construction the developer worked closely with the building inspector and all plans were reviewed by city departments. The new building, while modern in design, fits in with other newer buildings nearby, closely matches the mass and density of surrounding buildings.

Utilities/Security/Emergency Systems: The existing building is already connected to domestic water, fire, and city sanitary systems, so no major Utility extensions are required for this project. Sewer, fire, and sanitary connections have been established for the new building, all of which will be detailed on plans and will be further coordinated with city's development team. The proposed development fully complies with Section 6.3.3(8) concerning utilities, security, and emergency systems, ensuring all new connections meet city standards without the need for special approvals. The city's development team has raised no concerns about utility availability at this time, and the parcel's central location within the city provides ample utility access. This favorable positioning allows for seamless integration of the expansion into existing infrastructure, minimizing disruptions and ensuring efficient service delivery. The project team will continue to collaborate closely with the city's development team to confirm that all utility connections align with the city's expectations and requirements.

Other General Standards: The proposed development will cause no substantive change in the current parcel's compliance with Section 6.3.3(9). The new building will not be conducted in a manner as to emit any dangerous, noxious, injurious or otherwise objectionable fire, explosion, radioactive or other hazard; noise or vibration, smoke, dust, odor or other form of environmental pollution; electrical or other disturbance; glare; liquid or solid, refuse or wastes; conditions conducive to the breeding of insects, rodents or other substance, conditions or element in an amount as to affect adversely the surrounding environment. All operations shall be conducted in such a manner so as to comply with the laws of the Commonwealth of Massachusetts regulating air pollution.

Based upon all of the above as well as all the plans and other documents filed with this Application, the Applicant believes this Petition meets all the requirements under Chapter 255 Section 10.4.2 for a Special Permit:

1. Community needs for additional housing are served by the proposal which adds needed housing in the City and the proposal also creates a new Latino grocery store and market;
2. Traffic and pedestrian flow and safety have been addressed and required parking for the proposed number of units is being provided. (See Site Plans filed with this Application). The property was previously used as a sandwich shop and as a parking lot, and the development, which includes ample parking, will not be detrimental to traffic, pedestrian flow, and safety, including parking and loading;
3. The neighborhood has adequate infrastructure for utilities, emergency services, and other public services, including public water and sewer;

4. The neighborhood character and structures have been addressed in the plans and architectural designs of this project. The new building fits this lot and will fit in with the neighborhood, and there is no impact on the natural environment;
5. There are no obvious impacts to the natural environment since the multi-use building will be situated in a densely populated neighborhood and it is similar in size and mass to neighboring properties. Additionally, the new housing in the neighborhood will be attractive to residents that fit in with the neighborhood character and social structures; and
6. The development of this mixed-use development with a store and 10 residential units will have a positive fiscal impact on the City's tax base which will contribute to supporting City services.

Respectfully submitted,

Paul A. Magliocchetti

Paul A. Magliocchetti, Esquire
pmagliocchetti@ssjmattorneys.com

**PROPOSED SITE PLAN
OF LAND AT
238 & 236 WINTER STREET,
HAVERHILL, MASSACHUSETTS**

MAY 22, 2025

**OWNER/APPLICANT:
233 WINTER STREET, LLC
10 TEMPLE DR.
METHUEN, MA. 01844**

**ASSESSORS PLAN 306
BLOCK 75
LOT 3
AREA 12,283 S.F.
DEED BOOK 6428 PAGE 338
ZONE CC, RU**

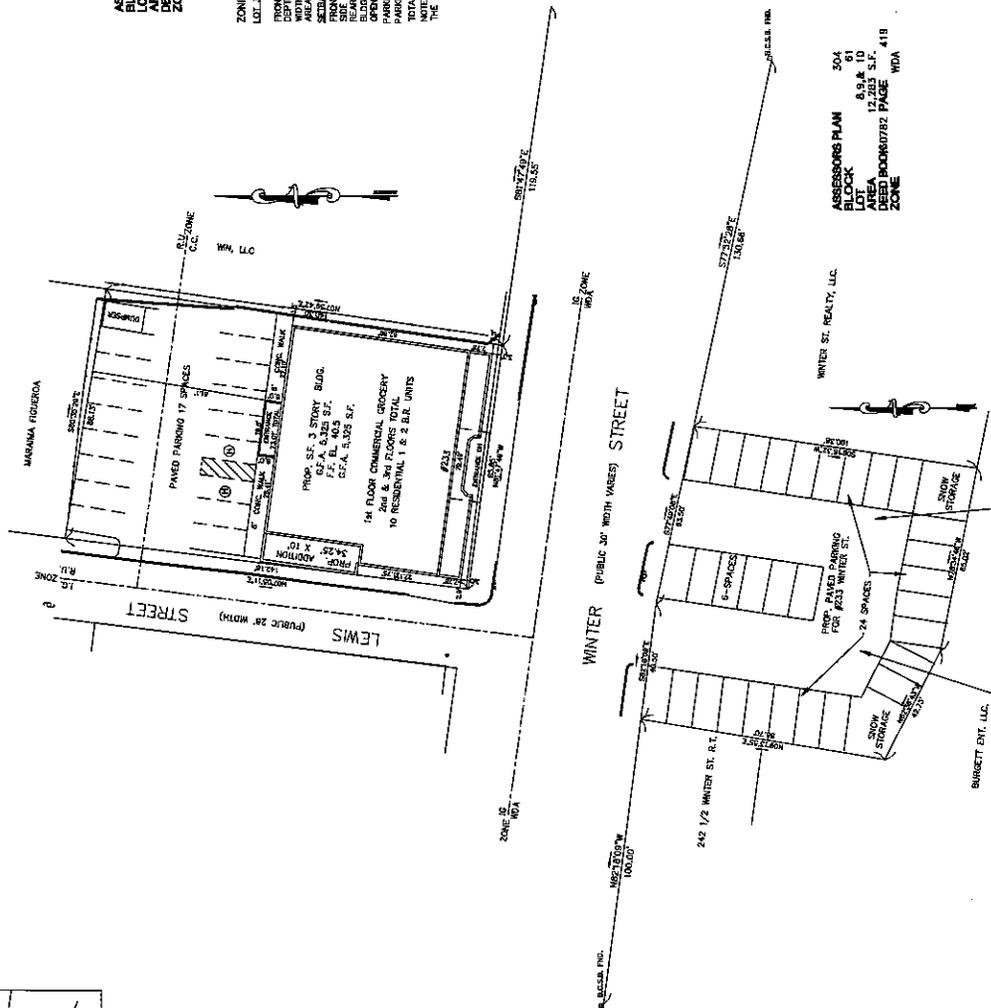
ZONING REQUIREMENTS ZONE: CC

LOT AREA=75-3	REQUIRED	PROPOSED
FRONT YARD SETBACK	50'	40.50', 112.18'
REAR YARD SETBACK	100'	146.30'
AREA	5,000 S.F.	12,283 S.F.
SETBACKS	0	3.5' - 25'
FRONT YARD	0	3.5'
REAR YARD	0	8.1'
DECK SPACE	0	4.0'
PARKING COMMERCIAL	21	0
PARKING RESIDENTIAL	15	0

ALL RESIDENTIAL PARKING SHALL BE LIMITED TO THE PROPOSED LOT AT 238 WINTER ST.

GENERAL NOTES:

1. Boundary information based upon the 1851 and 1852 maps of the City of Haverhill, Massachusetts, and all other information and data shown on the plan, and shall be subject to change without notice.
2. The Contractor shall be responsible for verifying and determining the location, size and condition of all existing utility lines, shown or not shown on these plans prior to the start of any construction. The engineer responsible for these plans shall not be held liable for any errors or omissions in the field. The Contractor shall be responsible to contact "800" (800) 344-7323 at least 72 hours before digging.
3. The contractor shall construct of utility companies existing utilities, other utilities or underground utilities to be shown on the plan, and shall be responsible for the safety of the contractor. The protection of structures shall be the responsibility of the contractor.
4. The contractor is responsible for the means and methods of construction and for coordination of the work. All plans prepared by R.A.M. Engineering, Inc. are not valid for construction unless they are accompanied by the use of the contractor or engineer's name and seal. No work shall be done until the contractor has received the appropriate safety permits that may be required by the US Occupational Safety and Health Administration (OSHA) and/or local regulations.
5. This project is to be constructed in the typical manner and details shown on the plan, and shall be subject to change without notice.
6. The Contractor is responsible of all permits, fees, temporary utility and coordination with all agencies in obtaining access to the site and performance of work required for this project.
7. All indicated areas not otherwise shown to be finished shall be finished and marked to a depth of six inches.
8. The contractor shall coordinate with the City of Haverhill regarding the location of the proposed driveway and any other proposed changes to the plan. All improvements and work shall be installed by a Massachusetts registered land surveyor or a licensed professional engineer.
9. Water main and sewer lines are shown at 3.0 feet cover. When water main cover meets the proposed driveway, water and sewer lines shall be 10 feet minimum.
10. All proposed grades shall be less than 2 to 1.
11. Vertical curves based upon 800 feet.
12. Vertical curves shall be as shown on the plan.
13. Utilities shall be as shown on the plan.



R.A.M. ENGINEERING
160 Main Street
Haverhill, Massachusetts 01830
TEL: (978) 372-0449 FAX: (978) 372-7183



ROBERT A. MASTRI, P.E.

**PROPOSED SITE PLAN
OF LAND AT
233 WINTER STREET
HAVERHILL, MASSACHUSETTS**

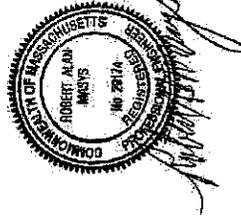
MARCH 8, 2023

OWNER/APPLICANT:
23 WINTER STREET, LLC
10 TEMPLE DR.
METHUEN, MA. 01844

APPLICANT
HAVERHILL BOARD OF APPEALS

DATE:

ASSESSORS PLAN 306
BLOCK 75
LOT 3 & 4
AREA 12,283 S.F.
DEED BOOK 64928 PAGE 336
ZONE CC & RU



ROBERT A. MASYS, PE

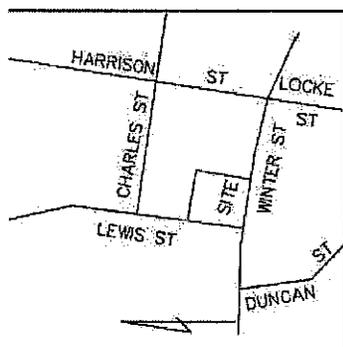
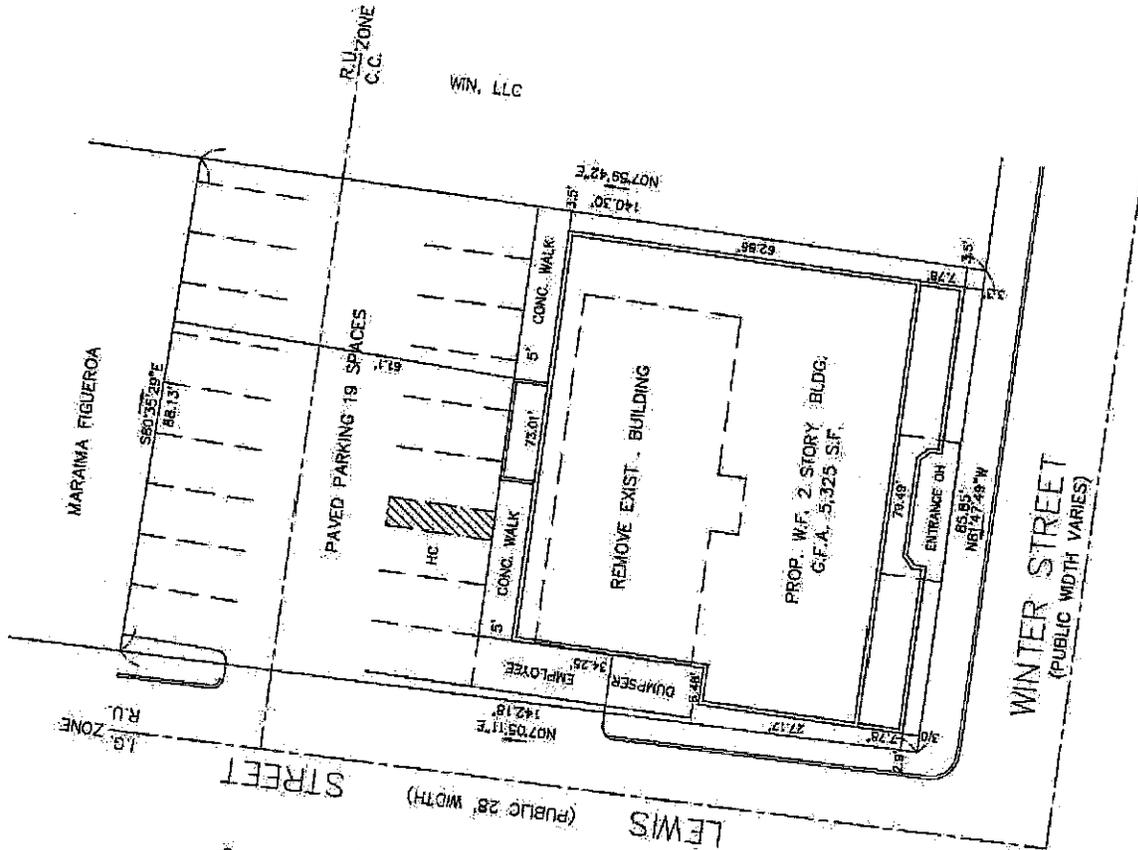
R.A.M. ENGINEERING
160 Main Street
Haverhill, Massachusetts 01850
TEL: (978) 372-0449 FAX: (978) 372-7115

A-102.00

SCALE: 1/4" = 1'-0"
DATE: 07-16-2024

PROPOSED MIX-USED BUILDING
ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830
OWNER: UNION SUPERMARKET | DESIGNED BY: CALICO CONSULTING

13 LOMEL, TERRACE, AMERICA, MA 01834
14-15000-0000
16-10000-0000
17-10000-0000
18-10000-0000
19-10000-0000
20-10000-0000
21-10000-0000
22-10000-0000
23-10000-0000
24-10000-0000
25-10000-0000
26-10000-0000
27-10000-0000
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44-10000-0000
45-10000-0000
46-10000-0000
47-10000-0000
48-10000-0000
49-10000-0000
50-10000-0000

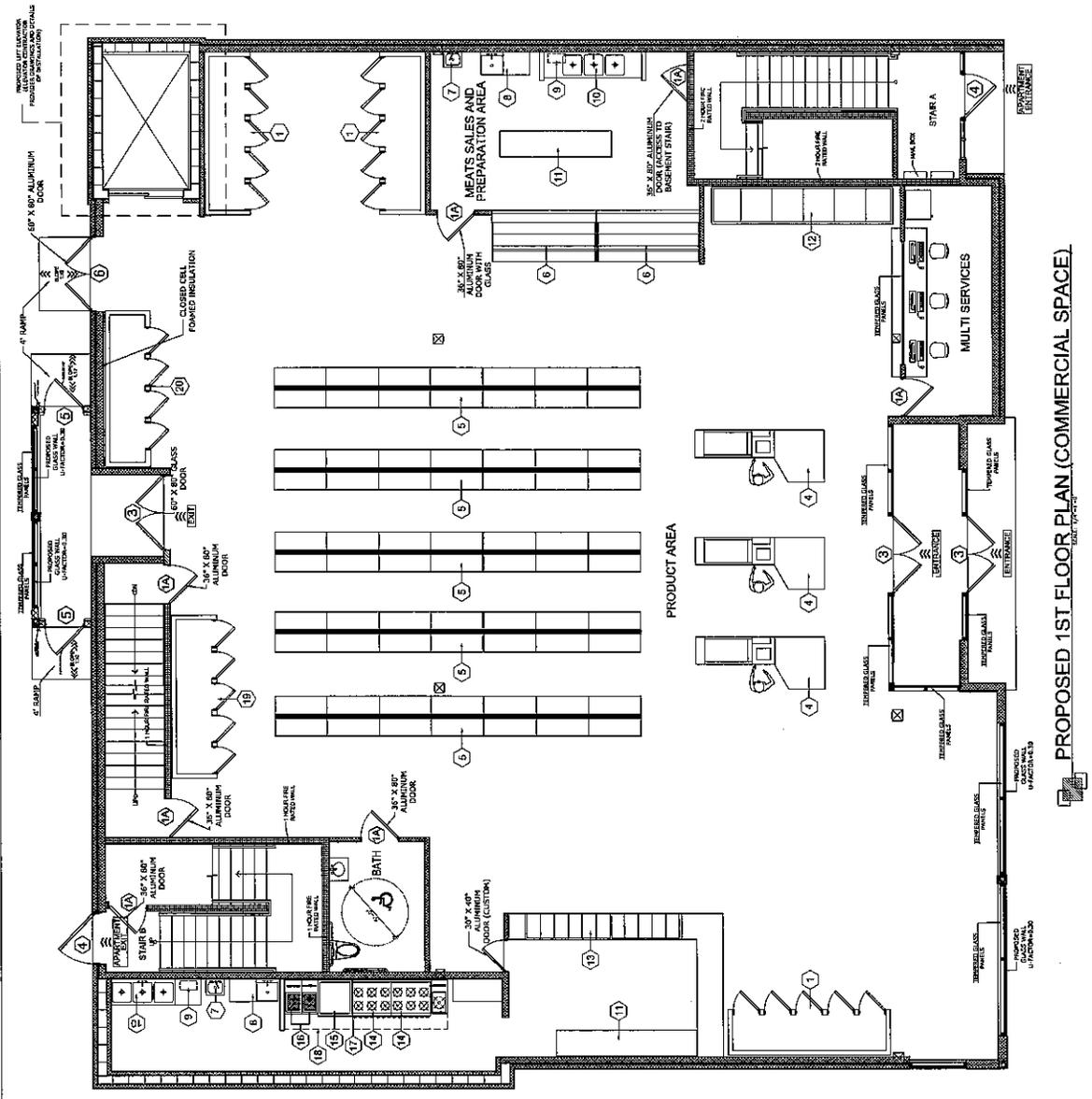


ZONING REQUIREMENTS ZONE: CC

LOT	REQUIRED	PROPOSED
FRONTAGE	50'	85.85' 142.18'
DEPTH	100'	140.30'
WIDTH	37.5'	85.85'
AREA	5,000 S.F.	12,283 S.F.
SETBACKS		
FRONT YARD	0'	3.0' - 2.9'
SIDE YARD	0'	3.5'
REAR YARD	0'	61.1'
PARKING	21	19
BLDG. COVERAGE	0	41.6%
OPEN SPACE	0	0

GRAPHIC SCALE





PROPOSED 1ST FLOOR PLAN (COMMERCIAL SPACE)

NOTE:
 CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (9TH EDITION OF THE MISC.780 CMR 91.00) (2015 IBC AND THE COMMONWEALTH OF MASSACHUSETTS AMENDMENTS TO THE INTERNATIONAL BUILDING CODE 2015) AND THE CITY OF HAVERHILL ORDINANCES.

LEGEND

	PROPOSED FIRE RATE WALL
	PROPOSED NEW WALL

LEGEND

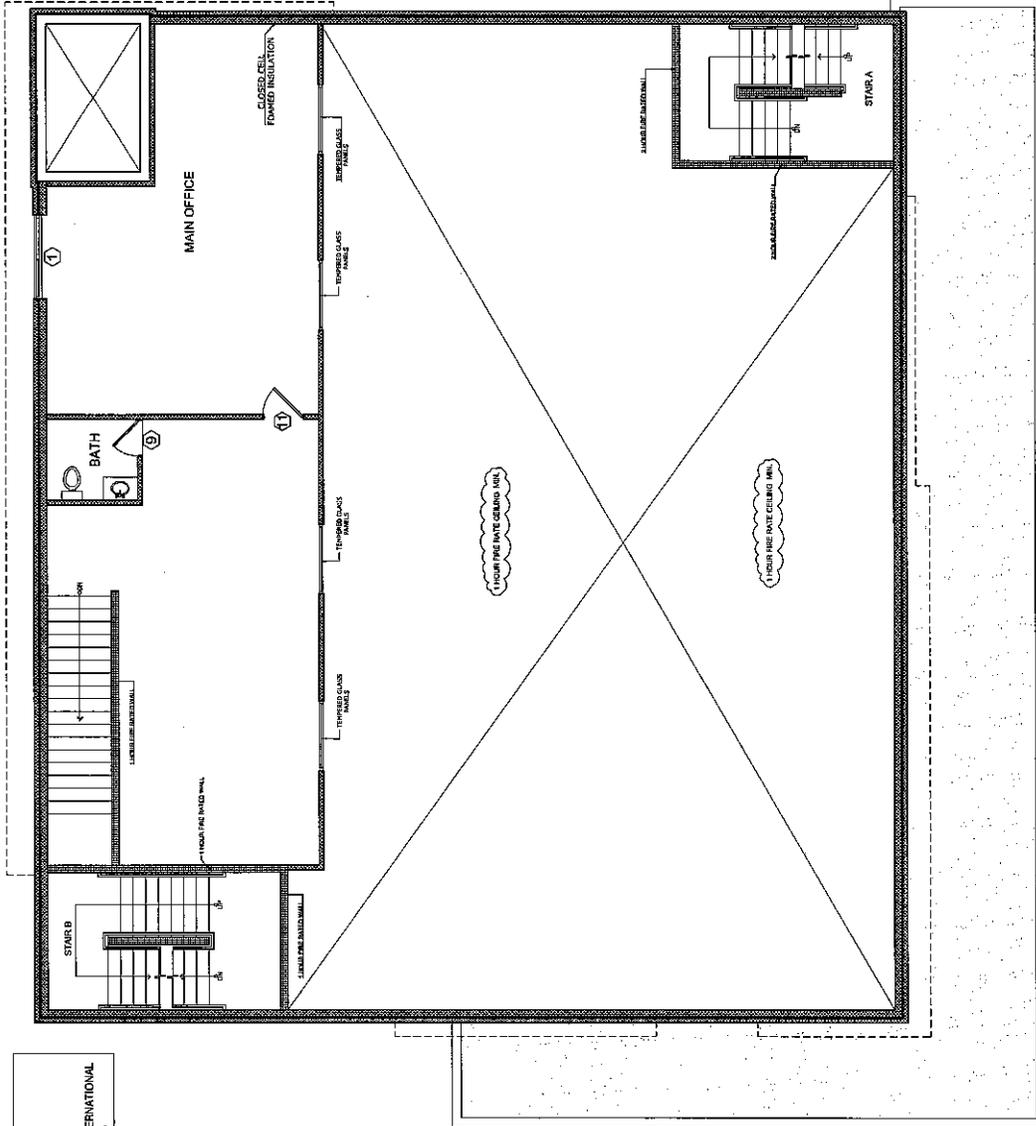
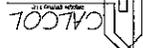
1	FRIDGES
2	FRIDGE FOR FROZEN FOOD
3	FRIDGE FOR VEGETABLES
4	CASHIERS STATIONS
5	SHELVING & DISPLAYS
6	MEATS SALES FREEZER
7	HAND SINK
8	PREP SINK
9	BIG DIPPER GREASE INTERCEPTOR
10	3 BOWL SINK
11	STAINLESS STEEL WORK TABLE
12	14' LONG FRIDGE FOR MEAT
13	HOT & COLD GLASS ENCLOSED FOOD DISPLAY UNIT
14	6 BURNER STOVE OVEN 36"
15	CHARBROILER GRILL 36"
16	FRYER 15"x31"x48" S. STEEL
17	1" METAL STUD WITH 1/2" NON-COMBUSTIBLE BOARD 3' W ZERO CLEARANCE HOOD 4'-0" - 9'-6"
18	FIRE SUPPRESSION SYSTEM
19	FREEZER FOR BEERS
20	FREEZER FOR WINE

A-111.00

SCALE: 1/4" = 1'-0"
DATE: 07-16-2024

PROPOSED MIX-USED BUILDING
ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830
OWNER: UNION SUPERMARKET | LICENSED ARCHITECT: DAVID B. BROWN

1310 WELLS TERRACE LAWRENCE, MA 01840
PHONE: 978-686-1111
WWW.CALCOL.COM

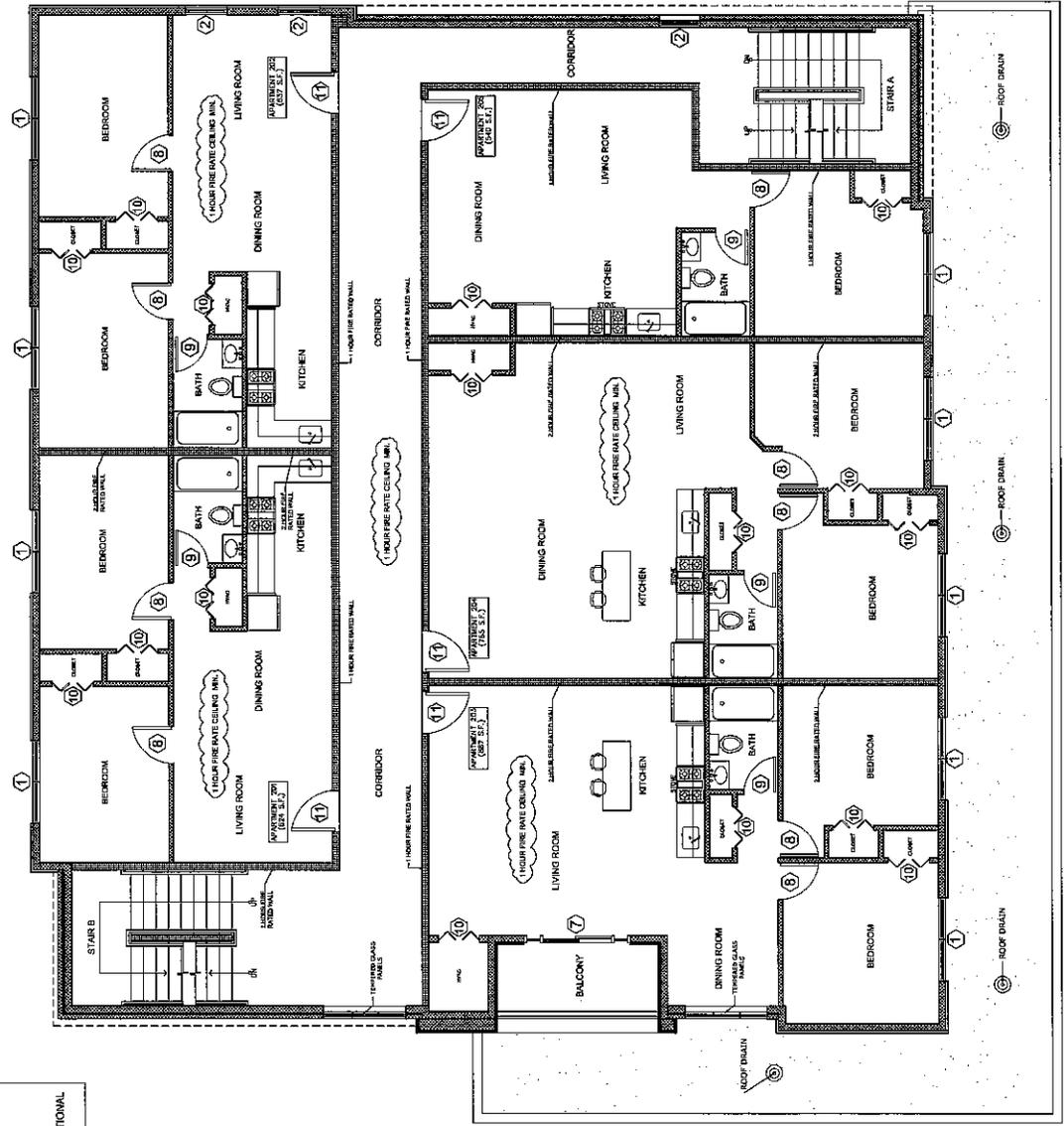


NOTE:
CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (9TH EDITION OF THE MBSIC, 780 CMR 51.00, 607.5 IBC AND THE COMMONWEALTH OF MASSACHUSETTS (9TH EDITION OF THE INTERNATIONAL BUILDING CODE 2015) AND THE CITY OF HAVERHILL ORDINANCES.

LEGEND

	PROPOSED FIRE RATED WALL
	PROPOSED NEW WALL

PROPOSED MEZZANINE FLOOR PLAN
SCALE: 1/4" = 1'-0"



NOTE:
CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (9TH EDITION OF THE MBCS 780 CMR 51.00), (2015 IBC AND THE COMMONWEALTH OF MASSACHUSETTS AMENDMENT TO THE INTERNATIONAL BUILDING CODE 2015) AND THE CITY OF HAVERHILL ORDINANCES.

LEGEND

	PROPOSED FIRE RATED WALL
	PROPOSED NEW WALL

PROPOSED 2ND FLOOR PLAN (RESIDENTIAL UNIT)

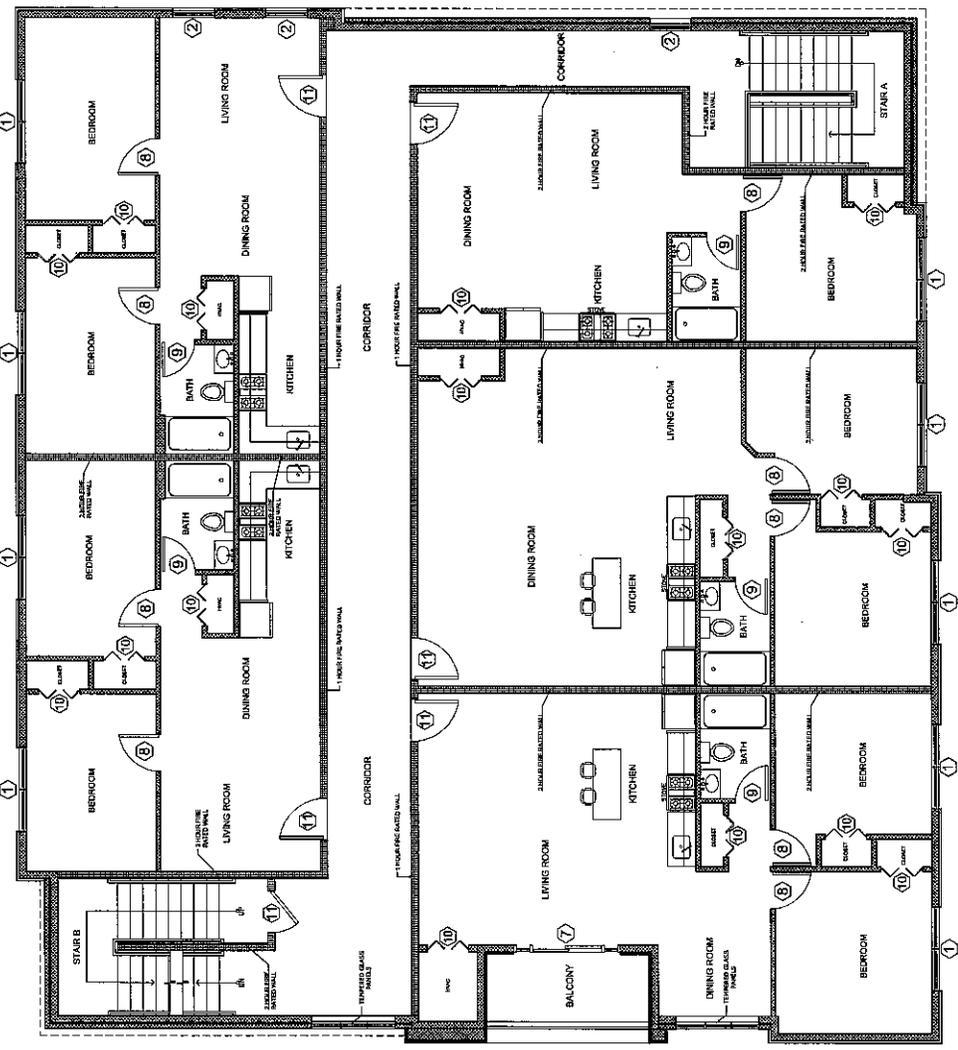


130 WELLS TERRACE LAWRENCE MASS 01840
 ARCHITECT
 130 WELLS TERRACE LAWRENCE MASS 01840
 ARCHITECT

PROPOSED MIX-USED BUILDING
 ADDRESS: 233 WINTER ST. HAVERHILL, MA 01830

SCALE: 1/4" = 1'-0"
 DATE: 07-16-2024

A-13.00



PROPOSED 3RD FLOOR PLAN (RESIDENTIAL UNIT)

NOTE:
 CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (9TH EDITION OF THE MASSC/IBO CMR 81.00) (2015 IBC AND THE COMMONWEALTH OF MASSACHUSETTS AMENDMENT TO THE INTERNATIONAL BUILDING CODE 2015) AND THE CITY OF HAVERHILL ORDINANCES.

LEGEND

	PROPOSED FIRE RATED WALL
	PROPOSED NEW WALL

A-114.00

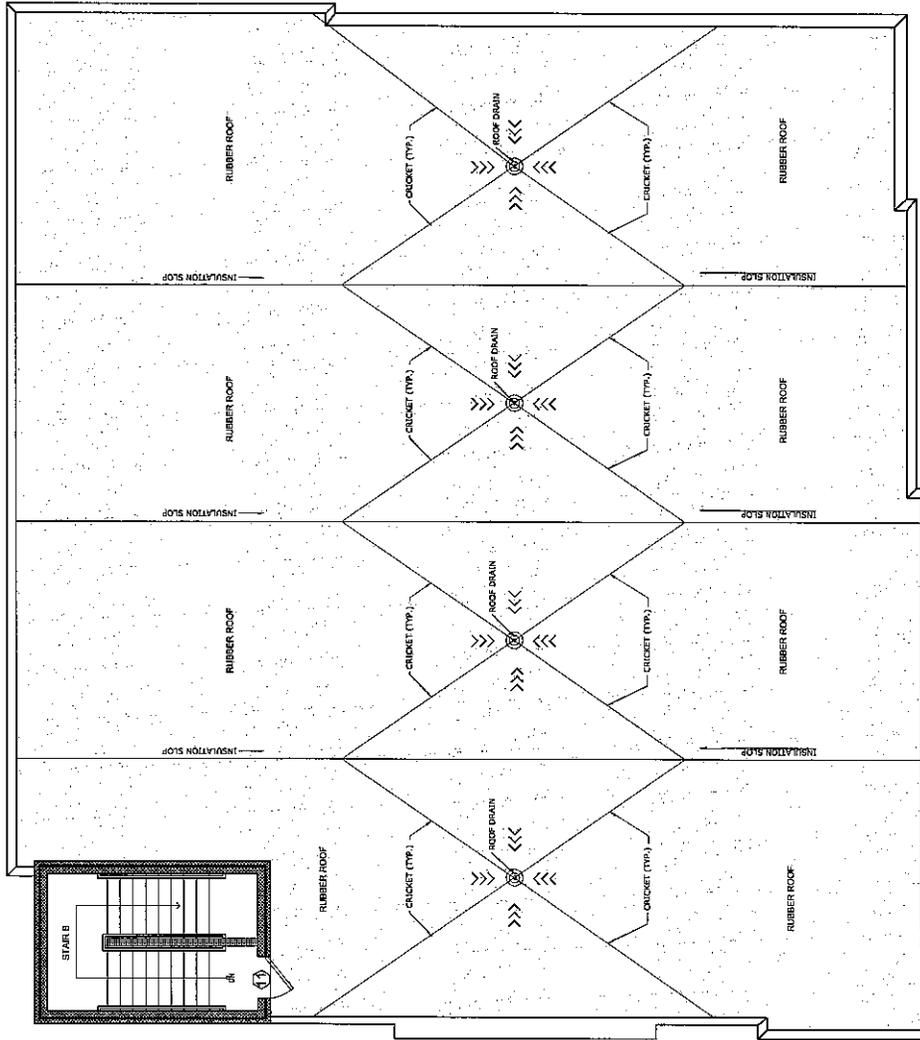
SCALE: 1/4" = 1'-0"

DATE: 07-16-2024

PROPOSED MIX-USED BUILDING
ADDRESS: 233 WINTER ST. HAVERRHILL, MA 01830

OWNER: UNION SUPERMARKET | DESIGNED BY: CALICO DESIGN STUDIO

13 LOWELL TERRACE, LAWRENCE, MA 01840
PHONE: 781-686-8800
EMAIL: CALICO@CALICODSIGN.COM
WWW.CALICODSIGN.COM

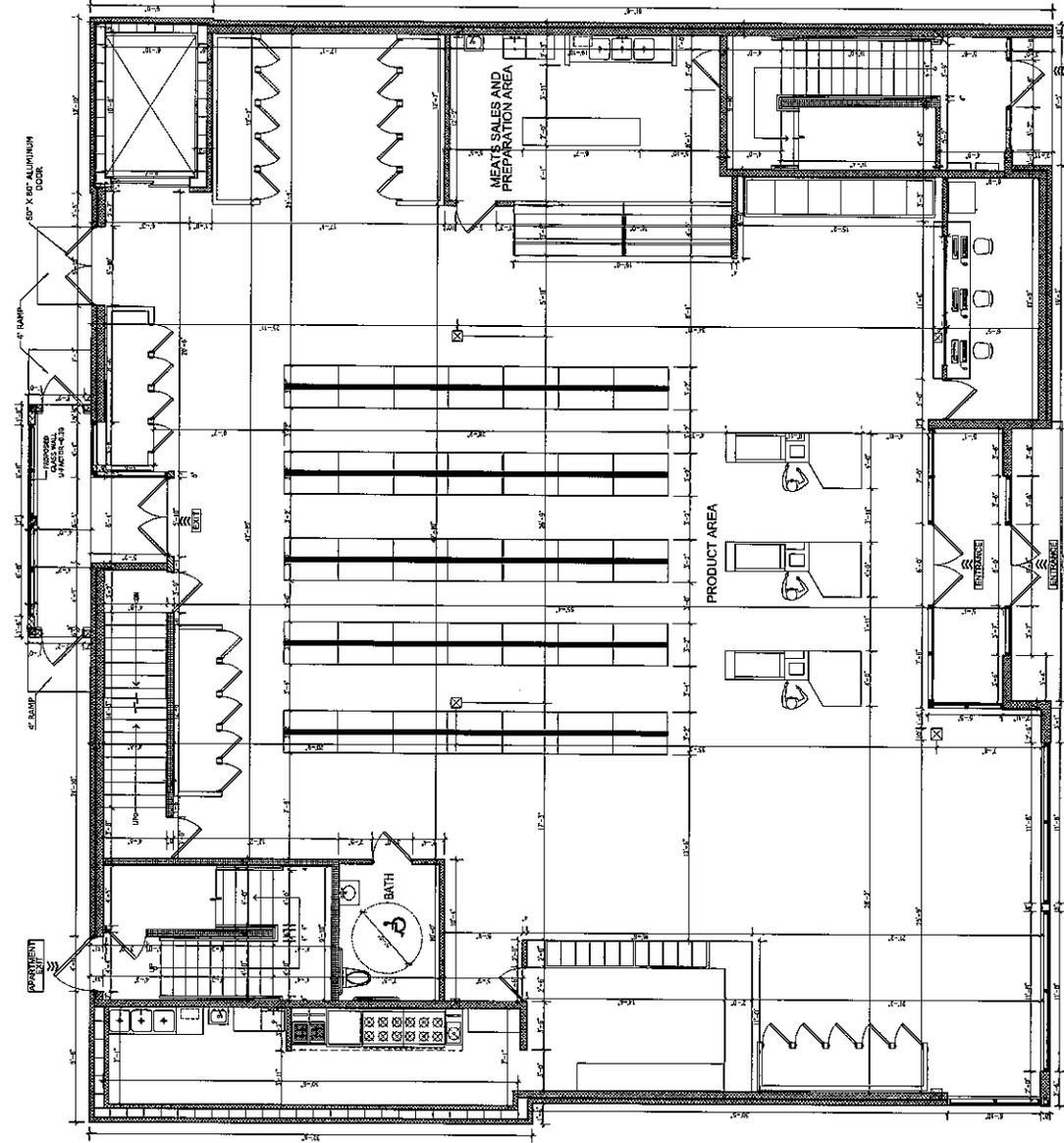


PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

NOTE:
CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE MASSACHUSETTS STATE BOARD OF BUILDING OFFICIALS (SBOB) REGULATIONS, 808 CMR 7.00 (9TH EDITION OF THE MASS/780 CMR 5.00), 8015 IRC AND THE COMMONWEALTH OF MASSACHUSETTS AMENDMENT TO THE INTERNATIONAL BUILDING CODE 2015) AND THE CITY OF HAVERRHILL ORDINANCES.

LEGEND

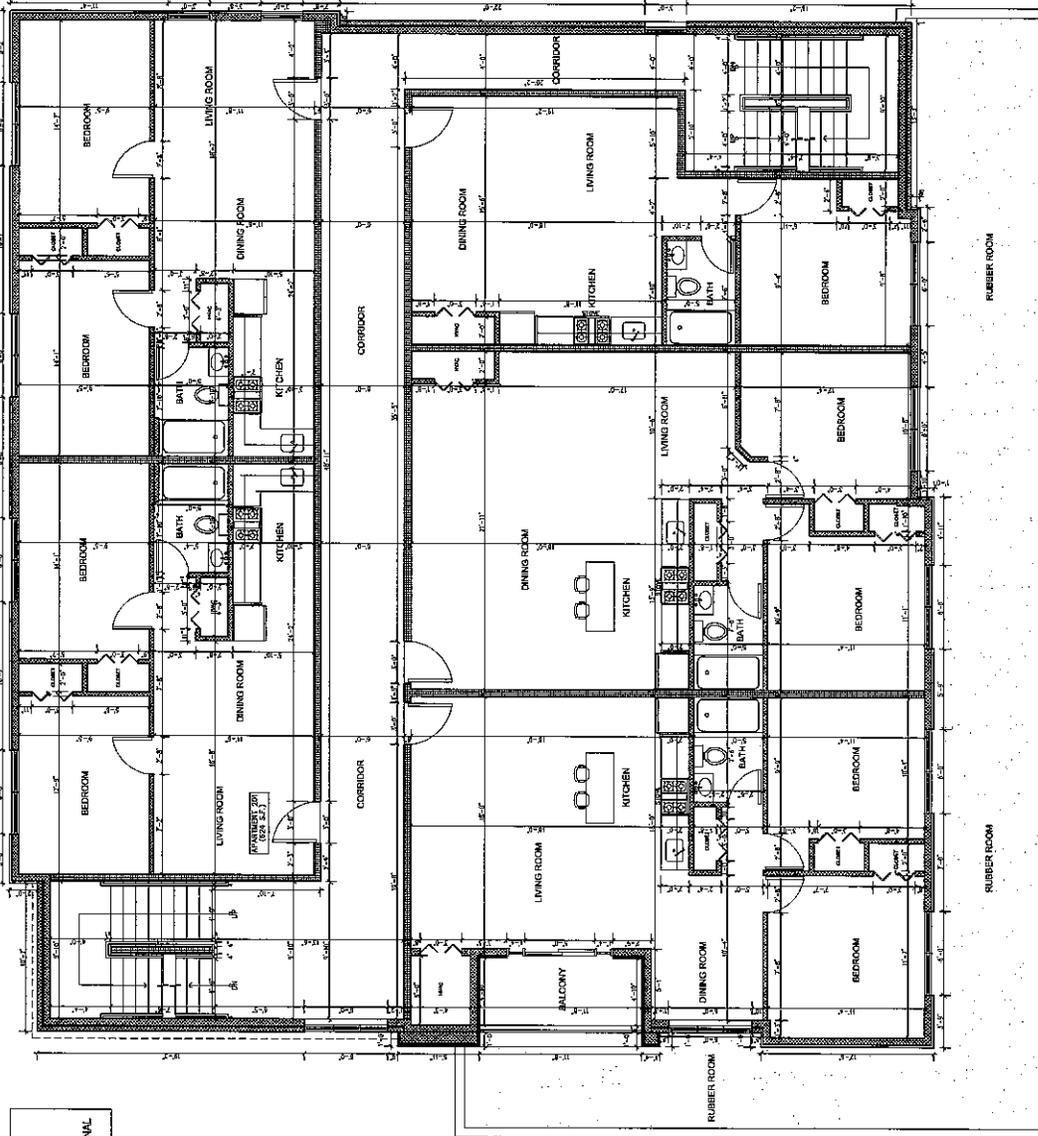
	PROPOSED FIRE RATE WALL
	PROPOSED NEW WALL



(DIMENSION PLAN)
PROPOSED 1ST FLOOR PLAN (COMMERCIAL SPACE)
SCALE: 1/4" = 1'-0"

NOTE:
CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (9TH EDITION OF THE MBS&T, 780 CMR 5.00) (2018 IBC AND THE COMMONWEALTH OF MASSACHUSETTS AMENDMENT TO THE INTERNATIONAL BUILDING CODE 2015) AND THE CITY OF HAVERHILL ORDINANCES.

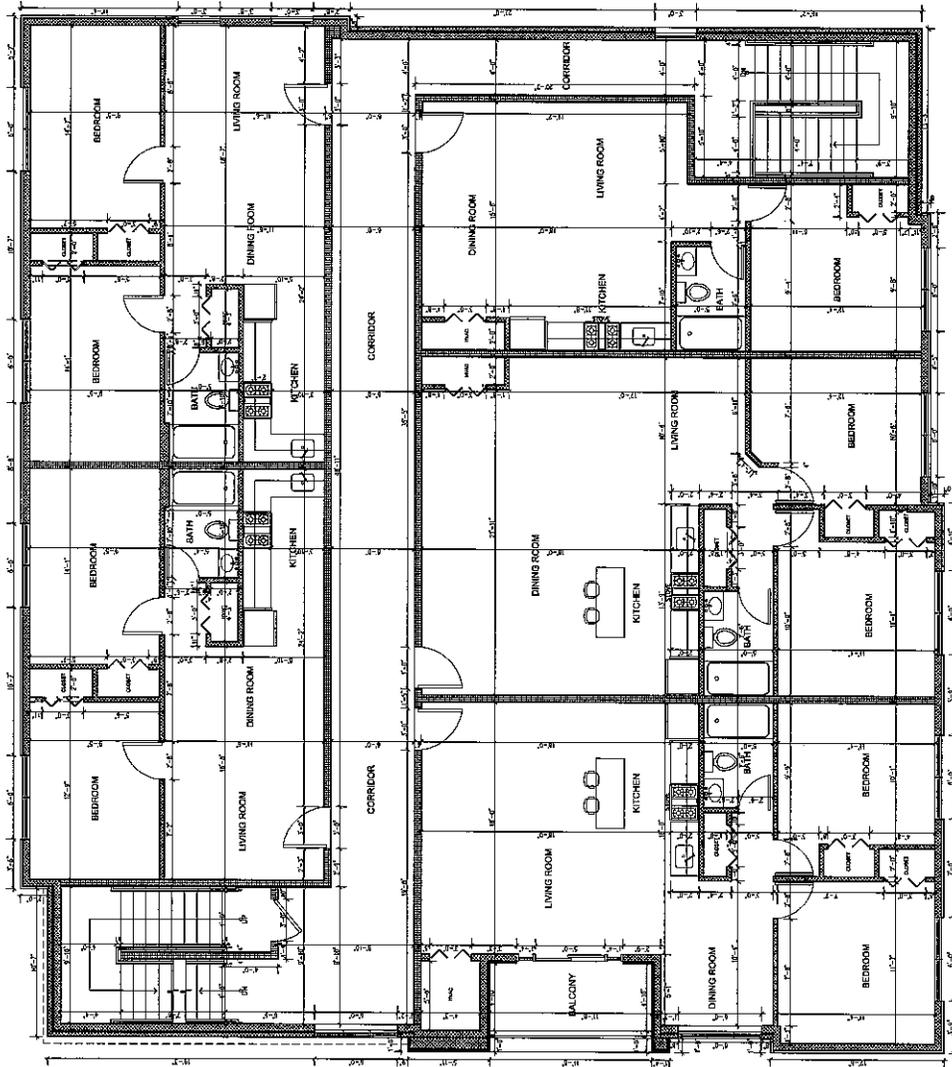
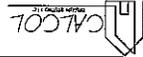
NOTE:
CONTRACTOR SHALL BEFORE START WORK, VERIFY EVERY DIMENSION AND HEIGHT.



NOTE:
CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (9TH EDITION OF THE MBSG, 780 CMR 5.00) 2015 IBC AND THE COMMONWEALTH OF MASSACHUSETTS AMENDMENT TO THE INTERNATIONAL BUILDING CODE 2019) AND THE CITY OF HAVERHILL ORDINANCES.

NOTE:
NOTOR SHALL BEFORE START WORK, VERIFY EVERY DIMENSION AND HEIGHT.

(DIMENSION PLAN)
PROPOSED 2ND FLOOR PLAN (RESIDENTIAL UNIT)



NOTE:
CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (9TH EDITION OF THE MBS/C/86 CMR 51.00) (815 IBC) AND THE COMMONWEALTH OF MASSACHUSETTS AMENDMENT TO THE INTERNATIONAL BUILDING CODE (2015) AND THE CITY OF HAVERHILL ORDINANCES.

NOTE:
OWNER SHALL BEFORE START WORK, VERIFY EVERY DIMENSION AND HEIGHT.

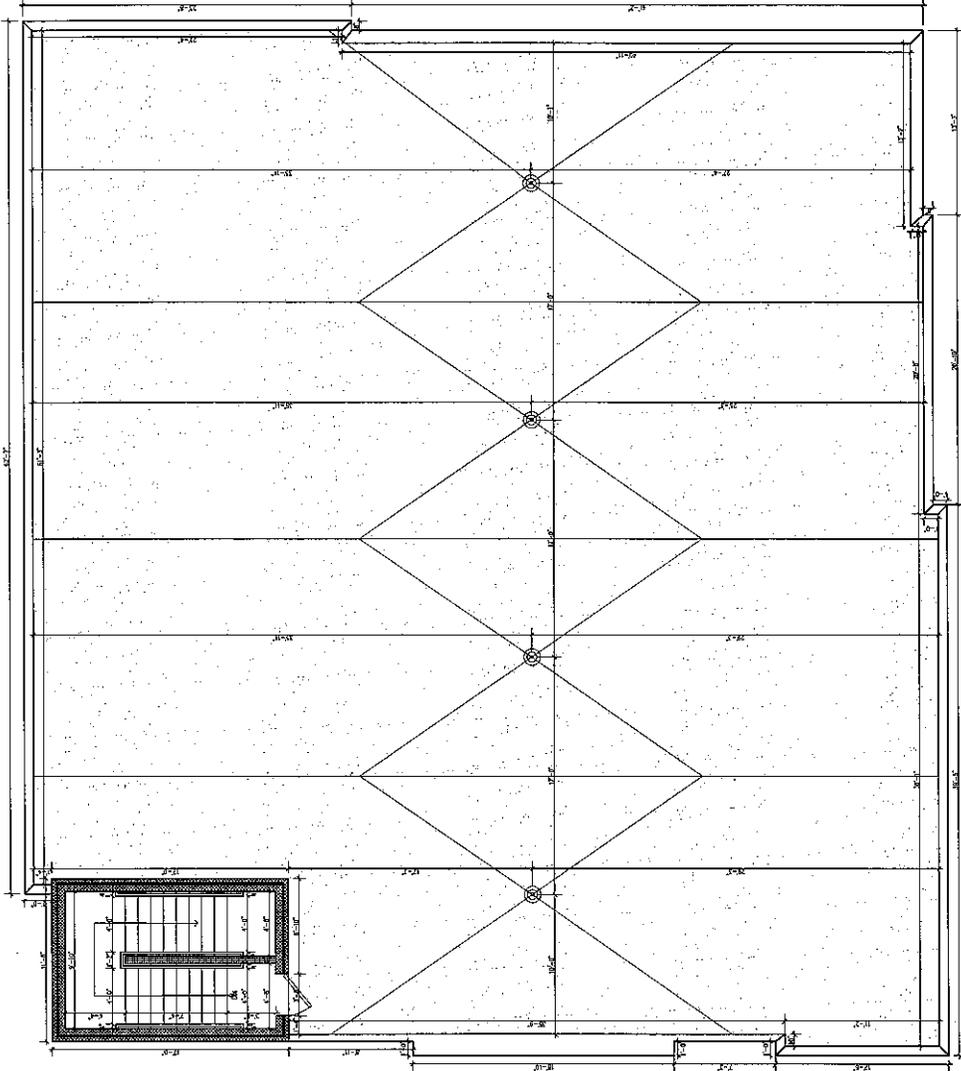
(DIMENSION PLAN)
PROPOSED 3RD FLOOR PLAN (RESIDENTIAL UNIT)

A-120.00

SCALE: 1/4" = 1'-0"
DATE: 07-16-2024

PROPOSED MIX-USED BUILDING
ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830
OWNER: LINCOLN SUPERMARKET | PROJECT # : CIVIL-2024-0100

13 LOWELL TERRACE LAWRENCE, MA 01840
PHONE: 978-686-1000
WWW.CALCOL.COM
CALCOL
A PROFESSIONAL ENGINEERING FIRM
LICENSED IN THE STATE OF MASSACHUSETTS
REGISTERED PROFESSIONAL ENGINEER
LICENSE # 10000



(DIMENSION PLAN)
PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"

NOTE:
CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (9TH EDITION OF THE MASS/900 CMR'S 1.007) (GDS/IBC AND THE COMMONWEALTH OF MASSACHUSETTS INTERNATIONAL BUILDING CODE 2018), AND THE CITY OF HAVERHILL ORDINANCES.

NOTE:
CONTRACTOR SHALL VERIFY EVERY DIMENSION AND HEIGHT BEFORE START WORK.



CMACOL
CONSTRUCTION MANAGEMENT ARCHITECTS
130 W. BROAD ST. SUITE 200
PORTLAND, ME 04101
TEL: 603.733.1111
WWW.CMACOL.COM

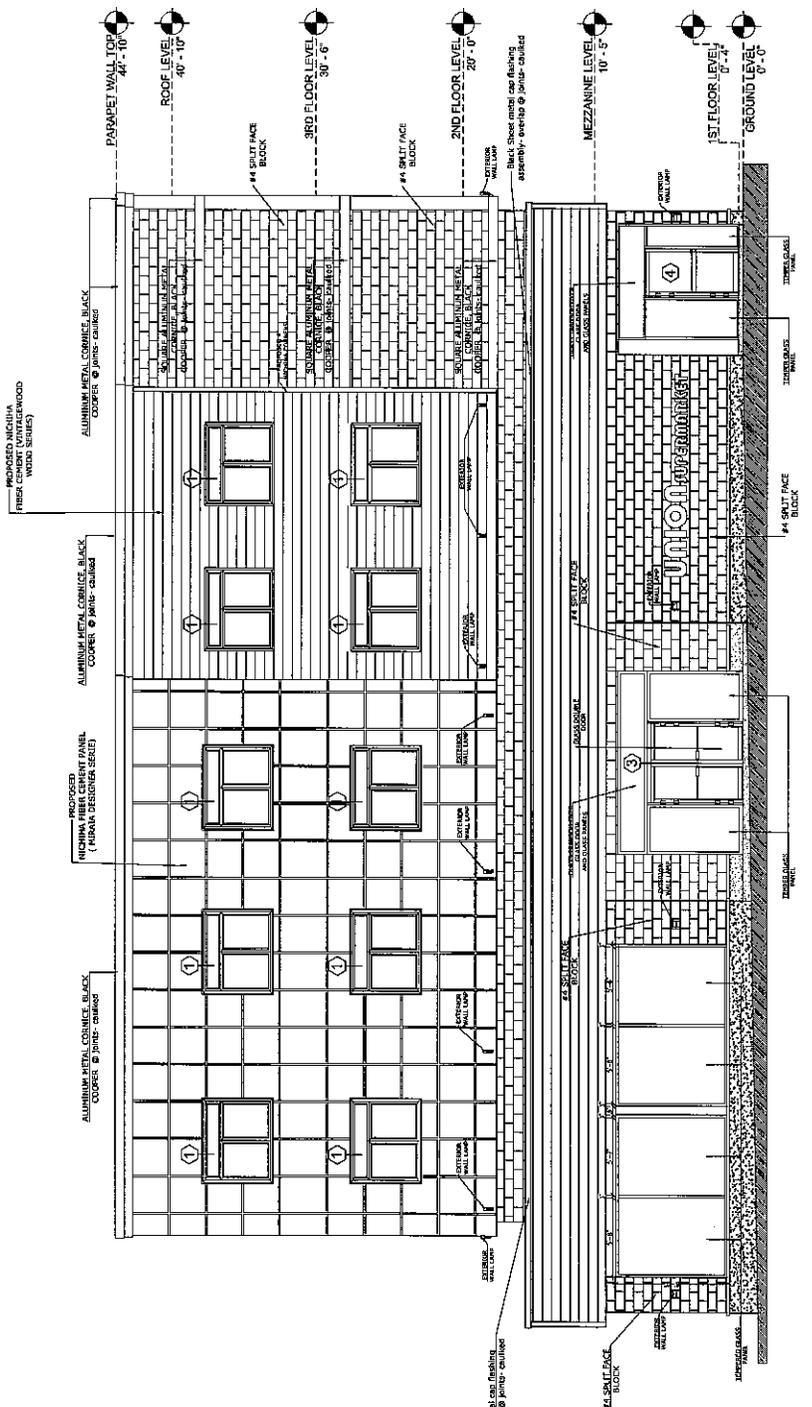
130 W. BROAD ST. SUITE 200
PORTLAND, ME 04101
TEL: 603.733.1111
WWW.CMACOL.COM

PROPOSED MIX-USED BUILDING
ADDRESS: 233 WINTER ST. HAVERHILL, MA 01830
OWNER: UNION SUPERMARKET | DESIGNED BY CMACOL ARCHITECTS

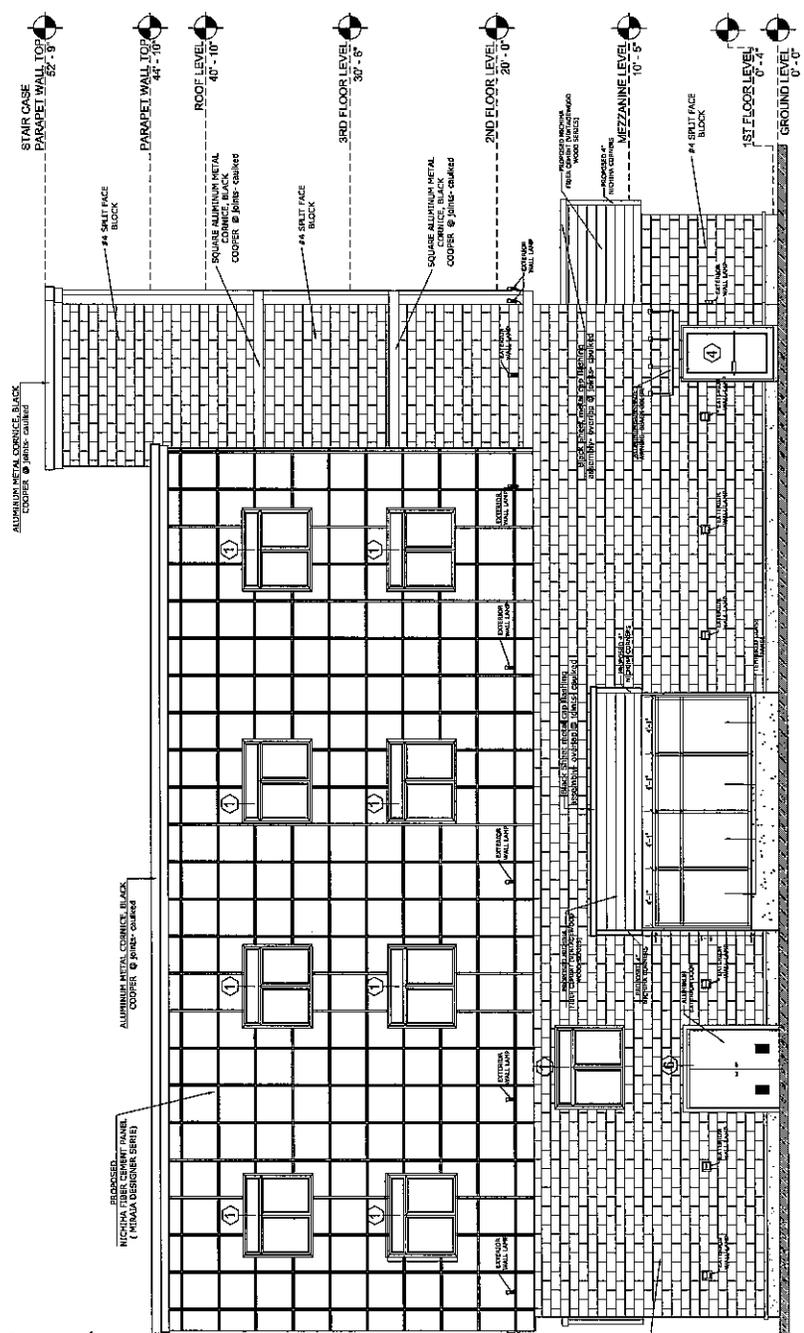
SCALE: 1/8" = 1'-0"
DATE: 07-16-2024

A-121.00

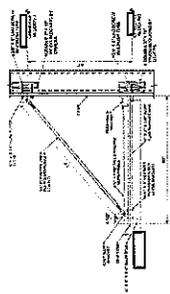
NOTE:
CONTRACTOR SHALL BEFORE START WORK,
VERIFY EVERY DIMENSION AND HEIGHT



FRONT ELEVATION
SCALE: 1/8" = 1'-0"



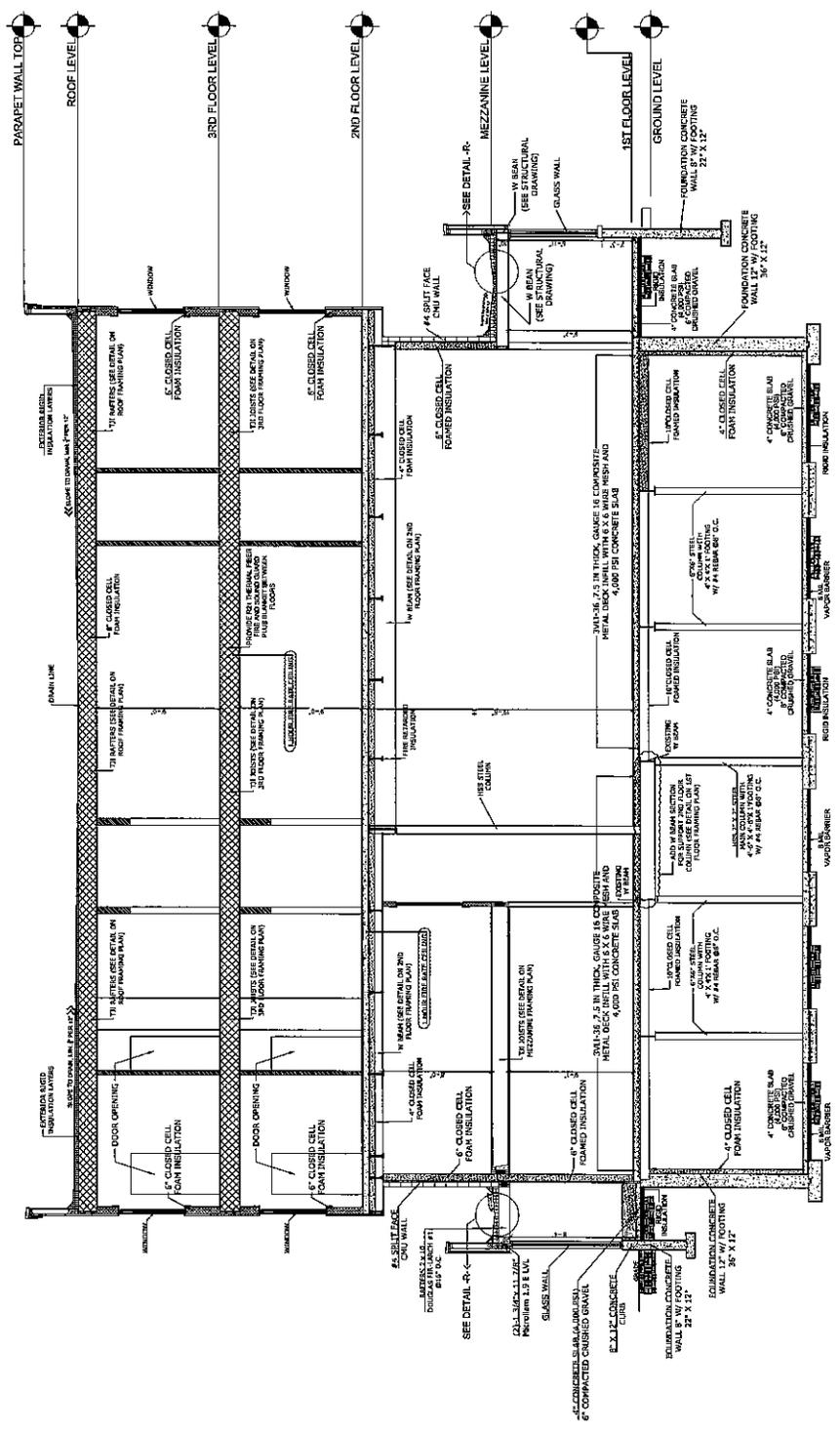
NOTE:
CONTRACTOR SHALL BEFORE START WORK
VERIFY EVERY DIMENSION AND HEIGHT



CANOPY DETAIL
N.T.S.

BACK ELEVATION

#4 SPLIT FACE BLOCK
TO BE USED TO FORM TYPICAL
AND HORIZONTAL CORNER
JOIN LOCATION



NOTE:
 CONTRACTOR SHALL BEFORE START WORK,
 VERIFY EVERY DIMENSION AND HEIGHT.

GENERAL SECTION
 SCALE: 1/4" = 1'-0"



CALCOL
 ARCHITECTS
 13 LOWELL TERRACE LAWRENCE MA 01840
 TEL: 978-686-1000 FAX: 978-686-1001
 WWW.CALCOLARCHITECTS.COM
 100% GREEN LEAF CERTIFIED
 LEED ACCREDITED FIRM

OWNER: UNION SUPERMARKET | DESIGNED BY CALCOL ARCHITECTS
 ADDRESS: 233 WINTER ST. HAVERHILL, MA 01830

SCALE: 1/4" = 1'-0"
 DATE: 07-16-2024

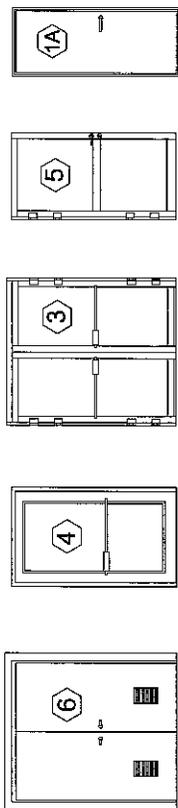
A-128.00

PROPOSED MIX-USED BUILDING

COMMERCIAL SPACE

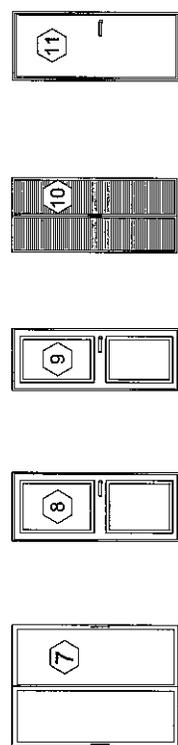
SYMBOL	DOOR SIZE	FLOOR	QUANTITY	LOCATION	REMARK
1A	31' x 81" TYPICAL	2ND FLOOR MEZZANINE	10	COMPLETE FLOOR	INTERIOR ALUMINUM DOOR
3	60" x 84"	1ST FLOOR	3	COMPLETE FLOOR	TEMPERED GLASS DOOR
4	42' x 60"	1ST FLOOR	2	ENTRANCE DOOR	TEMPERED GLASS EXTERIOR DOOR
5	31' x 60"	1ST FLOOR	2	ENTRANCE DOOR	TEMPERED GLASS EXTERIOR DOOR
6	60' x 84"	1ST FLOOR	1	ENTRANCE DOOR	EXTERIOR ALUMINUM DOOR

SYMBOL	WINDOWS SIZE	FLOOR	QUANTITY	LOCATION	REMARK
1	60' x 12' TYPICAL	MEZZANINE	1		BLACK WINDOW FRAME



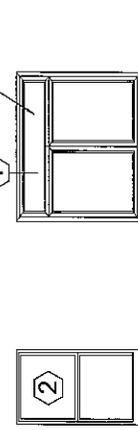
RESIDENTIAL AREA

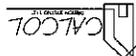
SYMBOL	DOOR SIZE	FLOOR	QUANTITY	LOCATION	REMARK
7	60' x 81" TYPICAL	2ND FLOOR, 3RD FLOOR	7	BALCONY	TEMPERED GLASS SLIDING DOOR
8	31' x 81" TYPICAL	2ND FLOOR, 3RD FLOOR	16	COMPLETE FLOOR	TYPICAL INTERIOR DOOR
9	31' x 81" TYPICAL	2ND FLOOR, 3RD FLOOR	10	COMPLETE FLOOR	TYPICAL INTERIOR DOOR
10	31' x 81"	2ND FLOOR, 3RD FLOOR	22	COMPLETE FLOOR	TYPICAL FOLDING DOOR
11	31' x 81"	2ND FLOOR, 3RD FLOOR ROOF STRUCTURE	11	COMPLETE FLOOR	ALUMINUM HOUR BEE RETARDING MTL.



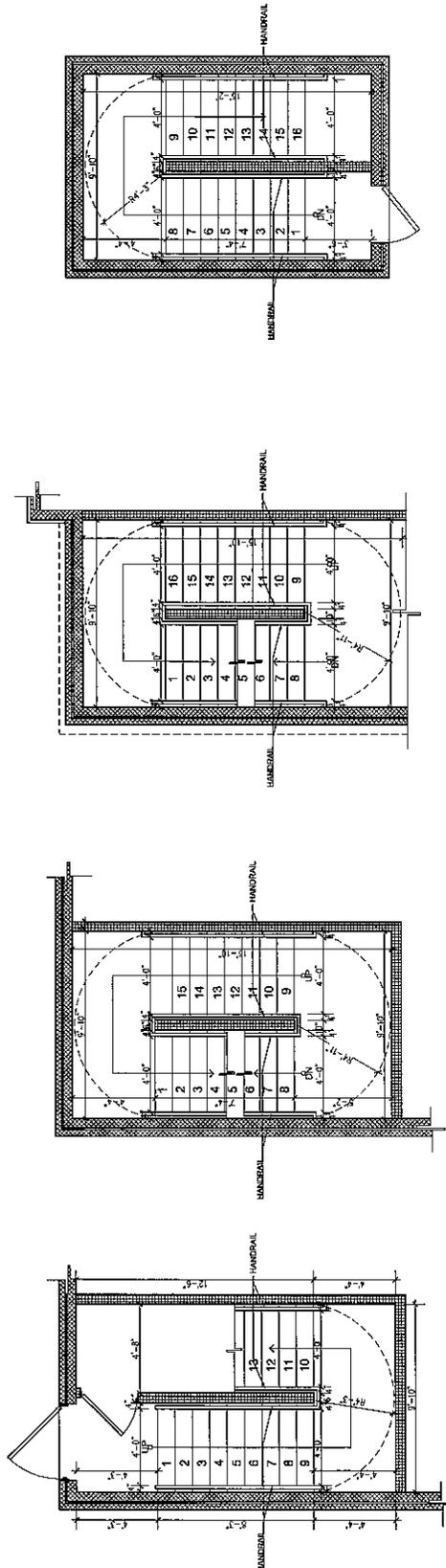
RESIDENTIAL AREA

SYMBOL	WINDOWS SIZE	FLOOR	QUANTITY	LOCATION	REMARK
1	60' x 12'	2ND FLOOR, 3RD FLOOR	10	COMPLETE FLOOR	BLACK WINDOW FRAME
2	31' x 60" TYPICAL	2ND FLOOR, 3RD FLOOR	6	COMPLETE FLOOR	BLACK WINDOW FRAME





NOTE: RECORD CONTRACTOR SHALL WORK ON STAIRS - VERIFY EVERY STEP AND DIMENSION (INCASE OF BIRKBECK PARKY CONIAK RESTAURANT)

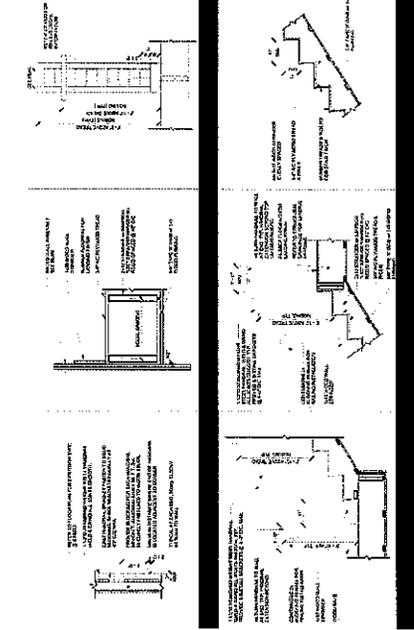


STAIR B - ROOF LEVEL

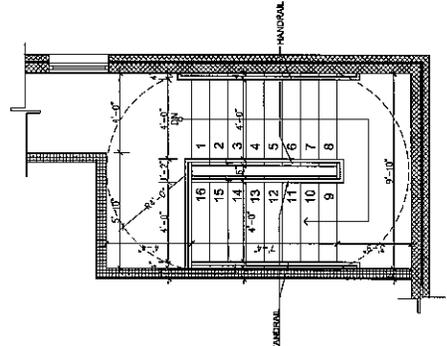
STAIR B - 2ND, 3RD FLOOR LEVEL

STAIR B - MEZZANINE LEVEL

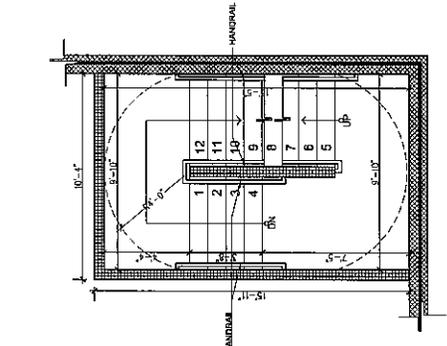
STAIR B - 1ST FLOOR LEVEL



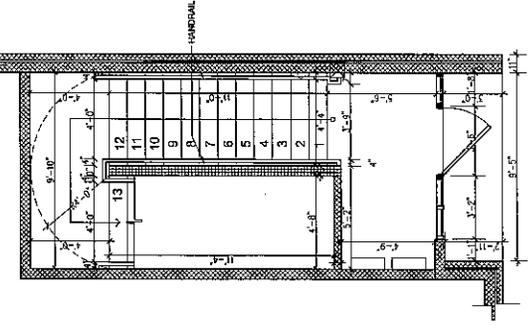
GENERAL STAIR DETAILS
N.T.S.



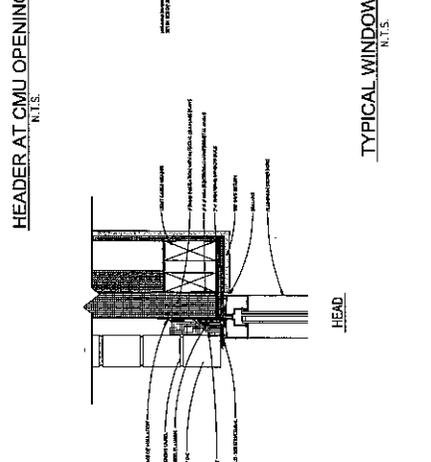
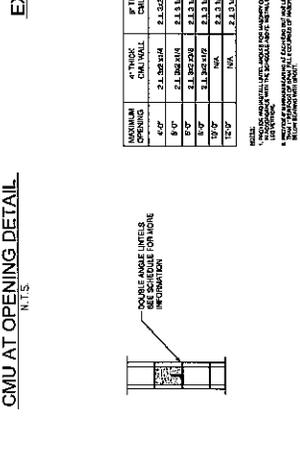
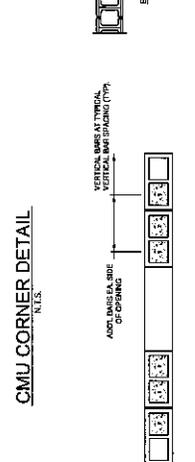
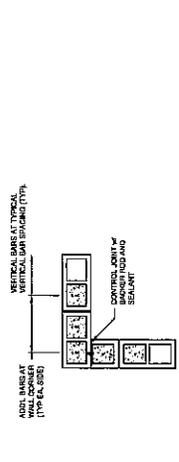
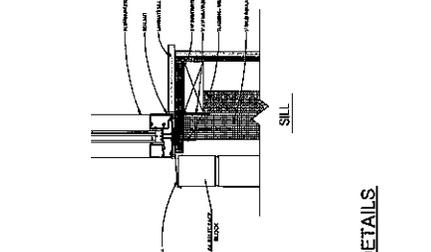
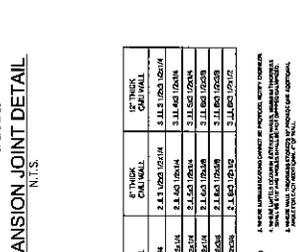
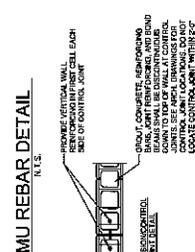
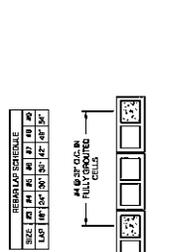
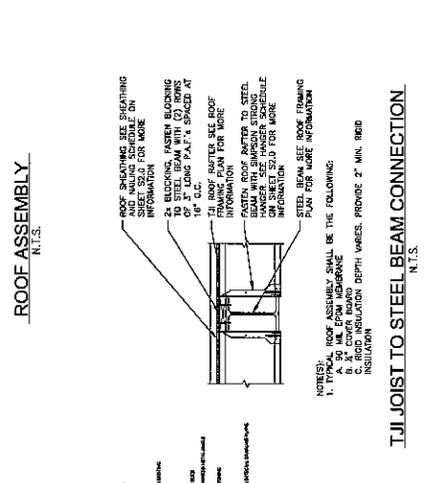
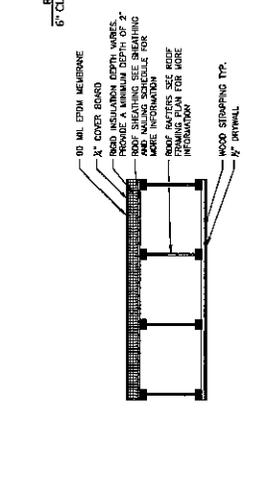
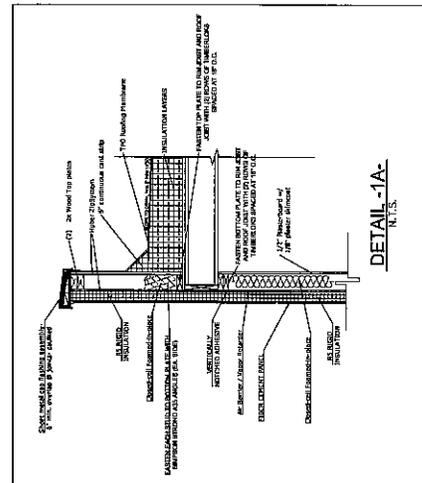
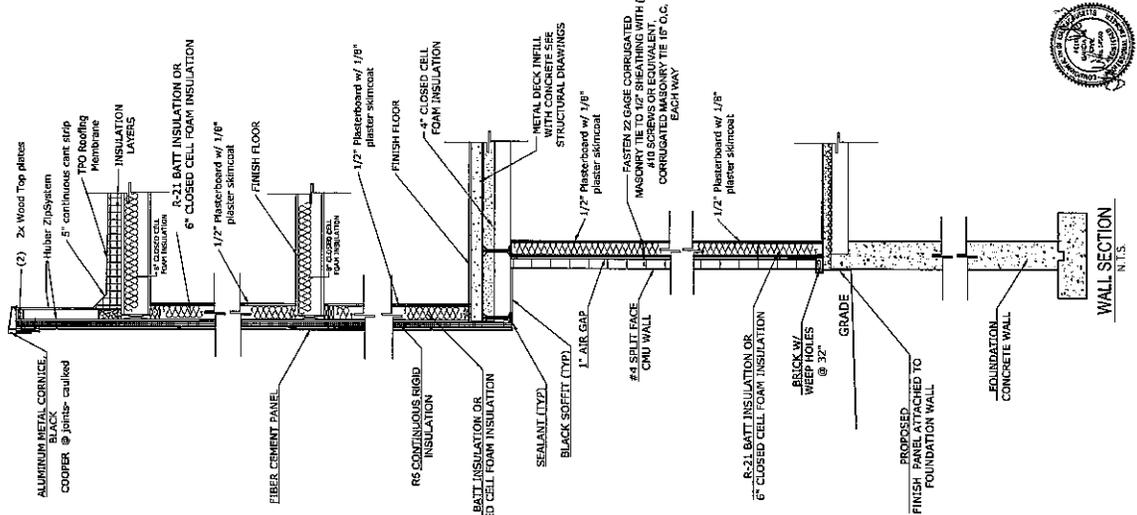
STAIR A - 2ND, 3RD FLOOR LEVEL



STAIR A - MEZZANINE LEVEL



STAIR A - 1ST FLOOR LEVEL



MINIMUM OPENING	4" THICK CMU WALL	8" THICK CMU WALL	12" THICK CMU WALL
4'-0"	2,1,80,2,10,4	2,1,80,2,10,4	2,1,80,2,10,4
6'-0"	2,1,80,2,10,4	2,1,80,2,10,4	2,1,80,2,10,4
8'-0"	2,1,80,2,10,4	2,1,80,2,10,4	2,1,80,2,10,4
10'-0"	2,1,80,2,10,4	2,1,80,2,10,4	2,1,80,2,10,4
12'-0"	2,1,80,2,10,4	2,1,80,2,10,4	2,1,80,2,10,4

NOTE:
 1. ALL REBAR SHALL BE EPOXY COATED REBAR.
 2. ALL REBAR SHALL BE EPOXY COATED REBAR.
 3. ALL REBAR SHALL BE EPOXY COATED REBAR.
 4. ALL REBAR SHALL BE EPOXY COATED REBAR.
 5. ALL REBAR SHALL BE EPOXY COATED REBAR.



ADULT HANDICAP BATHROOM REQUIREMENTS:

DOORS TO SINGLE USER TOILET ROOMS Doors to single user toilet rooms may swing into the room if the door has a self-closing device and maneuvering space is provided in accordance with 521 CMR 26.6. The door may swing into the room if there is a clear floor space of 30 inches by 48 inches (30" = 762mm by 48" = 1219mm) beyond the swing of the door.

GRAB BARS

For the standard accessible toilet stall the water closet shall have two grab bars 42 inches (42" = 1067mm) long, one on the wall in back of the water closet and one on the side wall closest to the water closet.

For the alternate accessible toilet stall the water closet shall have two parallel grab bars, 42 inches long (42" = 1067mm) installed on the side walls and located a minimum of six inches (6" = 76mm) from the interior corner.

SINK

Sinks, including vanities, shall comply with the following:

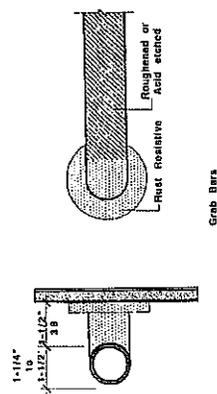
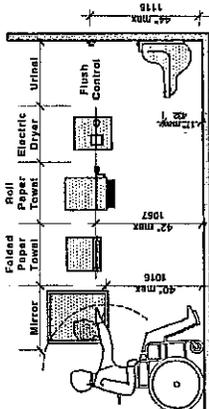
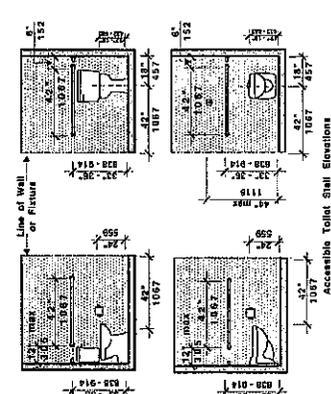
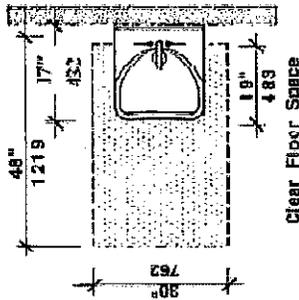
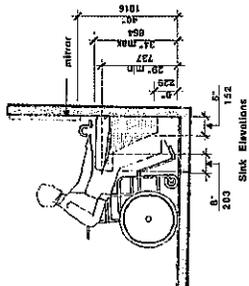
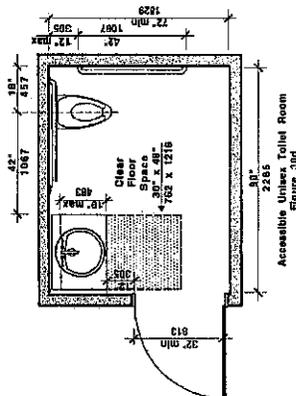
Clear floor space: A clear floor space complying with 521 CMR 6.3, Wheelchair Turning Space shall be provided in front of a sink to allow forward approach. The clear floor space shall be on an accessible route and shall extend no more than a maximum of 19 inches (19" = 483mm) underneath the sink. Height: Sinks shall be mounted with the rim no higher than 34 inches (34" = 864mm) above the finish floor.

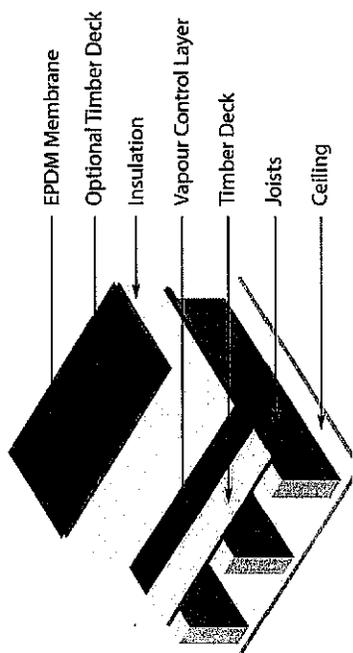
MIRROR

The top of any shelf and or bottom of any mirror that is provided above a sink shall be set with the bottom edge of the reflecting surface no higher than 40 inches (40" = 1016mm) above the finish floor.

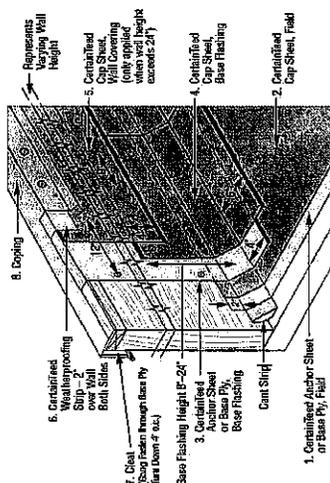
DISPENSERS

Towel dispensers, drying devices, or other types of devices and dispensers shall be at least one of each device mounted within the zone of reach. At least one of each device shall be located within reach of a person using the accessible sink and shall comply with 521 CMR 39.5, Operation

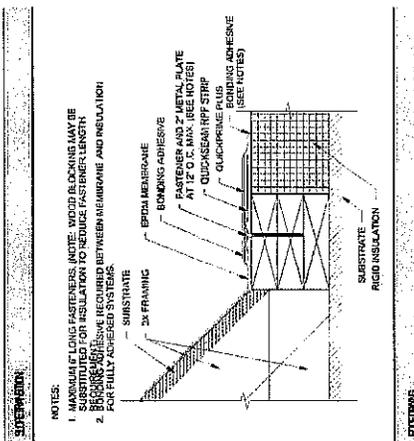




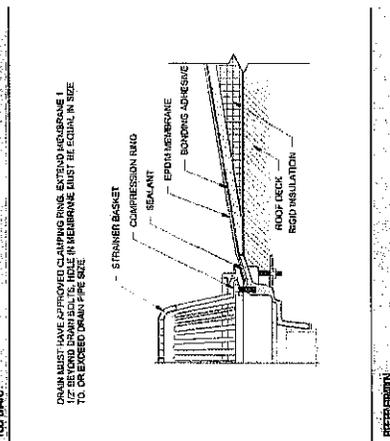
RUBBER ROOF CLASS (A)
N.T.S.



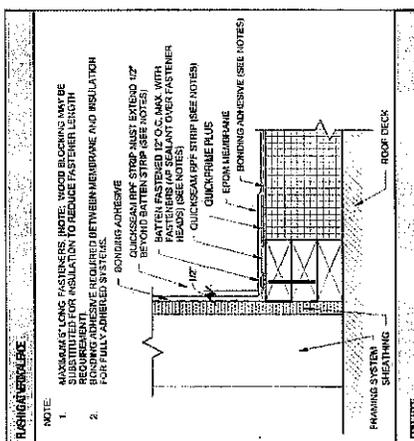
COPING INSTALLATION
N.T.S.



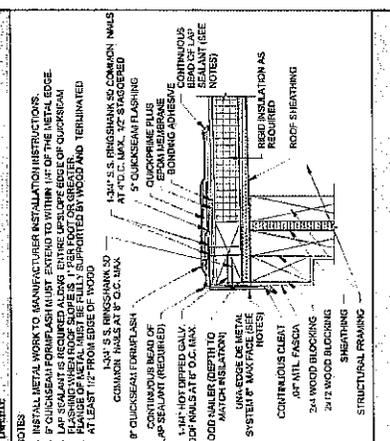
ROOF EDGE



ROOF DRAIN



FLASHING MEMBRANE



ROOF EDGE

NOTES:

- MAXIMUM CLONG FASTENERS (NOTE: WOOD BLOCKS MAY BE SUBSTITUTED FOR INSULATION TO REDUCE FASTENER LENGTH REQUIREMENT).
- QUICKSEAL RPF STRIP MUST EXTEND 1/2" BEYOND BATTEN STRIP (SEE NOTES).
- BATTEN FASTENED 1/2" O.C. MAX. WITH HEADS (SEE NOTES).
- QUICKSEAL RPF STRIP (SEE NOTES).
- QUICKSEAL RPF STRIP (SEE NOTES).
- BONDING ADHESIVE (SEE NOTES).
- EPDM MEMBRANE (SEE NOTES).
- BONDING ADHESIVE (SEE NOTES).

NOTES:

- INSTALL METAL WORK TO MANUFACTURER INSTALLATION INSTRUCTIONS.
- 1/2" QUICKSEAL FLASH RUFF EXTEND TO WITHIN 1/4" OF THE METAL EDGE.
- 1/4" SEALANT IS REQUIRED TO BE APPLIED TO THE EDGE OF QUICKSEAL FLASH RUFF TO SEAL TO THE METAL EDGE OF QUICKSEAL FLASH RUFF.
- FLASHING OF METAL MUST BE FULLY SUPPORTED BY WOOD AND TERMINATED AT LEAST 1/2" FROM EDGE OF WOOD.
- COMMON NAILS AT 8" O.C. MAX.
- 13/16" S.S. RINGSHANK SQ. COMMON NAILS AT 8" O.C. MAX.
- QUICKSEAL FLASHING.
- CONTINUOUS BEAD OF EPDM MEMBRANE.
- 1 1/4" HOT DIPPED GALV. CONTINUOUS BEAD OF LAP MATCH INSULATION (SEE NOTES).
- WOOD NAILER (DEPTH TO MATCH INSULATION).
- UNPAVED DE METAL SYSTEM (8" MAX. THICKNESS) (SEE NOTES).
- CONTINUOUS GLEAT.
- 2x WOOD BLOCKING.
- 2x WOOD BLOCKING.
- SHIMMING.
- STRUCTURAL FRAMING.

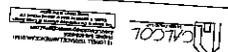
ROOF DRAIN INSTALLATION
N.T.S.

COPING INSTALLATION
N.T.S.

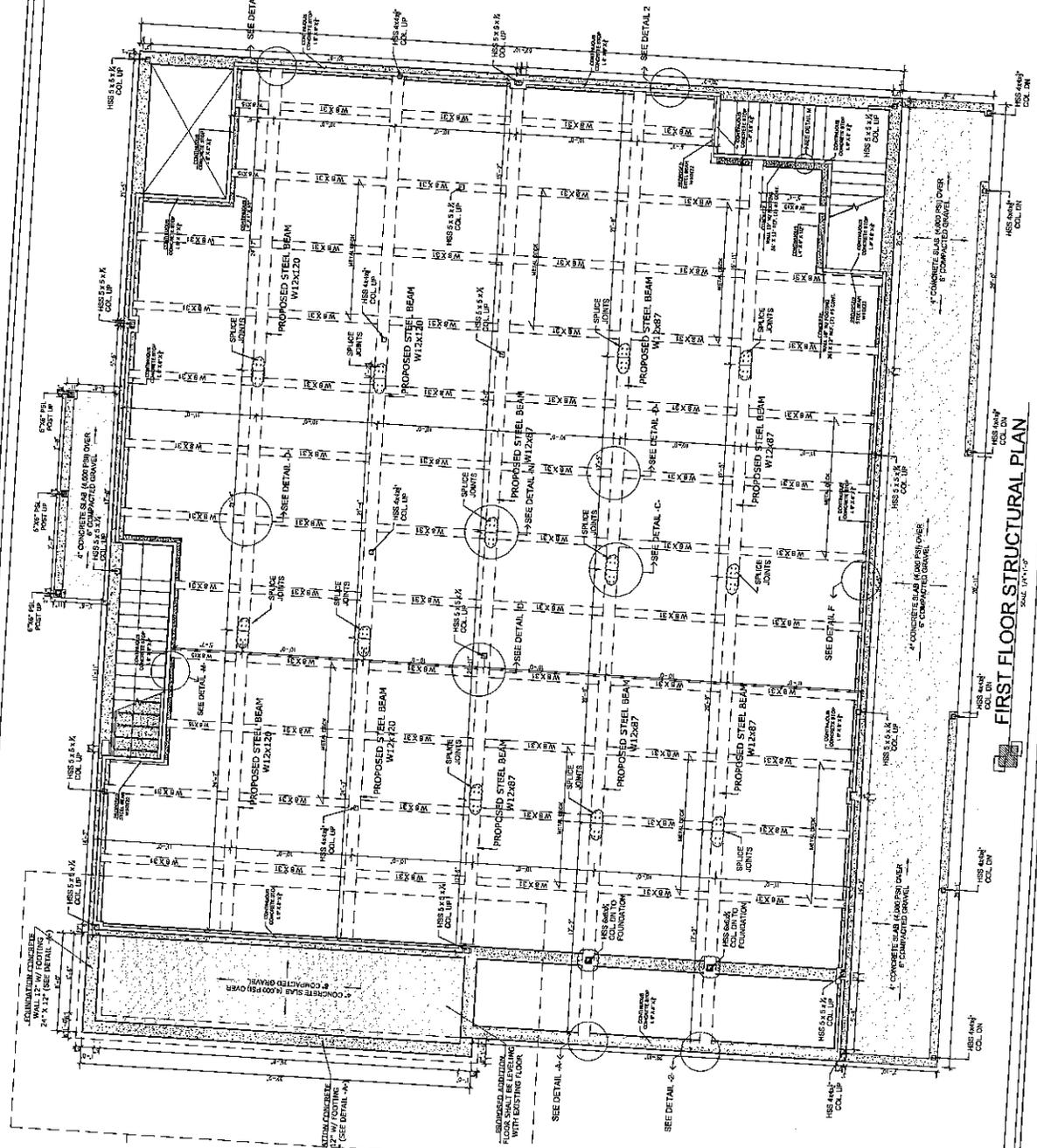
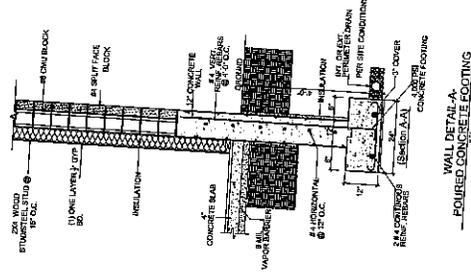
SCALE: 1/4" = 1'-0"
 DATE: 10-08-2024
 A-103.D0

PROPOSED MIX-USED BUILDING
 ADDRESS: 233 WINTER ST. HAVERHILL, MA 01830
 OWNER: UNION SUPERMARKET | 1550 WINTER ST. HAVERHILL, MA 01830

GARCIA
 ENGINEERING



NOTE: CONTRACTOR SHALL BEFORE START WORK, VERIFY EVERY DIMENSION AND HEIGHT



FIRST FLOOR STRUCTURAL PLAN

PROPOSED KITCHEN ADDITION



CALCOP
 REGISTERED PROFESSIONAL ENGINEER
 LICENSE NO. 100000
 EXPIRES 12/31/2024

GARCIA
 ENGINEERING
 100 STATE STREET
 WILMINGTON, MA 01890
 TEL: 508-653-1111
 FAX: 508-653-1112
 WWW.GARCIAENGINEERING.COM

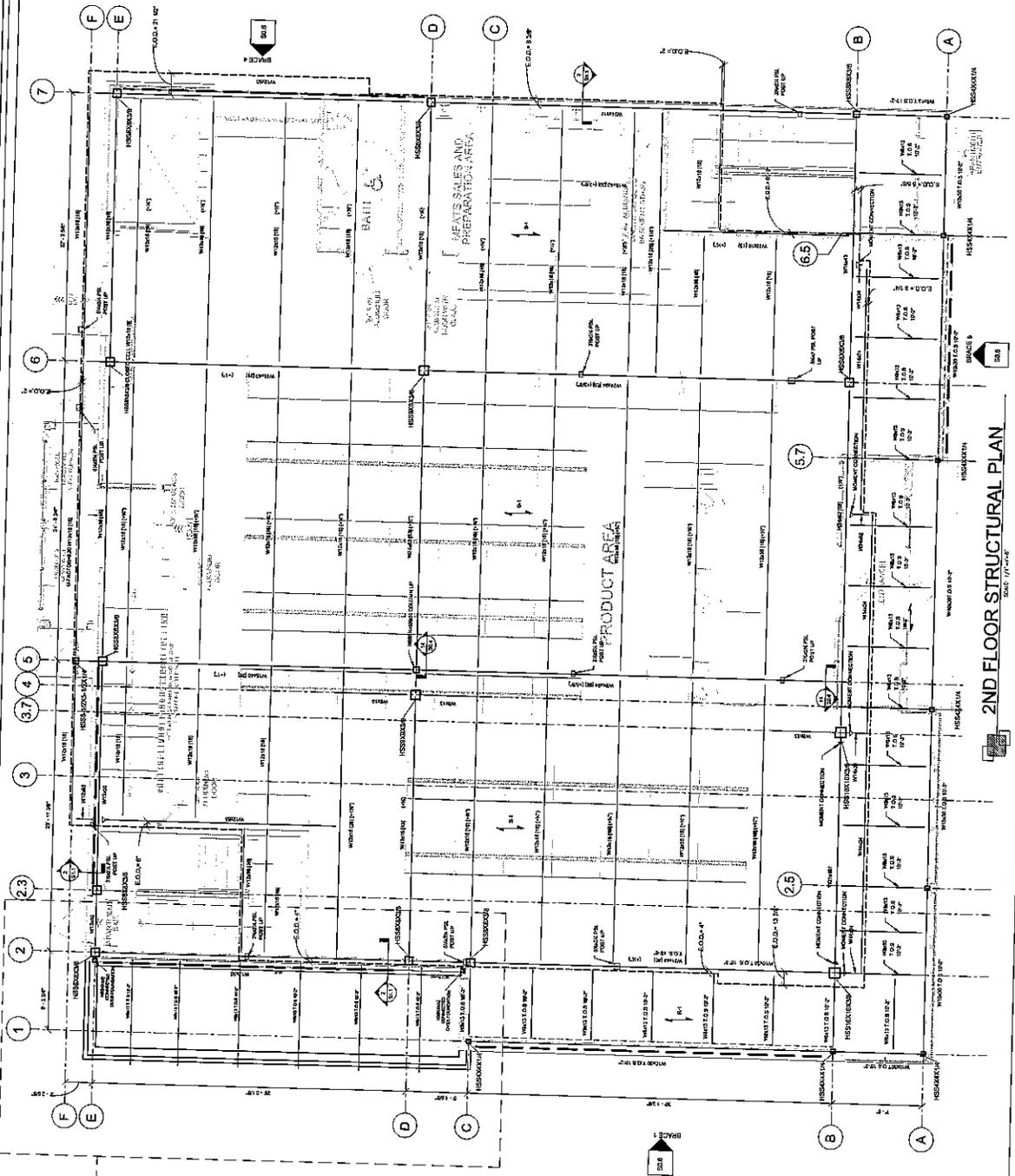
PROPOSED MIX-USED BUILDING
 ADDRESS: 233 WINTER ST. HAVERHILL, MA 01830
 OWNER: UNION SUPERMARKET | DESIGNED BY: DICKI DESIGN STUDIO

SCALE: 1/4" = 1'-0"
 DATE: 10-08-2024

A-104.00

NOTE: OWNER SHALL BEFORE START WORK, VERIFY EXIST DIMENSION AND HEIGHT

PROPOSED KITCHEN ADDITION



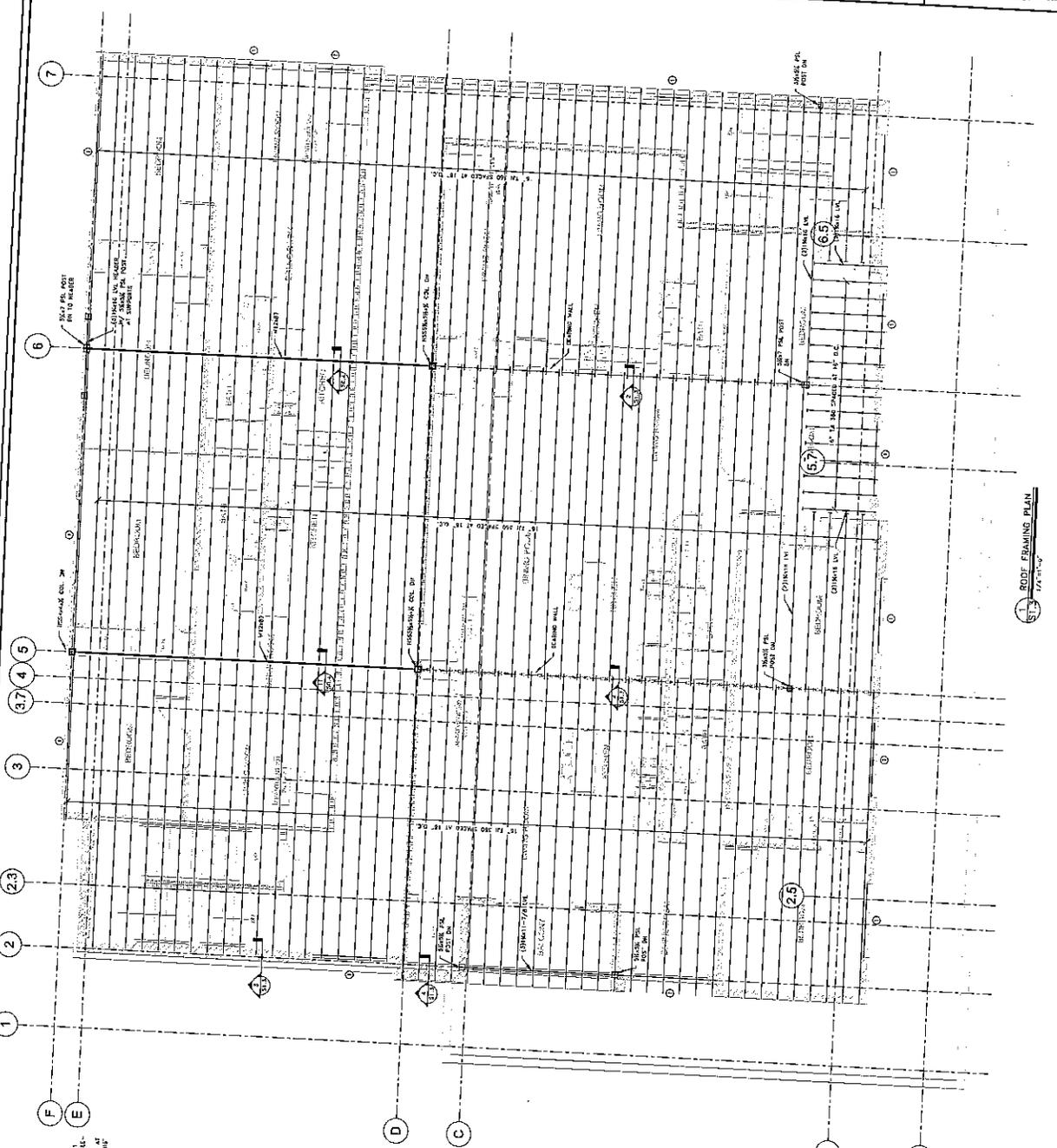
2ND FLOOR STRUCTURAL PLAN
 SCALE: 1/4" = 1'-0"



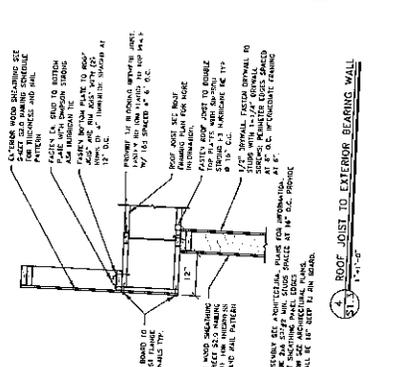
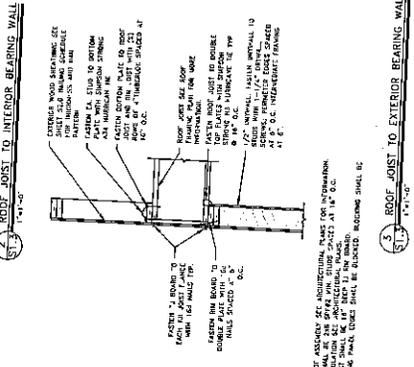
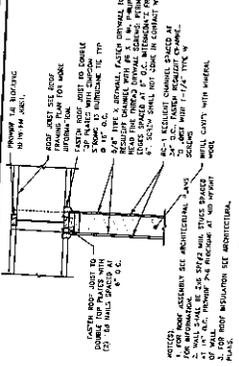
GARCIA ENGINEERING
 15 SOUTH WINTER STREET
 HAVERHILL, MA 01830
 (978) 330-3905
 garcia.engineering@gmail.com

Project No. 2013013
 Drawing No. 1
 Date: 10/1/13
 Prepared for: **ROOF FRAMING PLAN**
 233 WINTER STREET
 HAVERHILL, MA 01830

DWG. NO. **SI.3**



ROOF FRAMING PLAN
 1/4" = 1'-0"



NOTES:

1. WALL FOOTING SEE ARCHITECTURAL PLANS FOR INFORMATION.
2. ALL JOISTS SHALL BE 2x10 SYPRES WITH STRIPS SPACED AT 16" O.C.
3. ALL RAFTERS SHALL BE 2x12 SYPRES WITH STRIPS SPACED AT 16" O.C.
4. ALL RAFTERS SHALL BE 16" O.C. UNLESS OTHERWISE NOTED.
5. ALL JOISTS SHALL BE 16" O.C. UNLESS OTHERWISE NOTED.
6. ALL JOISTS SHALL BE 16" O.C. UNLESS OTHERWISE NOTED.
7. ALL JOISTS SHALL BE 16" O.C. UNLESS OTHERWISE NOTED.
8. ALL JOISTS SHALL BE 16" O.C. UNLESS OTHERWISE NOTED.
9. ALL JOISTS SHALL BE 16" O.C. UNLESS OTHERWISE NOTED.
10. ALL JOISTS SHALL BE 16" O.C. UNLESS OTHERWISE NOTED.

ROOF FRAMING PLAN NOTES:

1. ROOF RAFTERS AND TRUSS BEAMS SEE DRAWING SI.1, SI.2, SI.3, SI.4, SI.5, SI.6, SI.7.
2. ROOF JOISTS SHALL BE 2x10 SYPRES WITH STRIPS SPACED AT 16" O.C. UNLESS OTHERWISE NOTED.
3. ROOF RAFTERS SHALL BE 2x12 SYPRES WITH STRIPS SPACED AT 16" O.C. UNLESS OTHERWISE NOTED.
4. ROOF TRUSS BEAMS SHALL BE 4x12 SYPRES WITH STRIPS SPACED AT 16" O.C. UNLESS OTHERWISE NOTED.
5. ROOF JOIST PITCHES AT ALL ANGLES TO BE 12" IN 12" UNLESS OTHERWISE NOTED.
6. ROOF JOIST PITCHES AT ALL ANGLES TO BE 12" IN 12" UNLESS OTHERWISE NOTED.
7. ROOF JOIST PITCHES AT ALL ANGLES TO BE 12" IN 12" UNLESS OTHERWISE NOTED.
8. ROOF JOIST PITCHES AT ALL ANGLES TO BE 12" IN 12" UNLESS OTHERWISE NOTED.
9. ROOF JOIST PITCHES AT ALL ANGLES TO BE 12" IN 12" UNLESS OTHERWISE NOTED.
10. ROOF JOIST PITCHES AT ALL ANGLES TO BE 12" IN 12" UNLESS OTHERWISE NOTED.

City Council Special Permit

CCSP-25-7

Submitted On: Jun 4, 2025

Applicant

👤 Paul Magliocchetti
☎ 978-373-9161
@ pmagliocchetti@ssjmattoorneys.com

Primary Location

233 WINTER ST
Haverhill, MA 01830

Important: Please Read Before Starting Your Application

Applicant Information

What is Your Role in This Process?

Attorney/Agent

Applicant Business/Firm Name

Paul A. Magliocchetti

Applicant Business/Firm Phone

978-373-9161

Applicant Business/Firm Address

70 Bailey Boulevard

Applicant Business/Firm City

Haverhill

Applicant Business/Firm State

MA

Applicant Business/Firm Zip

01830

Client Name

233 Winter Street LLC

Client Business Name

233 Winter Street LLC

Client Phone

978-373-9161

Client Email

pmagliocchetti@ssjmattoorneys.com

Client Address

10 Temple Street

Client City

Methuen

Client State

MA

Client Zip

01830

Client County

Essex

Client Business Structure

Limited Liability Corporation (LLC)

New Field

--

OCT 3 AM 9:37
HAVCITYCLERK

Property Information

Proposed Housing Plan Name

233 Winter Street

Proposed Street Name(s)

Winter

How Long Owned by Current Owner?

3 years

Type of Dwelling(s) Planned in Project

Apartments

Lot Dimension(s)

85 +/- x 140 +/-

Registry Plat Number, Block & Lot

Map 306, Block 75, Lots 3

Zoning District Where Property Located

CC - Commercial Central

Deed Recorded in Essex South Registry: Block Number

34928

Deed Recorded in Essex South Registry: Page

336

Does the Property Have Multiple Lots?

Yes

IF YES, How Many Lots?

2

IF YES, What Is/Are the Map, Block Lot (MBL) Number(s)?

304-61-8,9,10

IF YES, Provide Additional Addresses if Different Than "Location" (or Enter NONE)

236 Winter Street

Thoroughly Describe the Reason(s) for thre Special Permit

See attached Brief in Support

Property Description

See attached plan

Current Property Use

Other

IF OTHER USE, Please Describe

Commercial

TOTAL Number of Units Planned

10

TOTAL Number of Parking Spaces Planned

47

Planned Lot Use

Lot Number Lot 1	Lot Plat Number, Bock, Lot 306-75-3
Lot Dimensions 85 +/- x 140 +/-	Number of Existing Buildings on Lot 1
Size of Existing Building(s) on Lot 79.5 x 62.86 +/- GFA 5,325	Number of Buildings Planned for Lot 1
Size of Proposed Building(s) 79.5 x 62.86 +/- GFA 5,325	Number of Families to be Accommodated 10
Extent of Proposed Alterations Other	IF OTHER ALTERATIONS, Please Describe Mixed Use
Types of Units Planned on Lot Rental	Number of Units Planned on Lot 11

Lot Number Lot 2	Lot Plat Number, Bock, Lot 304-61-8,9,10
Lot Dimensions 100.38 +/- x 159 +/-	Number of Existing Buildings on Lot 2
Size of Existing Building(s) on Lot 0	Number of Buildings Planned for Lot 0
Size of Proposed Building(s) 0	Number of Families to be Accommodated 0
Extent of Proposed Alterations Renovation	IF OTHER ALTERATIONS, Please Describe None
Types of Units Planned on Lot Rental	Number of Units Planned on Lot 30

Special Circumstances

Building Coverage

--

Dimensional Variance

--

Front Yard Setback

--

Side Yard Setback

--

Rear Yard Setback

--

Lot Depth

--

Building Height

--

Open Space

--

Sign Size

--

Other

--

Lot Frontage

--

Lot Area

--

Floor Area Ratio

--

Parking

--

Use

--

Hearing Waiver

Agrees

No

Agreement & Signature

Agrees

true

PLEASE READ

Conservation Department Review

Record No. CCSP-25-7

Status Completed

Became Active July 9, 2025

Assignee Robert Moore

Due Date None

Primary Location

233 WINTER ST
Haverhill, MA 01830

Owner

233 WINTER STREET, LLC
TEMPLE DRIVE 10 METHUEN, MA 01844

Applicant

 Paul Magliocchetti
 978-373-9161
 pmagliocchetti@ssjmattorneys.com
 70 Bailey Boulevard
Haverhill, MA 01830

Step Activity

OpenGov system activated this step	07/09/2025 at 9:33 am
OpenGov system assigned this step to Robert Moore	07/09/2025 at 9:33 am
Robert Moore approved this step	07/09/2025 at 10:26 am

DPW Review

Record No. CCSP-25-7

Status Active

Became Active July 9, 2025

Assignee Robert Ward

Due Date None

Primary Location

233 WINTER ST
Haverhill, MA 01830

Owner

233 WINTER STREET, LLC
TEMPLE DRIVE 10 METHUEN, MA 01844

Applicant

 Paul Magliocchetti
 978-373-9161
 pmagliocchetti@ssjmattorneys.com
 70 Bailey Boulevard
Haverhill, MA 01830

Messages

No comments yet.

Step Activity

OpenGov system activated this step

07/09/2025 at 9:33 am

OpenGov system assigned this step to Robert Ward

07/09/2025 at 9:33 am

Engineering Department Review

Record No. CCSP-25-7

Status Active

Became Active July 9, 2025

Assignee John Pettis

Due Date None

Primary Location

233 WINTER ST
Haverhill, MA 01830

Owner

233 WINTER STREET, LLC
TEMPLE DRIVE 10 METHUEN, MA 01844

Applicant

 Paul Magliocchetti
 978-373-9161
 pmagliocchetti@ssjmattorneys.com
 70 Bailey Boulevard
Haverhill, MA 01830

Step Activity

OpenGov system activated this step

07/09/2025 at 9:33 am

OpenGov system assigned this step to John Pettis

07/09/2025 at 9:33 am

Fire1 Department Review

Record No. CCSP-25-7

Status Skipped

Became Active July 9, 2025

Assignee Eric Tarpy

Due Date None

Primary Location

233 WINTER ST
Haverhill, MA 01830

Owner

233 WINTER STREET, LLC
TEMPLE DRIVE 10 METHUEN, MA 01844

Applicant

 Paul Magliocchetti

 978-373-9161

 pmagliocchetti@ssjmattoorneys.com

 70 Bailey Boulevard
Haverhill, MA 01830

Step Activity

OpenGov system activated this step

07/09/2025 at 9:33 am

OpenGov system assigned this step to Eric Tarpy

07/09/2025 at 9:33 am

Robert Irvine waived this step

07/10/2025 at 2:18 pm

Fire2 Department Review

Record No. CCSP-25-7

Status Completed

Became Active July 9, 2025

Assignee Robert Irvine

Due Date None

Primary Location

233 WINTER ST
Haverhill, MA 01830

Owner

233 WINTER STREET, LLC
TEMPLE DRIVE 10 METHUEN, MA 01844

Applicant

 Paul Magliocchetti
 978-373-9161
 pmagliocchetti@ssjmattorneys.com
 70 Bailey Boulevard
Haverhill, MA 01830

Step Activity

OpenGov system activated this step 07/09/2025 at 9:33 am

OpenGov system assigned this step to Robert Irvine 07/09/2025 at 9:33 am

Robert Irvine approved this step 07/10/2025 at 2:18 pm

Health Department Review

Record No. CCSP-25-7

Status Completed

Became Active July 9, 2025

Assignee Bonnie Dufresne

Due Date None

Primary Location

233 WINTER ST
Haverhill, MA 01830

Owner

233 WINTER STREET, LLC
TEMPLE DRIVE TO METHUEN, MA 01844

Applicant

 Paul Magliocchetti
 978-373-9161
 pmagliocchetti@ssjmattorneys.com
 70 Bailey Boulevard
Haverhill, MA 01830

Step Activity

OpenGov system activated this step	07/09/2025 at 9:33 am
OpenGov system assigned this step to Bonnie Dufresne	07/09/2025 at 9:33 am
Bonnie Dufresne approved this step	07/09/2025 at 9:56 am

Police Department Review

Record No. CCSP-25-7

Status Active

Became Active July 9, 2025

Assignee Kevin Lynch

Due Date None

Primary Location

233 WINTER ST
Haverhill, MA 01830

Owner

233 WINTER STREET, LLC
TEMPLE DRIVE 10 METHUEN, MA 01844

Applicant

 Paul Magliocchetti
 978-373-9161
 pmagliocchetti@ssjmattoorneys.com
 70 Bailey Boulevard
Haverhill, MA 01830

Messages

Kevin Lynch

July 17, 2025 at 11:16 am

Plans submitted for crosswalk do not show a Rapid Flashing Beacons (RRFBs) as advised in the meeting. Additionally, the crosswalk shown cannot lead to a driveway it must lead to a sidewalk.

Step Activity

OpenGov system activated this step

07/09/2025 at 9:33 am

OpenGov system assigned this step to Kevin Lynch

07/09/2025 at 9:33 am

School Department Review

Record No. CCSP-25-7

Status Completed

Became Active July 9, 2025

Assignee Margaret Marotta

Due Date None

Primary Location

233 WINTER ST
Haverhill, MA 01830

Owner

233 WINTER STREET, LLC
TEMPLE DRIVE 10 METHUEN, MA 01844

Applicant

 Paul Magliocchetti
 978-373-9161
 pmagliocchetti@ssjmattorneys.com
 70 Bailey Boulevard
Haverhill, MA 01830

Step Activity

OpenGov system activated this step 07/09/2025 at 9:33 am

OpenGov system assigned this step to Margaret Marotta 07/09/2025 at 9:33 am

Margaret Marotta approved this step 07/09/2025 at 10:17 am

Storm Water Review

Record No. CCSP-25-7

Status Active

Became Active July 9, 2025

Assignee John Pettis

Due Date None

Primary Location

233 WINTER ST
Haverhill, MA 01830

Owner

233 WINTER STREET, LLC
TEMPLE DRIVE 10 METHUEN, MA 01844

Applicant

 Paul Magliocchetti
 978-373-9161
 pmagliocchetti@ssjmattoorneys.com
 70 Bailey Boulevard
Haverhill, MA 01830

Messages

Robert Moore

July 9, 2025 at 10:27 am

c. 219 n/a

Step Activity

OpenGov system activated this step

07/09/2025 at 9:33 am

OpenGov system assigned this step to Robert Moore

07/09/2025 at 9:33 am

Robert Moore reassigned this step from Robert Moore to John Pettis

07/09/2025 at 10:27 am

Water/Wastewater Review

Record No. CCSP-25-7

Status Active

Became Active July 9, 2025

Assignee Robert Ward

Due Date None

Primary Location

233 WINTER ST
Haverhill, MA 01830

Owner

233 WINTER STREET, LLC
TEMPLE DRIVE 10 METHUEN, MA 01844

Applicant

 Paul Magliocchetti
 978-373-9161
 pmagliocchetti@ssjmattorneys.com
 70 Bailey Boulevard
Haverhill, MA 01830

Messages

No comments yet.

Step Activity

OpenGov system activated this step 07/09/2025 at 9:33 am

OpenGov system assigned this step to Robert Ward 07/09/2025 at 9:33 am

Water Supply Review

Record No. CCSP-25-7

Status Completed

Became Active July 9, 2025

Assignee Robert Ward

Due Date None

Primary Location

233 WINTER ST
Haverhill, MA 01830

Owner

233 WINTER STREET, LLC
TEMPLE DRIVE 10 METHUEN, MA 01844

Applicant

 Paul Magliocchetti
 978-373-9161
 pmagliocchetti@ssjmattoorneys.com
 70 Bailey Boulevard
Haverhill, MA 01830

Messages

Robert Ward

September 30, 2025 at 10:26 am

The project is not located within the water supply protection district.

Step Activity

OpenGov system activated this step

07/09/2025 at 9:33 am

OpenGov system assigned this step to Robert Ward

07/09/2025 at 9:33 am

Robert Ward approved this step

09/30/2025 at 10:26 am

Building Inspector Review

Record No. CCSP-25-7

Status Completed

Became Active July 9, 2025

Assignee Tom Bridgewater

Due Date None

Primary Location

233 WINTER ST
Haverhill, MA 01830

Owner

233 WINTER STREET, LLC
TEMPLE DRIVE 10 METHUEN, MA 01844

Applicant

 Paul Magliocchetti
 978-373-9161
 pmagliocchetti@ssjmattoorneys.com
 70 Bailey Boulevard
Haverhill, MA 01830

Messages

Tom Bridgewater

July 18, 2025 at 9:50 am

A building permit was issued for the first-floor Commercial use and then was revised for second and third floor "Shell Only" however, the contractor chose to go beyond the permit, without authorization, and began roughing in for apartments. Inspectional Services has issued a stop work order until the decision by Council.

Step Activity

OpenGov system activated this step 07/09/2025 at 9:33 am

OpenGov system assigned this step to Tom Bridgewater 07/09/2025 at 9:33 am

Tom Bridgewater approved this step 08/03/2025 at 7:23 pm

MEMORANDUM

93 Stiles Road, Suite 201, Salem, New Hampshire 03079 USA
800 Turnpike Street, Suite 300, North Andover, Massachusetts 01845 USA
Phone (603) 212-9133 and Fax (603) 226-4108
Email tepp@teppllc.com and Web www.teppllc.com

Ref: 1769
Subject: Potential Pedestrian Crossing
233 Winter Street
Haverhill, Massachusetts
From: Kim Eric Hazarvartian, Ph.D., P.E., PTOE
Principal
Date: October 1, 2025

**INTRODUCTION**

TEPP LLC has prepared this memorandum regarding a potential pedestrian crossing near 233 Winter Street in the City of Haverhill, Massachusetts. The potential crossing would align with the eastern door of the building that is under construction.

TEPP LLC does not recommend a pedestrian refuge island at this location because:

- a pedestrian refuge island is not necessary
- the available curb-to-curb street width is not adequate for the recommended island width
- reducing the island width is not appropriate
- nearby pedestrian crossings along Winter Street do not include a refuge island
- an island might negatively affect turning movements for nearby driveways

FIELD ASSESSMENTS

TEPP LLC conducted three field assessments on:

- Friday, September 26, 2025, during daylight
- Sunday, September 28, 2025, during darkness with street illumination
- Tuesday, September 30, 2025, during daylight

TEPP LLC observed adequate sight distances for the potential crossing.

Winter Street includes:

- two motor-vehicle travel lanes, each about 11-feet (ft) wide
- two lanes, intended for bicycles, each about 5-ft wide

- two variable-width parking lanes
- a minor eastbound upgrade
- a legal speed limit of 30 miles per hour
- illumination
- an urban environment with the expectation of pedestrian traffic

The curb-to-curb width of Winter Street is about:

- 54 ft at the potential crossing location
- 51 ft near the western limit of the building that is under construction

WIDTH ANALYSIS

This analysis is predicated on pavement markings along Winter Street modified to provide:

- two motor-vehicle travel lanes, each about 11-ft wide
- two lanes, intended for bicycles, each about 5-ft-wide
- two parking lanes, each about 9-ft-wide

This leaves about 4-ft of width, which is less than the recommended width for pedestrian refuge island near the center of the street. The Massachusetts Department of Transportation (MassDOT) states “The pedestrian refuge island should be at least 6 feet wide from the face of the curb to the face of the curb; however, narrower widths may be acceptable in constrained locations.”¹

COMPARISON WITH AN EXISTING PEDESTRIAN CROSSING

A pedestrian refuge island exists near 790 River Street in the City of Haverhill. TEPP LLC conducted a field assessment on Tuesday, September 30, 2025, during daylight. The raised island is about 6-ft wide and has marked separations, each about 1-ft wide, from the motor-vehicle travel lanes.

CONCLUSION

TEPP LLC does not recommend a pedestrian refuge island at this location because:

- a pedestrian refuge island is not necessary
- the available curb-to-curb street width is not adequate for the recommended island width

¹ MassDOT, *Project Development and Design Guide* (Boston, Massachusetts, October 4, 2023), Chapter 16-6.

- reducing the island width is not appropriate
- nearby pedestrian crossings along Winter Street do not include a refuge island
- an island might negatively affect turning movements for nearby driveways

MEMO TO: City Council President Thomas Sullivan and members of the Haverhil City Council

FROM: William Pillsbury, Economic Development and Planning Director

DATE: September 30, 2025

RE: CCSP 25-7 Special Permit for 233 Winter Street

The applicant has applied for a mixed-use special permit consisting of a ground floor commercial space and 10 residential units above. The project is allowed by zoning in this zone pursuant to the mixed-use ordinance passed by the Council recently.

Additionally, the project is required to file detailed documentation pursuant to the recently approved rules for special permits detailed in Document 92-B. This documentation has been filed in the open gov portal and is contained in your package of information.

The project has been reviewed by the city departments in the form of a preliminary project review also contained in your packages and no major issues were identified.

Since the city council must affirmatively make several findings in order to approve the special permit based on the rules for a special permit, I have reviewed the submissions by the applicant and I find them to be sufficiently complete in order to make such findings.

My review of the project and the required submissions indicates that the filings provide sufficient justification to make the required findings and approve the special permit.

I believe the city solicitors office will craft a "findings and decision" document for the council to approve documenting the reasons for decision by each councilor.

Based on my review of the project I recommend approval of the special permit with any conditions that the council may deem necessary.



Haverhill

City Clerk's Office, Room 118
Phone: 978-374-2312 Fax: 978-373-8490
cityclerk@haverhillma.gov

July 31, 2025

PUBLIC HEARING

City Council Chambers, City Hall, Room 202, 4 Summer st

Notice is hereby given that a hearing will be held for all parties interested, in a hybrid meeting (in person/virtual), on Tuesday October 7, 2025 at 7:00 PM on a request from Attorney Paul A. Magliochetti for 233 Winter Street LLC, to construct a Mixed-Use development with a store and a 10-unit residential dwelling at 233 Winter St.

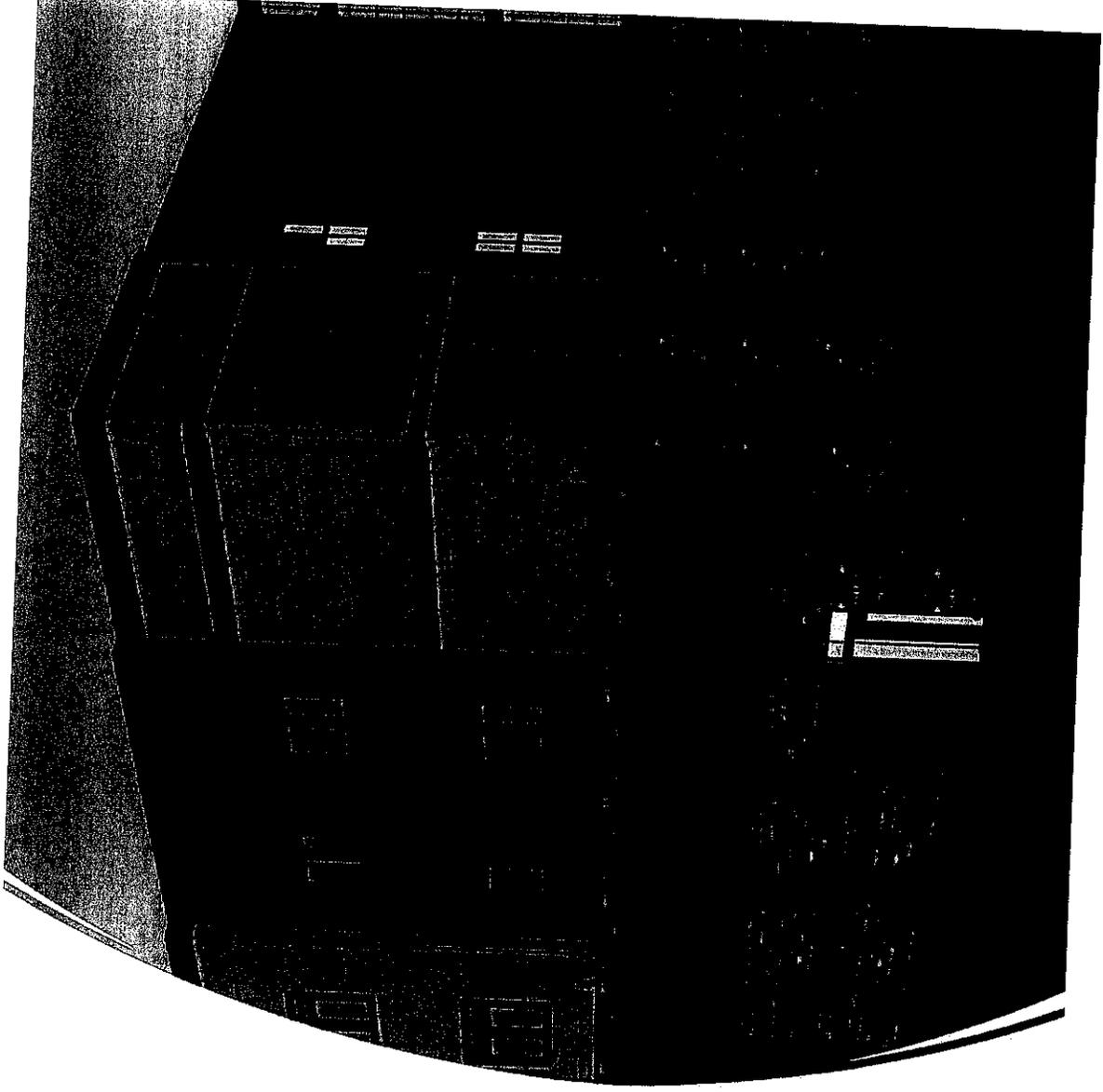
(Residents who are interested in commenting on this item can either (1) Attend in person (Council Chambers, Room 202) or (2) Attend remotely using the link provided on the public meeting calendar on the City's website.)

Description of area, maps and plans are on file in the City Clerk's Office.

Advertise: September 18 & September 25, 2025
Haverhill Gazette

Kaitlin M. Wright, CMC
City Clerk

233 Winter Street
Mixed-Use
Development



Project Overview



Project Location

- 233 Winter Street (main development)
- 236 Winter Street (supplemental parking)

Mixed-Use Components

- First floor: Supermarket and restaurant
- Second/third floors: 10 residential units
- Basement: Storage and Cooling

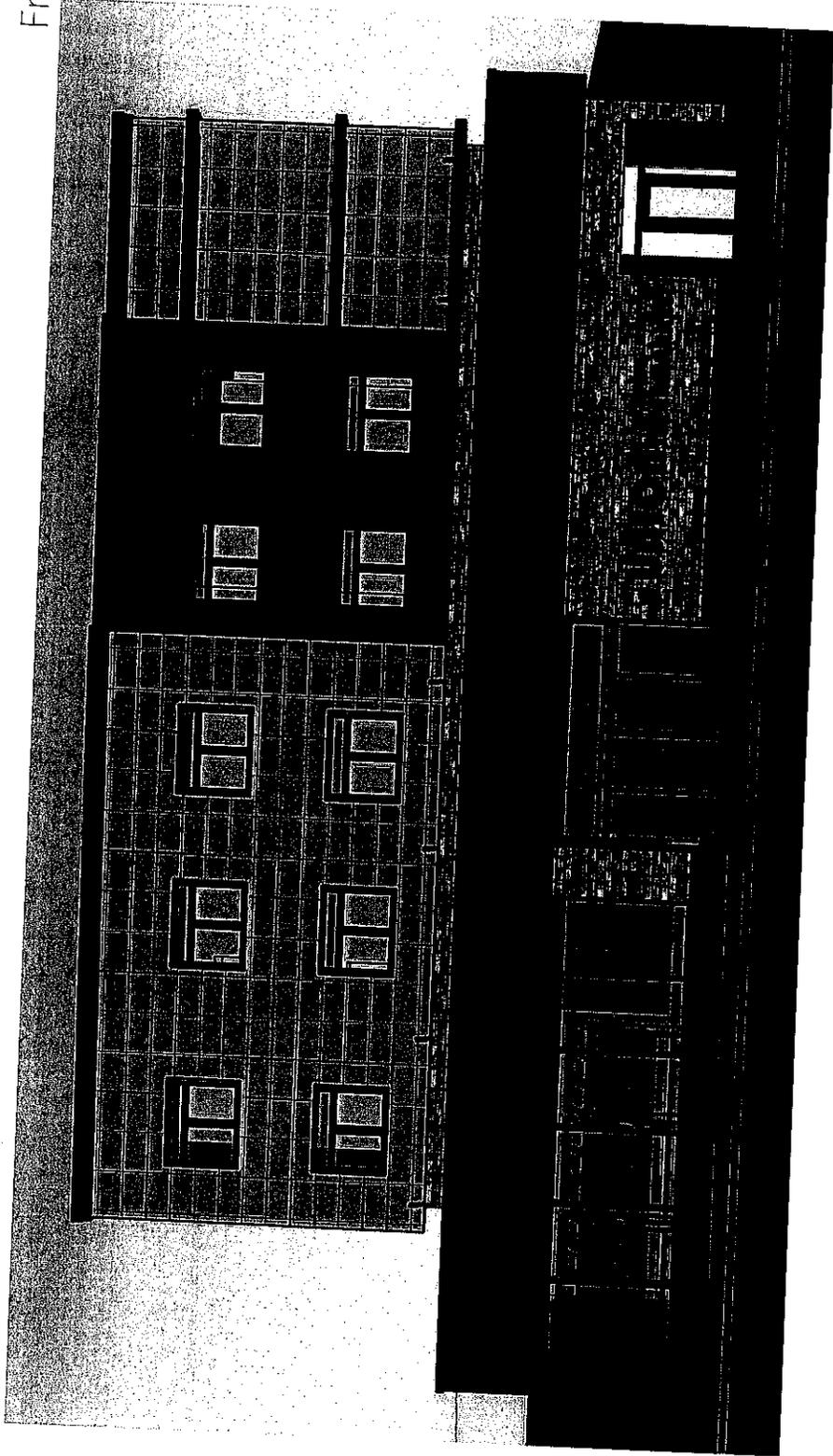
Development Team

- Architectural and Engineering design by Felix Garcia RDP
- Civil engineering: RAM
- Specialized engineering consultants

This comprehensive mixed-use development addresses multiple community needs while ensuring compliance with Haverhill's zoning requirements and development goals.

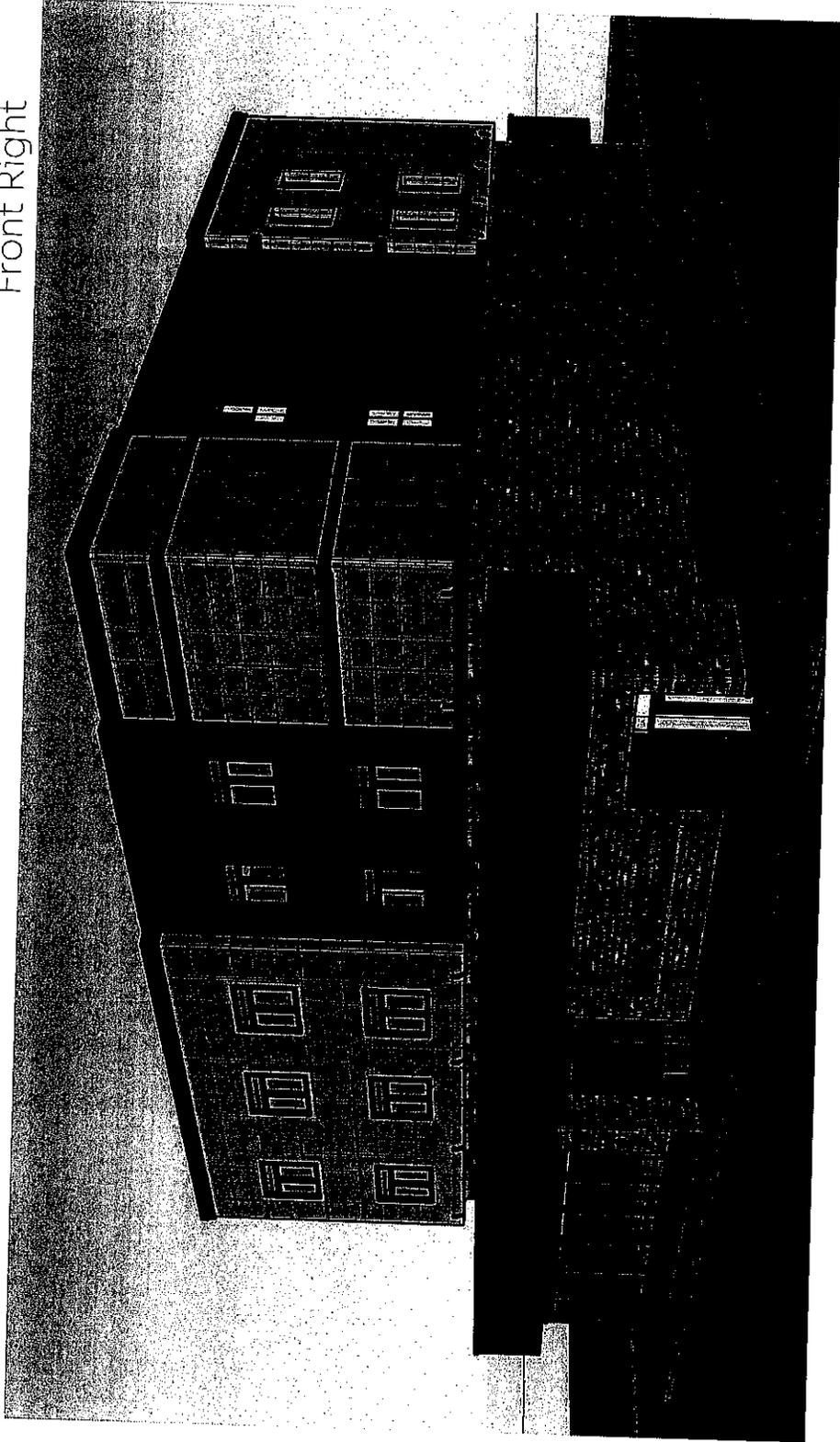
Elevations

Front



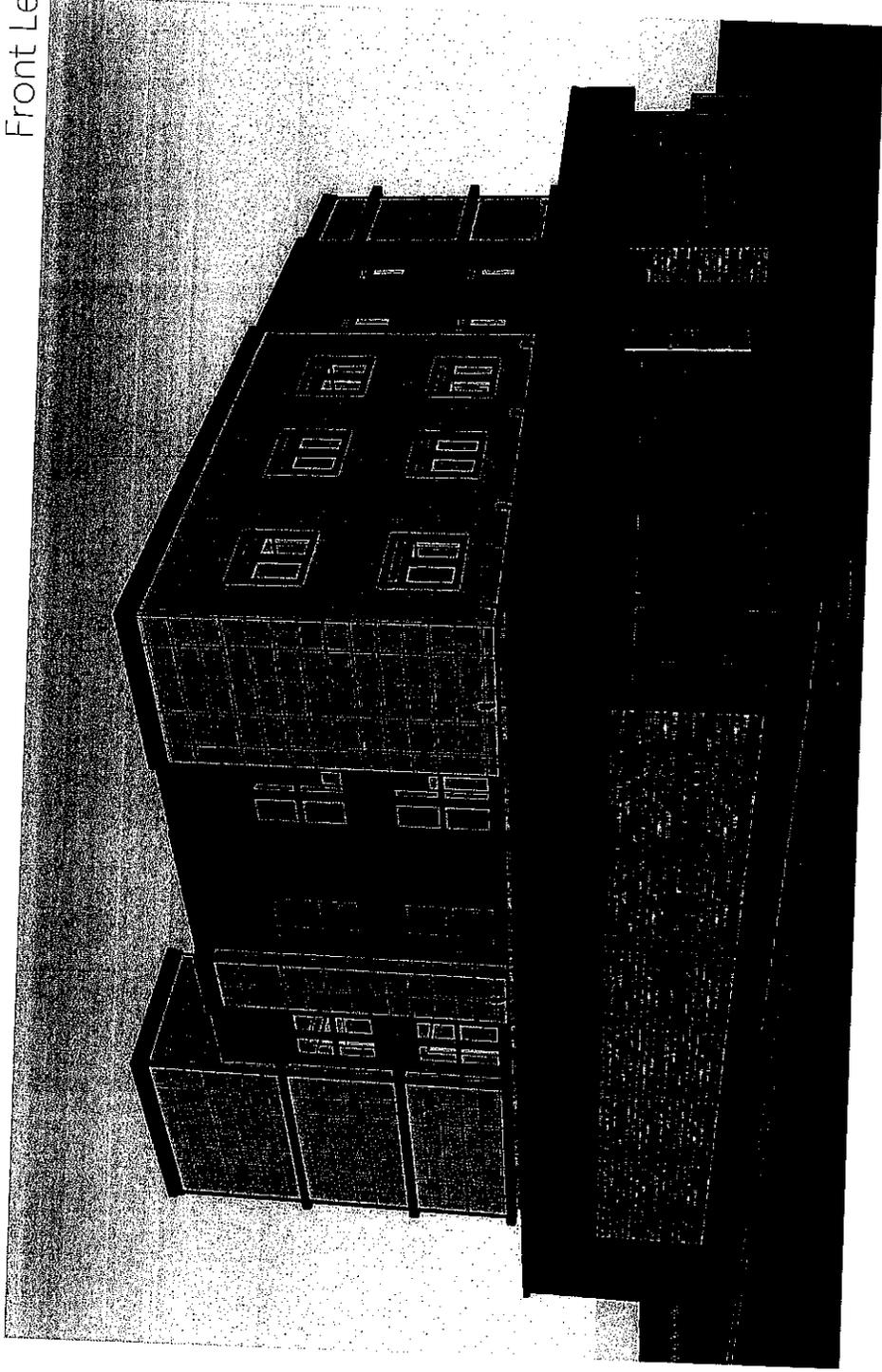
Elevations

Front Right



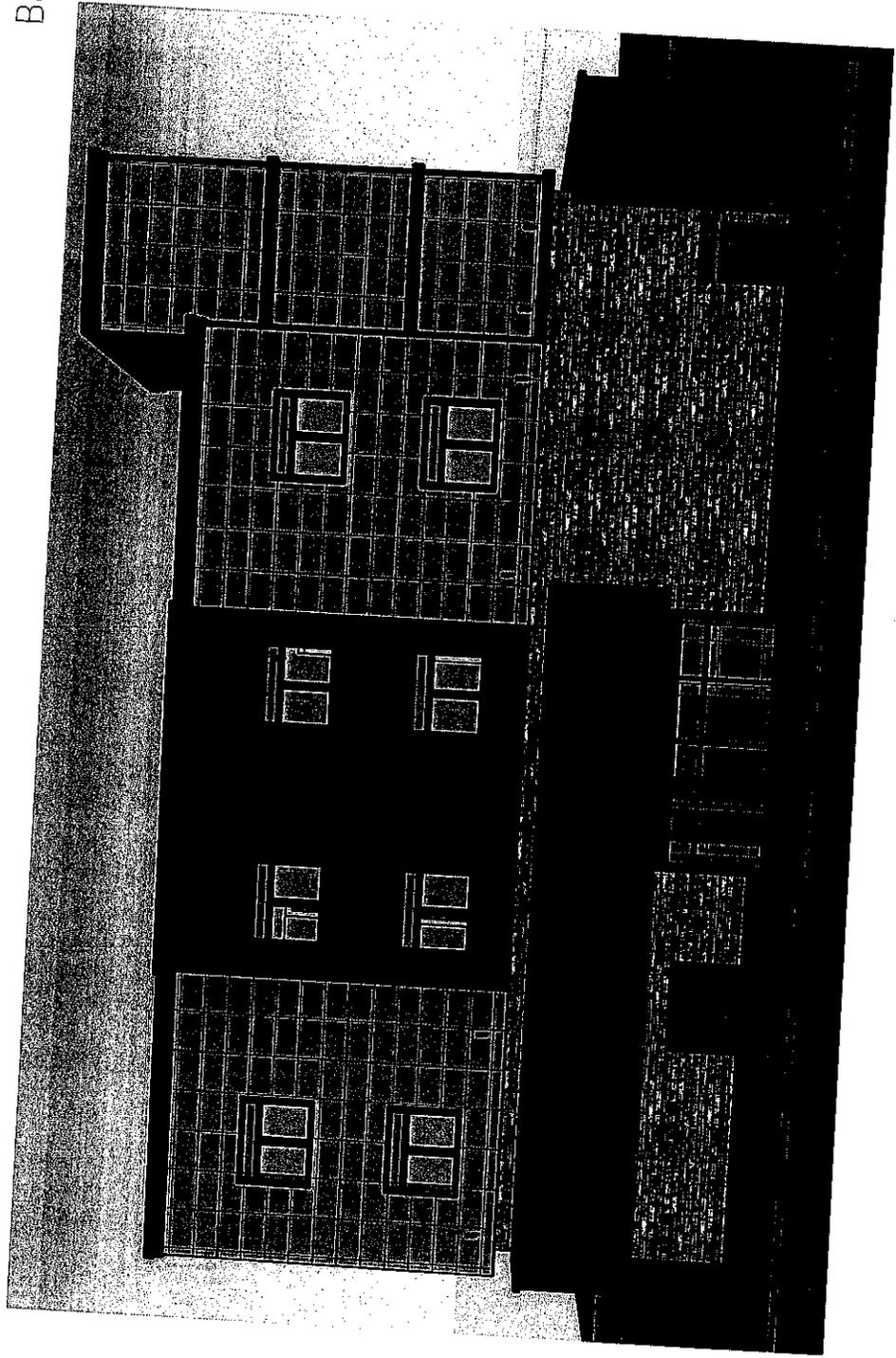
Elevations

Front Left



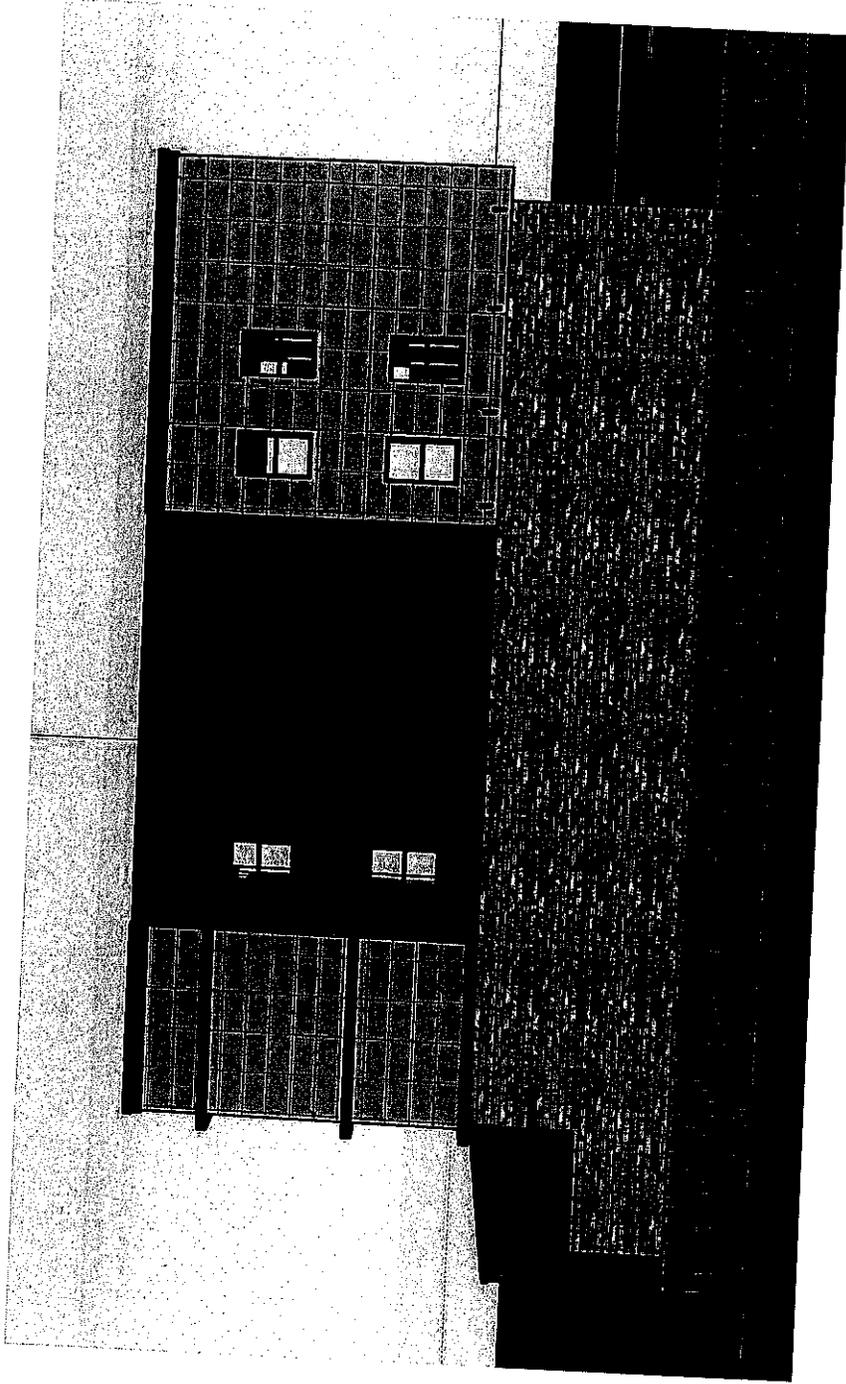
Elevations

Back



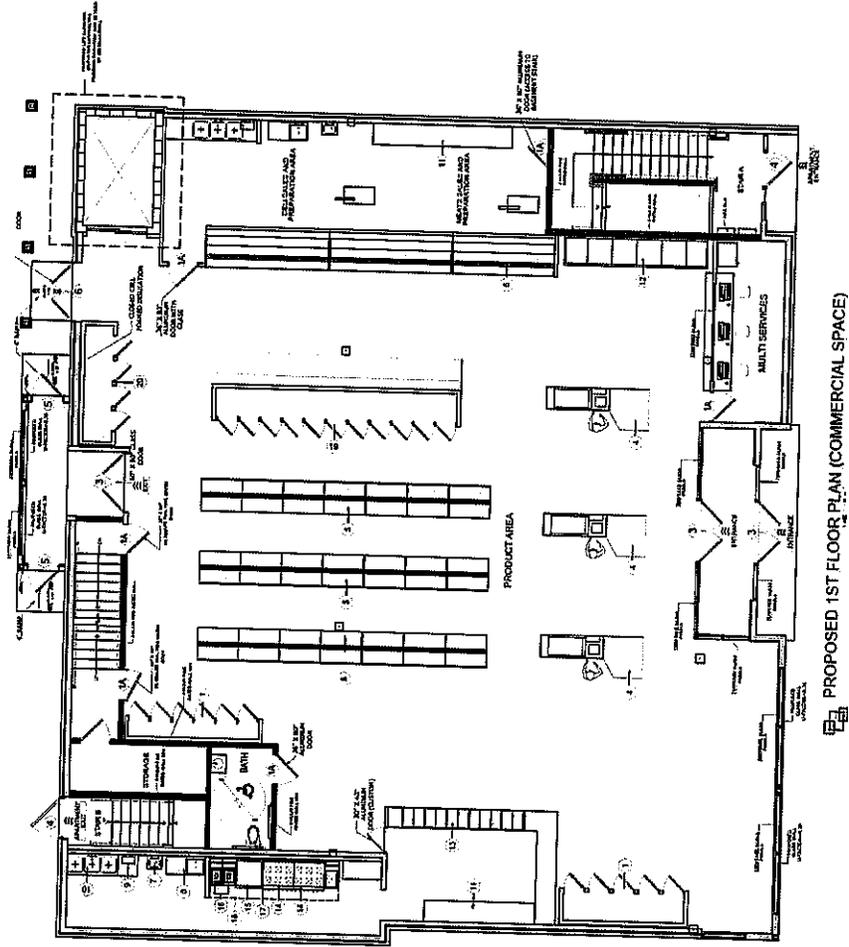
Elevations

Side



Floor Plans

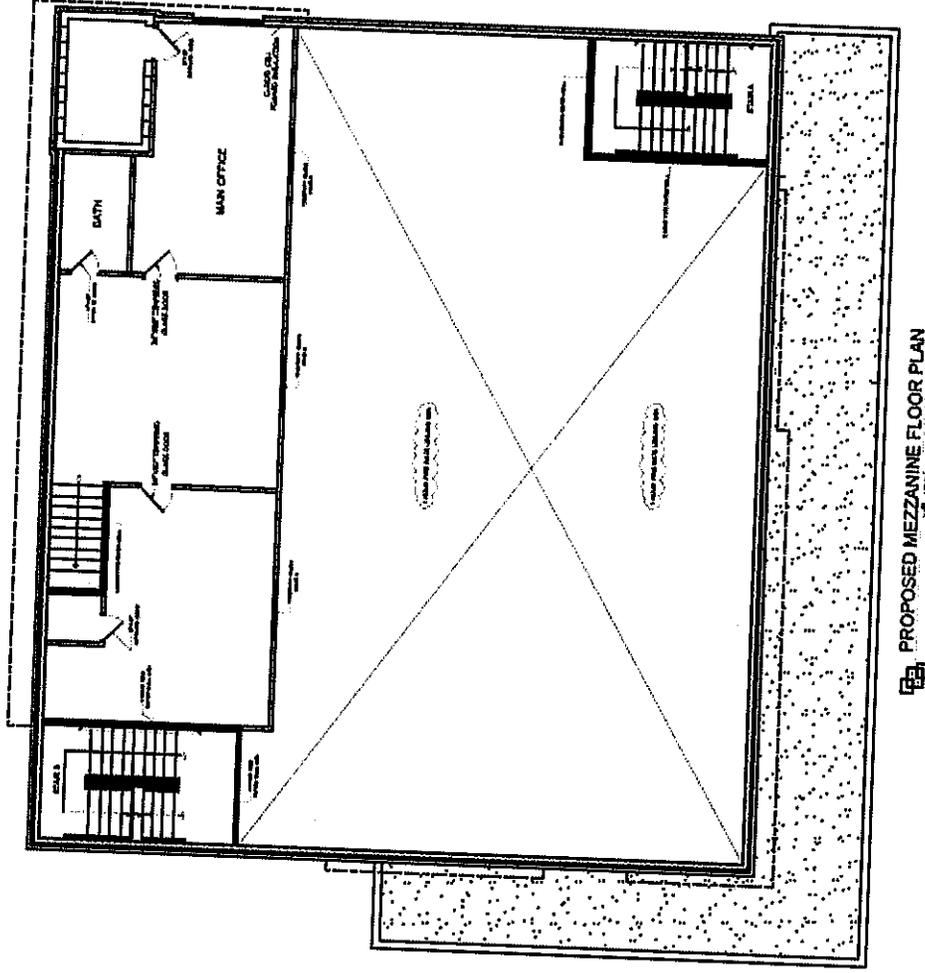
First Floor Super Market



Floor Plans

First Floor

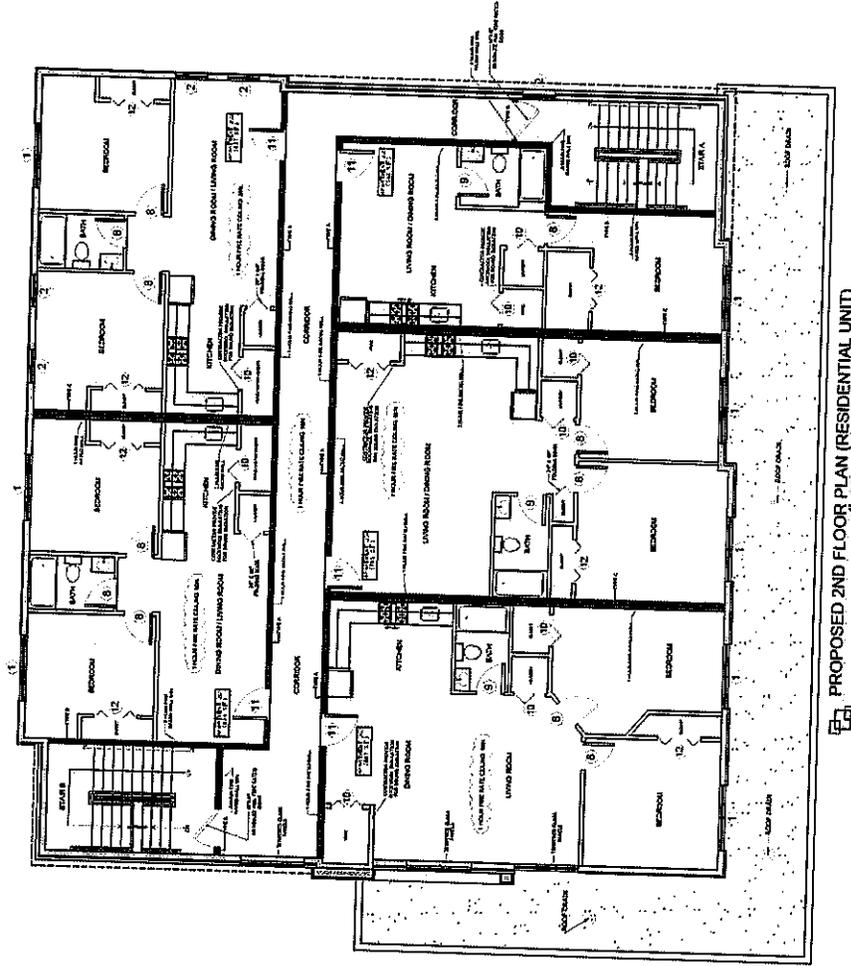
Mezzanine



Floor Plans

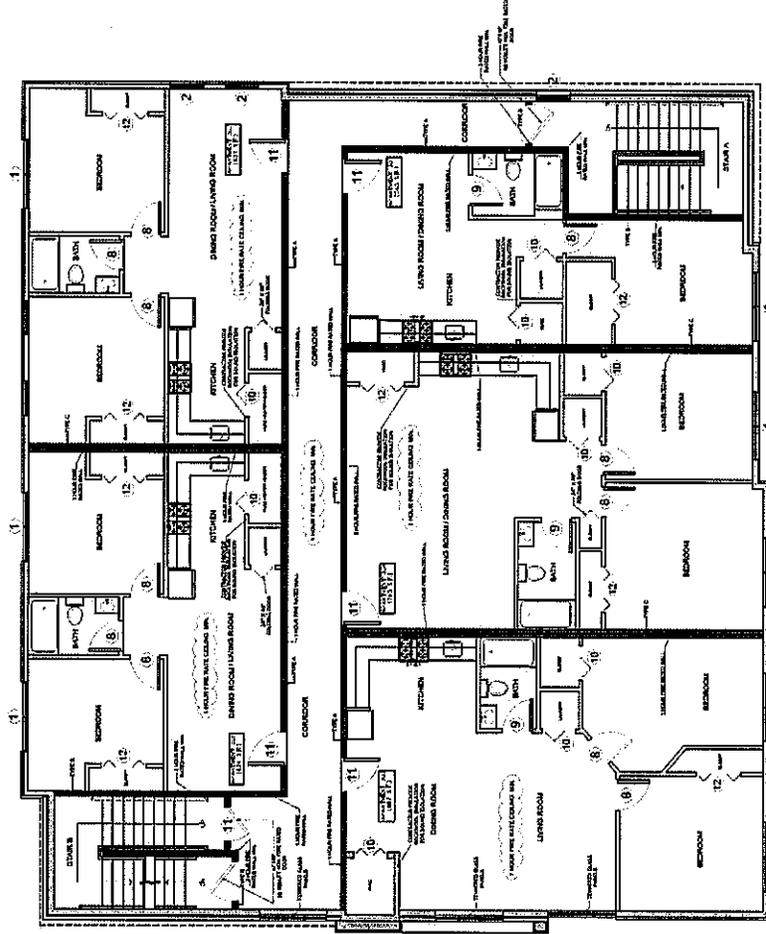
Second Floor

5 Residential Units



Floor Plans

Third Floor 5 Residential Units



PROPOSED 3RD FLOOR PLAN (RESIDENTIAL UNIT)

Site Plan

Title: Proposed Site Plan - 233 & 236 Winter Street, Haverhill, MA

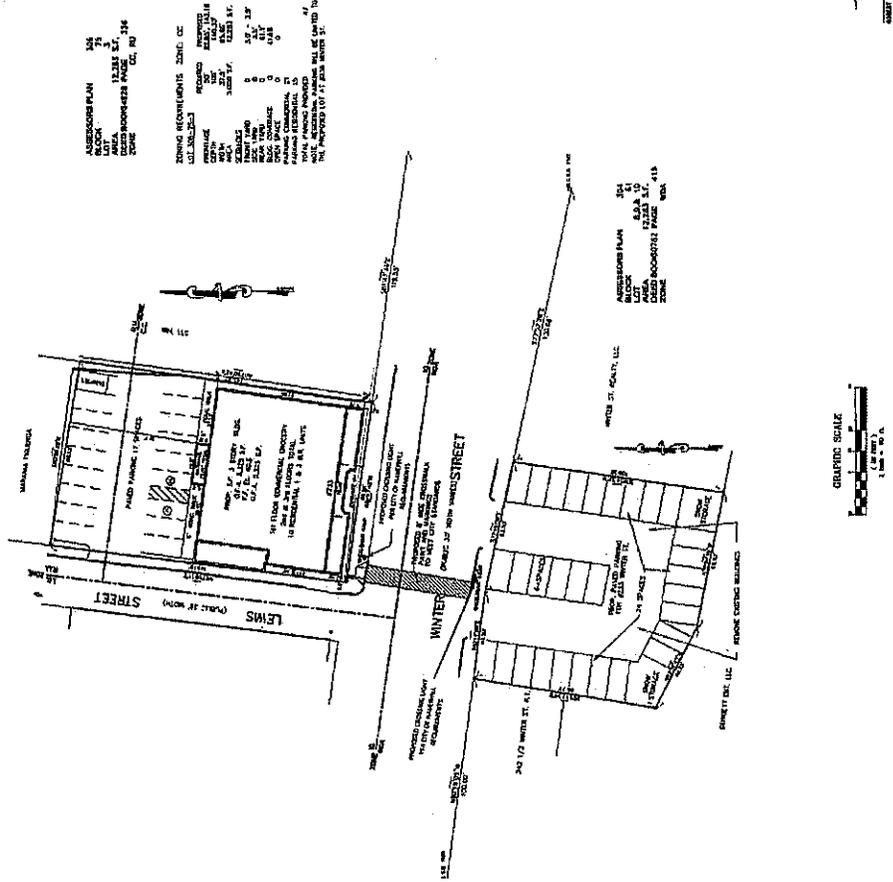
Key Details:

- Owner/Applicant: 233 Winter Street, LLC
 - Location: 233 & 236 Winter Street, Haverhill, MA
 - Zoning: CC, RU
 - Lot Area: 12,283 sq. ft.
 - Frontage: Required: 50 ft | Proposed: 85.85 ft, 142.18 ft
 - Depth: Required: 100 ft | Proposed: 140.30 ft
 - Width: Required: 37.5 ft | Proposed: 85.85 ft
 - Building Coverage: Proposed: 41.6%
 - Open Space: None
- Parking Details:**
- Residential Units: 15
 - Parking Spaces: Total: 47 (Residential: 21, Commercial: 10, Visitor: 15)
- General Notes:**
- Boundary information based on Plan Book 193.
 - Contractor responsibilities include verifying utilities, contacting DIGSAFE, and coordinating with utility companies.
 - Compliance with OSHA and local safety regulations required.
 - Construction standards per Massachusetts Highway and Bridge specifications.
 - Disturbed areas to be loamed and seeded; sidewalks replaced in kind.
- Engineering Contact:**
- RAM Engineering
 - Address: 160 Main Street, Haverhill, MA
 - Phone: (978) 372-0449

Visuals:

- Include locus plan and graphic scale (1 inch = 20 ft).

This slide provides a clear summary of the site plan for presentation purposes.



Key Benefits

Enhanced Safety Infrastructure

The new pedestrian-friendly crosswalk with lighting improves visibility and safety for all Winter Street users, addressing a critical community need.

Strategic Parking Solutions

Dedicated residential parking at 236 Winter St. and additional overflow parking for the supermarket prevents street congestion and neighborhood disruption.

Critical Food Access

The full-service supermarket addresses the neighborhood's limited grocery options, providing essential fresh food access to residents of all income levels.

The 233 Winter Street Mixed-Use Development represents a thoughtful, comprehensive approach to community enhancement that delivers multiple benefits while addressing critical needs.

Special Permit Application-233 Winter Street, Haverhill, MA
City Council Rules and Regulations for Special Permits Information Required
Pursuant to City Ordinance 92B

General Criteria: General Special Permit Criteria

1. As required by the Special Permit criteria section of the Zoning Ordinance (Section 10.4.2), in order to grant a Special Permit, a Special Permit Granting Authority must make a written determination "that the proposed use or structure(s) shall not cause substantial detriment to the neighborhood or the City, taking into account the characteristics of the site and of the proposal in relation to that site." Under Section 10.4.2, "[i]n addition to any specific factors that may be set forth in th[e] [zoning] chapter, such determination shall include consideration of each of the following:
2. Community needs served by the proposal;
3. Traffic and pedestrian flow and safety, including parking and loading;
4. Adequacy of utilities and other public services;
5. Neighborhood character and social structures;
6. Impacts on the natural environment; and
7. Potential fiscal impact, including impact on City services, tax base, and employment.

Specific Findings Under Zoning Ordinance Section 10.4.2

1. Community needs served by the proposal: Haverhill has a large and growing Latino community and the commercial use on the site will be a Latino store and market. Additionally, countless articles and reports have emphasized the need for additional housing, including affordable opportunities for low to moderate income households. Haverhill is no exception to this demand and has recently adopted new ordinances intended to address the local housing shortage, including but not limited to the MBTA zone, and ADU's. The applicant has agreed to comply with the city's ordinance and designate one of the 10 residential units as an affordable unit.
2. Traffic and pedestrian flow and Safety, including parking and loading: Careful attention has been given to traffic flow and pedestrian safety in this development plan. As part of the additional housing in the development the Applicant has agreed to purchase the lot across the street for additional parking for the store and the residents. The entrance for the store parking at to the rear of the property has access off of Lewis Street, where

the entrance to the store is also located. Locating the parking lot to the rear will prevent the hazards of cars entering and exiting onto Winter Street traffic throughout the day. There is also an entrance in the front of the building to allow for additional pedestrian and emergency access to the building directly from Winter Street. The parking lots are large for the neighborhood and provide more than the required number of spaces for the development. These details are outlined in the provided site plans filed with this Application.

3. Adequacy of utilities and other public services: The existing building is already connected to domestic water, emergency systems, and city sanitary systems, so no major utility extensions are required for this project. The proposed site plan as well as the building plans have been reviewed by all departments and complies with Section 6.3.3(8) concerning utilities, security, and emergency systems, ensuring all new connections meet city standards without the need for special approvals. City departments have raised no concerns about utility availability at this time, and the parcel's location within the neighborhood provides ample utility access. This favorable positioning as a corner lot, and proximity to the additional parking allow for seamless integration of the mixed-use building into existing infrastructure, minimizing disruptions, and ensuring efficient service delivery. The project team will continue to collaborate closely with the city's development team to confirm that all utility connections align with the city's expectations and requirements.
4. Neighborhood character and social structures: The proposed mixed-use development is consonant with neighborhood character and social structures, and the addition of the 10 residential units represents a substantive change in the current use of the lot. The new building will only marginally decrease the percentage of open space on the site and will greatly improve the aesthetics of the site. Unsightly elements such as dumpsters and trash receptacles will be shielded to the rear corner of the site away from public view.
5. Impact on natural environment: There are no expected impacts to the natural environment as a consequence of this project. The new addition will only marginally decrease the percentage of open space on the site, and the building has been designed to blend in with its surroundings in size and mass.
6. Potential fiscal impact, including impact on City services, tax base, and employment: This project will have minimal or no impact on city services. It is believed that this project will increase the tax base and due to the residential units size, have minimal or no impact on schools. This development will create as many as 20 new jobs, desperately needed housing opportunities, and significantly increase the city's tax revenues over what the current tax revenues are.

Specific Findings Under Zoning Ordinance Section 6.3.3

Lighting: The proposed lighting for this project will comply with city standard 6.3.3(1): The existing lot lighting will remain largely unchanged, with the addition of lights directed at the crosswalk for pedestrians, at the request of Haverhill Police Department. The exterior building and parking lot lights are designed to ensure no light is directed outward beyond the property, minimizing glare and maintaining a focused, compliant lighting environment where required on the site. Reference is made to the building plans submitted with this application.

Noise: The project will comply with city standard 6.3.3(2) as it pertains to noise: Construction will abide by the restrictions set forth in Chapter 1 82 of the Haverhill Code and 310 CMR 7.10 of the Department of Environmental Protection's regulations. A dumpster and trash receptacles will be located at the rear corner of the periphery of the site which should reduce noise at times of refuse collection.

Landscaping: 6.3.3 (3): The lot is located in the city's urban center and has minimal lot space for landscaping. The limited landscaping will be minimal and consistent with neighboring properties.

Stormwater Management: The proposed development will comply with city standard 6.3.3(4), and the Applicant will provide details on a plan as required by the city's development team. All necessary Erosion Prevention and Sediment Control (EPSC) measures will be implemented if required during construction to minimize sediment displacement, and maintain compliance with city regulations.

Site development Standards: The proposed development plan complies with all site development standards outlined in Section 6.3.3(5). The area of disturbance has been carefully minimized to accommodate the new building, ensuring the best and most efficient use of the limited land area. This thoughtful approach preserves the functionality of the site while reducing disturbance and improving accessibility for residents and visitors.

Pedestrian and Vehicular Access/Traffic Management: Careful attention has been given to traffic flow and pedestrian safety in this development plan ensuring adherence to Section 6.3.3(6). The relocation of the building to the front of the site and the removal of the parking entrance on winter street are intended to reduce issues related to traffic management, vehicular access, and pedestrian access. Pedestrian traffic and parking will be located at the rear of the building and across the street, while there will also be customer, tenant and visitor access in the front and rear of the building. The customer parking is designated at the rear of the building during operating hours, and residents will have assigned parking across the street at 236 Winter Street, (as shown on the plans) which maintains separation of these traffic elements. The site complies with code requirements related to parking. Detailed parking requirements are outlined in the Site Plans. The Applicant has agreed to work with the city to install pedestrian lights and other agreed to safety measures. A traffic study has not been requested by city departments.

Aesthetics: The proposed design of the building complies with the neighborhood compatibility requirement outlined in Section 6.3.3(7). Prior to construction the developer worked closely with the building inspector and all plans were reviewed by city departments. The new building, while modern in design, fits in with other newer buildings nearby, closely matches the mass and density of surrounding buildings.

Utilities/Security/Emergency Systems: The existing building is already connected to domestic water, fire, and city sanitary systems, so no major Utility extensions are required for this project. Sewer, fire, and sanitary connections have been established for the new building, all of which will be detailed on plans and will be further coordinated with city's development team. The proposed development fully complies with Section 6.3.3(8) concerning utilities, security, and emergency systems, ensuring all new connections meet city standards without the need for special approvals. The city's development team has raised no concerns about utility availability at this time, and the parcel's central location within the city provides ample utility access. This favorable positioning allows for seamless integration of the expansion into existing infrastructure, minimizing disruptions and ensuring efficient service delivery. The project team will continue to collaborate closely with the city's development team to confirm that all utility connections align with the city's expectations and requirements.

Other General Standards: The proposed development will cause no substantive change in the current parcel's compliance with Section 6.3.3(9). The new building will not be conducted in a manner as to emit any dangerous, noxious, injurious or otherwise objectionable fire, explosion, radioactive or other hazard; noise or vibration, smoke, dust, odor or other form of environmental pollution; electrical or other disturbance; glare; liquid or solid, refuse or wastes; conditions conducive to the breeding of insects, rodents or other substance, conditions or element in an amount as to affect adversely the surrounding environment. All operations shall be conducted in such a manner so as to comply with the laws of the Commonwealth of Massachusetts regulating air pollution.

Based upon all of the above as well as all the plans and other documents filed with this Application, the Applicant believes this Petition meets all the requirements under Chapter 255 Section 10.4.2 for a Special Permit:

1. Community needs for additional housing are served by the proposal which adds needed housing in the City and the proposal also creates a new Latino grocery store and market;
2. Traffic and pedestrian flow and safety have been addressed and required parking for the proposed number of units is being provided. (See Site Plans filed with this Application). The property was previously used as a sandwich shop and as a parking lot, and the development, which includes ample parking, will not be detrimental to traffic, pedestrian flow, and safety, including parking and loading;
3. The neighborhood has adequate infrastructure for utilities, emergency services, and other public services, including public water and sewer;

4. The neighborhood character and structures have been addressed in the plans and architectural designs of this project. The new building fits this lot and will fit in with the neighborhood, and there is no impact on the natural environment;
5. There are no obvious impacts to the natural environment since the multi-use building will be situated in a densely populated neighborhood and it is similar in size and mass to neighboring properties. Additionally, the new housing in the neighborhood will be attractive to residents that fit in with the neighborhood character and social structures; and
6. The development of this mixed-use development with a store and 10 residential units will have a positive fiscal impact on the City's tax base which will contribute to supporting City services.

Respectfully submitted,

Paul A. Magliocchetti

Paul A. Magliocchetti, Esquire
pmagliocchetti@ssjmattorneys.com

SHEEHAN, SCHIAVONI, JUTRAS & MAGLIOCCHETTI, LLP
ATTORNEYS AT LAW



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SONJA STARINS
THOMAS C. TRETTER
WILLIAM D. CHASE
STEPHEN R. AGNATOVECH

OF COUNSEL
KRISTIN M. YASENKA
JOSHUA S. ENGLAND, LL.M.

VIA UPLOAD

June 4, 2025

City Council
City of Haverhill
4 Summer Street
Haverhill, MA 01830

**RE: Application for a Special Permit
To Construct a Mixed Use
Store and 10-Unit Multi Family Dwelling
Allowed in the CC Zone by SP
Owner/Applicant is 233 Winter Street, LLC
Property: 233 Winter Street (Map 306, Block 75, Lots 3)**

The Owner and Applicant 233 Winter Street, LLC, a Massachusetts Limited Liability Company with an address at 10 Temple Drive, Methuen, MA 01844, submits this application to the City Council for a Special Permit pursuant to the City of Haverhill Zoning Ordinance Chapter 255. The Applicant wishes to construct a Mixed-Use development with a Store and a 10-unit residential dwelling on property it owns at 233 Winter Street, as shown on Site Plan and Floor Plans filed herewith.

A mixed-use development is allowed in the CC zone with a Special Permit from the City Council (see attached Table of Use and Parking Regulations). There are no variances required for this development from the Haverhill Zoning Board of Appeals. The proposed mixed-use development with a Store and a 10-unit residential dwelling is the best use for the property and the neighborhood where it is situated, with other similar buildings in the area and on Winter Street.

The neighborhood is densely populated with other mixed-use multifamily dwellings, and this development will not affect the character of the neighborhood, has ample onsite parking, and will bring added tax revenue to the City. The property, once built out, will greatly improve the parcel and add value to the surrounding properties. The granting of the relief sought may be given without nullifying or substantially derogating from the intent or purpose of the zoning

SHEEHAN, SCHIAVONI, JUTRAS & MAGLIOCCHETTI, LLP
ATTORNEYS AT LAW

ordinance. Furthermore, the proposed mixed-use development will not cause substantial detriment to the neighborhood or the city taking into account the characteristics of the site (its size, location, and existing structure) and the proposal in regard to this site. The Site has an existing commercial structure/use, and the additional 10 residential units will not be detrimental to the neighborhood. All concerns of departments during pre-development review are being addressed.

The Applicant meets all the requirements under City of Haverhill Zoning Ordinance Ch. 255, Sec. 10.4.2 for a Special Permit:

1. Community needs for additional housing are served by the proposal which adds needed housing in the City and the proposal also creates a new Latino grocery store and market; Traffic and pedestrian flow and safety have been addressed and required parking for the proposed number of units is being provided. (See Site Plans filed with this Application). The property was previously used as a sandwich shop and as a parking lot, and the development, which includes ample parking, will not be detrimental to traffic, pedestrian flow, and safety, including parking and loading;
2. The neighborhood has adequate infrastructure for utilities and other public services, including public water and sewer;
3. The neighborhood has adequate infrastructure for utilities, emergency services, and other public services, including public water and sewer.
4. The neighborhood character and structures have been addressed in the plans and architectural designs of this project. The new building fits this lot and will fit in with the neighborhood, and there is no impact on the natural environment;
5. There are no obvious impacts to the natural environment since the multi-use building will be situated in a densely populated neighborhood and it is similar in size and mass to neighboring properties. Additionally, the new housing in the neighborhood will be attractive to residents that fit in with the neighborhood character and social structures; and
6. The development of this mixed-use development with a store and 10 residential units will have a positive fiscal impact on the City's tax base which will contribute to supporting City services.

In addition, the applicant has appeared before the City's Developmental Review Board for pre-development review and all issues and concerns have been addressed. For more specific details regarding compliance with Sec. 10.4.2, Sec. 6.3.3 (1-9), and City Council Ordinance 92B, reference is made to the site plans and building plans, and the Information Required Pursuant to City Council Ordinance 92B attached to the application. Furthermore, the Applicant meets the requirements under applicable City of Haverhill Zoning Ordinances including but not limited to Ch. 255, Sec. 6.1 regarding parking, and Ch. 255, Sec. 8.3.2 regarding affordability.

SHEEHAN, SCHIAVONI, JUTRAS & MAGLIOCCHETTI, LLP
ATTORNEYS AT LAW

The Applicant respectfully requests that the City Council approve this Application for a Special Permit for the Mixed-Use development with a Store and a 10-unit residential dwelling on property it owns at 233 Winter Street.

Respectfully submitted,

Paul A. Magliocchetti

Paul A. Magliocchetti, Esquire
pmagliocchetti@ssjmatterneys.com



MASSACHUSETTS EXCISE TAX
Southern Essex District ROD
Date: 07/29/2022 01:05 PM
ID: 1539836 Doc# 20220729003950
Fee: \$4,104.00 Cons: \$900,000.00

Quitclaim Deed

KARM Realty LLC, a Massachusetts Limited Liability Company with a business address of 42 Stillman Road, Lynnfield, MA 01940, in consideration Paid and in full consideration of Nine Hundred Thousand Dollars and 00/100 (\$900,000.00) **GRANT TO 233 Winter Street, LLC**, a Massachusetts Limited Liability Company with a business address of 10 Temple Drive, Methuen, MA 01844

With **QUITCLAIM COVENANTS**

PARCEL 1

The land in Haverhill, Essex County, Massachusetts, with the buildings thereon with an address of 233 Winter Street, Haverhill, Massachusetts, shown as occupied by an existing building on a plan entitled "Plan of Land in Haverhill, Massachusetts Owned by Gerald A. Berube" dated December 16, 1983, by William G. Troy & Associates bounded and described as follows:

Southerly by Winter Street, eighty-five and 85/100 (85.85) feet;
Westerly by Lewis Street, ninety-nine and 18/100 (99.18) feet;
Northerly by land shown on said plan as now for formerly of Leon J. Blanchet,
Easterly by land shown on said plan as now or formerly of George and Helen Siodis, ninety-seven and 30/100 (97.30) feet;

Containing 8,150 square feet according to said plan.

PARCEL 2

The land in Haverhill, Essex County, Massachusetts, with the buildings thereon with an address of 3-5 Lewis Street, Haverhill, Massachusetts, bounded and described as follows:

Beginning at the Southwesterly corner thereof bu land now or formerly of H.K Snow and by said Lewis Street; and thence running Northerly by said Lewis Street forty-three (43) feet to land now or formerly of Mary A. McCarty; thence running Easterly by said McCarty land about ninety-three (93) feet to land of heirs of R. Regan; thence running Southerly by said Regan land and land now of formerly of F. Donahue about forty-three (43) feet to land of Snow; and thence

Property Address: 233 Winter Street, 3-5 Lewis Street, Haverhill, MA 01830

running Westerly by said land now for formerly of Snow about ninety-two (92) feet to the pint begun at.

The grantor herein release any and all rights of homestead they may have acquired in and to the subject property by statute or otherwise and further states under the pains and penalties of perjury, no other person has the right to claim homestead benefits in said property.

For Grantor's Title, see deed dated May 17, 2016 and recorded with the Southern Essex at Book 34928, Page 336.

Executed as a sealed instrument this 27th day of July, 2022

s

KARM REALTY LLC
[Signature]

By: Mahavir Patel
Its: Manager

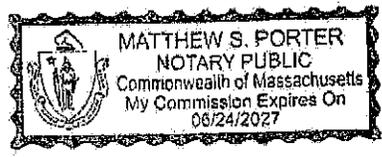
Patel R.A

By: Ramila A. Patel
Its: Manager

Commonwealth of Massachusetts
Bristol, ss.

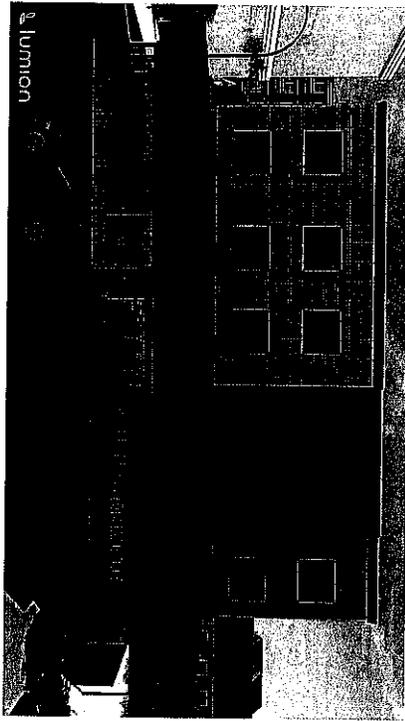
On this 27th day of July, 2022 before me, the undersigned notary public, personally appeared **Mahavir Patel and Ramila A. Patel, Managers of KARM REALTY LLC**, the above-named and proved to me through satisfactory evidence of identification, to be the person whose name is signed on this document, and acknowledged to me that he/she/they signed it voluntarily for its stated purpose and that the foregoing instrument is his/her/their free act and deed on behalf of KARM REALTY LLC.

[Signature]
Notary Public: Matthew S. Porter
My Commission Expires: 6/24/27

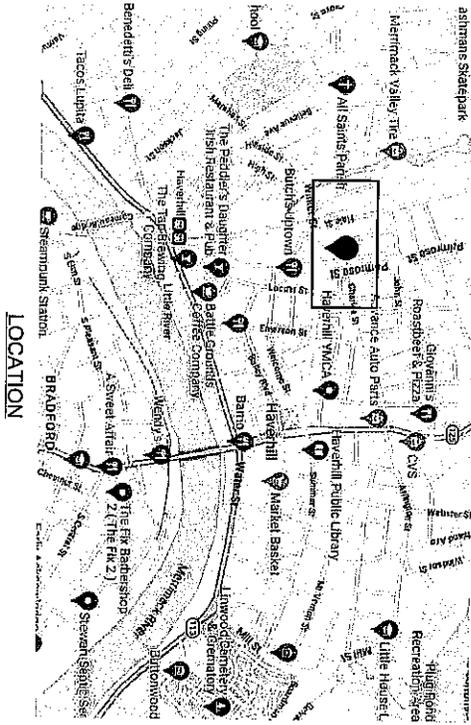


PROPOSED MIX-USED BUILDING

ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830
 OWNER: UNION SUPERMARKET



233 WINTER ST.



LOCATION

GENERAL NOTES :

- 1- ALL WORK SHALL COMPLY WITH STATE AND LOCAL BUILDING CODES AND REGULATIONS.
- 2- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND PROCEDURES.
- 3- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS DURING BUILDING CONSTRUCTION AND SHALL PROVIDE ADEQUATE SHORING AND BRACING TO ENSURE SUCH SAFETY.
- 4- ALL DIMENSIONS AND SITE CONDITIONS SHALL BE FIELD VERIFIED AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTIFY THE OWNER OR DESIGNER OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF WORK.
- 5- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, AND TO PROTECT THEM FROM DAMAGE.
- 6- ALL DETAILS, SECTIONS, NOTES, OR REFERENCE TO OTHER DRAWINGS ARE INTENDED TO BE TYPICAL.
- 7- DURING CONSTRUCTION, AND PRIOR TO THE INCORPORATION OF ANY CHANGES, REVISIONS, MODIFICATIONS OR DEVIATION FROM THE CONSTRUCTION DOCUMENT, CONTRACTOR SHALL BRING TO THE ATTENTION OF THE OWNER OR DESIGNER ANY DISCREPANCY FROM THE BUILDING INSPECTOR BEFORE PROCEEDING WITH THE WORK.
- 8- SPECIFIC NOTES AND DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS, WHERE NO DETAILS ARE SHOWN. CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.
- 9- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION.
- 10- CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (9TH EDITION OF THE MBS.C.709) (2015 IBC AND THE COMMONWEALTH OF MASSACHUSETTS AMENDMENT TO THE INTERNATIONAL COMMERCIAL CODE 2015) AND THE CITY OF HAVERHILL ORDINANCES.



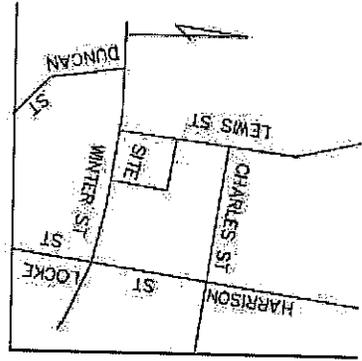
CALCOL ENGINEERING ARCHITECTURE
 11 WINTER STREET, LAWRENCE, MA 01840
 TEL: 978-686-1111
 WWW.CALCOL.COM

GARCIA
 ENGINEERING
 100 WINTER STREET
 LAWRENCE, MA 01840
 WWW.GARCIAENGINEERING.COM

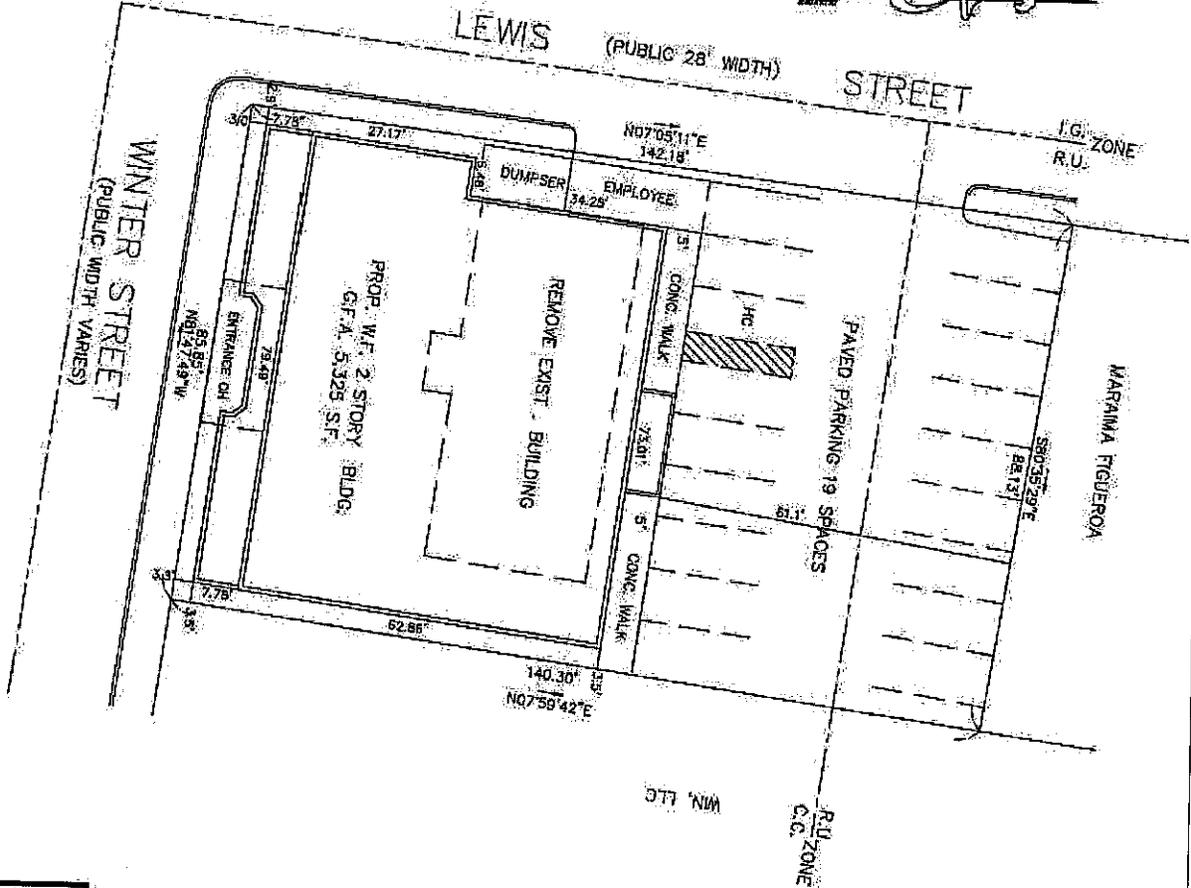
PROPOSED MIX-USED BUILDING
 ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830
 OWNER: UNION SUPERMARKET | DESIGNED BY CALCOL DESIGN STUDIO

SCALE: 1/4" = 1'-0"
 DATE: 10-08-2024

A-100.03



ZONING REQUIREMENTS		ZONE: CC	
LOT	REQUIRED	PROPOSED	
FRONTAGE	50'	85.85', 142.18'	
DEPTH	100'	140.30'	
WIDTH	37.5'	85.85'	
AREA	5,000 S.F.	12,283 S.F.	
SETBACKS			
FRONT YARD	0	3.0' - 2.8'	
SIDE YARD	0	3.5'	
REAR YARD	0	61.1'	
PARKING	21	19	
BLDG. COVERAGE	0	41.6%	
OPEN SPACE	0	0	



**PROPOSED SITE PLAN
OF LAND AT**
233 WINTER STREET
HAVERHILL, MASSACHUSETTS

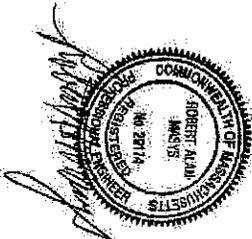
MARCH 8, 2023

OWNER/APPLICANT:
23 WINTER STREET, LLC
10 TEMPLE DR.
METHUEN, MA, 01844

APPLICANT:
HAVERHILL BOARD OF APPEALS

DATE: _____

ASSESSORS PLAN
BLOCK 306
LOT 75
AREA 3 & 4
DEED BOOK 4928 PAGE 336
ZONE CC & RU



ROBERT A. MASYS, PE

RAM ENGINEERING
160 Temple Street
Haverhill, Massachusetts 01830
TEL: (978) 572-6669 FAX: (978) 572-7183



19 LOWELL TERRACE LAWRENCE, MA 01841
PHONE: 948-866-9000
EMAIL: calcol@ram-engineering.com
The 2020 US Green Building Council (USGBC) GreenSource
Building, ranked by USGBC as one of the nation's
top 100 green buildings.

PROPOSED MIX-USED BUILDING
ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830
OWNER: UNION SUPERMARKET | DESIGNED BY CALCOL DESIGN GROUP

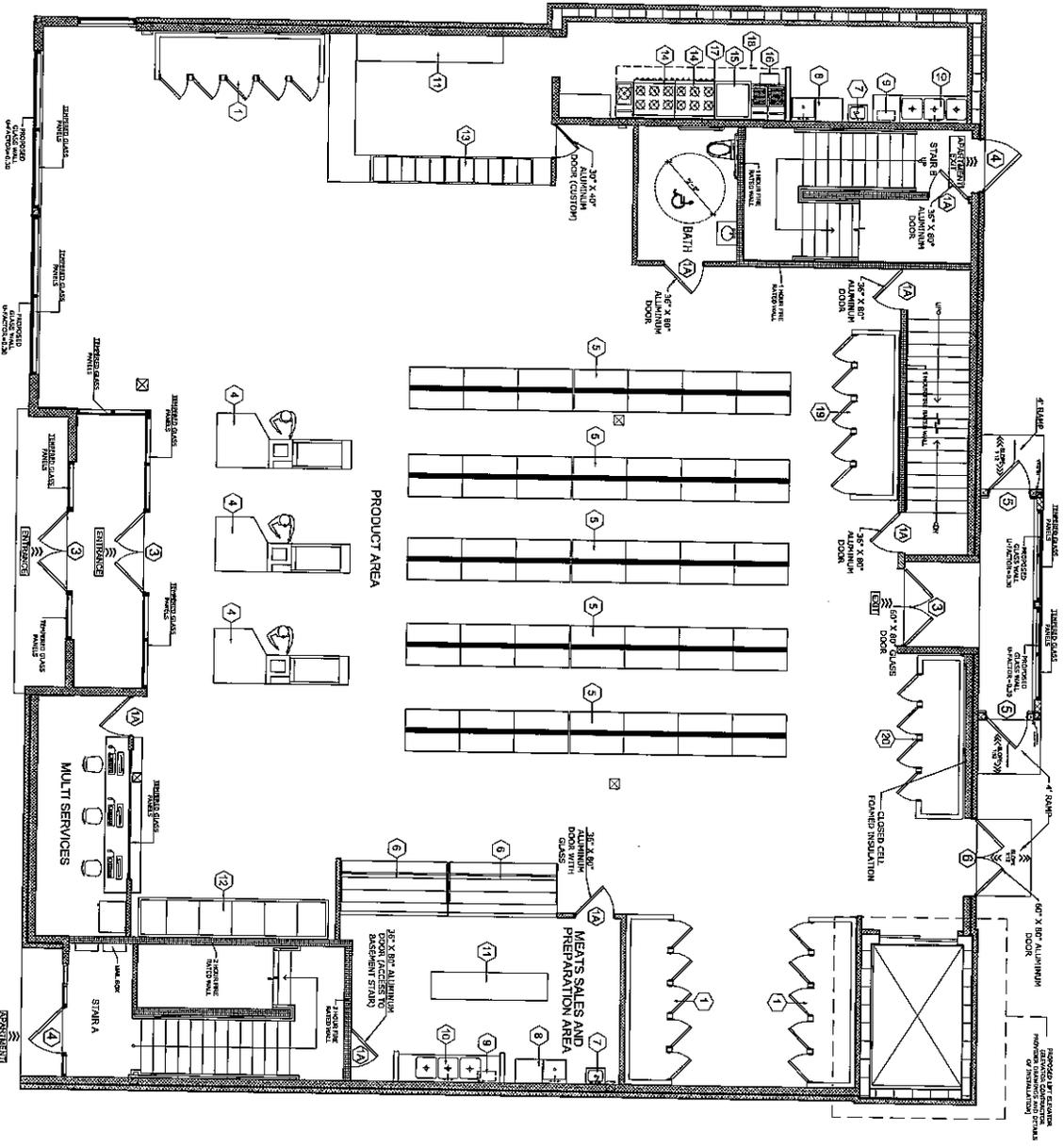
SCALE: 1/4" = 1'-0"
DATE: 07-16-2024

A-102.00

NOTE:
 CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (9TH EDITION OF THE MBSIC, 200 OHM STD, 120V AC) AND THE COMMONWEALTH OF MASSACHUSETTS AMENDMENT TO THE INTERNATIONAL BUILDING CODE 2015) AND THE CITY OF HAVERHILL ORDINANCES.

LEGEND
 PROPOSED FIRE RATE WALL
 PROPOSED NEW WALL

- LEGEND**
- 1 FRIDGES
 - 2 FRIDGE FOR FROZEN FOOD
 - 3 FRIDGE FOR VEGETABLES
 - 4 CASHIERS STATIONS
 - 5 SHELVING & DISPLAYS
 - 6 MEATS SALES FREEZER
 - 7 HAND SINK
 - 8 PREP SINK
 - 9 BIG DIPPER GREASE INTERCEPTOR
 - 10 3 BOWL SINK
 - 11 STAINLESS STEEL WORK TABLE
 - 12 14' LONG FRIDGE FOR MEAT
 - 13 HOT + COLD GLASS ENCLOSED FOOD DISPLAY UNIT
 - 14 6 BURNER STOVE OVEN 36"
 - 15 CHARBROILER GRILL 36"
 - 16 FRYER 15"x31"x48" S. STEEL
 - 17 1" METAL STUD WITH 1/2" NON-COMBUSTIBLE BOARD 3" W. ZERO CLEARANCE
 - 18 HOOD 4'-0" - 9" - 6" FIRE SUPPRESSION SYSTEM
 - 19 FREEZER FOR BEERS
 - 20 FREEZER FOR WINE



PROPOSED 1ST FLOOR PLAN (COMMERCIAL SPACE)



CALCOL
 15 GARDEN STREET, HAVERHILL, MA 01830
 TEL: 978.375.1111
 WWW.CALCOL.COM

GARCIA
 ENGINEERING
 15 GARDEN STREET, HAVERHILL, MA 01830
 TEL: 978.375.1111
 WWW.GARCIAENGINEERING.COM

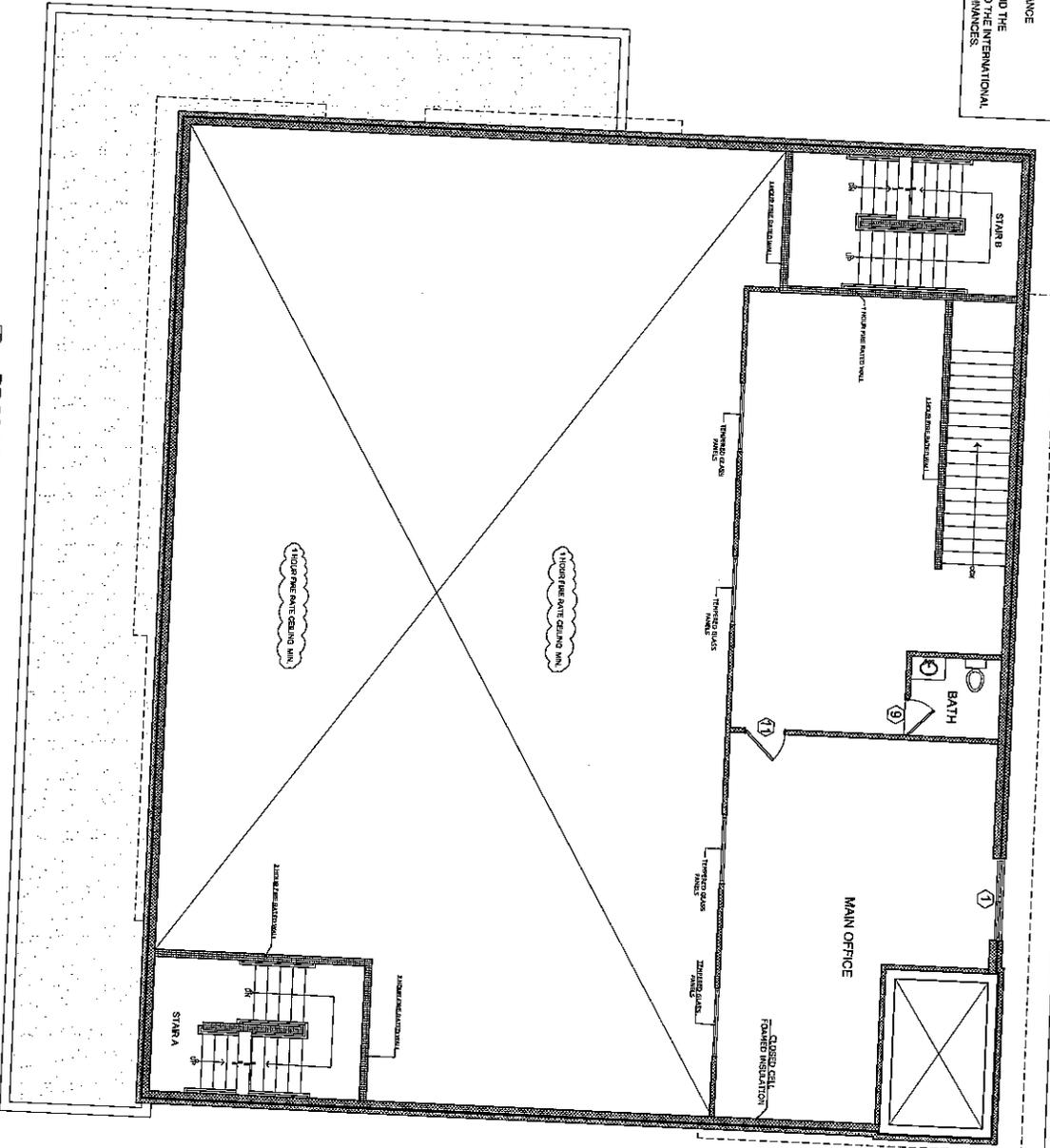
PROPOSED MIX-USED BUILDING
 ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830
 OWNER: UNION SUPERMARKET | DESIGNED BY: CALCOL DESIGN STUDIO

SCALE: 1/4" = 1'-0"
 DATE: 10-08-2024

A-101.00

NOTE:
 CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (8TH EDITION OF THE MBRS, 780 CMR 5.00, 8015.002 AND THE COMMONWEALTH OF MASSACHUSETTS AMENDMENT TO THE INTERNATIONAL BUILDING CODE 2015) AND THE CITY OF HAVERHILL ORDINANCES.

LEGEND
 [Pattern] PROPOSED FIRE RATE WALL
 [Pattern] PROPOSED NEW WALL



PROPOSED MEZZANINE FLOOR PLAN



CALCOL
 ARCHITECTS
 13 LOWELL TERRACE LAWRENCE, MA 01841
 PHONE: 948-208-2055
 EMAIL: calc@calcarchitects.com
 THESE PLANS ARE PREPARED BY CALCOL ARCHITECTS AND ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF CALCOL ARCHITECTS.

PROPOSED MIX-USED BUILDING
 ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830
 OWNER: UNION SUPERMARKET | DESIGNED BY: CALCOL ARCHITECTS

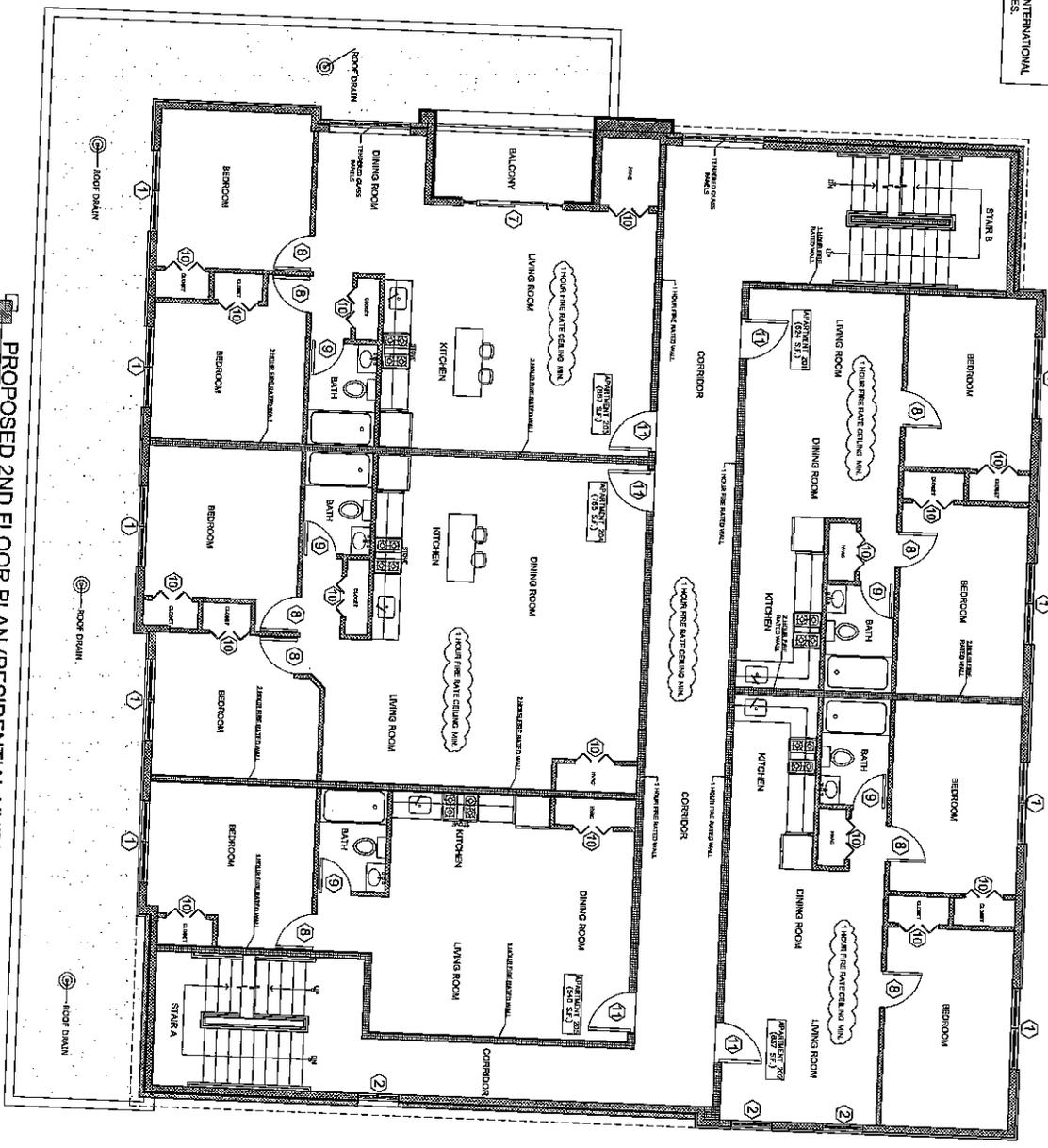
SCALE: 1/4" = 1'-0"
 DATE: 07-16-2024

A-111.00

NOTE:
 CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (3RD EDITION OF THE MBQC, 780 CMR 9.00, 8015 IBC AND THE COMMONWEALTH OF MASSACHUSETTS AMENDMENT TO THE INTERNATIONAL BUILDING CODE 2015) AND THE CITY OF HAVERHILL ORDINANCES.

LEGEND

	PROPOSED FIRE RATE WALL
	PROPOSED NEW WALL



PROPOSED 2ND FLOOR PLAN (RESIDENTIAL UNIT)



CALCOL
 13 LOWELL TERRACE LAWRENCE, MA 01904
 PHONE: 945-686-9955
 EMAIL: calcol@calcol.com
 THE SEALS & CERTIFICATIONS OF THIS OFFICE ARE VALID AND CORRECT.

PROPOSED MIX-USED BUILDING
 ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830
 OWNER: UNION SUPERMARKET | DESIGNED BY CALCOL DESIGN STUDIO

SCALE: 1/4" = 1'-0"
 DATE: 07-16-2024

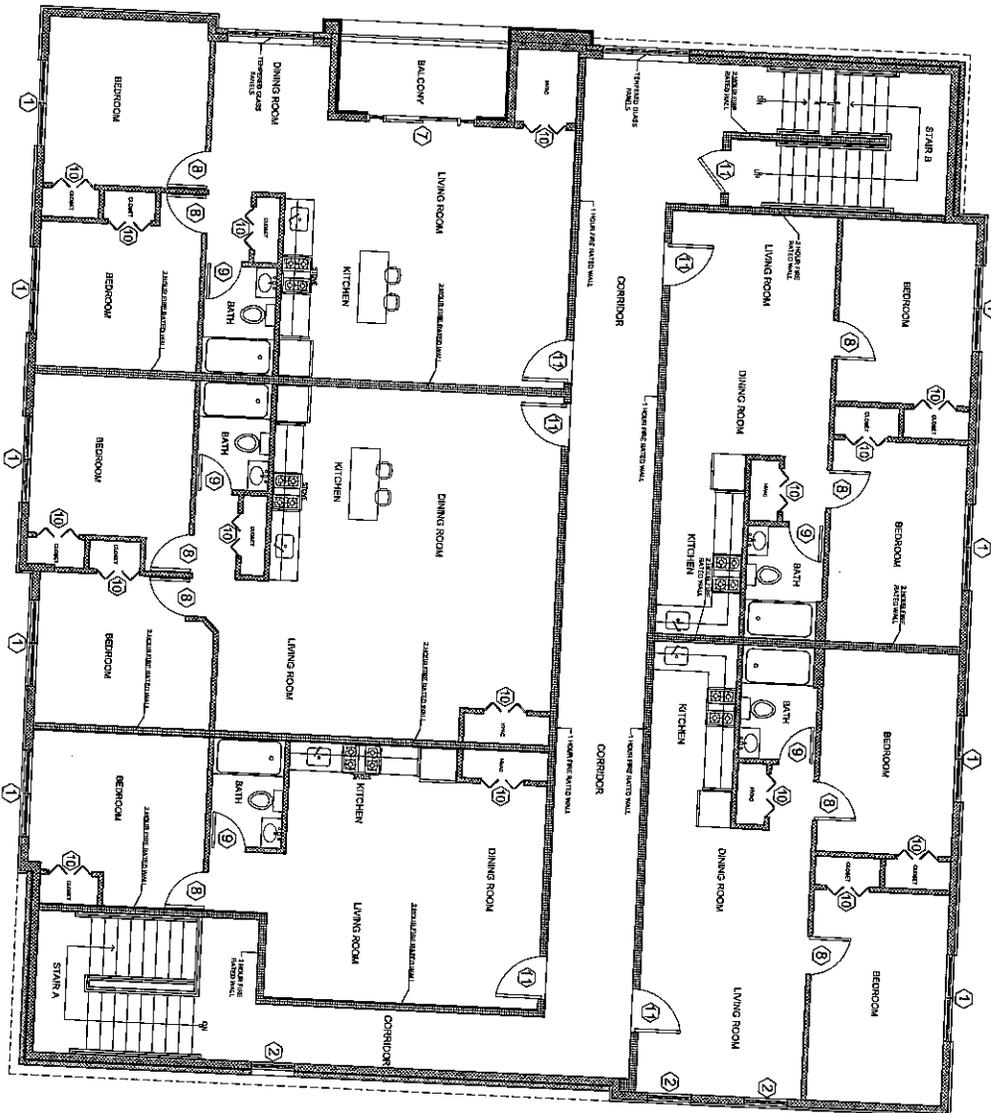
A-112.00

NOTE:
 CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (9TH EDITION OF THE MASS. REG. CODE 801.00) (2015 IBC AND THE COMMONWEALTH OF MASS. REG. CODE 801.00) (2015 IBC AND THE BUILDING CODE 2015) AND THE CITY OF HAVERHILL ORDINANCES.

LEGEND

 PROPOSED FIRE PATE WALL

 PROPOSED NEW WALL



PROPOSED 3RD FLOOR PLAN (RESIDENTIAL UNIT)



CALCOL
 ARCHITECTS

32 LOWELL TERRACE, LAWRENCE, MA 01841
 PHONE: 978-686-2615
 FAX: 978-686-2615
 EMAIL: calc@calcarchitects.com

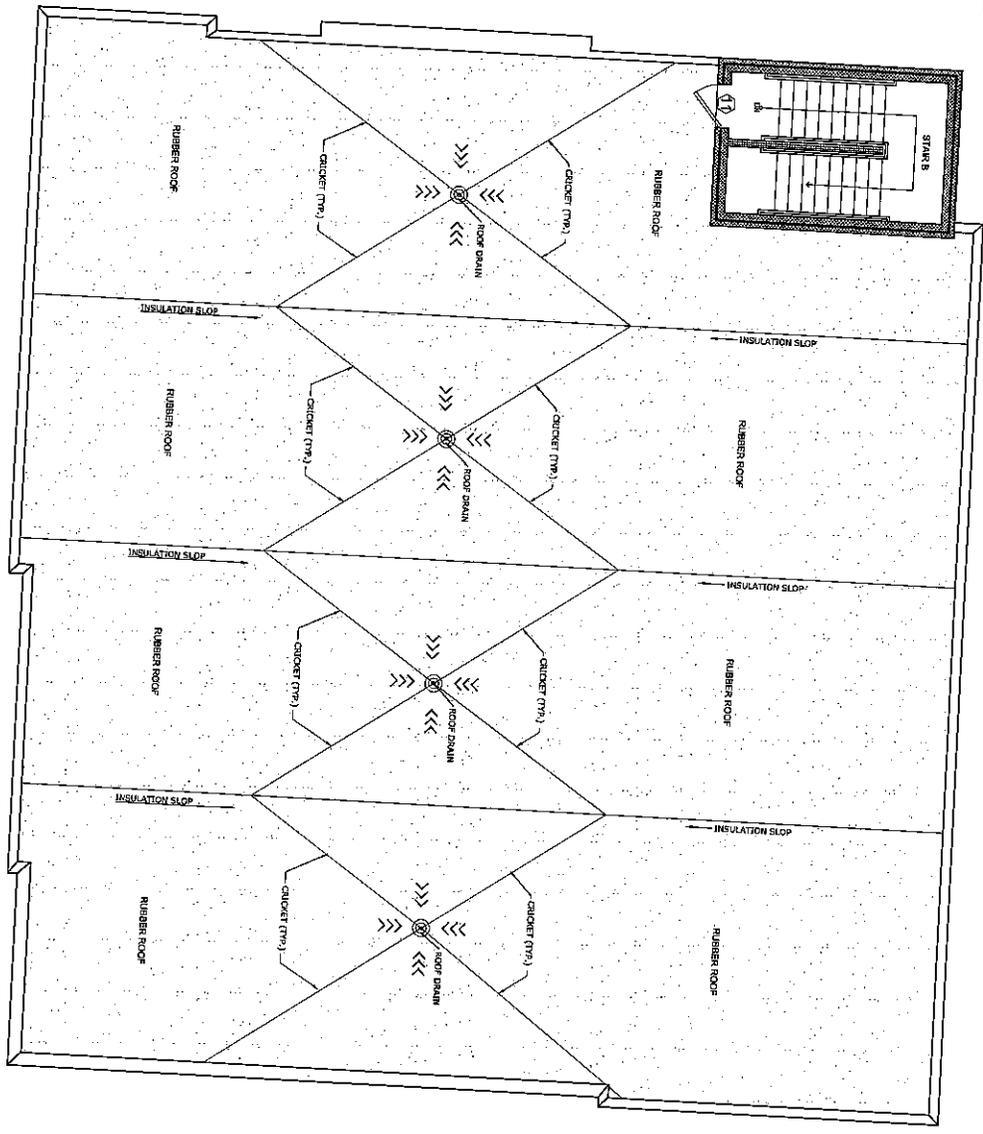
PROPOSED MIX-USED BUILDING
 ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830
 OWNER: UNION SUPERMARKET | DESIGNED BY: CALCOL ARCHITECTS

SCALE: 1/4" = 1'-0"
 DATE: 07-16-2024

A-113.00

NOTE:
 CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (8TH EDITION OF THE NBC, 2001 CMR 28.00, 28.01, 28.05 IBC AND THE COMMONWEALTH OF MASSACHUSETTS AMENDMENT TO THE INTERNATIONAL BUILDING CODE 2015) AND THE CITY OF HAVERHILL ORDINANCES.

LEGEND
 [Hatched Box] PROPOSED FINE PARTIC WALL
 [Dotted Box] PROPOSED NEW WALL



PROPOSED ROOF PLAN
Scale: 1/4" = 1'-0"



CALCOL
 ARCHITECTS P.C.

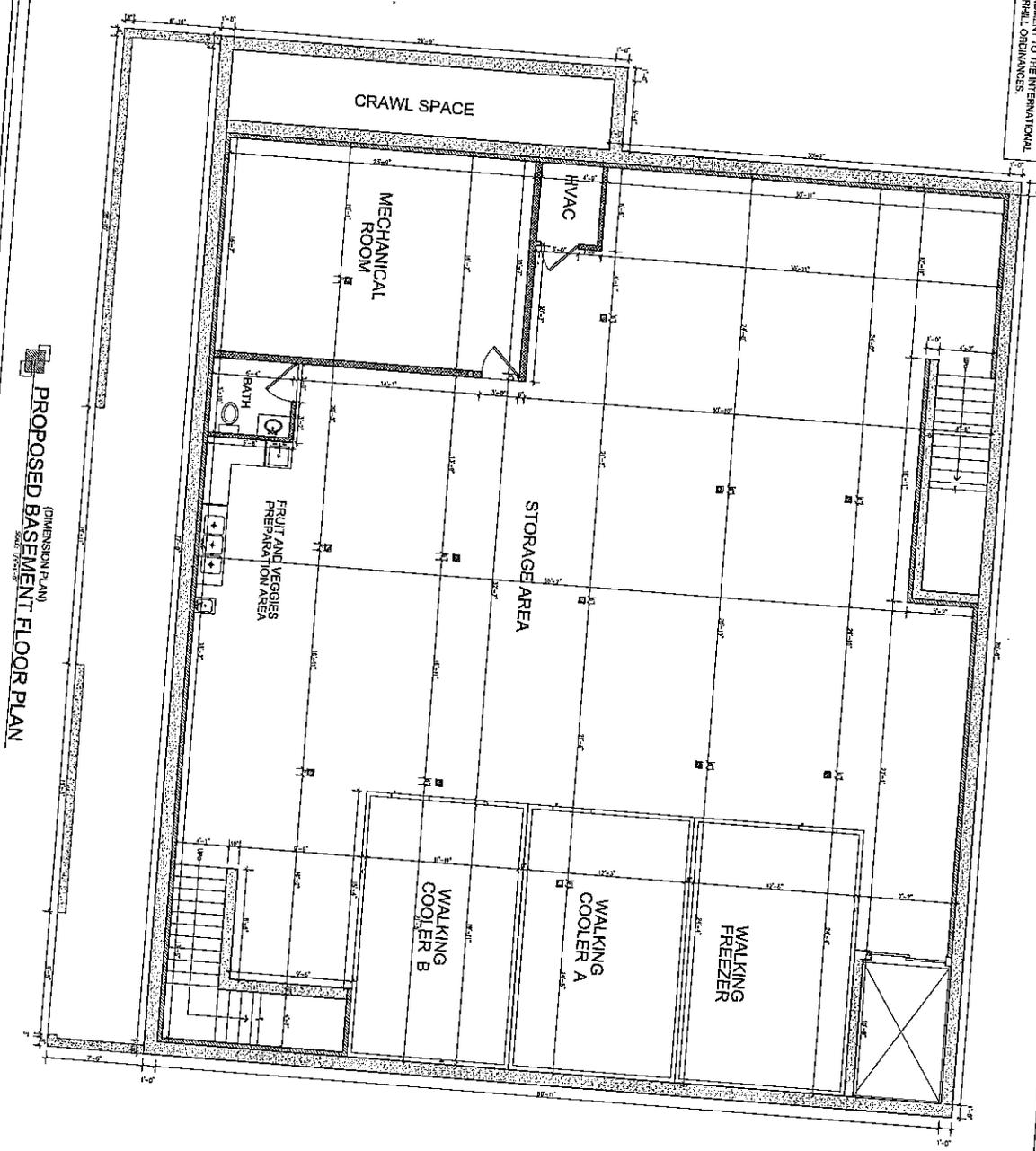
13 LOWELL TERRACE, LAWRENCE, MA 01841
 PHONE: 943-686-9655
 EMAIL: CALCOL@CALCOLARCHITECTS.COM
 This stamp is the indication of the design of the project. It is not to be used for any other purpose without the written consent of the architect.

PROPOSED MIX-USED BUILDING
 ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830
 OWNER: UNION SUPERMARKET | DESIGNED BY: CALCOL DESIGN STUDIO

SCALE: 1/4" = 1'-0"
 DATE: 07-16-2024

A-114.00

NOTE:
 CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (8TH EDITION OF THE MISC. 780 CMR'S AND THE COMMONWEALTH OF MASSACHUSETTS 801 CMR'S AND THE BUILDING CODE 2015) AND THE CITY OF HAVERHILL ORDINANCES.
NOTE:
 CONTRACTOR SHALL BEFORE START WORK VERIFY EVERY DIMENSION AND HEIGHT.



PROPOSED BASEMENT FLOOR PLAN
 (DIMENSION PLAN)
 SCALE: 1/4" = 1'-0"



CALCOL
 ARCHITECTS INC.

15 LOWELL TERRACE LAWRENCE MA 01841
 PHONE: 978-686-9603
 EMAIL: CALCOL@CALCOL.COM
 WWW.CALCOL.COM

PROPOSED MIX-USED BUILDING
 ADDRESS: 233 WINTER ST. HAVERHILL, MA 01830
 OWNER: UNION SUPERMARKET | DESIGNED BY: CALCOL DESIGN ARCHITECTS

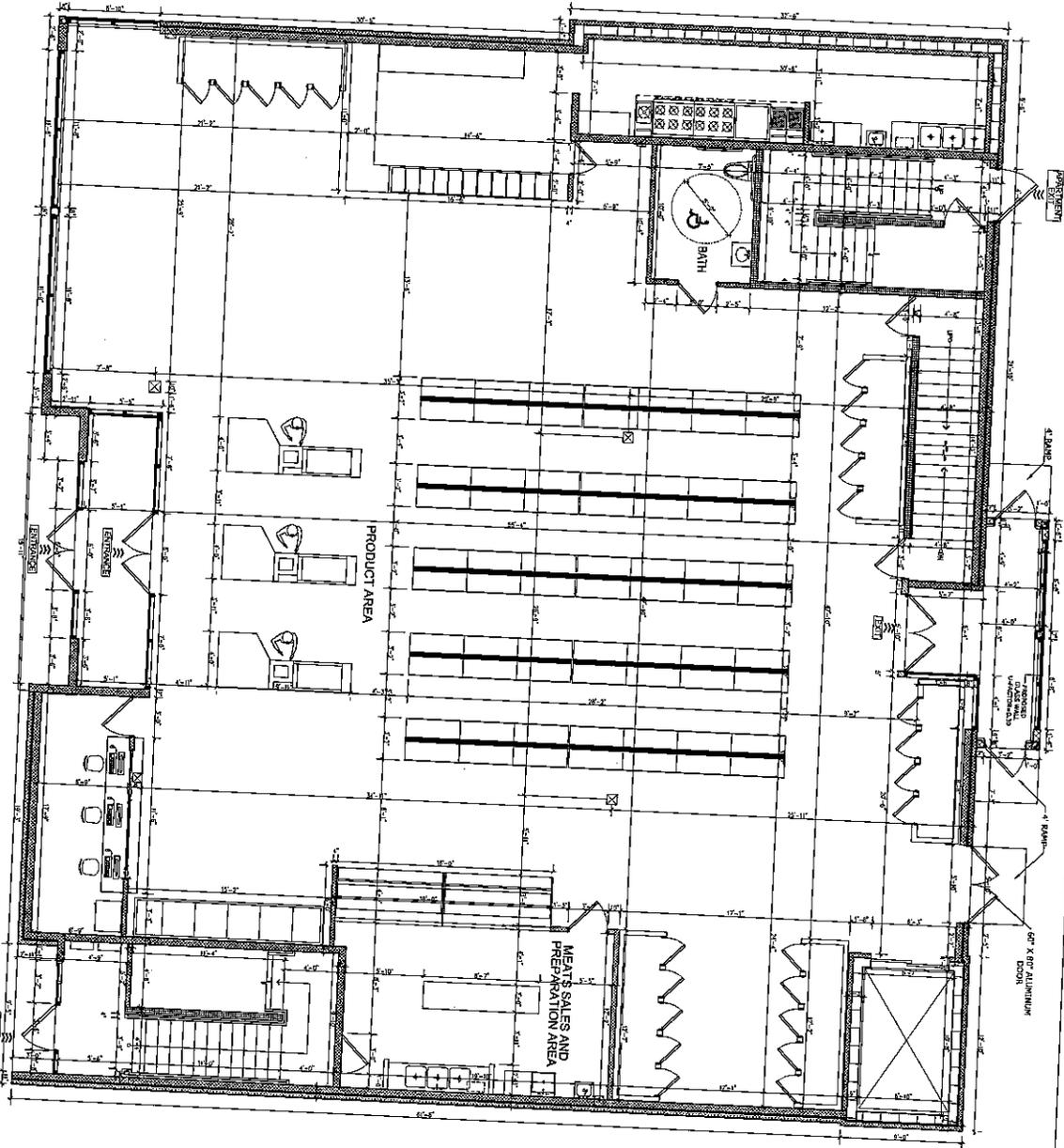
SCALE: 1/4" = 1'-0"

DATE: 07-16-2024

A-115.00

NOTE:
 CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (9TH EDITION OF THE MASS. REG. CODE 801.00) (2015 IBC AND THE COMMONWEALTH OF MASSACHUSETTS AMENDMENT TO THE INTERNATIONAL BUILDING CODE 801.5) AND THE CITY OF HAVERHILL ORDINANCES.

NOTE:
 CONTRACTOR SHALL BEFORE START WORK CENTER EVERY DIMENSION AND HEIGHT.



PROPOSED 1ST FLOOR PLAN (COMMERCIAL SPACE)
 (DIMENSION PLAN)
 SCALE: 1/4" = 1'-0"



CALCOL
 16 SMALL TOWN SQUARE, LAWRENCE, MA 01840
 978-681-1111
 WWW.CALCOL.COM

GARCIA
 ENGINEERING
 100 WINTER ST., SUITE 200
 HAVERHILL, MA 01830
 WWW.GARCIAENGINEERING.COM

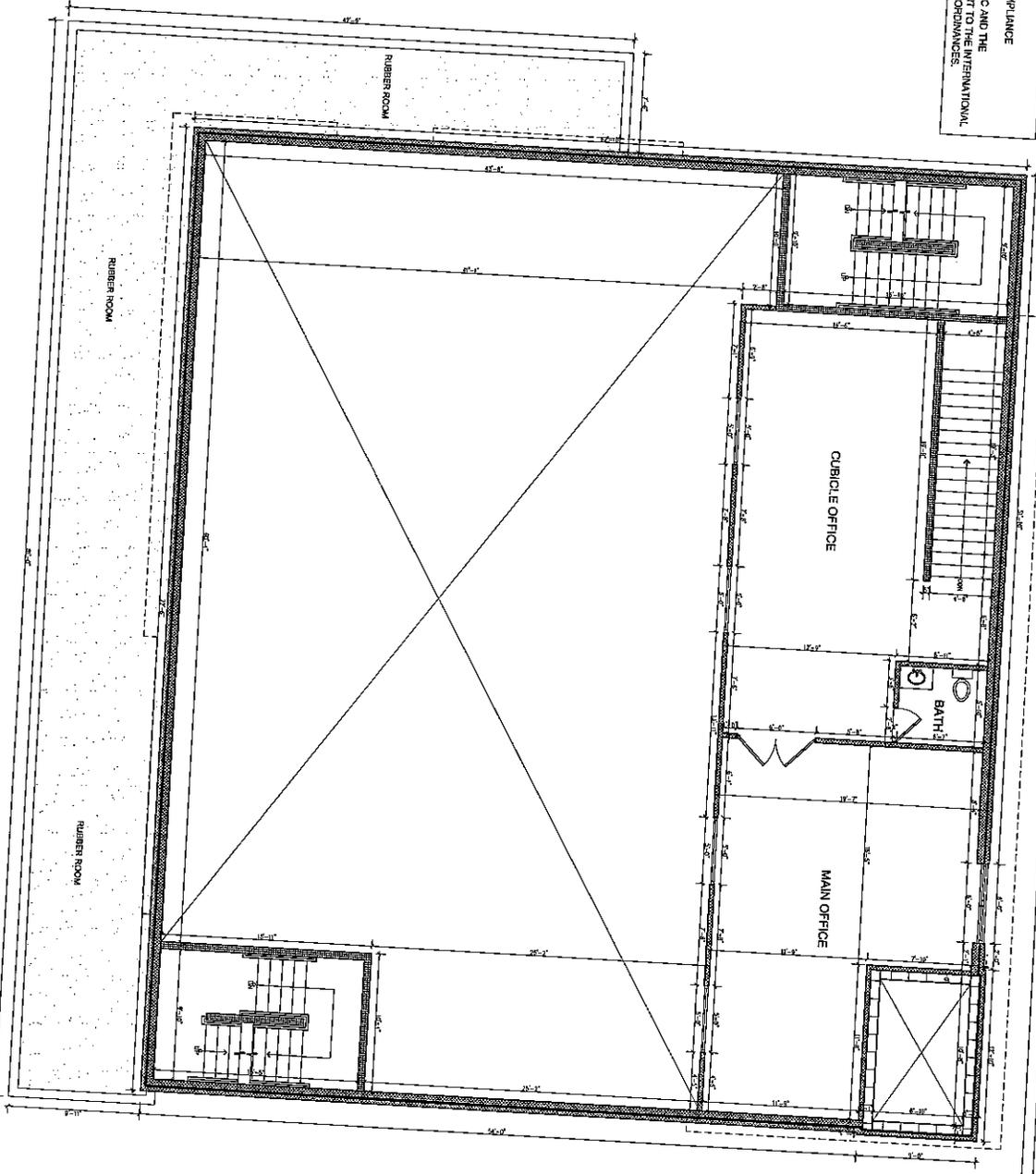
PROPOSED MIX-USED BUILDING
 ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830
 OWNER: UNION SUPERMARKET | DESIGNED BY: CALCOL DESIGN STUDIO

SCALE: 1/4" = 1'-0"
 DATE: 10-08-2024

A-102.00

NOTE:
 CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (8TH EDITION OF THE ABCS 209 CMR 11.00) (2415 IBC AND THE COMMONWEALTH OF MASSACHUSETTS' AGREEMENT TO THE INTERNATIONAL BUILDING CODE 2015) AND THE CITY OF HAVERHILL ORDINANCES.

NOTE:
 CONTRACTOR SHALL BEFORE START WORK VERIFY EVERY DIMENSION AND HEIGHT.



PROPOSED MEZZANINE FLOOR PLAN
 (DIMENSION PLAN)



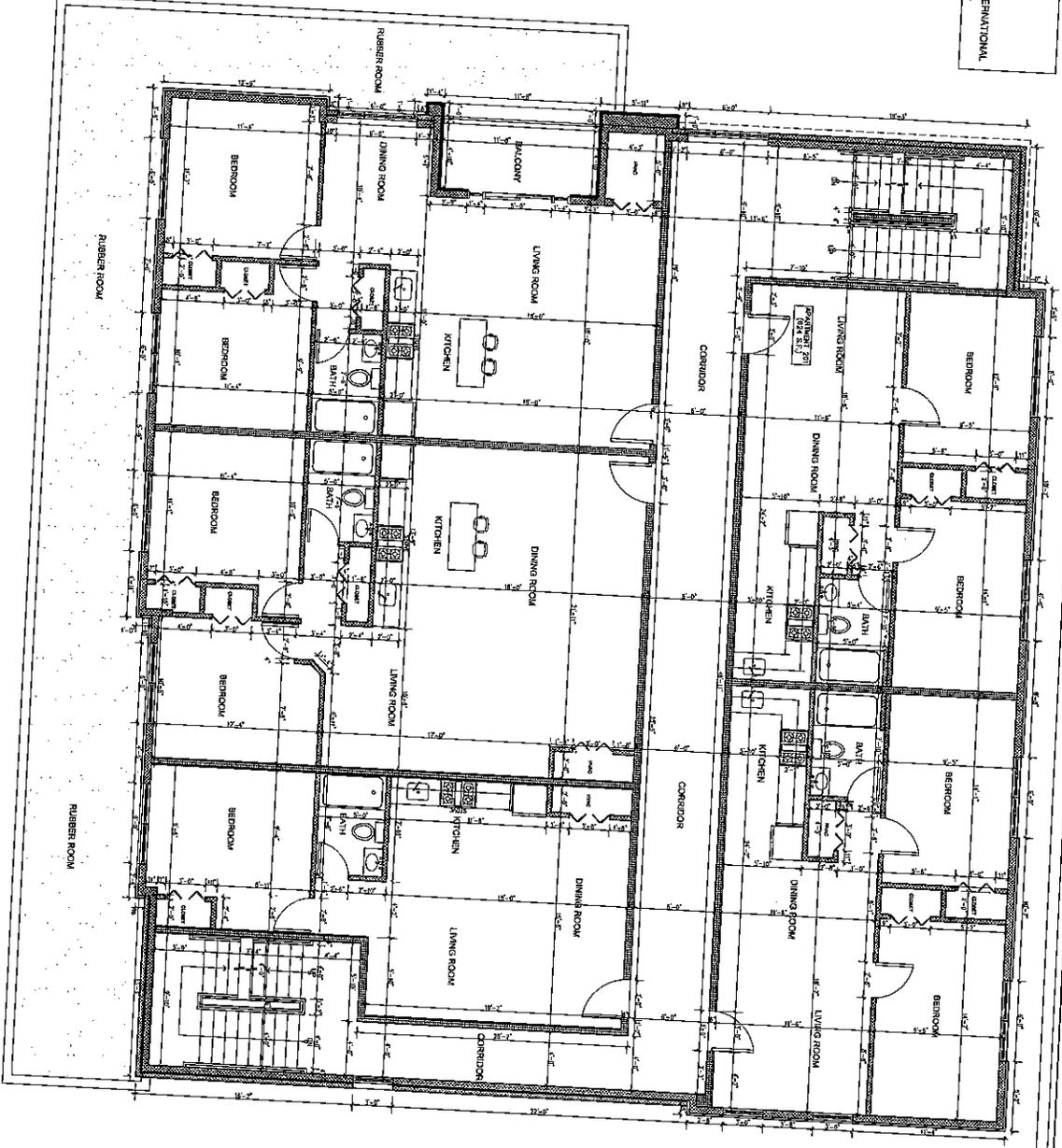
CALCOL
 ARCHITECTS INC.
 13 LOWELL TERRACE, LAWRENCE, MA 01841
 PHONE: 948-606-2655
 EMAIL: CALCOL@CALCOLARCHITECTS.COM

PROPOSED MIX-USED BUILDING
 ADDRESS: 233 WINTER ST., HAVERHILL, MA 01830
 OWNER: UNION SUPERMARKET | DESIGNED BY CALCOL PERM 821810

SCALE: 1/4" = 1'-0"
 DATE: 07-16-2024

A-117.00

NOTE:
 CONTRACTOR SHALL BEFORE START WORK VERIFY THE COMMONWEALTH OF MASSACHUSETTS (9TH EDITION OF THE MASS. REGS. CHAP. 91A.00) (8015 IRG AND THE COMMONWEALTH OF MASSACHUSETTS' AMENDMENT TO THE INTERNATIONAL BUILDING CODE 2015) AND THE CITY OF HAVERHILL ORDINANCES.
 NOTE:
 CONTRACTOR SHALL BEFORE START WORK VERIFY EVERY DIMENSION AND HEIGHT.



PROPOSED 2ND FLOOR PLAN (RESIDENTIAL UNIT)



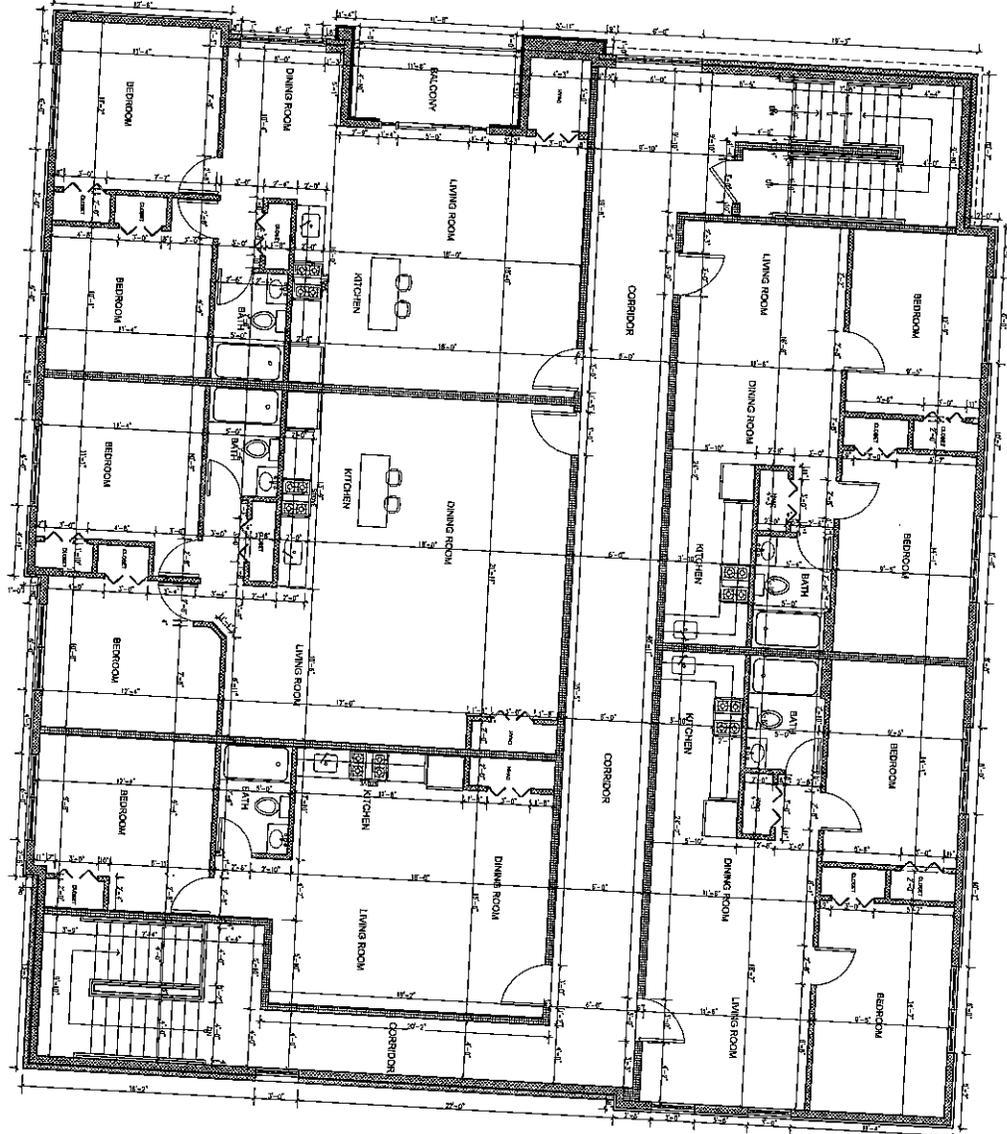
CALCOL
 ARCHITECTS
 13 LOWELL TERRACE LAWRENCE, MA 01841
 PHONE: 944-684-9953
 EMAIL: CALCOLARCHITECTS@GMAIL.COM
 THIS SEAL IS THE PROPERTY OF CALCOL ARCHITECTS AND SHALL BE USED ONLY FOR THE PROJECT AND IN ACCORDANCE WITH THE REGULATIONS OF THE BOARD.

PROPOSED MIX-USED BUILDING
 ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830
 OWNER: UNION SUPERMARKET | DESIGNED BY: CALCOL ARCHITECTS

SCALE: 1/4" = 1'-0"
 DATE: 07-18-2024

A-118.00

NOTE:
 CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS 807 CMR (2018) AND THE BUILDING CODE OF MASSACHUSETTS AMENDMENT TO THE BUILDING CODE 2015 AND THE CITY OF HAVERHILL ORDINANCES.
 CONTRACTOR SHALL VERIFY EVERY DIMENSION ON AND HEIGHT.



PROPOSED 3RD FLOOR PLAN (RESIDENTIAL UNIT)
 (DIMENSION PLAN)



CALCOL
 ARCHITECTS, INC.

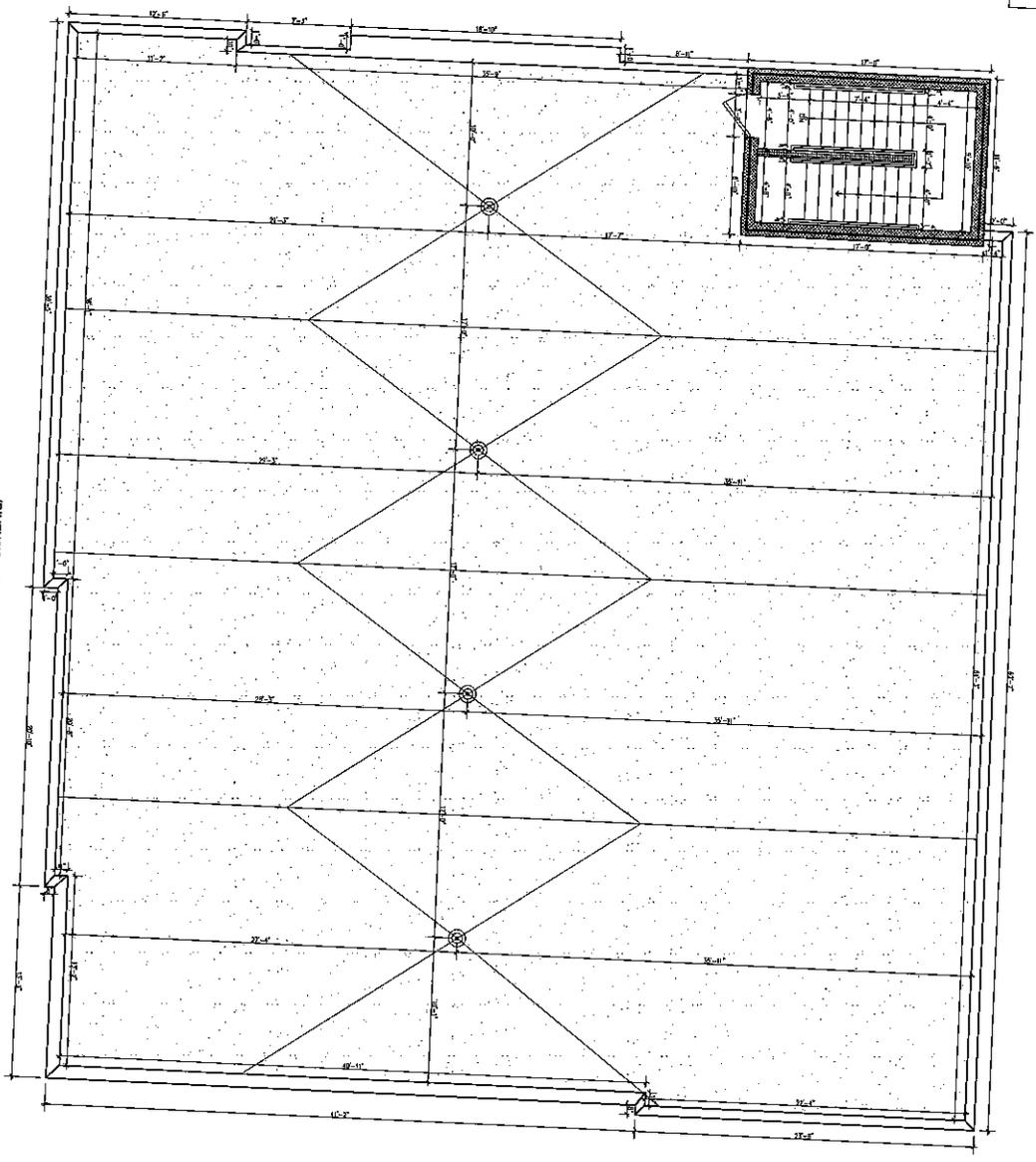
13 LOWELL TERRACE, LAWRENCE, MA 01841
 PHONE: 948-680-9625
 EMAIL: CalcolArchitects@gmail.com

PROPOSED MIX-USED BUILDING
 ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830
 OWNER: UNION SUPERMARKET | DESIGNED BY: CALCOL ARCHITECTS

SCALE: 1/4" = 1'-0"
 DATE: 07-16-2024

A-119.00

NOTE:
 CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (97A CMR 1.00) AND THE CITY OF HAVERHILL ORDINANCES.
 CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF HAVERHILL AND THE MASSACHUSETTS DEPARTMENT OF CONSTRUCTION.
 CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF HAVERHILL AND THE MASSACHUSETTS DEPARTMENT OF CONSTRUCTION.
 CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF HAVERHILL AND THE MASSACHUSETTS DEPARTMENT OF CONSTRUCTION.



(DIMENSION PLAN)
PROPOSED ROOF PLAN
 SCALE: 1/4" = 1'-0"



CALCOL
 DESIGN INC.

13 LOWELL TERRACE, LAWRENCE, MA 01841
 PHONE: 948-680-9220
 EMAIL: calcoldesigninc@gmail.com
 THE DESIGNER ASSURES THE ACCURACY OF THESE PLANS
 SUBJECT TO ANY CHANGES MADE BY THE ARCHITECT
 AND THE SUBMITTER OF THE REQUEST.

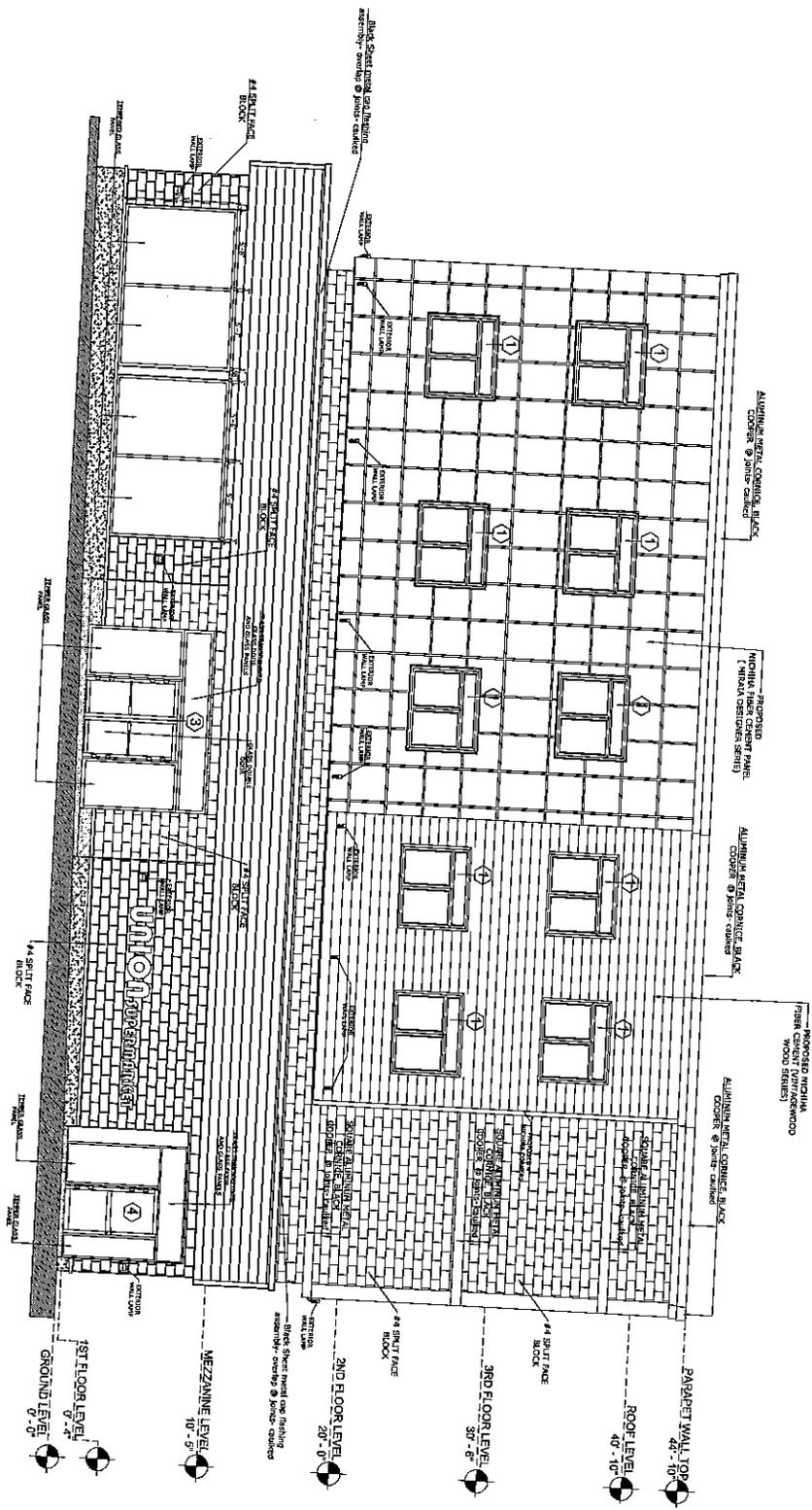
PROPOSED MIX-USED BUILDING
 ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830
 OWNER: UNION SUPERMARKET | DESIGNED BY: CALCOL DESIGN INC.

SCALE: 1/4" = 1'-0"
 DATE: 07-16-2024

A-120.00

NOTE: DIMENSIONS SHALL BECOME START WORK VERTICAL DIMENSION AND HEIGHT.

FRONT ELEVATION
SCALE: 1/4" = 1'-0"



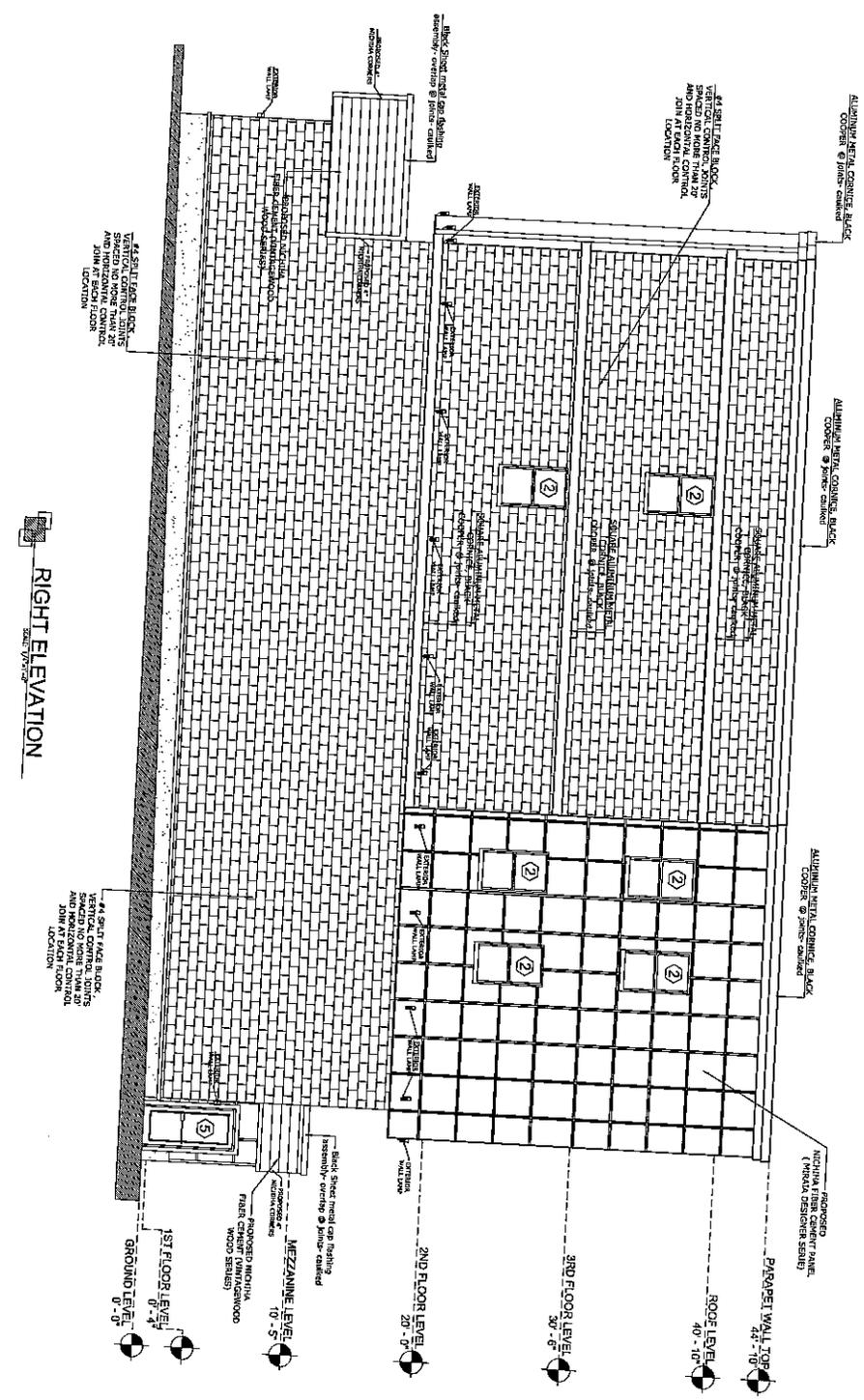
CALCOL
ARCHITECTS
13 LOWELL TERRACE, LAWRENCE, MA 01841
PHONE: 946-400-9925
EMAIL: CalcolArchitects@aol.com

PROPOSED MIX-USED BUILDING
ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830
OWNER: UNION SUPERMARKET | DESIGNED BY CALCOL ARCHITECTS

SCALE: 1/4" = 1'-0"
DATE: 07-16-2024

A-121.00

NOTE:
 VERIFY SPAN SHALL BEFORE START WORK.
 VERIFY SPAN DIMENSION AND HEIGHT



RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"

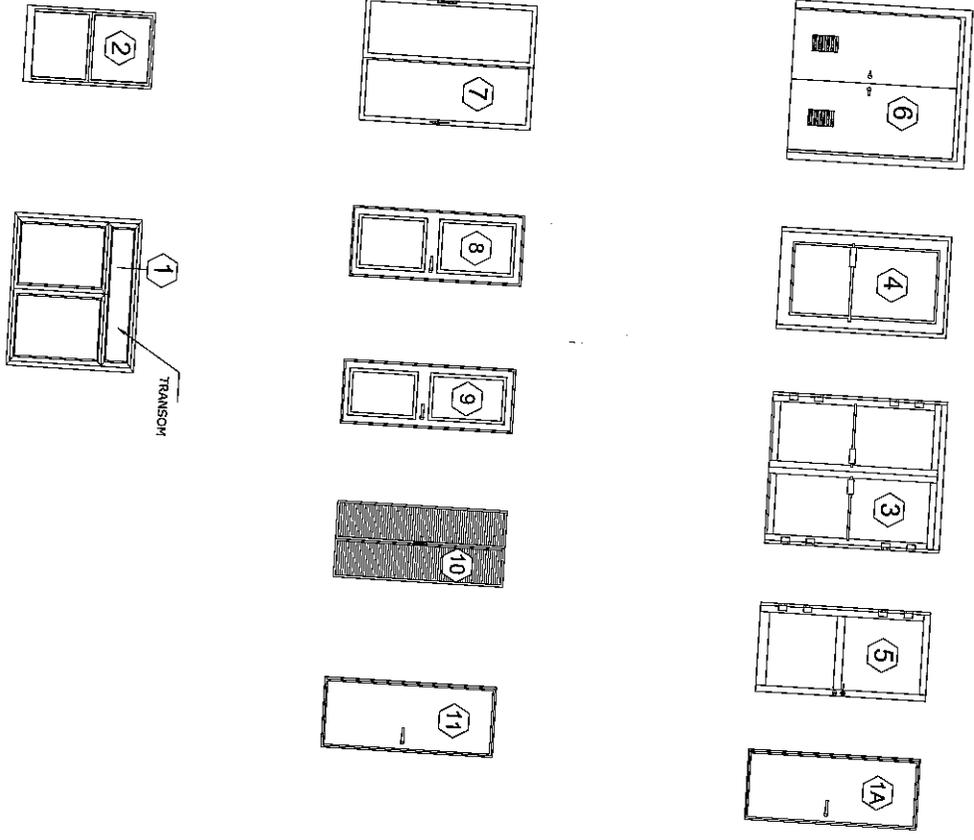


CALCOL
 ARCHITECT
 12 LOWELL TERRACE, LAWRENCE, MA 01841
 PHONE: 978-686-8024
 EMAIL: Calcol@calcol.com
 THIS SEAL IS THE PROPERTY OF CALCOL DESIGN GROUP. IT IS TO BE USED ONLY BY THE REGISTERED ARCHITECT OR ARCHITECTS UNDER THE SUPERVISION OF THE AUTHOR.

PROPOSED MIX-USED BUILDING
 ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830
 OWNER: UNION SUPERMARKET | DESIGNED BY: CALCOL DESIGN GROUP

SCALE: 1/4" = 1'-0"
 DATE: 07-16-2024

A-123.00



COMMERCIAL SPACE

SYMBOL	WINDOW SIZE	FLOOR	QUANTITY	LOCATION	REMARK
11A	8'0" x 8'0" TYPICAL	MEZZANINE	1	COMPLETE FLOOR	INTERIOR ALUMINUM DOOR
3	6'0" x 8'0"	1ST FLOOR	3	COMPLETE FLOOR	TEMPERED GLASS DOOR
4	4'2" x 6'2"	1ST FLOOR	2	ENTRANCE DOOR	TEMPERED GLASS ENTRANCE DOOR
5	3'0" x 6'0"	1ST FLOOR	2	ENTRANCE DOOR	TEMPERED GLASS ENTRANCE DOOR
9	6'0" x 8'0"	1ST FLOOR	1	ENTRANCE DOOR	EXTERIOR ALUMINUM DOOR

RESIDENTIAL AREA

SYMBOL	WINDOW SIZE	FLOOR	QUANTITY	LOCATION	REMARK
7	4'0" x 6'0" TYPICAL	2ND FLOOR	2	BALCONY	TEMPERED GLASS SLIDING DOOR
8	3'0" x 4'0" TYPICAL	2ND FLOOR	14	COMPLETE FLOOR	TYPICAL INTERIOR DOOR
9	3'0" x 6'0" TYPICAL	2ND FLOOR	10	COMPLETE FLOOR	TYPICAL INTERIOR DOOR
10	3'0" x 4'0"	2ND FLOOR	32	COMPLETE FLOOR	TYPICAL FOLDING DOOR
11	3'0" x 4'0"	2ND FLOOR AND 3RD FLOOR	7	COMPLETE FLOOR	ALUMINUM DOOR HEAVY FIRE RATED DOOR

RESIDENTIAL AREA

SYMBOL	WINDOW SIZE	FLOOR	QUANTITY	LOCATION	REMARK
1	8'0" x 7'0"	2ND FLOOR	10	COMPLETE FLOOR	BLACK WINDOW FRAME
2	3'0" x 4'0" TYPICAL	2ND FLOOR	6	COMPLETE FLOOR	BLACK WINDOW FRAME

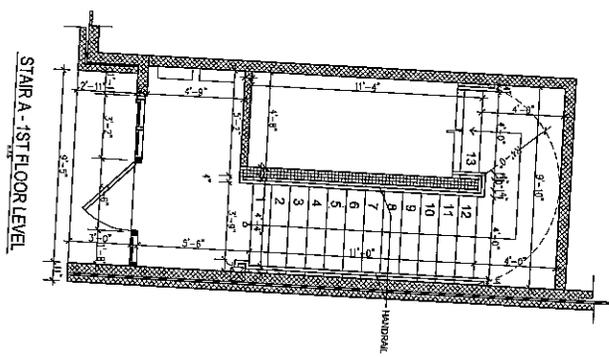


CALCOL
 13 LOWELL TERRACE, LAWRENCE, MA 01841
 PHONE: 945-688-9035
 EMAIL: CALCOL@CALCOL.COM
 REGISTERED ARCHITECT

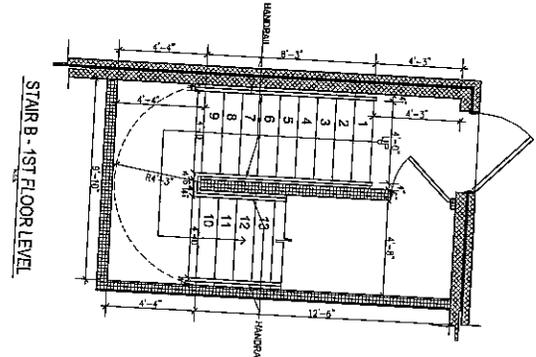
PROPOSED MIX-USED BUILDING
 ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830
 OWNER: UNION SUPERMARKET | DESIGNED BY: CALCOL DESIGN STUDIO

SCALE: 1/4" = 1'-0"
 DATE: 07-16-2024

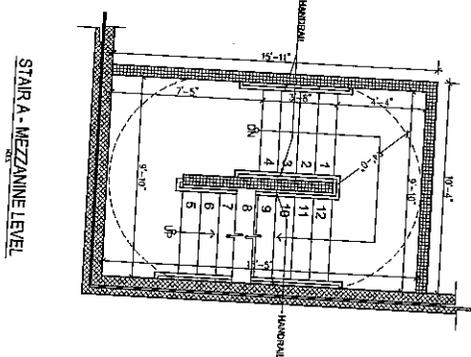
A-126.00



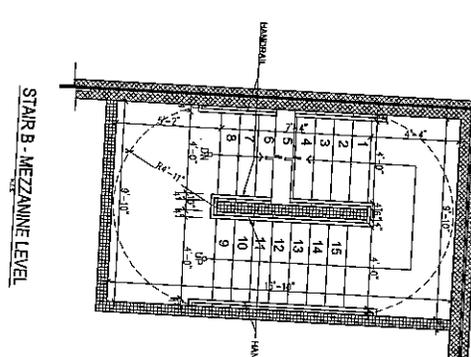
STAIR A - 1ST FLOOR LEVEL



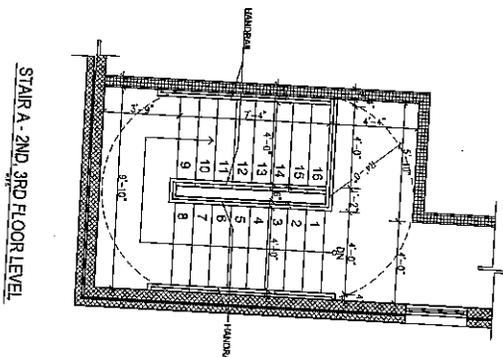
STAIR B - 1ST FLOOR LEVEL



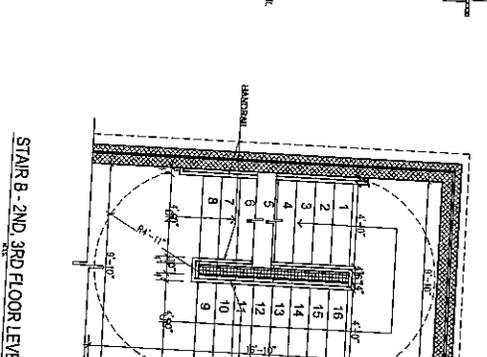
STAIR A - MEZZANINE LEVEL



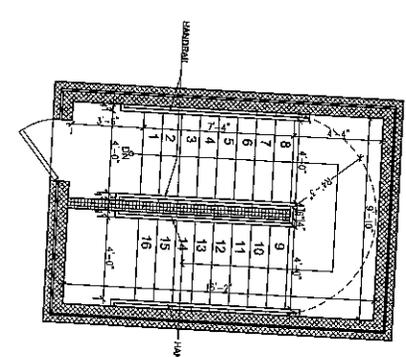
STAIR B - MEZZANINE LEVEL



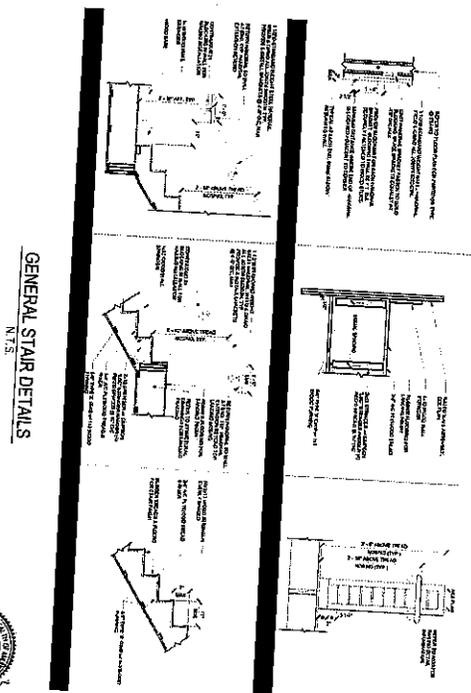
STAIR A - 2ND & 3RD FLOOR LEVEL



STAIR B - 2ND & 3RD FLOOR LEVEL



STAIR B - ROOF LEVEL



GENERAL STAIR DETAILS
N.T.S.

NOTE: BEFORE CONSTRUCTION START WORK ON STAIRS, VERIFY EVERY STEP AND DIMENSION CHECKED BY INSPECTION COMPANY.

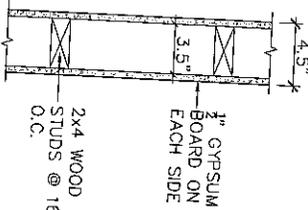


CALCOL
ARCHITECTS
13 LOWELL TERRACE, LAWRENCE, MA 01841
PHONE: 943-686-9655
EMAIL: CALCOL@CALCOLARCHITECTS.COM
WWW.CALCOLARCHITECTS.COM

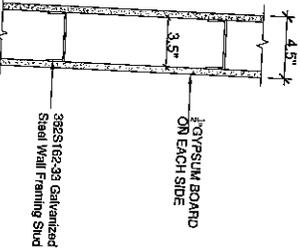
PROPOSED MIX-USED BUILDING
ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830
OWNER: UNION SUPERMARKET | DESIGNED BY: CALCOL DESIGN STUDIO

SCALE: 1/4" = 1'-0"
DATE: 07-16-2024

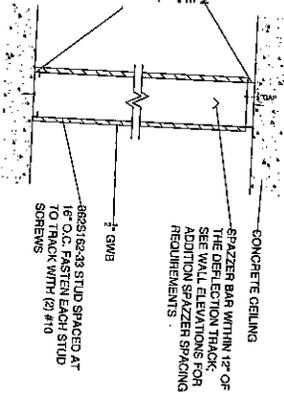
A-127.00



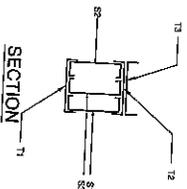
INTERIOR WALL WOOD STUD
N.T.S.



INTERIOR WALL STEEL STUD
N.T.S.



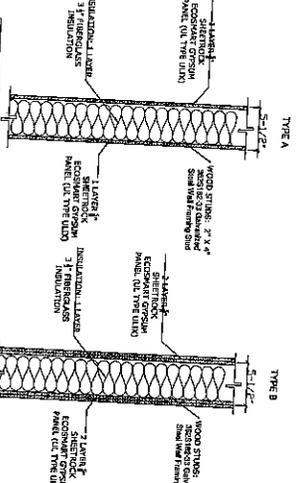
INTERIOR WALL METAL STUD CONNECTION
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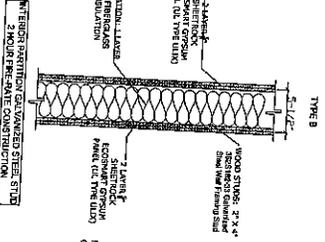
HEADER SCHEDULE	TYPICAL		TYPICAL		TYPICAL	
HEADER TYPE	S1	S2	S3	T1	T2	T3
FOOT 1	38S2162-33	38S2162-33	38S2162-33	38S2162-33	38S2162-33	38S2162-33
TOTAL	38S2162-33	38S2162-33	38S2162-33	38S2162-33	38S2162-33	38S2162-33

- NOTES:
1. ALL LIGHT GAGE METAL FRAMING MEMBERS EXCEPT THIN 18 GAUGE SHALL HAVE A YIELD STRENGTH OF 57-60 KSI.
 2. ALL METAL STUDS SHALL BE FASTENED TO CONCRETE WITH 1/2" O.C. SPACERS AT 16" O.C. IN THE TOP AND BOTTOM TRACKS.
 3. 1/2" O.C. SPACERS SHALL BE FASTENED TO CONCRETE WITH 1/2" O.C. SPACERS AT 16" O.C. IN THE TOP AND BOTTOM TRACKS.
 4. ALL 18 AND 17 DENOMINATIONS ARE PER ISM.
 5. ALL 18 AND 17 DENOMINATIONS ARE PER ISM.

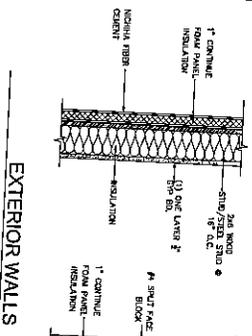
METAL STUD TYPICAL HEADER
N.T.S.



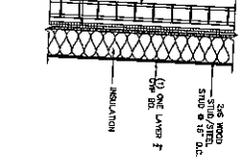
INTERIOR WALL FIRE SEPARATION
N.T.S.



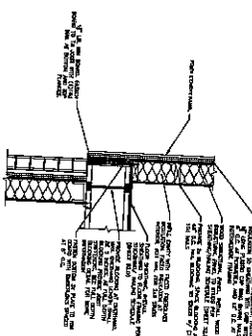
ACCORDING WITH THE SECTION
AND CONNECTION
EOT INSULATION PROCESSES SHALL HAVE WALLS
FLOOR AND CEILING SHALL HAVE WALLS
FIRE-RESISTANCE RATING AND SHALL BE
STANDARD OR RAMP.



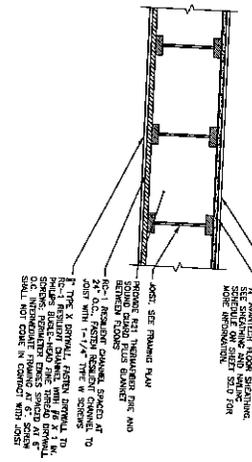
EXTERIOR WALLS
N.T.S.



CONNECTION DETAIL
N.T.S.



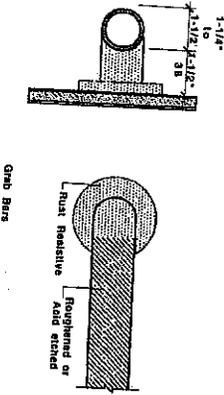
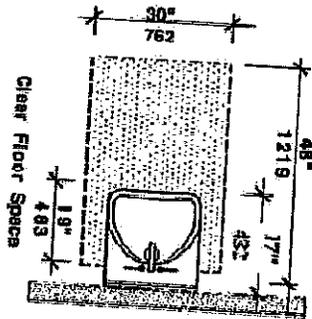
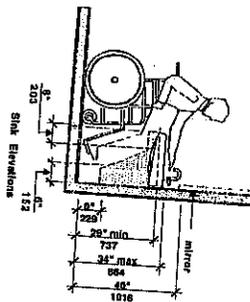
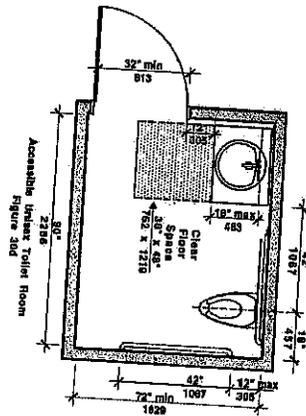
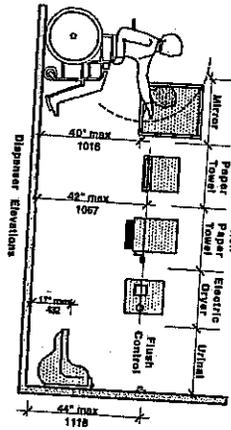
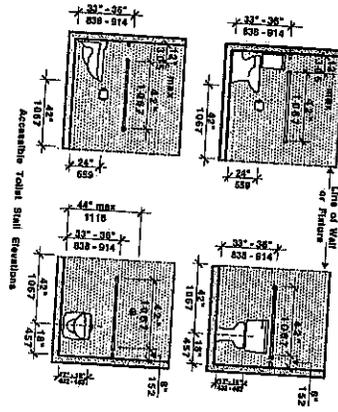
THR-RATED CEILING ASSEMBLY
N.T.S.



13.1 OWELL TERRACE LAWRENCE, MA 01841
PHONE: 948-46-9655
EMAIL: calcol@calcol.com
WWW: www.calcol.com
We are a 100% employee owned company.
We are a 100% employee owned company.

PROPOSED MIX-USED BUILDING
ADDRESS: 233 WINTER ST. HAYVERHILL, MA 01830
OWNER: UNION SUPERMARKET | DESIGNED BY: CALCOL DESIGN GROUP

SCALE: 1/4" = 1'-0"
DATE: 07-16-2024



ADULT HANDICAP BATHROOM REQUIREMENTS:

DOORS TO SINGLE USER TOILET ROOMS Doors to single user toilet rooms may swing into the room if the door has a self-closing device and maneuvering space is provided in accordance with 521 CMR 26.6. The door may swing into the room if there is a clear floor space of 30 inches by 48 inches (30" = 762mm by 48" = 1219mm) beyond the swing of the door.

GRAB BARS

For the standard accessible toilet stall the water closet shall have two grab bars 42 inches (42" = 1067mm) long, one on the wall in back of the water closet and one on the side wall closest to the water closet. For the alternate accessible toilet stall the water closet shall have two parallel grab bars, 42 inches long (42" = 1067mm) installed on the side walls and located a minimum of six inches (6" = 76mm) from the interior corner.

SINK

Sinks, including vanities, shall comply with the following:
 Clear floor space: A clear floor space complying with 521 CMR 6.3. Wheelchair Turning Space shall be provided in front of a sink to allow forward approach. The clear floor space shall be on an accessible route and shall extend no more than a maximum of 19 inches (19" = 483mm) underneath the sink. Height: Sinks shall be mounted with the rim no higher than 34 inches (34" = 864mm) above the finish floor.

MIRROR

The top of any shelf and or bottom of any mirror that is provided above a sink shall be set with the bottom edge of the reflecting surface no higher than 40 inches (40" = 1016mm) above the finish floor.

DISPENSERS

Towel dispensers, drying devices, or other types of devices and dispensers shall have at least one of each device mounted within the zone of reach. At least one of each device shall be located within reach of a person using the accessible sink and shall comply with 521 CMR 39.5, Operation



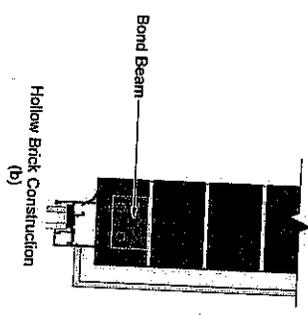
CALCOL
 ARCHITECTS, INC.

13 LOWELL TERRACE LAWRENCE, MA 01840
 PHONE: 948-696-4068
 EMAIL: CALCOL@CALCOLARCHITECTS.COM
 WWW.CALCOLARCHITECTS.COM

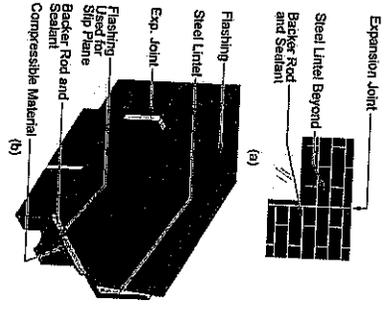
PROPOSED MIX-USED BUILDING
 ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830
 OWNER: UNION SUPERMARKET | DESIGNED BY: CALCOL DESIGN STUDIO

SCALE: 1/4" = 1'-0"
 DATE: 07-16-2024

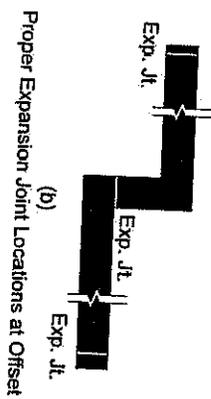
A-130.00



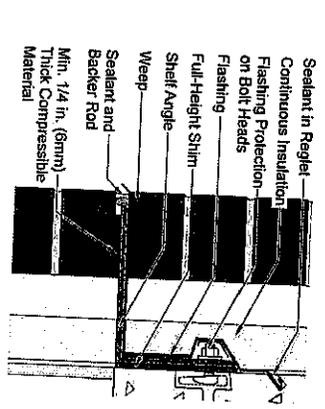
BOND BEAM BRICK/BLOCK INSTALLATION
N.T.S.



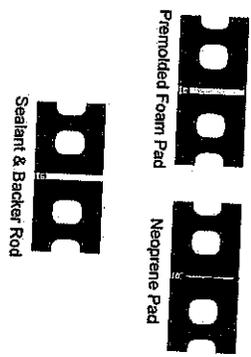
BRICK/BLOCK LINTEL INSTALLATION
N.T.S.



VERTICAL EXPANSION JOINTS OFFSET
N.T.S.



BRICK/BLOCK HORIZONTAL EXPANSION JOINT
N.T.S.



VERTICAL EXPANSION JOINTS TYPE
N.T.S.

NOTE: ALWAYS PROTECT WORK AREA FOR BACK-SHAFT
CONSTRUCTION SHALL BE FINISHED WITH OBJECTS TO WORKING



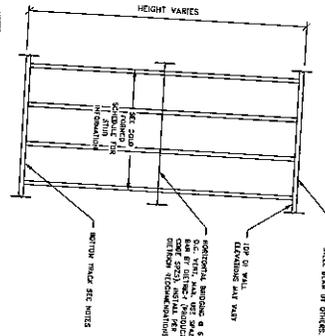
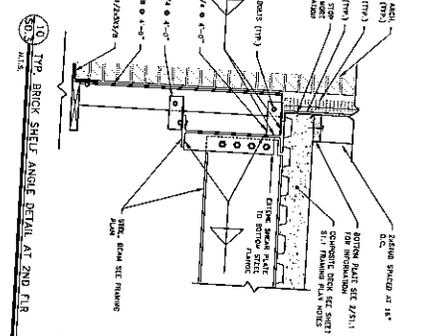
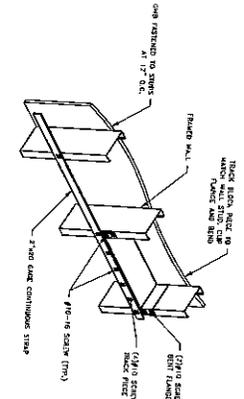
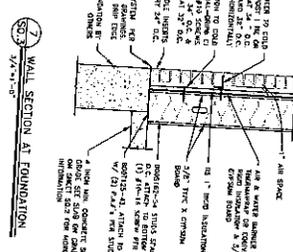
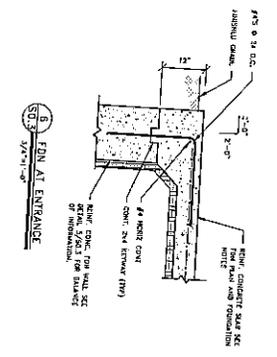
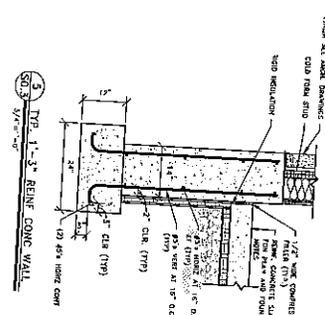
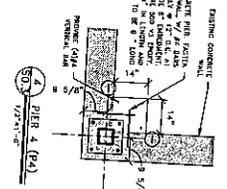
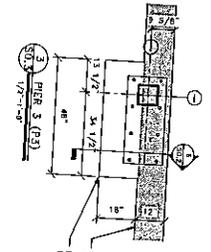
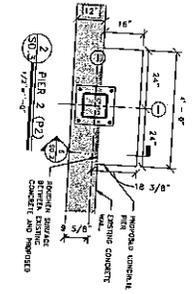
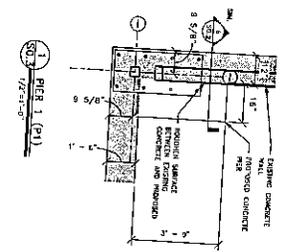
CALCOL
ARCHITECTS INC.

13 LOWELL TERRACE LAWRENCE, MA 01841
PHONE: 948-686-8800
EMAIL: calcolarchitects@calcol.com
THIS SEAL IS VALID FOR THE STATE OF MASSACHUSETTS ONLY.
It shall be null and void if the seal is used for any other purpose or if the seal is altered in any way.

PROPOSED MIX-USED BUILDING
ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830
OWNER: UNION SUPERMARKET | DESIGNED BY: CALCOL ARCHITECTS

SCALE: 1/4" = 1'-0"
DATE: 07-16-2024

A-132.00



LINTEL SCHEDULE

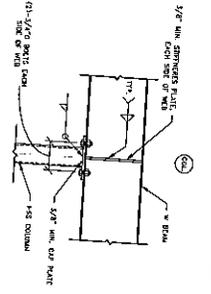
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3-4	3	1 1/2" x 1 1/2" x 1/8"
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8-9	8	1 1/2" x 1 1/2" x 1/8"
9-10	9	1 1/2" x 1 1/2" x 1/8"
10-11	10	1 1/2" x 1 1/2" x 1/8"
11-12	11	1 1/2" x 1 1/2" x 1/8"
12-13	12	1 1/2" x 1 1/2" x 1/8"
13-14	13	1 1/2" x 1 1/2" x 1/8"
14-15	14	1 1/2" x 1 1/2" x 1/8"
15-16	15	1 1/2" x 1 1/2" x 1/8"
16-17	16	1 1/2" x 1 1/2" x 1/8"
17-18	17	1 1/2" x 1 1/2" x 1/8"
18-19	18	1 1/2" x 1 1/2" x 1/8"
19-20	19	1 1/2" x 1 1/2" x 1/8"
20-21	20	1 1/2" x 1 1/2" x 1/8"
21-22	21	1 1/2" x 1 1/2" x 1/8"
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98-99	98	1 1/2" x 1 1/2" x 1/8"
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LIST OF STUDS AND DETAILS FOR EXTERIOR WALL

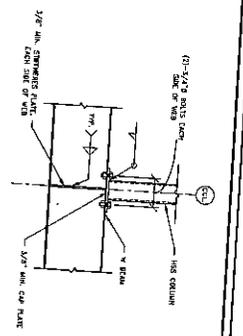
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52-53	52	1 1/2" x 1 1/2" x 1/8"	STUD
53-54	53	1 1/2" x 1 1/2" x 1/8"	STUD
54-55	54	1 1/2" x 1 1/2" x 1/8"	STUD
55-56	55	1 1/2" x 1 1/2" x 1/8"	STUD
56-57	56	1 1/2" x 1 1/2" x 1/8"	STUD
57-58	57	1 1/2" x 1 1/2" x 1/8"	STUD
58-59	58	1 1/2" x 1 1/2" x 1/8"	STUD
59-60	59	1 1/2" x 1 1/2" x 1/8"	STUD
60-61	60	1 1/2" x 1 1/2" x 1/8"	STUD
61-62	61	1 1/2" x 1 1/2" x 1/8"	STUD
62-63	62	1 1/2" x 1 1/2" x 1/8"	STUD
63-64	63	1 1/2" x 1 1/2" x 1/8"	STUD
64-65	64	1 1/2" x 1 1/2" x 1/8"	STUD
65-66	65	1 1/2" x 1 1/2" x 1/8"	STUD
66-67	66	1 1/2" x 1 1/2" x 1/8"	STUD
67-68	67	1 1/2" x 1 1/2" x 1/8"	STUD
68-69	68	1 1/2" x 1 1/2" x 1/8"	STUD
69-70	69	1 1/2" x 1 1/2" x 1/8"	STUD
70-71	70	1 1/2" x 1 1/2" x 1/8"	STUD
71-72	71	1 1/2" x 1 1/2" x 1/8"	STUD
72-73	72	1 1/2" x 1 1/2" x 1/8"	STUD
73-74	73	1 1/2" x 1 1/2" x 1/8"	STUD
74-75	74	1 1/2" x 1 1/2" x 1/8"	STUD
75-76	75	1 1/2" x 1 1/2" x 1/8"	STUD
76-77	76	1 1/2" x 1 1/2" x 1/8"	STUD
77-78	77	1 1/2" x 1 1/2" x 1/8"	STUD
78-79	78	1 1/2" x 1 1/2" x 1/8"	STUD
79-80	79	1 1/2" x 1 1/2" x 1/8"	STUD
80-81	80	1 1/2" x 1 1/2" x 1/8"	STUD
81-82	81	1 1/2" x 1 1/2" x 1/8"	STUD
82-83	82	1 1/2" x 1 1/2" x 1/8"	STUD
83-84	83	1 1/2" x 1 1/2" x 1/8"	STUD
84-85	84	1 1/2" x 1 1/2" x 1/8"	STUD
85-86	85	1 1/2" x 1 1/2" x 1/8"	STUD
86-87	86	1 1/2" x 1 1/2" x 1/8"	STUD
87-88	87	1 1/2" x 1 1/2" x 1/8"	STUD
88-89	88	1 1/2" x 1 1/2" x 1/8"	STUD
89-90	89	1 1/2" x 1 1/2" x 1/8"	STUD
90-91	90	1 1/2" x 1 1/2" x 1/8"	STUD
91-92	91	1 1/2" x 1 1/2" x 1/8"	STUD
92-93	92	1 1/2" x 1 1/2" x 1/8"	STUD
93-94	93	1 1/2" x 1 1/2" x 1/8"	STUD
94-95	94	1 1/2" x 1 1/2" x 1/8"	STUD
95-96	95	1 1/2" x 1 1/2" x 1/8"	STUD
96-97	96	1 1/2" x 1 1/2" x 1/8"	STUD
97-98	97	1 1/2" x 1 1/2" x 1/8"	STUD
98-99	98	1 1/2" x 1 1/2" x 1/8"	STUD
99-100	99	1 1/2" x 1 1/2" x 1/8"	STUD

LIST OF STUDS AND DETAILS FOR EXTERIOR WALL

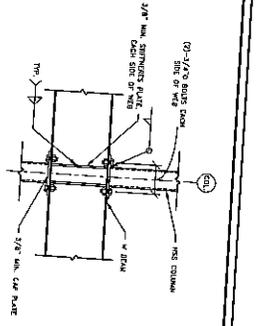
SECTION	TYPE	SIZE	DESCRIPTION
1-2	1	1 1/2" x 1 1/2" x 1/8"	STUD
2-3	2	1 1/2" x 1 1/2" x 1/8"	STUD
3-4	3	1 1/2" x 1 1/2" x 1/8"	STUD
4-5	4	1 1/2" x 1 1/2" x 1/8"	STUD
5-6	5	1 1/2" x 1 1/2" x 1/8"	STUD
6-7	6	1 1/2" x 1 1/2" x 1/8"	STUD
7-8	7	1 1/2" x 1 1/2" x 1/8"	STUD
8-9			



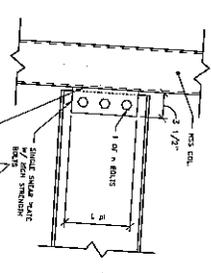
1 BEAM BEARING ON COL. CONNECTION
N.E.S.



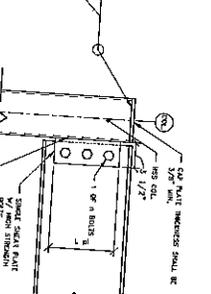
2 COL BEARING ON BEAM CONNECTION
N.E.S.



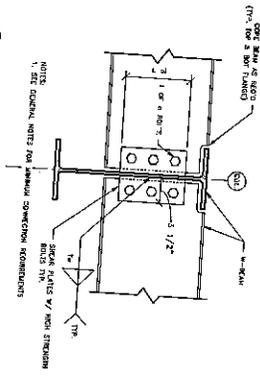
3 BEAM W/ COL ABOVE & BELOW CONNECTION
N.E.S.



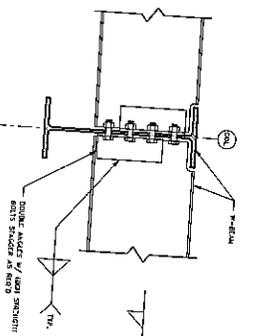
4 TYP. BEAM TO COL. SHEAR CONNECTION
N.E.S.



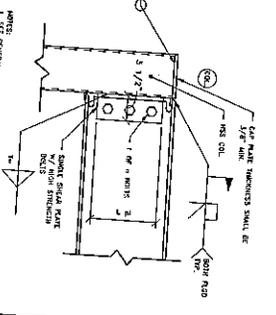
5 TYP. BEAM TO COL. SHEAR CONNECTION
N.E.S.



6 TYP. BEAM TO BEAM SHEAR CONNECTION
N.E.S.

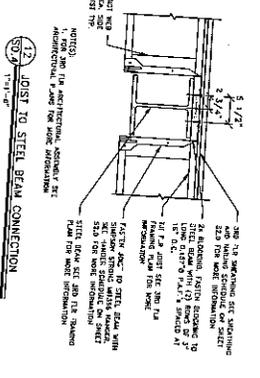


7 TYP. BEAM TO BEAM SHEAR CONNECTION
N.E.S.

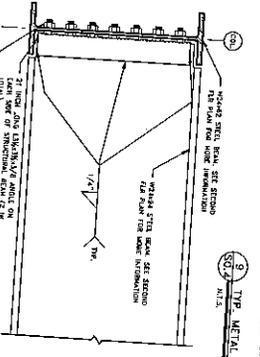


8 TYP. BEAM TO COL. MOMENT CONNECTION
N.E.S.

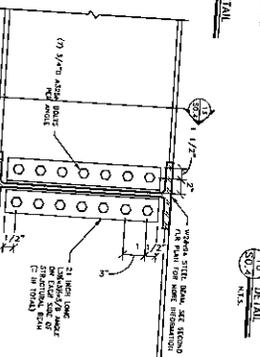
Beam Size	1" (Detail)																		
W10	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"
W12	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"
W14	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"
W16	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"
W18	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"
W21	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"	3/4"



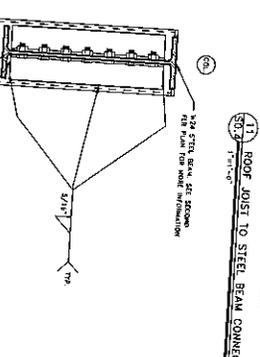
9 ADJUST TO STEEL BEAM CONNECTION
N.E.S.



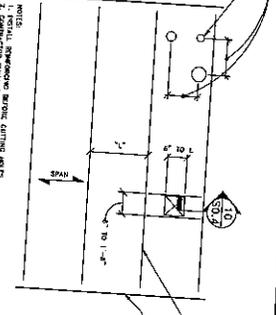
10 W24 DOUBLE ANGLE CONNECTION
N.E.S.



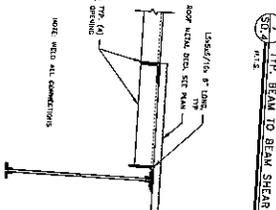
11 W24 DOUBLE ANGLE CONNECTION
N.E.S.



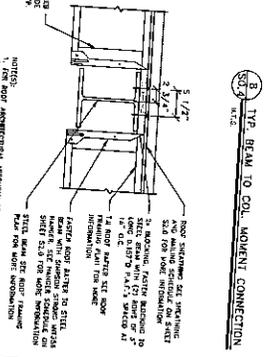
12 W24 BEAM TO COLUMN CONNECTION
N.E.S.



13 TYP. METAL DECK OPENING DETAIL
N.E.S.



14 DETAIL
N.E.S.



15 ROOF ADJUST TO STEEL BEAM CONNECTION
N.E.S.

Prepared for:
DWG NO.
SQ.4

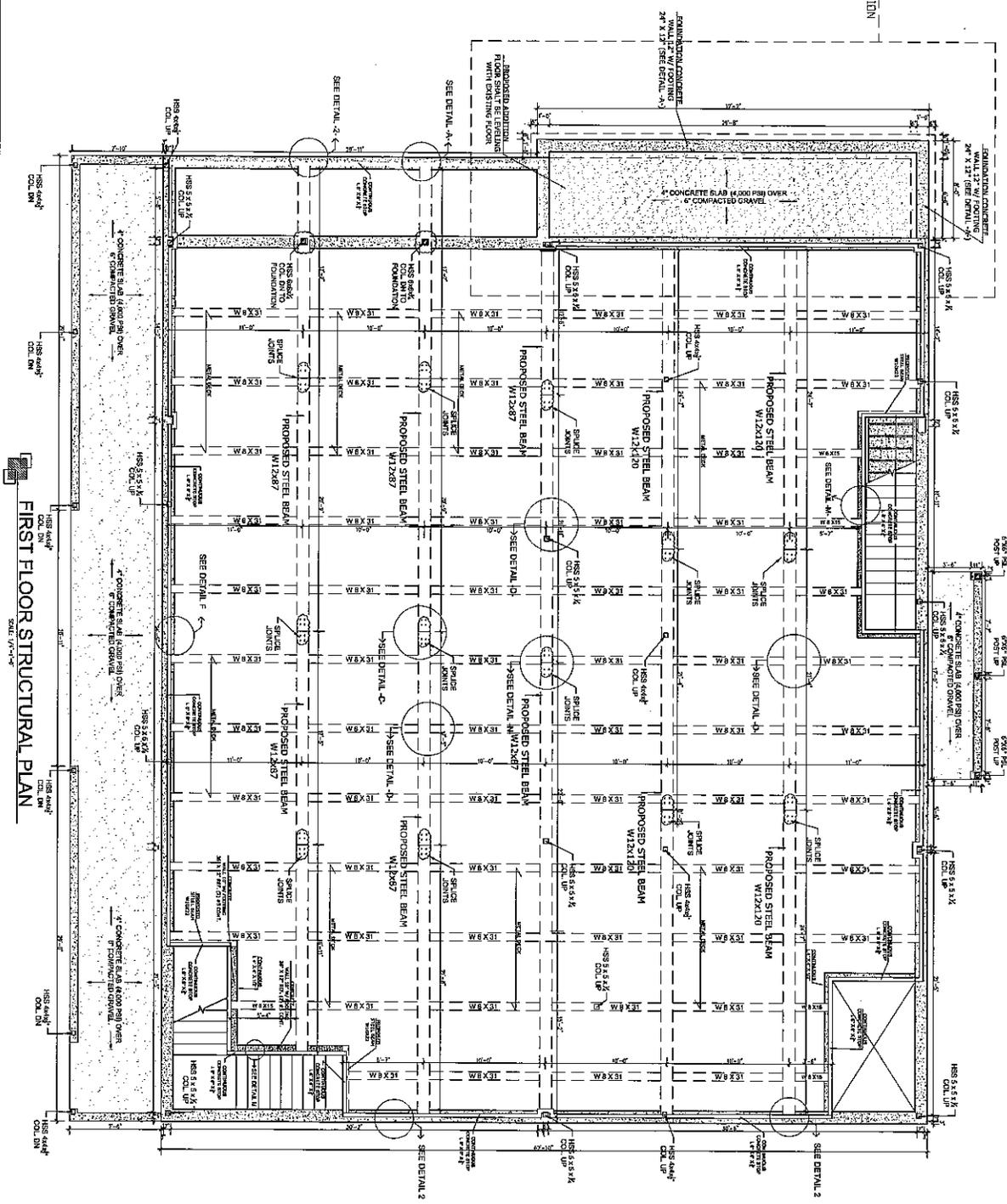
STEEL TYPICAL DETAILS
233 WINTER STREET
HAVERHILL, MA 01830

GARCIA
ENGINEERING
115 South Pleasant Street
Haverhill, MA 01830
(978) 360-8306
lgarcia@engineering@gmail.com



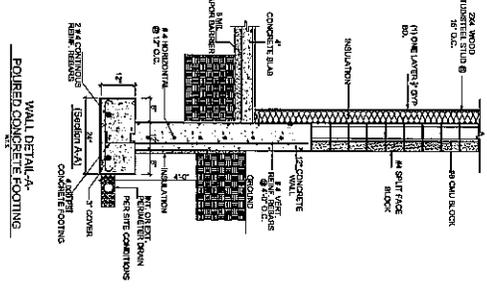
No.	Date	Revision

Project Number: 240613
Title: SQ.4
Designed by: FJL
Checked by: FJL
As Indicated



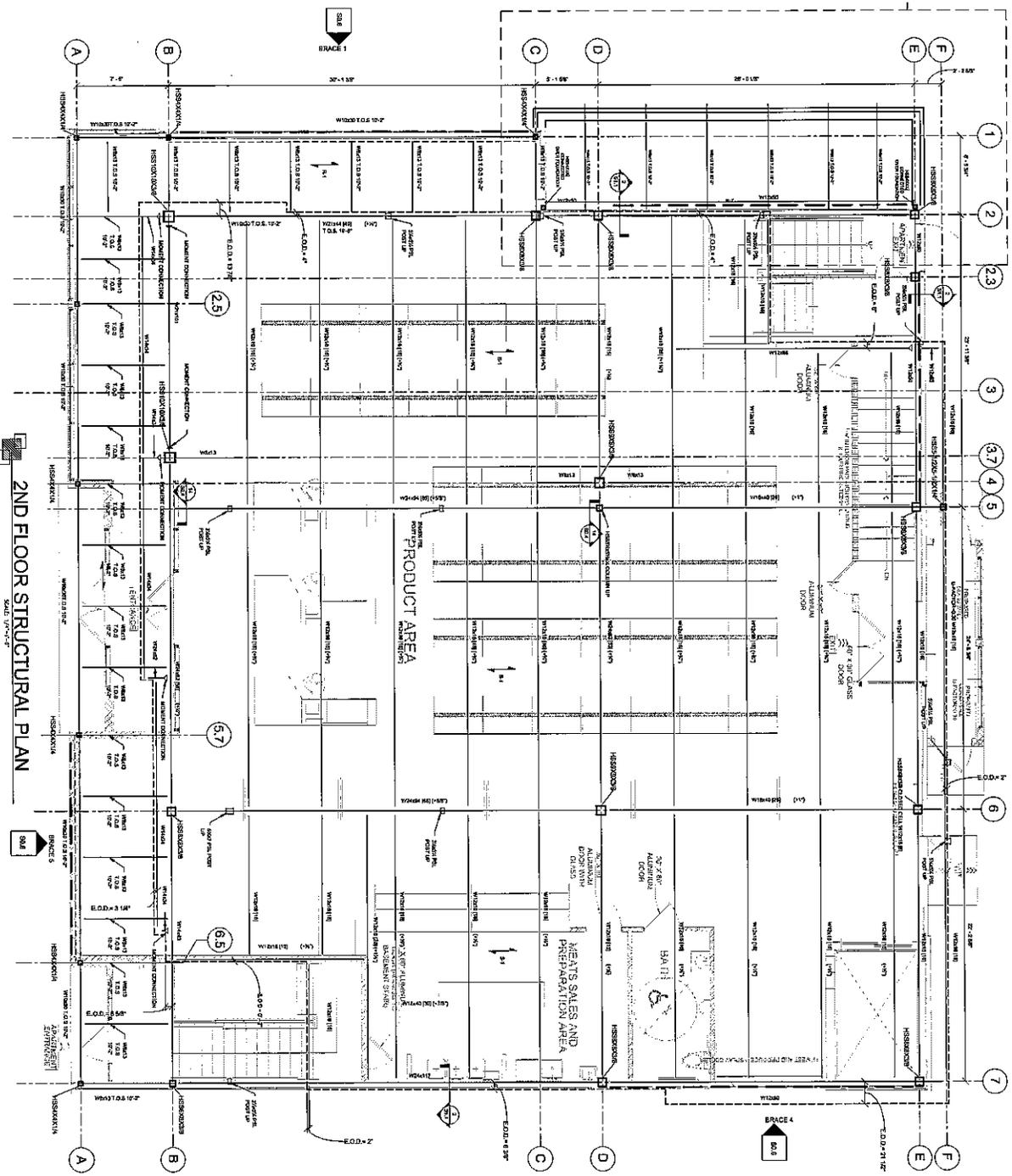
FIRST FLOOR STRUCTURAL PLAN
SCALE: 1/4" = 1'-0"

NOTE:
GRID STARTS SHALL BECOME START WORK
VENUE EVERY DIMENSION AND HEIGHT



NOTE:
 CONTRACTOR SHALL BEFORE START WORK
 VERIFY EXISTING DIMENSION AND HEIGHT

PROPOSED
 KITCHEN ADDITION



2ND FLOOR STRUCTURAL PLAN
 SCALE: 1/4" = 1'-0"



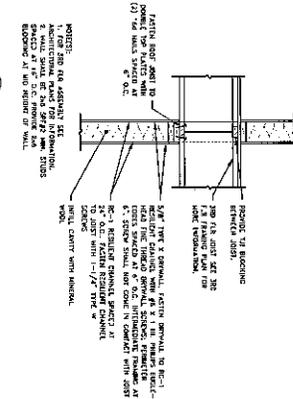
CALCOL
 ENGINEERING
 100 WINTER ST, SUITE 200
 HAVERHILL, MA 01830
 TEL: 978-875-1234
 FAX: 978-875-1234
 WWW.CALCOL.COM

GARCIA
 ENGINEERING
 100 WINTER ST, SUITE 200
 HAVERHILL, MA 01830
 TEL: 978-875-1234
 FAX: 978-875-1234
 WWW.GARCIA-ENG.COM

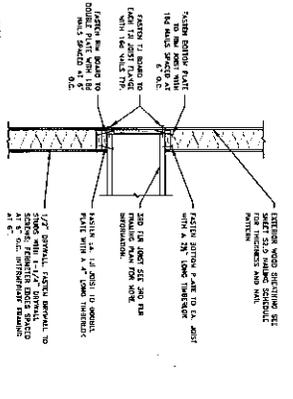
PROPOSED MIX-USED BUILDING
 ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830
 OWNER: UNION SUPERMARKET | DRAWING BY: CALCOL DESIGN STUDIO

SCALE: 1/4" = 1'-0"
 DATE: 10-08-2024

A-104.00

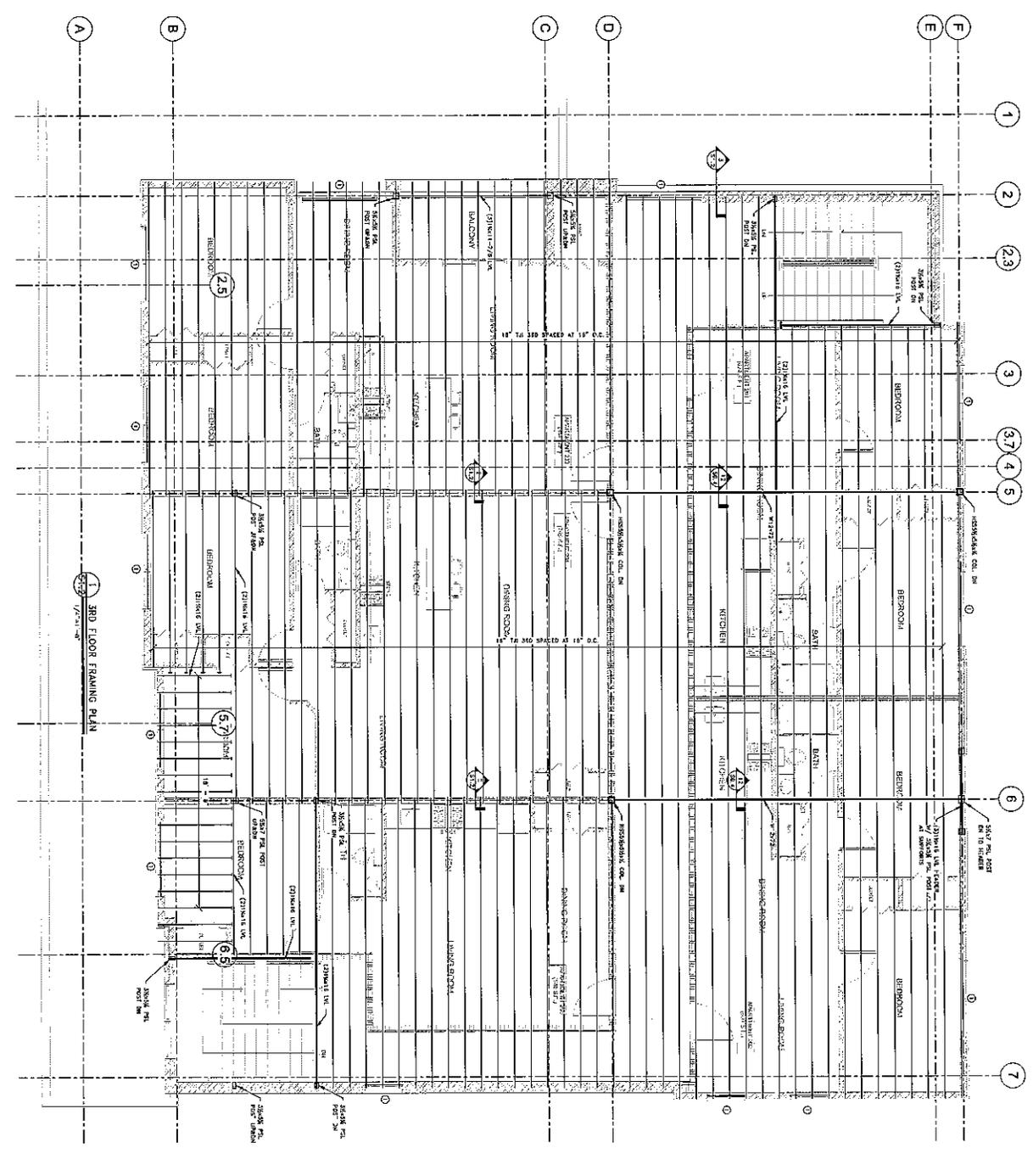


S1.1 3RD FLOOR JOINT TO INTERIOR BEARING WALL
1'-0" x 1'-0"



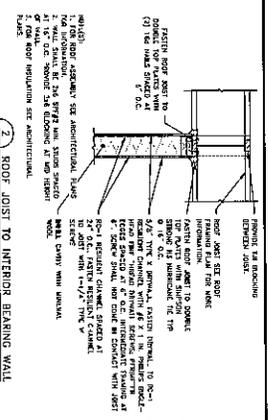
S1.2 3RD FLOOR JOINT TO EXTERIOR BEARING WALL
1'-0" x 1'-0"

- NOTES:**
1. ALL JOINTS SHALL BE 2" OFFSET FROM OTHER JOINTS.
 2. ALL JOINTS SHALL BE 2" OFFSET FROM OTHER JOINTS.
 3. ALL JOINTS SHALL BE 2" OFFSET FROM OTHER JOINTS.
 4. ALL JOINTS SHALL BE 2" OFFSET FROM OTHER JOINTS.
 5. ALL JOINTS SHALL BE 2" OFFSET FROM OTHER JOINTS.
 6. ALL JOINTS SHALL BE 2" OFFSET FROM OTHER JOINTS.
 7. ALL JOINTS SHALL BE 2" OFFSET FROM OTHER JOINTS.
 8. ALL JOINTS SHALL BE 2" OFFSET FROM OTHER JOINTS.
 9. ALL JOINTS SHALL BE 2" OFFSET FROM OTHER JOINTS.
 10. ALL JOINTS SHALL BE 2" OFFSET FROM OTHER JOINTS.

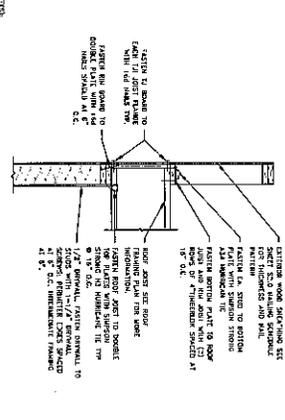


S1.2 3RD FLOOR FRAMING PLAN
1/2" = 1'-0"

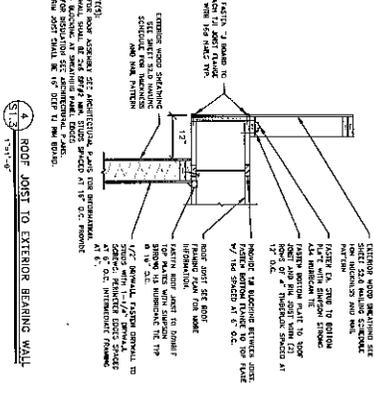
Prepared for: DWG. NO. S1.2	3RD FLOOR FRAMING PLAN 233 WINTER STREET HAVERHILL, MA 01830	GARCIA ENGINEERING 115 South Pleasant Street Haverhill, MA 01835 (978)390-9306 fgarcia.engineering@gmail.com		Project Number: 240813	As Indicated
				2/16/2024	Designed by: FJL



2. ROOF JOIST TO INTERIOR BEARING WALL
1'-11 1/2"

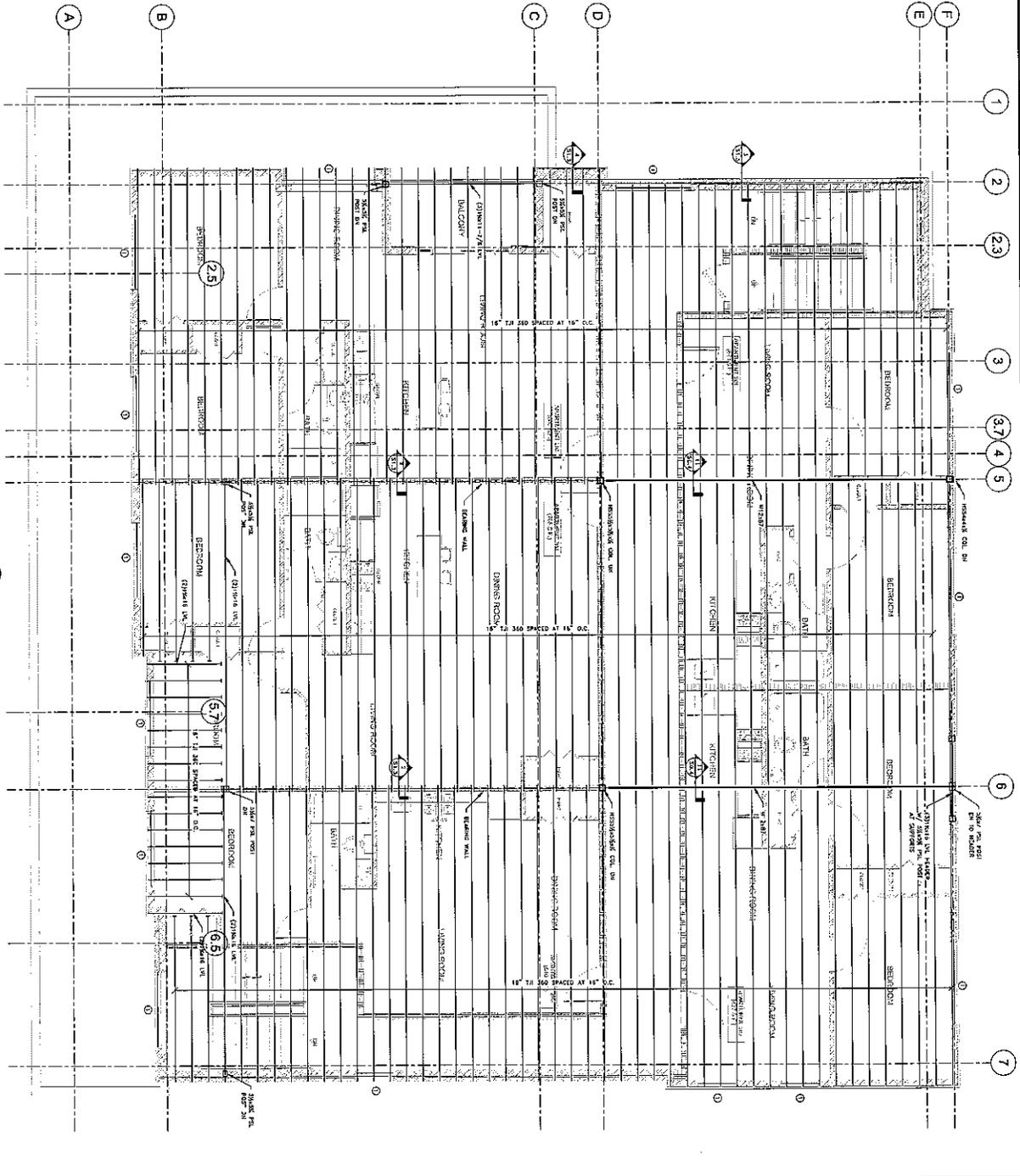


3. ROOF JOIST TO EXTERIOR BEARING WALL
1'-11 1/2"



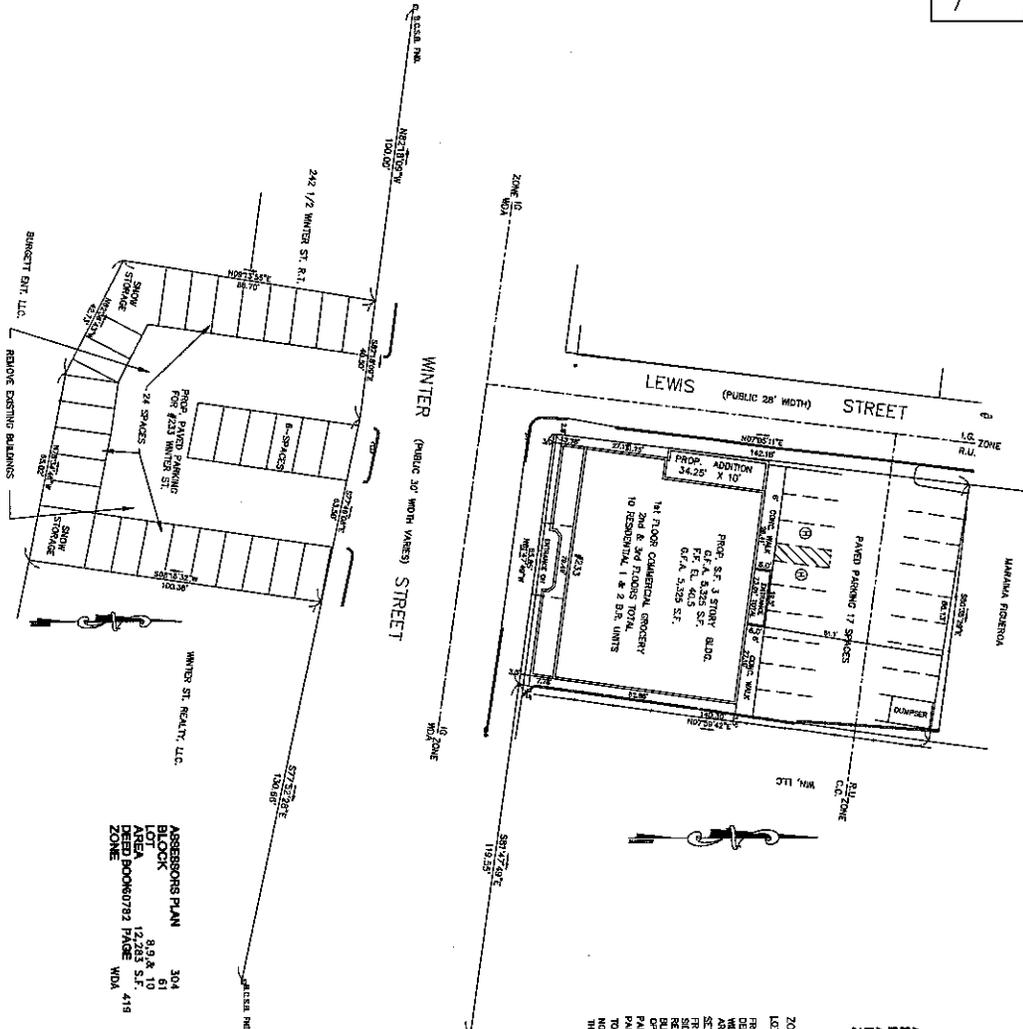
4. ROOF JOIST TO EXTERIOR BEARING WALL
1'-11 1/2"

- NOTES:
1. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS AND FINISHES.
 2. TOP OF ROOF FLOOR FINISH IS 2'-0" ABOVE FINISH FLOOR.
 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 4. ROOF JOIST SPACING SHALL BE 16" O.C. UNLESS OTHERWISE NOTED.
 5. ROOF JOIST SHALL BE 2" x 12" S.D.S. UNLESS OTHERWISE NOTED.
 6. ROOF JOIST SHALL BE 2" x 12" S.D.S. UNLESS OTHERWISE NOTED.
 7. ROOF JOIST SHALL BE 2" x 12" S.D.S. UNLESS OTHERWISE NOTED.
 8. ROOF JOIST SHALL BE 2" x 12" S.D.S. UNLESS OTHERWISE NOTED.



1. ROOF FRAMING PLAN
1/2" = 1'-0"

Prepared for: DWG. NO. S1.3	ROOF FRAMING PLAN 233 WINTER STREET HAVERHILL, MA 01830	GARCIA ENGINEERING 115 South Pleasant Street Haverhill, MA 01835 (978) 890-8506 igarcia.engineering@gmail.com		No.	Date	Revision	By
				Project Number: 240613	Drawn by: FDU	Checked by: FDU	As Indicated



ASSESSORS PLAN 304
 BLOCK 75
 LOT 3
 AREA 12,283 S.F.
 DEED BOOK 0428 PAGE 338
 CC, RI

ZONING REQUIREMENTS ZONE: CO

LOT DIMENSIONS	REQUIRED	PROPOSED
FRONTAGE	50'	62.50'
DEPTH	100'	122.83'
AREA	5,000 S.F.	12,283 S.F.
REAR YARD	0	3.5'
SIDE YARD	0	6.5'
SEAR YARD	0	4.88'
OPEN SPACE	0	0
PARKING COMMERCIAL	25	47
PARKING RESIDENTIAL	0	0

NOTE: RESIDENTIAL PARKING WILL BE LIMITED TO THE PROPOSED LOT AT #236 WINTER ST.

ASSESSORS PLAN 304
 BLOCK 75
 LOT 3
 AREA 12,283 S.F.
 DEED BOOK 0428 PAGE 338
 WDA



PROPOSED SITE PLAN
OF LAND AT
233 & 236 WINTER STREET
HAVERHILL, MASSACHUSETTS
 MAY 22, 2025

OWNER/APPLICANT:
233 WINTER STREET, LLC
 10 TEMPLE DR.
 METHUEN, MA, 01844

- GENERAL NOTES:**
1. Boundary lines are based upon lot 3, 4th & 5th, 1st & 2nd, 3rd & 4th, 5th & 6th, 7th & 8th, 9th & 10th, 11th & 12th, 13th & 14th, 15th & 16th, 17th & 18th, 19th & 20th, 21st & 22nd, 23rd & 24th, 25th & 26th, 27th & 28th, 29th & 30th, 31st & 32nd, 33rd & 34th, 35th & 36th, 37th & 38th, 39th & 40th, 41st & 42nd, 43rd & 44th, 45th & 46th, 47th & 48th, 49th & 50th, 51st & 52nd, 53rd & 54th, 55th & 56th, 57th & 58th, 59th & 60th, 61st & 62nd, 63rd & 64th, 65th & 66th, 67th & 68th, 69th & 70th, 71st & 72nd, 73rd & 74th, 75th & 76th, 77th & 78th, 79th & 80th, 81st & 82nd, 83rd & 84th, 85th & 86th, 87th & 88th, 89th & 90th, 91st & 92nd, 93rd & 94th, 95th & 96th, 97th & 98th, 99th & 100th.
 2. The Contractor shall be responsible for verifying the location, area and boundary of all lots and parcels shown on this plan. The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 3. The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 4. The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 5. The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 6. The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 7. All dimensions shown on this plan are in feet and inches.
 8. The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 9. The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 10. The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 11. All proposed grades shall be in feet above sea level.
 12. Vertical curve data shall be in feet.
 13. Stationed elevations shall be in feet.

R.A.M. ENGINEERING
 160 Main Street
 Haverhill, Massachusetts 01830
 TEL: (978) 372-0449 FAX: (978) 372-7183

CCSP 25-7
233
winterst

Copy

303-66-1
165 WINTER STREET APARTMENTS LLC
536 GRANITE ST
BRAINTREE, MA 02184contract.

303-66-2
RCA ST JAMES
6 COTTAGE ST
HAVERHILL, MA 01830

303-66-4
RCA ST JAMES
6 COTTAGE ST
HAVERHILL, MA 01830

303-68-1
RCA ST JAMES
6 COTTAGE ST
HAVERHILL, MA 01830

303-68-4
RCA ST JAMES
6 COTTAGE ST
HAVERHILL, MA 01830

303-68-5
RCA ST JAMES
6 COTTAGE ST
HAVERHILL, MA 01830

303-68-6
RCA ST JAMES
6 COTTAGE ST
HAVERHILL, MA 01830

304-57-1
LOCKE STREET OWNER LLC
341 NEWBURY ST, SUITE 5
BOSTON, MA 02115

304-58-11
LOCKE STREET OWNER LLC
341 NEWBURY ST, SUITE 5
BOSTON, MA 02115

304-58-4
LOCKE STREET OWNER LLC
341 NEWBURY ST, SUITE 5
BOSTON, MA 02115

304-60-12
COMMON GROUND MINISTRIES, INC
PO BOX 59
HAMPSTEAD, NH 03841

304-60-15
WINTER KOSMES RLTY TR
7 MARY CRAPO WAY
SOUTH DARTMOUTH, MA 02748

304-60-17-1
AEVS, LLC
22 MT. WASHINGTON ST
EVERETT, MA 02149

304-60-17-2
KIM SOPPHEAR
118 LOCUST ST
HAVERHILL, MA 01830

304-60-17-3
HAMEL KATHRYN LEE
79 GOLF AV
METHUEN, MA 01844

304-60-17-4
122 LOCUST STREET REALTY TRUST
16 CHARLES ST
SALEM, NH 03079

304-60-17-5
TREBICKA ARJAN-ETUX
124 LOCUST ST UNIT 5
HAVERHILL, MA 01830

304-60-17-6
FONGE GERARD
126 LOCUST ST, Unit 6
HAVERHILL, MA 01830

304-60-19
MCAULIFFE BRIAN
106 LOCUST ST
HAVERHILL, MA 01830

304-60-2
CITY OF HAVERHILL
4 SUMMER ST
HAVERHILL, MA 01830

304-60-2-2
CITY OF HAVERHILL
4 SUMMER ST
HAVERHILL, MA 01830

304-60-20
VINFEN CORPORATION SERVICES
950 CAMBRIDGE STREET
CAMBRIDGE, MA 02141

304-61-1
AUTO BODY REALTY TRUST
9 DUNCAN ST
HAVERHILL, MA 01830

304-61-12
WINTER ST REALTY LLC
216 WINTER ST
HAVERHILL, MA 01830

304-61-13
OWNER UNKNOWN
4 SUMMER ST
HAVERHILL, MA 01830

304-61-5
BURGETT ENT., LLC
4111-A NORTH FREEWAY BLVD
SACRAMENTO, CA 95834

304-61-6
GACEMA, INC
246 WINTER ST, 1ST FLOOR
HAVERHILL, MA 01830

304-61-7
GACEMA INC
246 WINTER ST
HAVERHILL, MA 01830

304-61-8
MANEMANUS GEORGE S
6 STRATHMORE RD
HAVERHILL, MA 01832

305-69-1-1
MARVIN CHARLES D
59 PRIMROSE ST
HAVERHILL, MA 01830

305-69-1-2
ORTEGA ARELY
59 PRIMROSE ST UNIT 2
HAVERHILL, MA 01830contract.

305-69-2-1
ESPINAL AMANDA
73 COMET RD
METHUEN, MA 01844

305-69-2-4
MONAHAN KEITH JR
71 PRIMROSE ST, Unit 4
HAVERHILL, MA 01832

306-74-2
LYKINS GERALD
15 HARRISON ST
HAVERHILL, MA 01830

306-74-5-1
GRULLON MILAGRO
44 CHARLES ST
HAVERHILL, MA 01830

306-74-8
DEAM REALTY LLC
1320 SOUTH ST
TEWKSBURY, MA 01876

306-75-2
WIN, LLC
3 PLUFF AVENUE
NORTH READING, MA 01864

306-75-6
ALMONTE TRINIDAD V
9 LEWIS ST
HAVERHILL, MA 01830

306-75-9
MARTINEZ JORGE A JONES-ETUX
58 CHARLES ST
HAVERHILL, MA 01830

306-76-12
G S G REALTY TRUST
40 LEWIS ST
HAVERHILL, MA 01830

305-69-14
PERALTA MARTIN RIVERA
33-35 CHARLES ST
HAVERHILL, MA 01830

305-69-2-2
71 PRIMROSE STREET UNIT 2 REALTY TRUST
71 PRIMROSE ST UNIT 2
HAVERHILL, MA 01830

306-74-1
CHIU FAMILY REALTY TRUST
50 CLEVELAND AVE
BRAintree, MA 02184

306-74-3
WILLIAM H RYAN TRUST
16 CONCORD ST
HAVERHILL, MA 01830

306-74-5-2
RODRIGUEZ RUBEN
489 SOUTH BROADWAY, APT. 22
LAWRENCE, MA 01843

306-75-10
ALEKOU COSTAS ETUX
46 BAILEY CT
HAVERHILL, MA 01832

306-75-3
233 WINTER STREET, LLC
10 TEMPLE DRIVE
METHUEN, MA 01844

306-75-7
GONZALEZ ELIZABETH
225 WALNUT ST
LAWRENCE, MA 01841

306-76-1
DARLENE REALTY TRUST
P O BOX 1626
HAVERHILL, MA 01831

306-76-2
RICE PROPERTIES LIVING TRUST
427 EAST BROADWAY
HAVERHILL, MA 01830

305-69-15
CUBI JENNIFER-ETAL
37 CHARLES ST
HAVERHILL, MA 01830

305-69-2-3
GUARINO HEIDI J
71 PRIMROSE ST
HAVERHILL, MA 01830

306-74-1A
DEAM REALTY LLC
1320 SOUTH STREET
TEWKSBURY, MA 01876

306-74-3A
WILLIAM H RYAN TRUST
16 CONCORD ST
HAVERHILL, MA 01830

306-74-7
JIMENEZ LAURA-ETUX
30-32 PRIMROSE ST
HAVERHILL, MA 01830

306-75-11
KOEPLIN DAVID J
P O BOX 295
MANCHESTER, MA 01944

306-75-5
VARGAS JHON L-ETALI
7 LEWIS ST
HAVERHILL, MA 01830

306-75-8
BRADLEY SCOTT
15 LEWIS ST
HAVERHILL, MA 01830

306-76-10
39 HALE STREET REALTY LLC
105 SOUTH PROSPECT ST
BRADFORD, MA 01835

306-76-20A
HOLLIS WILLIAM P
25 PARK ST
HAVERHILL, MA 01830

306-76-25
CORTES MARTHA I-ETUX
14 LEWIS ST
HAVERHILL, MA 01830contract.

306-76-4A
G + C CONCRETE CONSTRUCTION
19 HALE ST
HAVERHILL, MA 01830

306-77-1
CITY OF HAVERHILL
4 SUMMER ST
HAVERHILL, MA 01830

306-77-17A
PAREDES DAVID A
76 HARRISON ST
HAVERHILL, MA 01830

306-77-2
BISONO ANGELY
315 HIGH ST
LAWRENCE, MA 01841

306-77-23
LEMEC INVESTMENTS LLC
867 BOYLSTON ST, SUITE 505
BOSTON, MA 02116

306-77-4
THE RAYMOND L & HELEN I DUFRESNE TRUST
23 LEWIS ST
HAVERHILL, MA 01830

306-77-7
SHAFIQ MOHAMMAD
35 LEWIS ST
HAVERHILL, MA 01830

306-78-1-2
MUNROE THOMAS S
56 PRIMROSE ST #2
HAVERHILL, MA 01830

306-78-1-5
BRISTOL-ANDINO JAVIER E
49 CHARLES ST, UNIT 5
HAVERHILL, MA 01830

306-76-27
CUBESMART, L.P.
P.O. BOX 320099
ALEXANDRIA, VA 22320

306-76-7
G + C CONCRETE CONSTRUCTION
19 HALE ST
HAVERHILL, MA 01830

306-77-16
CHUTE JULIE E
84 HARRISON ST
HAVERHILL, MA 01830

306-77-18
FRAZIER IRENE J
144 CENTRAL AVE
SALISBURY, MA 01952

306-77-21
URBANFLIPCO LLC
76 WESTOVER PARKWAY
NORWOOD, MA 02062

306-77-3
SILVA JOHN T
65 CHARLES ST
HAVERHILL, MA 01830

306-77-5
QAZAFI MUHAMMAD
360 WALNUT ST
LYNNFIELD, MA 01940

306-77-7A
KING REGINALD P JR
33 LEWIS ST
HAVERHILL, MA 01830

306-78-1-3
POZO MARCO ANTONIO BECERRA
54 PRIMROSE ST #3
HAVERHILL, MA 01830

306-78-21
BENJAMIN ROBERT J
64 PRIMROSE ST
HAVERHILL, MA 01830

306-76-4
CUBESMART, L.P.
P.O. BOX 320099
ALEXANDRIA, VA 22320

306-76-9
STRYKOWSKI JOHN
35 HALE ST
HAVERHILL, MA 01830

306-77-17
KRAFTON JONATHAN M
74 HARRISON ST
HAVERHILL, MA 01830

306-77-19
CHANGDITO LLC
49 WILSON POND RD
ROWLEY, MA 01969

306-77-22
SIMPLICE MARIE J ORIOL
62 HARRISON ST
HAVERHILL, MA 01830

306-77-3A
ELEFTHERIOU GEORGE
256 BROADWAY
HAVERHILL, MA 01832

306-77-6
McNEIL THOMAS-ETAL
31 LEWIS ST
HAVERHILL, MA 01830

306-78-1-1
BRUM JONATHAN PINTO
58 PRIMROSE ST #1
HAVERHILL, MA 01830

306-78-1-4
MILONOPOULOS SHAWN-ETAL
47 CHARLES ST, UNIT #4
HAVERHILL, MA 01830

306-78-5
E&E INVESTMENTS PROPERTIES LLC
289 ESSEX ST
LAWRENCE, MA 01840

306-78-5A
SILVERIO WENDOLIN D-ETUX
74 PRIMROSE ST
HAVERHILL, MA 01830contract.

306-78-7
ZUNIGA FRANCISCO
81 HARRISON ST
HAVERHILL, MA 01830

306-79-1A
MASSACHUSETTS ELECTRIC CO
40 SYLVAN RD
WALTHAM, MA 02451

307-2-5
KENNEBEC REALTY TRUST
265 WINTER ST
HAVERHILL, MA 01830

306-78-5B
GEORGES RALPH P
65 HARRISON ST
HAVERHILL, MA 01830

306-79-1
CUBESMART, L.P.
P.O. BOX 320099
ALEXANDRIA, VA 22320

307-2-1
HEG 284 WINTER STREET LLC
2 INTERNATIONAL WAY
LAWRENCE, MA 01843

307-2-6
SHAIN REALTY TRUST
2506 FAIRWAY DRIVE NORTH
JUPITER, FL 33477

306-78-6
BLAIS ARIANA
77 HARRISON ST
HAVERHILL, MA 01830

306-79-1-2
G & C CONCRETE CONSTRUCTION IN
19 HALE STREET
HAVERHILL, MA 01830

307-2-3
M BAY TRANS AUTHORITY
45 HIGH ST
BOSTON, MA 02110

307-2-9
SHAIN REALTY TRUST
2506 FAIRWAY DRIVE NORTH
JUPITER, FL 33477

A	B	C	D	E	F	G	H	I	J	K
ParcelID	StreetNum	AltStreetNm	StreetName	LocCity	CondoUnit	Owner1	BillingAddress	City	State	Zip
1	303-66-1	165	WINTER ST	HAVERHILL		165 WINTER STREET APARTMENTS LLC	536 GRANITE ST	BRAINTREE	MA	02184
2	303-66-2		WINTER ST	HAVERHILL		RCA ST JAMES	6 COTTAGE ST	HAVERHILL	MA	01830
3	303-66-4	6	COTTAGE ST	HAVERHILL		RCA ST JAMES	6 COTTAGE ST	HAVERHILL	MA	01830
4	303-68-1		WILLIAM ST	HAVERHILL		RCA ST JAMES	6 COTTAGE ST	HAVERHILL	MA	01830
5	303-68-4		PRIMROSE ST	HAVERHILL		RCA ST JAMES	6 COTTAGE ST	HAVERHILL	MA	01830
6	303-68-5		PRIMROSE ST	HAVERHILL		RCA ST JAMES	6 COTTAGE ST	HAVERHILL	MA	01830
7	303-68-6	91	WILLIAM ST	HAVERHILL		RCA ST JAMES	6 COTTAGE ST	HAVERHILL	MA	01830
8	304-57-1	40	LOCKE ST	HAVERHILL		LOCKE STREET OWNER LLC	341 NEWBURY ST, SUITE 5	BOSTON	MA	02115
9	304-58-11	10	DUNCAN ST	HAVERHILL		LOCKE STREET OWNER LLC	341 NEWBURY ST, SUITE 5	BOSTON	MA	02115
10	304-58-4	258	WINTER ST	HAVERHILL		LOCKE STREET OWNER LLC	341 NEWBURY ST, SUITE 5	BOSTON	MA	02115
11	304-60-12	194	WINTER ST	HAVERHILL		COMMON GROUND INDUSTRIES, INC	PO BOX 59	HAMPSTEAD	NH	03841
12	304-60-15	176	WINTER ST	HAVERHILL		WINTER KOSMES RLTY TR	7 MARY CRAPO WAY	SOUTH DARTMOUTH	MA	02748
13	304-60-17-1	116	LOCUST ST	HAVERHILL		AEVS, LLC	22 MT. WASHINGTON ST	EVERETT	MA	02149
14	304-60-17-2	118	LOCUST ST	HAVERHILL		KIM SOPPHEAR	118 LOCUST ST	HAVERHILL	MA	01830
15	304-60-17-3	120	LOCUST ST	HAVERHILL		HAMEL KATHRYN LEE	79 GOLF AV	METHUEN	MA	01844
16	304-60-17-4	122	LOCUST ST	HAVERHILL		122 LOCUST STREET REALTY TRUST	16 CHARLES ST	SALEM	NH	03079
17	304-60-17-5	124	LOCUST ST	HAVERHILL		TREBICKA ARIAN-ETUX	124 LOCUST ST, UNIT 5	HAVERHILL	MA	01830
18	304-60-17-6	126	LOCUST ST	HAVERHILL		FONGE GERARD	126 LOCUST ST, Unit 6	HAVERHILL	MA	01830
19	304-60-19	106	114 LOCUST ST	HAVERHILL		MCAULIFFE BRIAN	106 LOCUST ST	HAVERHILL	MA	01830
20	304-60-2		LOCKE ST	HAVERHILL		CITY OF HAVERHILL	4 SUMMER ST	HAVERHILL	MA	01830
21	304-60-2-2		LOCKE ST	HAVERHILL		CITY OF HAVERHILL	4 SUMMER ST	HAVERHILL	MA	01830
22	304-60-20	100	LOCUST ST	HAVERHILL		VINFEN CORPORATION SERVICES	950 CAMBRIDGE STREET	CAMBRIDGE	MA	02141
23	304-61-1	9	15 DUNCAN ST	HAVERHILL		AUTO BODY REALTY TRUST	9 DUNCAN ST	HAVERHILL	MA	01830
24	304-61-12	210	WINTER ST	HAVERHILL		WINTER ST REALTY LLC	216 WINTER ST	HAVERHILL	MA	01830
25	304-61-13		LOCKE ST	HAVERHILL		OWNER UNKNOWN	4 SUMMER ST	HAVERHILL	MA	01830
26	304-61-5	35	DUNCAN ST	HAVERHILL		BURGENT ENT., LLC	4111-A NORTH FREEWAY BLVD	SACRAMENTO	CA	95834
27	304-61-6	246	WINTER ST	HAVERHILL		GACEMA, INC	246 WINTER ST, 1ST FLOOR	HAVERHILL	MA	01830
28	304-61-7	242	WINTER ST	HAVERHILL		GACEMA, INC	246 WINTER ST	HAVERHILL	MA	01830
29	304-61-8	236	WINTER ST	HAVERHILL		MANEMANUS GEORGE S	6 STRATHMORE RD	HAVERHILL	MA	01832
30	305-69-1-1	57	PRIMROSE ST	HAVERHILL	1	MARVIN CHARLES D	59 PRIMROSE ST	HAVERHILL	MA	01830
31	305-69-1-2	59	PRIMROSE ST	HAVERHILL	2	ORTEGA ARELY	59 PRIMROSE ST UNIT 2	HAVERHILL	MA	01830
32	305-69-14	33	CHARLES ST	HAVERHILL		PERALTA MARTIN RIVERA	33-35 CHARLES ST	HAVERHILL	MA	01830
33	305-69-15	37	CHARLES ST	HAVERHILL		CUBI JENNIFER-ETAL	37 CHARLES ST	HAVERHILL	MA	01830
34	305-69-2-1	71	PRIMROSE ST	HAVERHILL	1	ESPINAL AMANDA	73 COMET RD	METHUEN	MA	01844
35	305-69-2-2	71	PRIMROSE ST	HAVERHILL	2	71 PRIMROSE STREET UNIT 2 REALTY TRUST	71 PRIMROSE ST UNIT 2	HAVERHILL	MA	01830
36	305-69-2-3	71	PRIMROSE ST	HAVERHILL	3	GUARINO HEIDI J	71 PRIMROSE ST	HAVERHILL	MA	01830
37	305-69-2-4	71	PRIMROSE ST	HAVERHILL	4	MONAHAN KEITH JR	71 PRIMROSE ST, Unit 4	HAVERHILL	MA	01832
38	306-74-1	203	WINTER ST	HAVERHILL		CHIJI FAMILY REALTY TRUST	50 CLEVELAND AVE	BRAINTREE	MA	02184
39	306-74-1A	201	WINTER ST	HAVERHILL		DEAM REALTY LLC	1320 SOUTH STREET	TEWKSBURY	MA	01876
40	306-74-2	15	HARRISON ST	HAVERHILL		LYKINS GERALD	15 HARRISON ST	HAVERHILL	MA	01830
41	306-74-3	20	PRIMROSE ST	HAVERHILL		WILLIAM H RYAN TRUST	16 CONCORD ST	HAVERHILL	MA	01830
42	306-74-3A		HARRISON ST	HAVERHILL		WILLIAM H RYAN TRUST	16 CONCORD ST	HAVERHILL	MA	01830
43	306-74-5-1	44	CHARLES ST	HAVERHILL		GRULLON MILAGRO	44 CHARLES ST	HAVERHILL	MA	01830
44	306-74-5-2	46	CHARLES ST	HAVERHILL		RODRIGUEZ RUBEN	489 SOUTH BROADWAY, APT. 22	LAWRENCE	MA	01843
45	306-74-7	30	PRIMROSE ST	HAVERHILL		JIMENEZ LAURA-ETUX	30-32 PRIMROSE ST	HAVERHILL	MA	01830
46	306-74-8		PRIMROSE ST	HAVERHILL		DEAM REALTY LLC	1320 SOUTH ST	TEWKSBURY	MA	01876
47	306-75-10	36	HARRISON ST	HAVERHILL		ALEKOU COSTAS ETUX	46 BAILEY CT	HAVERHILL	MA	01832
48	306-75-11	24	HARRISON ST	HAVERHILL		KOEPFLIN DAVID J	P O BOX 295	MANCHESTER	MA	01944
49	306-75-2	215	WINTER ST	HAVERHILL		WIN, LLC	3 PLUFF AVENUE	NORTH READING	MA	01864
50	306-75-3	233	WINTER ST	HAVERHILL		233 WINTER STREET, LLC	10 TEMPLE DRIVE	METHUEN	MA	01844

A	B	C	D	E	F	G	H	I	J	K
52	306-75-5	7	LEWIS ST	HAVERRILL		VARGAS JHON L-ETALI	7 LEWIS ST	HAVERRILL	MA	01830
53	306-75-6	9	LEWIS ST	HAVERRILL		ALMONTE TRINIDAD V	9 LEWIS ST	HAVERRILL	MA	01830
54	306-75-7	13	LEWIS ST	HAVERRILL		GONZALEZ ELIZABETH	225 WALNUT ST	LAWRENCE	MA	01841
55	306-75-8	15	LEWIS ST	HAVERRILL		BRADLEY SCOTT	15 LEWIS ST	HAVERRILL	MA	01830
56	306-75-9	58	CHARLES ST	HAVERRILL		MARTINEZ JORGE A JONES-ETUX	58 CHARLES ST	HAVERRILL	MA	01830
57	306-76-1	241	WINTER ST	HAVERRILL		DARLENE REALTY TRUST	P.O. BOX 1826	HAVERRILL	MA	01831
58	306-76-10	39	HALE ST	HAVERRILL		39 HALE STREET REALTY LLC	105 SOUTH PROSPECT ST	BRADFORD	MA	01835
59	306-76-12	45	HALE ST	HAVERRILL		G S G REALTY TRUST	40 LEWIS ST	HAVERRILL	MA	01830
60	306-76-2	251	WINTER ST	HAVERRILL		RICE PROPERTIES LIVING TRUST	427 EAST BROADWAY	HAVERRILL	MA	01830
61	306-76-20A	28	LEWIS ST	HAVERRILL		HOLLIS WILLIAM P	25 PARK ST	HAVERRILL	MA	01830
62	306-76-25	14	LEWIS ST	HAVERRILL		CORTES MARTHA L-ETUX	14 LEWIS ST	HAVERRILL	MA	01830
63	306-76-27	8	12 LEWIS ST	HAVERRILL		CUBESMART, L.P.	P.O. BOX 320099	ALEXANDRIA	VA	22320
64	306-76-4	9	HALE ST	HAVERRILL		CUBESMART, L.P.	P.O. BOX 320099	ALEXANDRIA	VA	22320
65	306-76-4A	17	HALE ST	HAVERRILL		G + C CONCRETE CONSTRUCTION	19 HALE ST	HAVERRILL	MA	01830
66	306-76-7	19	HALE ST	HAVERRILL		G + C CONCRETE CONSTRUCTION	19 HALE ST	HAVERRILL	MA	01830
67	306-76-9	35	HALE ST	HAVERRILL		STRYKOWSKI JOHN	35 HALE ST	HAVERRILL	MA	01830
68	306-77-1		HARRISON ST	HAVERRILL		CITY OF HAVERRILL	4 SUMMER ST	HAVERRILL	MA	01830
69	306-77-16	84	HARRISON ST	HAVERRILL		CHUTE JULIE E	84 HARRISON ST	HAVERRILL	MA	01830
70	306-77-17	74	HARRISON ST	HAVERRILL		KRAFTON JONATHAN M	74 HARRISON ST	HAVERRILL	MA	01830
71	306-77-17A	76	HARRISON ST	HAVERRILL		PADEDES DAVID A	76 HARRISON ST	HAVERRILL	MA	01830
72	306-77-18	72	HARRISON ST	HAVERRILL		FRAZIER IRENE J	144 CENTRAL AVE	SALISBURY	MA	01962
73	306-77-19	70	HARRISON ST	HAVERRILL		CHANGDITO LLC	49 WILSON POND RD	ROWLEY	MA	01969
74	306-77-2	57	CHARLES ST	HAVERRILL		BISONO ANGELY	315 HIGH ST	LAWRENCE	MA	01841
75	306-77-21	64	HARRISON ST	HAVERRILL		URBANFLIPO LLC	76 WESTOVER PARKWAY	NORWOOD	MA	02062
76	306-77-22	62	HARRISON ST	HAVERRILL		SIMPICE MARIE J ORIOL	62 HARRISON ST	HAVERRILL	MA	01830
77	306-77-23	58	60 HARRISON ST	HAVERRILL		LEMEC INVESTMENTS LLC	867 BOYLSTON ST, SUITE 505	BOSTON	MA	02116
78	306-77-3	65	CHARLES ST	HAVERRILL		SILVA JOHN T	65 CHARLES ST	HAVERRILL	MA	01830
79	306-77-3A	61	CHARLES ST	HAVERRILL		ELEFTHERIOU GEORGE	256 BROADWAY	HAVERRILL	MA	01832
80	306-77-4	23	LEWIS ST	HAVERRILL		THE RAYMOND L & HELEN I DUFRESNE TRUST	23 LEWIS ST	HAVERRILL	MA	01830
81	306-77-5	29	LEWIS ST	HAVERRILL		QAZAFI MUHAMMAD	360 WALNUT ST	LYNNFIELD	MA	01940
82	306-77-6	31	LEWIS ST	HAVERRILL		MCGNEIL THOMAS-ETAL	31 LEWIS ST	HAVERRILL	MA	01830
83	306-77-7	35	LEWIS ST	HAVERRILL		SHAFIQ MOHAMMAD	35 LEWIS ST	HAVERRILL	MA	01830
84	306-77-7A	33	LEWIS ST	HAVERRILL		KING REGINALD P JR	33 LEWIS ST	HAVERRILL	MA	01830
85	306-78-1-1	58	PRIMROSE ST	HAVERRILL		BRUM JONATHAN PINTO	58 PRIMROSE ST #1	HAVERRILL	MA	01830
86	306-78-1-2	56	PRIMROSE ST	HAVERRILL		MUNROE THOMAS S	56 PRIMROSE ST #2	HAVERRILL	MA	01830
87	306-78-1-3	54	PRIMROSE ST	HAVERRILL		POZO MARCO ANTONIO BECERRA	54 PRIMROSE ST #3	HAVERRILL	MA	01830
88	306-78-1-4	47	CHARLES ST	HAVERRILL		MILONOPOULOS SHAWN-ETAL	47 CHARLES ST, UNIT #4	HAVERRILL	MA	01830
89	306-78-1-5	49	CHARLES ST	HAVERRILL		BRISTOL-ANDINO JAVIERE	49 CHARLES ST, UNIT 5	HAVERRILL	MA	01830
90	306-78-21	64	PRIMROSE ST	HAVERRILL		BENJAMIN ROBERT J	64 PRIMROSE ST	HAVERRILL	MA	01830
91	306-78-5	69	HARRISON ST	HAVERRILL		EBE INVESTMENTS PROPERTIES LLC	289 ESSEX ST	LAWRENCE	MA	01840
92	306-78-5A	74	PRIMROSE ST	HAVERRILL		SILVERIO WENDOLIN D-ETUX	74 PRIMROSE ST	HAVERRILL	MA	01830
93	306-78-5B	65	HARRISON ST	HAVERRILL		GEORGES RALPH P	65 HARRISON ST	HAVERRILL	MA	01830
94	306-78-6	77	HARRISON ST	HAVERRILL		BLAIS ARIANA	77 HARRISON ST	HAVERRILL	MA	01830
95	306-78-7	81	HARRISON ST	HAVERRILL		ZUNIGA FRANCISCO	81 HARRISON ST	HAVERRILL	MA	01830
96	306-79-1	6	12 HALE ST	HAVERRILL		CUBESMART, L.P.	P.O. BOX 320099	ALEXANDRIA	VA	22320
97	306-79-1-2	24	HALE ST	HAVERRILL		G & C CONCRETE CONSTRUCTION IN	19 HALE STREET	HAVERRILL	MA	01830
98	306-79-1A		WINTER ST	HAVERRILL		MASSACHUSETTS ELECTRIC CO	40 SYLVAN RD	WALTHAM	MA	02451
99	307-2-1	284	WINTER ST	HAVERRILL		HEG 284 WINTER STREET LLC	2 INTERNATIONAL WAY	LAWRENCE	MA	01843
100	307-2-3		WINTER ST	HAVERRILL		M BAY TRANS AUTHORITY	45 HIGH ST	BOSTON	MA	02110
101	307-2-5	265	WINTER ST	HAVERRILL		KENNEBEC REALTY TRUST	265 WINTER ST	HAVERRILL	MA	01830
102	307-2-6		STEVENS ST	HAVERRILL		SHAIN REALTY TRUST	2506 FAIRWAY DRIVE NORTH	JUPITER	FL	33477

A	B	C	D	E	F	G	H	I	J	K
103307-2-9	14	16 STEVENS ST	HAVERHILL	SHAIN REALTY TRUST	2506 FAIRWAY DRIVE NORTH	JUPTER	FL	33477		

BOARD OF ASSESSORS
 CITY OF HAVERHILL
 4 SUMMER STREET • RM 115
 HAVERHILL, MA 01830-5843

2025 JUL 9 PM 1:01
 TAX ASSESSOR



MELINDA E. BARRETT
MAYOR

CITY OF HAVERHILL
MASSACHUSETTS

REC'D
MAYOR'S OFFICE
MAYOR

CITY HALL, ROOM 100
FOUR SUMMER STREET
HAVERHILL, MA 01830
PHONE 978-374-2300
FAX 978-373-7544
MAYOR@HAVERHILLMA.GOV
WWW.HAVERHILLMA.GOV

December 4, 2025

To: City Council President Thomas J. Sullivan and Members of the Haverhill City Council

From: Mayor Melinda E. Barrett

RE: Resignation - Carmen Garcia-King from Haverhill Planning Board

Dear Mr. President and Members of the Haverhill City Council:

I would like to inform you that effective November 6, 2025, Carmen Garcia-King has resigned from the Haverhill Planning Board. Her letter of resignation is attached for your review.

Sincerely,

Melinda E. Barrett
Mayor

MEB/em

Check your Massachusetts Voter Registration Status!

From: Carmen Garcia <carmenjkgarcia@gmail.com>

Sent: Thursday, November 6, 2025 10:01 AM

To: Mayor <mayor@haverhillma.gov>

Cc: CityClerk <cityclerk@haverhillma.gov>; Melanie Sloan <msloan@HaverhillMa.gov>

Subject: RE: Resignation from Haverhill Planning Board

Warning! External Email. Exercise caution when opening attachments or clicking on any links.

Dear Mayor Barrett,

Congratulations on your re-election on November 4th. My family and I wish you and your team continued success in the new term.

I'm writing to tender my resignation from the Haverhill Planning Board, effective today, November 6, 2025. Over the past several months, my professional and personal commitments have grown to the point that I can no longer give the Board the consistent time and attention it deserves, including regular attendance at monthly meetings.

It has been an honor to serve our city in this role. I'm grateful to you and former Mayor Fiorintini for the opportunity to contribute and for the collaboration with my fellow board members.

Please let me know if there are any further formal steps I should take. If you have any questions, don't hesitate to contact me at any time.

Thank you again for the opportunity to serve the Haverhill community.

With much appreciation,
Carmen Garcia-King



13.1

MELINDA E. BARRETT
MAYOR

**CITY OF HAVERHILL
MASSACHUSETTS**

CITY HALL, ROOM 100
FOUR SUMMER STREET
HAVERHILL, MA 01830
PHONE 978-374-2300
FAX 978-373-7544
MAYOR@HAVERHILLMA.GOV
WWW.HAVERHILLMA.GOV

December 4, 2025

To: City Council President Thomas J. Sullivan and Members of the Haverhill City Council

From: Mayor Melinda E. Barrett

RE: FY25 Bills

Dear Mr. President and Members of the Haverhill City Council:

Attached, please find an order to pay bills from the previous fiscal year:

Vendor	Amount	Account
True Green Capital	\$ 1,320.74	Public Property
True Green Capital	\$ 999.81	Public Property
True Green Capital	\$ 1,574.89	Public Property
True Green Capital	\$ 1,731.64	Public Property
AAT	\$ 1,020.00	Highway

Total: \$ 6,647.08

I recommend approval.

Sincerely,

**Melinda E. Barrett
Mayor**

MEB/em



Document

CITY OF HAVERHILL

In Municipal Council

Ordered:

That in accordance with General Laws, Chapter 44, Section 64, authorize the payment of bill(s) of the previous years and to further authorize the payment from current year departmental appropriations as listed below:

REC 9 PM 3:55
CITY CLERK

<u>Vendor</u>	<u>Amount</u>	<u>Account</u>
True Green Capital	\$1,320.74	Public Property
True Green Capital	\$999.81	Public Property
True Green Capital	\$1,574.89	Public Property
True Green Capital	\$1,731.64	Public Property
AAT	<u>\$1,020.00</u>	Highway
	\$6,647.08	

TRUE GREEN CAPITAL

INVOICE

INVOICE # 1
DATE: 4/23/2025

TC Renewable HoldCo III, LLC
c/o True Green Capital Management, LLC
315 Post Road West, 2nd Floor
Westport, CT 06880,
United States

TO City of Haverhill
4 Summer Street
105
Haverhill, MA 01830

PROJECT	PERIOD	DUE DATE
Haverhill City Hall	3/01/2025 - 3/31/2025	5/23/2025

# OF DAYS	ONSITE GENERATION DURING PERIOD (kWh)	ELECTRIC RATE (\$/kWh)	TOTAL AMOUNT DUE
31	17,041.80 kWh	\$ 0.0775	\$ 1,320.74
SUBTOTAL			\$ 1,320.74
SALES TAX			\$ 0.00
TOTAL			\$ 1,320.74

WIRE OR ACH TO:
BANK NAME: KEYBANK NATIONAL ASSOCIATION
ABA #: 041001039
A/C NAME: TC RENEWABLE HOLDCO III, LLC
A/C NUMBER: 359681598397

QUESTIONS:
ASSETMGMT@TRUEGREENCAPITAL.COM

TRUE GREEN CAPITAL

INVOICE

INVOICE # 2
DATE: 5/16/2025

TC Renewable HoldCo III, LLC
c/o True Green Capital Management, LLC
315 Post Road West, 2nd Floor
Westport, CT 06880

TO City of Haverhill
4 Summer Street, 105
Haverhill, MA 01830

PROJECT	PERIOD	DUE DATE
Haverhill City Hall	4/01/2025 - 4/30/2025	6/15/2025

# OF DAYS	ONSITE GENERATION DURING PERIOD (kWh)	ELECTRIC RATE (\$/kWh)	TOTAL AMOUNT DUE
30	12,900.80 kWh	\$ 0.0775	\$ 999.81
SUBTOTAL			\$ 999.81
SALES TAX			\$ 0.00
TOTAL			\$ 999.81

WIRE OR ACH TO:

BANK NAME: KEYBANK NATIONAL ASSOCIATION
ABA #: 041001039
A/C NAME: TC RENEWABLE HOLDCO III, LLC
A/C NUMBER: 359681598397

QUESTIONS:

ASSETMGMT@TRUEGREENCAPITAL.COM

TRUE GREEN CAPITAL

INVOICE

INVOICE # 3
DATE: 8/4/2025

TC Renewable HoldCo III, LLC
c/o True Green Capital Management, LLC
315 Post Road West, 2nd Floor
Westport, CT 06880

TO City of Haverhill
4 Summer Street, 105
Haverhill, MA 01830

PROJECT	PERIOD	DUE DATE
Haverhill City Hall	5/01/2025 - 5/31/2025	9/3/2025

# OF DAYS	ONSITE GENERATION DURING PERIOD (kWh)	ELECTRIC RATE (\$/kWh)	TOTAL AMOUNT DUE
31	20,321.10 kWh	\$ 0.0775	\$ 1,574.89
SUBTOTAL			\$ 1,574.89
SALES TAX			\$ 0.00
TOTAL			\$ 1,574.89

WIRE OR ACH TO:

BANK NAME: KEYBANK NATIONAL ASSOCIATION
ABA #: 041001039
A/C NAME: TC RENEWABLE HOLDCO III, LLC
A/C NUMBER: 359681598397

QUESTIONS:

ASSETMGMT@TRUEGREENCAPITAL.COM

TRUE GREEN CAPITAL

INVOICE

INVOICE # 4
DATE: 8/4/2025

TC Renewable HoldCo III, LLC
c/o True Green Capital Management, LLC
315 Post Road West, 2nd Floor
Westport, CT 06880

TO City of Haverhill
4 Summer Street, 105
Haverhill, MA 01830

PROJECT	PERIOD	DUE DATE
Haverhill City Hall	6/01/2025 - 6/30/2025	9/3/2025

# OF DAYS	ONSITE GENERATION DURING PERIOD (kWh)	ELECTRIC RATE (\$/kWh)	TOTAL AMOUNT DUE
30	22,343.80 kWh	\$ 0.0775	\$ 1,731.64
SUBTOTAL			\$ 1,731.64
SALES TAX			\$ 0.00
TOTAL			\$ 1,731.64

WIRE OR ACH TO:
BANK NAME: KEYBANK NATIONAL ASSOCIATION
ABA #: 041001039
A/C NAME: TC RENEWABLE HOLDCO III, LLC
A/C NUMBER: 359681598397

QUESTIONS:
ASSETMGMT@TRUEGREENCAPITAL.COM

For Highway 121

Council



HAV25_05

1092 - 1820 Avenue M
Brooklyn, NY 11230
Phone (855) 692-4756 Fax (845) 459-8973

DATE: May 1 2025
Invoice # HAV25_05

Quote For: City of Haverhill Public Works Department

SALESPERSON	P.O. NUMBER	SHIP DATE	SHIP VIA	F.O.B. POINT	Due:
Martin	-				May 28 / 25

QUANTITY	DESCRIPTION	UNIT PRICE	AMOUNT
68	Monthly Wireless & System Access Fee Haverhill Vehicle May 2025	\$ 15.00	\$ 1,020.00
			\$ -
			\$ -
			\$ -
			\$ -
TOTAL			\$ 1,020.00

If you have any questions concerning this quote, please contact info@aatracking.com

CITY COUNCIL

Thomas J. Sullivan, *President*
Timothy J. Jordan, *Vice President*
John A. Michitson
Colin F. LePage
Melissa J. Lewandowski
Catherine P. Rogers
Shaun P. Toohey
Michael S. McGonagle
Katrina Hobbs Everett
Devan Ferreira
Ralph T. Basiliere



CITY HALL, ROOM 204
4 SUMMER STREET
TELEPHONE: 978-374-2328
FACSIMILE: 978-374-2329
WWW.CITYOFHAVERHILL.COM
CITYCOUNCIL@HAVERHILLMA.GOV

CITY OF HAVERHILL

HAVERHILL, MASSACHUSETTS 01830-5843

December 4, 2025

DEC 4 PM 1:43
HAUCITYCLERK

To: President and Members of the City Council

Councilors Ferreira and Michitson wish to discuss pedestrian safety in Haverhill.

Devan Ferreira
Councilor Devan Ferreira (LAR)

John A. Michitson
Councilor John A. Michitson (LAR)

(Meeting: 12.9.25)