



**CITY OF HAVERHILL  
CITY COUNCIL AGENDA**

**Tuesday, September 30, 2025, at 7:00 PM**

**Theodore A. Pelosi, Jr. Council Chambers, 4 Summer st, Room 202**

**In-Person/Remote Meeting**

*This meeting of Haverhill City Council will be held in-person at the location provided on this notice as its official meeting location pursuant to the Open Meeting Law. As the meeting is held in person at a physical location that is open and accessible to the public, the City Council is not required to provide remote access to the meeting. Members of the public are welcome to attend this in-person meeting. Please note that a live stream of the meeting is being provided only as a courtesy to the public, and the meeting will not be suspended or terminated if technological problems interrupt the virtual broadcast, unless otherwise required by law. Members of the public with particular interest in any specific item on this agenda should make plans for in-person vs. virtual attendance accordingly. Those attending tonight's meeting should be aware that the meeting is being audio and video recorded by HCTV, The Eagle Tribune, and WHAV. Any audience members who wish to record any part of the meeting must inform the Council President who will announce the recording. This is to comply with the MA wiretap statute. Thank you.*

- 1. OPENING PRAYER**
- 2. PLEDGE OF ALLEGIANCE**
- 3. APPROVAL OF MINUTES OF PRIOR MEETING**
- 4. ASSIGNMENT OF THE MINUTES REVIEW FOR THE NEXT MEETING:**
- 5. COMMUNICATIONS FROM THE MAYOR:**

SEP 26 PM12:04  
HAVCITYCLERK

- 5.1. Mayor Barrett submits an order establishing the Mark F. Sheehan Trail within the City's Wheeler Woods Conservation Area
  - 5.1.1. Order- That the City of Haverhill hereby establishes the Mark F. Sheehan Trail to be located on Boxford Rd along the eastern shore of Chadwick Pond including about 3,000 linear feet and as shown on the attached sketch plan dated September 2025. The trail is located in the Wheeler Woods shown on the City of Haverhill Assessor's Map as parcels 773-793-16 and 773-793-8.

*Related communication from Robert E. Moore, Jr., Environmental Health Technician*



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5.2. Mayor Barrett submits an order to accept grant of easement - Sherwood Drive Water Boosting Pumping Station - Permanent easement at 2 Sherwood Drive

5.2.1. Order- That the City Council of the City of Haverhill votes to authorize the Mayor to grant a permanent easement to the Massachusetts Electric Company across a portion of the property located at 2 Sherwood Dr known as "Parcel F" on a Plan recorded with the Essex County Registry of Deeds in Plan Book 138, Page 93, which is shown on the sketch plans attached to the Easement appended hereto, for purposes of constructing, installing, operating, repairing, using and maintaining an underground electric distribution system; and further to authorize the Mayor execute any document necessary to effectuate the grant of the easement including, but not limited to the Easement, and to take any other action necessary or convenient to carry out this vote.

*Related communication from Robert E. Ward, DPW Director*

5.3. Mayor Barrett submits an order relating to Asset Management Plan Grant and Authority to File

5.3.1. Order- The City Council of the City of Haverhill authorize the Mayor on behalf of the Applicant to file applications and execute agreements for grant and/or loan assistance as well as furnishing such information, data, and documents pertaining to the applicant for a grant(s) and/or loan(s) as may be required; and otherwise to act as the authorized representative of the Applicant in connection with this application

5.3.2. Authority to File - Authorize Mayor on behalf of the applicant to file applications and execute any pertinent agreements as needed

*Related communication from Robert E. Ward, DPW Director*

**6. COMMUNICATIONS FROM COUNCILORS TO INTRODUCE AN INDIVIDUAL(S) TO ADDRESS THE COUNCIL:**

6.1. Councilor Michitson wishes to introduce Matt Belfiore and Dave Shultz of HC Media to show video intended to change the image of manufacturing jobs and work as a recruitment tool for manufacturing companies



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7. PUBLIC PARTICIPATION- REQUESTS UNDER COUNCIL RULE 28

8. COMMUNICATIONS AND REPORTS FROM CITY OFFICERS AND EMPLOYEES:

9. UTILITY HEARING(S) AND RELATED ORDER(S):

10. HEARINGS AND RELATED ORDERS:

10.1. Document 90 - CCSP 25-6; Marcos Devers requests to convert an existing two-family to a three-family dwelling at 43 Jackson St

10.2. Document 5; William Pillsbury, Economic Development and Planning Director, requests Zoning Amendment - Battery Energy Storage Systems

*Continued from August 5, 2025 meeting*

10.2.1. Document 5-B; Ordinance re: Zoning - Add a new section 7.9 Battery Energy Storage Systems *filed January 9, 2025*

*Related communication from City Solicitor Lisa Mead to continue the hearing until December 2, 2025*

11. APPOINTMENTS:

11.1. Confirming Appointments:

11.2. Non-Confirming Appointments:

11.3. Constables

11.4. Resignations

12. PETITIONS:

12.1. Applications Handicap Parking Sign: *with Police approval*

12.2. Amusement/Event Application: *with Police approval*

12.2.1. EVNT-25-28; Cynthia Graham for the *Haverhill Firefighting Museum Chili/ Chowder Cookoff* at 75 Kenoza Ave, October 18th from 5-10pm

*Requesting additional fees be waived*

12.3. Auctioneer License:

12.4. Tag Days: *with Police approval*

12.4.1. TAGD-25-22; *Haverhill Girls Softball League*, November 1<sup>st</sup> & 2<sup>nd</sup>



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12.5. **One Day Liquor License –with HPD approval**

12.6. **ANNUAL LICENSE RENEWALS:**

12.6.1. **Hawker Peddlers License- Fixed location – w/Police approval**

12.6.2. **Coin-Op License *Renewals* – with Police approval**

12.6.3. **Christmas Tree Vendor – with Police approval**

12.6.4. **Taxi Driver Licenses for 2024: with Police approval**

12.6.5. **Taxi/Limousine License with Police approval**

12.6.6. **Junk Dealer /Collector License - with Police approval**

12.6.7. **Pool/Billiard**

12.6.8. **Bowling**

12.6.9. **Sunday Bowling**

12.6.10. **Buy & Sell Second Hand Articles with Police approval**

12.6.11. **Buy & Sell Second Hand Clothing with Police approval**

12.6.12. **Pawnbroker license - with police approval**

12.6.13. **Fortune Teller with - Police approval**

12.6.14. **Buy & Sell Old Gold – with Police approval**

12.6.15. **Roller Skating Rink**

12.6.16. **Sunday Skating**

12.6.17. **Exterior Vending Machines/Redbox Automated Retail, LLC**

12.6.18. **Limousine/Livery License/Chair Cars with Police approval**

**13.MOTIONS AND ORDERS:**

13.1. Order – pay bills of previous years and authorize payment from current year departmental appropriations as listed:

<u>Vendor</u>	<u>Amount</u>	<u>Account</u>
Vestis	\$95.94	Police Dept.
Advantage One	\$654.90	Police Dept.
Advantage One	\$654.90	Police Dept.
Advantage One	\$654.90	Police Dept.

Total: \$2,059.44





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**14. ORDINANCES (FILE 10 DAYS):**

- 14.1. Ordinance re: Vehicles and traffic: Amend Ch. 240, be further amended by **ADDING** the following to §240-85 schedule B: Parking Restrictions and Prohibitions:

<u>LOCATION</u>	<u>REGULATION</u>	<u>HOURS/ DAYS</u>
<i>Main St, in front of 495 Main St</i>	<i>2-hour Parking</i>	<i>8:30am-6pm, Mon-Fri Jan 1 through April 30</i>

**File 10 Days**

- 14.2 Ordinance re: Vehicles and traffic: Amend Ch. 240, be further amended by **DELETING** the following to §240-85 schedule B: Parking Restrictions and Prohibitions:

**River Street**

From 20' west of Washington Street To 109 River Street	Time limit: 30 min	7 am-6 pm
From 109 to No. 211 River Street, except for 1 24-hour handicapped parking space at No. 163, north side	Time limited: 2 hour	7 am-6 pm
In front of 125 River Street (Victoriana Catering)	Time limited: 1 hour	8 am-4 pm M-Sa
In front of No. 167 River Street except For 1 24-hour handicap parking space	No Parking	24 hours
In front of 169-171 River Street	No Parking	24 hours
From No. 211 west for 210 ft, north side	Time limited: 1 hour	7 am -5 pm

**Also, that § Chapter 240-85 Schedule B: Parking Restrictions and Prohibitions, as amended, is hereby further amended by ADDING the following:**

**River Street**

From 20' west of Washington St to Across front of 67 River Street	Time limit: 1 hour	7 am-6 pm M-F
In front of 83 River Street	Time limit: 1 hour	7 am-6 pm M-F



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In front of 125 River Street	Time limit: 1 hour	9 am-5 pm M-Sa
In front of 173 River Street, except for 1 24-hour handicapped parking space	No Parking	24 hours
In front of 219 River Street	Time limited: 1 hr	7 am -5 pm

**File 10 Days**

**15.COMMUNICATIONS FROM COUNCILORS:**

- 15.1. Councilor Lewandowski requests a discussion on city protocol and ongoing planning for clearing of vegetation in Riverside Park/Edible Avenue and along the river

**16.UNFINISHED BUSINESS OF PRECEEDING MEETING:**

- 16.1. Councilor Lewandowski requests an amendment to Chapter 191 of Haverhill City Ordinances prepared by City Solicitor Lisa Mead reflecting changes that were voted by City Council on July 22, 2025. She also requests to send a letter to the delegation to advocate for additional language to our state statute on solicitation to protect residences
- Filed September 17, 2025*

**17.RESOLUTIONS AND PROCLAMATIONS:**

**18.COUNCIL COMMITTEE REPORTS AND ANNOUNCEMENTS:**

**19.DOCUMENTS REFERRED TO COMMITTEE STUDY:**

**20.LONG TERM MATTERS STUDY LIST:**

**21. ADJOURN:**

MELINDA E. BARRETT  
MAYOR



CITY OF HAVERHILL  
MASSACHUSETTS

CITY HALL, ROOM 100  
FOUR SUMMER STREET  
HAVERHILL, MA 01830  
PHONE 978-374-2300  
FAX 978-373-7544  
MAYOR@HAVERHILLMA.GOV  
WWW.HAVERHILLMA.GOV

5.1

September 25, 2025

**To:** City Council President Thomas J. Sullivan and Members of the Haverhill City Council

**From:** Melinda E. Barrett

**RE: Order- Mark F. Sheehan Trail Establishment at Wheeler Woods Conservation Area**

Dear Mr. President and Members of the Haverhill City Council:

Please see attached a proposed order authorizing the Mayor to establish the Mark F. Sheehan Trail within the City's Wheeler Woods Conservation Area.

I recommend approval.

Sincerely,

**Melinda E. Barrett**  
Mayor


MEB/em



# Haverhill

Conservation Department  
Phone: 978-374-2334 Fax: 978-374-2366  
[rmoore@cityofhaverhill.com](mailto:rmoore@cityofhaverhill.com)  
[conservation@cityofhaverhill.com](mailto:conservation@cityofhaverhill.com)

MEMO TO: The Honorable Melinda E. Barrett, Mayor, City of Haverhill

FROM: Robert E. Moore, Jr., Environmental Health Technician 

DATE: September 25, 2025

RE: Order – Mark F. Sheehan Trail Establishment at Wheeler Woods Conservation Area

Attached is a City Council Order prepared by Mead, Talerman and Costa authorizing the Mayor to establish the Mark F. Sheehan Trail within the City's Wheeler Woods Conservation Area.

Wheeler Woods is one of several Conservation Areas identified under Section 193-14 of the City Code for its beautiful landscapes and the improved quality of life it provides our community. The property consists of approximately 40 acres on the eastern shore of Chadwick Pond and provides the public with opportunities for fishing, hiking, birdwatching, snowshoeing, and biking.

The main trail on the property is proposed to be dedicated in honor of Mark F. Sheehan for his more than 30 years of leadership in the planning, construction, and maintenance of the City's passive recreational trail network, across more than 1,500 acres of publicly accessible open space, in his capacity as the founder of the Haverhill Trails Committee, now known as the Haverhill Trails Volunteers, and as a Haverhill Conservation Officer.

In 1995, Mark was awarded a Conservation Hero Award by the National Park Service for his commitment to improving public access and enjoyment of natural lands. In 2008, Mark spearheaded the creation of the highly regarded *Haverhill Trails Guide*, which is now in its third edition. The guide is a comprehensive resource for GPS-located trails, wildlife, forestry, history, and geology for many of Haverhill's conservation areas. The guide serves as a valuable resource to our department as we carry Mark's many accomplishments forward.

If you approve the documents, they should be forwarded to the City Clerk to be placed on the City Council agenda for final authorization. Please review and advise if any modifications are necessary before submission.

Attachments:

- Locus Map
- Trail Kiosk Map
- City Council Order Authorizing Trail Dedication

e-COPY TO: Christine Lindberg, Chief of Staff, Mayor Barrett  
Lisa L. Mead, Mead, Talerman & Costa, LLC  
Robert E. Ward, Director of Public Works



Document

CITY OF HAVERHILL

In Municipal Council

5.1.1

SEP 26 AM 8:37  
HVCITYCLERK

Ordered:

Mark F. Sheehan Trail Establishment

That the City of Haverhill hereby establishes the Mark F. Sheehan Trail to be located on Boxford Road along the eastern shore of Chadwick Pond including about 3,000 linear feet and as shown on the attached sketch plan dated September 2025. The trail is located in Wheeler Woods shown on the City of Haverhill Assessor's Map as parcels 773-793-16 and 773-793-8.

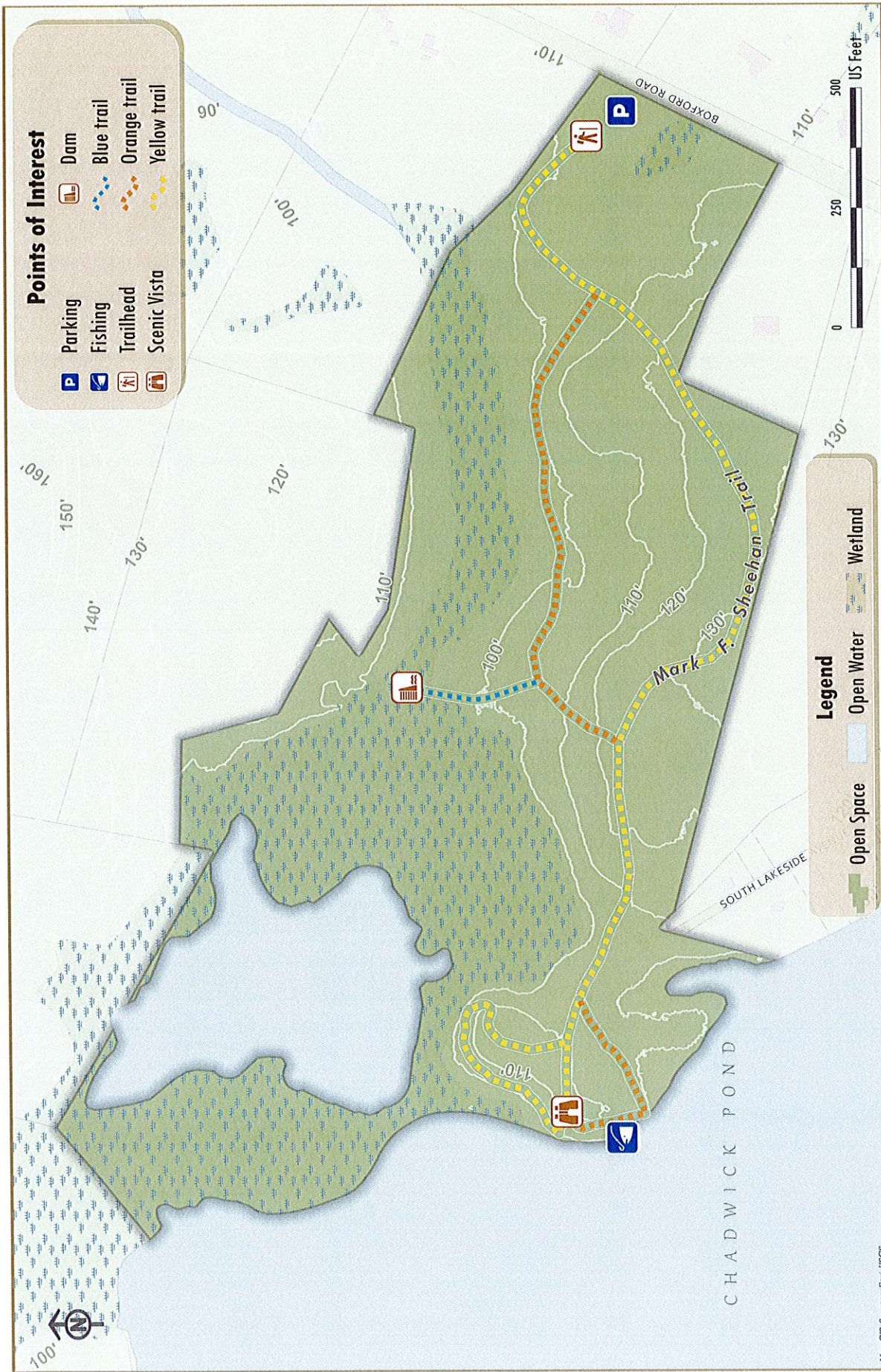
This trail establishment is in recognition of Mr. Sheehan's creation of the volunteer group Haverhill Trails Committee, now known as the Haverhill Trails Volunteers, in his capacity as a City of Haverhill Conservation Officer. The establishment of the Trail recognizes Mark's leadership in the construction and maintenance of the City's passive recreational trail network over more than 30 years and across more than 1,500 acres of publicly accessible open space.

Approved as to form:

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City Solicitor









# Welcome to Wheeler Woods Conservation Area

This land is conserved by the City of Haverhill for public enjoyment and the protection of Chadwick Pond and its natural features.

## HISTORY OF THE LAND

Wheeler Woods was created by combining 13 acres of existing city land with a 28-acre lot purchased from Benjamin Wheeler in 1999. Mr. Wheeler sold the land to remain as open space for the public to enjoy. City Council formally designated this land as the Wheeler Woods Conservation Area in December of 2000.

## GEOLOGY

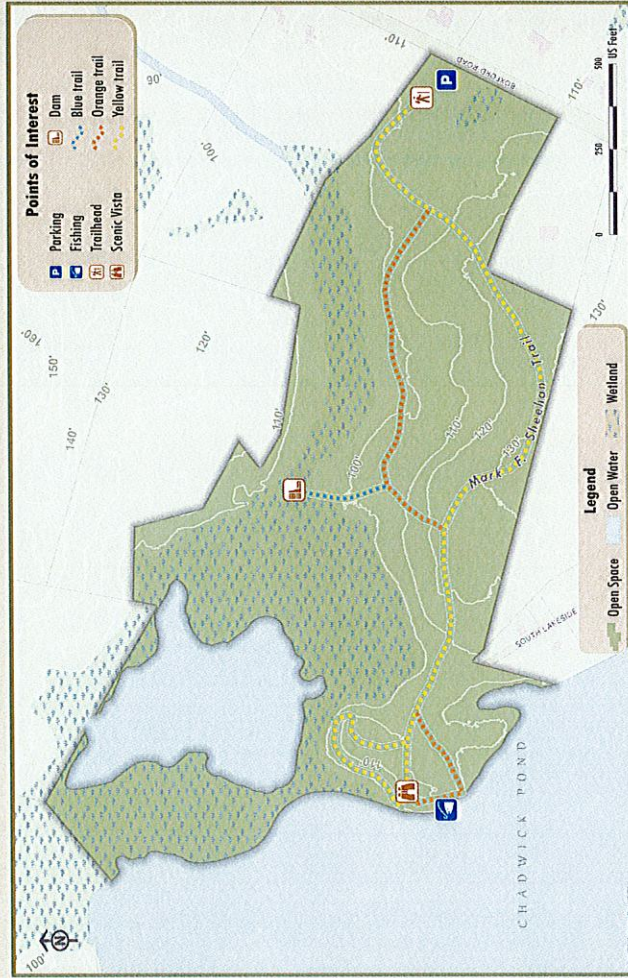
Chadwick Pond is a glacial lake. The rocky glacial debris and sediment sustain the lake's water level. Glacial boulders and rock walls are a prominent feature of this area.

## WILDLIFE

Deer, muskrat, beaver, fisher cat, painted turtle, murre swan, blue heron, mallard, red-wing blackbird, and osprey are a few species you may encounter. Chadwick is a popular fishing location for largemouth bass, pickerel, and bluegill.

## FORESTRY & PLANTS

The predominant overstory species is red oak. Other tree species include white and black oak, beech, birch, hickory, red maple, and pine. Sweet pepperbush, blueberry, winterberry, and viburnum are common shrubs throughout the understory. Floating reed beds are a unique feature along the shores of Chadwick Pond.



Maple leaf viburnum



Beaver hut



Winterberry



Canada mayflower



Mallard



Wood aster



Painted turtle



Great egret

**Mark F. Sheehan Trail – Dedicated September 2025**  
Dedicated to Mark F. Sheehan to recognize more than 30 years of service to the City of Haverhill in his creation and stewardship of Haverhill's trails.

## PERMITTED ACTIVITIES

The Wheeler Woods Conservation Area is open to the public for the following activities and other activities that do not damage the land or disrupt other people's enjoyment of it.



You can help us maintain and improve our Conservation Area



Haverhill Trails Stewards  
haverhillma.gov/volunteer/conservation



## TRAIL ETIQUETTE & RULES

As you use this property, please respect the natural communities around you and our neighbors. This area is open to the public from 1/2 hour before sunrise to 1/2 hour after sunset.

### Please:

- Park in designated areas
- Carry in, carry out – DO NOT LITTER
- Restrain dogs on leashes and clean up after them
- Be aware hunting is allowed on this land in accordance with state and local regulations

### The following are prohibited:

- No camping or open fires
- No motorized vehicles
- No alcohol
- No swimming (including pets)
- No release of unwanted pets

Scan for all conservation areas' rules and regulations



Please report illegal activities to the Conservation Department at (978) 374-2334 (office) or Haverhill Police at (978) 373-1212. A Haverhill Conservation officer will respond ASAP to investigate the violation.



MELINDA E. BARRETT  
MAYOR



5.2

CITY OF HAVERHILL  
MASSACHUSETTS

CITY HALL, ROOM 100  
FOUR SUMMER STREET  
HAVERHILL, MA 01830  
PHONE 978-374-2300  
FAX 978-373-7544  
MAYOR@HAVERHILLMA.GOV  
WWW.HAVERHILLMA.GOV

September 25, 2025

To: City Council President Thomas J. Sullivan and Members of the Haverhill City Council

From Mayor Melinda E. Barrett

**RE: Order to Accept Grant of Easement – Sherwood Drive Water Booster Pumping Station- Permanent Easement at 2 Sherwood Drive**

Dear Mr. President and Members of the Haverhill City Council:

Please see attached an order authorizing the Mayor to grant a permanent easement to the Massachusetts Electric Company for property located near 2 Sherwood Drive, Haverhill. This order requires a two-thirds majority vote by the City Council.

I recommend approval.

Sincerely,

**Melinda E. Barrett**  
Mayor

MEB/em



# Haverhill

Robert E. Ward, DPW Director  
Phone: 978-374-2382 Fax: 978-521-4083  
rward@haverhillma.gov

September 24, 2025

To: The Honorable Melinda E. Barrett  
Mayor of Haverhill

From: Robert E. Ward   
DPW Director

Subject: Sherwood Drive Water Booster Pumping Station  
Proposed City Council Order – Permanent Easement at 2 Sherwood Drive

Attached is a proposed City Council document authorizing the City to grant an easement to Massachusetts Electrical Company (MEC) across a portion of City-owned property located at 2 Sherwood Drive, known as "Parcel F" on Plan Book 138, Page 93.

The easement is necessary to construct, install, operate, repair, and maintain an underground electric distribution system to serve City property and adjacent areas, as detailed in the attached Grant of Easement and associated sketch plans.

The Order also authorizes the Mayor to execute any necessary documents to effectuate the grant of the easement and to take any other actions needed to carry out the vote.

If the Order is acceptable, I respectfully request that it be submitted to the City Council for approval. I will attend the City Council meeting when it is considered.

Please let me know if you require any additional information.

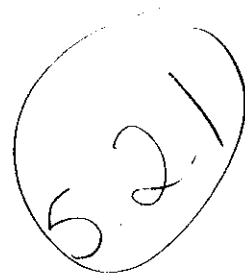
Attachments:

Proposed City Council Order  
Grant of Easement with Sketch Plans

Cc: Christine Lindberg, Chief of Staff, [clindberg@haverhillma.gov](mailto:clindberg@haverhillma.gov)  
Lisa L. Mead, Mead, Talerman & Costa LLC, [lisa@mtclawyers.com](mailto:lisa@mtclawyers.com)  
John D'Aoust, Water Treatment Plant Manager, [jdaoust@haverhillma.gov](mailto:jdaoust@haverhillma.gov)



DOCUMENT  
CITY OF HAVERHILL  
In Municipal Council



ORDERED:

COMMONWEALTH OF MASSACHUSETTS

ESSEX, SS.

CITY OF HAVERHILL

**HAVERHILL CITY COUNCIL**

At a regularly convened meeting of the City Council of the City of Haverhill, held on the \_\_\_\_ day of \_\_\_\_\_, 2025, it was voted as follows:

That the City Council of the City of Haverhill, duly elected, qualified, and acting as such, on behalf of the City votes to authorize the Mayor to grant a permanent easement to the Massachusetts Electric Company across a portion of the property located at 2 Sherwood Drive known as "Parcel F" on a Plan recorded with the Essex County Registry of Deeds in Plan Book 138, Page 93, which is shown on the sketch plans attached to the Easement appended hereto, for purposes of constructing, installing, operating, repairing, using and maintaining an underground electric distribution system;

And further to authorize the Mayor to execute any document necessary to effectuate the grant of the easement including, but not limited to the Easement, and to take any other action necessary or convenient to carry out this vote.

YEAS: \_\_\_\_\_

NAYS: \_\_\_\_\_

ABSENT: \_\_\_\_\_

PASSED IN COUNCIL: \_\_\_\_\_

A True Record, Attest:

\_\_\_\_\_  
Date Approved

\_\_\_\_\_  
Kaitlin M. Wright, City Clerk

\_\_\_\_\_  
Melinda E. Barrett, Mayor

## GRANT OF EASEMENT

The **CITY OF HAVERHILL**, a municipal corporation duly established under the laws of Massachusetts and having an address of 4 Summer Street, Haverhill, Massachusetts 01830 (hereinafter referred to as the Grantor), for consideration of One (\$1.00) dollar, grants to **MASSACHUSETTS ELECTRIC COMPANY**, a Massachusetts corporation with its principal place of business at 170 Data Drive, Waltham, Massachusetts 02451 (hereinafter referred to as the "Grantee") with quitclaim covenants, the perpetual right and easement to install, construct, reconstruct, repair, replace, add to, maintain and operate for the transmission of high and low voltage electric current and for the transmission of intelligence, an "UNDERGROUND ELECTRIC DISTRIBUTION SYSTEM" (hereinafter referred to as the "UNDERGROUND SYSTEM"), consisting of lines of buried wires and cables and lines of wires and cables installed in underground conduits, together with all equipment and appurtenances thereto, and without limiting the generality of the foregoing, but specifically including the following equipment, namely: manholes, manhole openings, bollards, handholes, junction boxes, transformers, transformer vaults, padmounts, padmount transformers and all housings, connectors, switches, conduits, cables and wires all located over, across, under and upon a portion of the Grantor's property in Haverhill, Essex County, Massachusetts, for the purpose of serving the Grantor's property and others.

Said "UNDERGROUND SYSTEM" is located in, through, under, over, across and upon a portion of that certain parcel of land situated on the westerly side of Lincolnshire Drive and the southerly side of Sherwood Drive, being more particularly shown as "Parcel F" on a Plan of Land recorded with the Essex South Registry of Deeds (the "Registry") in Plan Book 138, Plan 93.

And further, said "UNDERGROUND SYSTEM" (locations of the electrical equipment and other facilities on the hereinbefore referred to Grantor's property) is approximately shown on two sketches entitled: "ELECTRIC DISTRIBUTION CONSTRUCTION EASEMENT; nationalgrid; Owner(s): CITY OF HAVERHILL 4 SUMMER ST. HAVERHILL, MA 01830; Address: 2 SHERWOOD DR. HAVERHILL, MA 01835; Sketch to Accompany Easement for: NATIONALGRID TO INSTALL 1-75KVA PADMOUNTED TRANSFORMER ON CUSTOMER INSTALLED TRANSFORMER PAD-17, NATIONALGRID TO INSTALL UNDERGROUND FACILITIES TO CUSTOMER INSTALLED PULLBOX PB-9 AT 2 SHERWOOD DR. HAVERHILL, MA 01835; WR#31063977," dated September 10, 2025, a reduced copy of said sketches is attached hereto as "Exhibit A" and recorded herewith, copies of which are in the possession of the Grantor and Grantee herein, but the final definitive locations of said "UNDERGROUND SYSTEM" shall become established by and upon the installation and erection thereof by the Grantee.

WR# 31063977

Address of Grantees:  
Mass. El., 170 Data Drive, Waltham, Massachusetts 02451

After recording return to:  
Jaymie Law  
National Grid USA  
Service Company, Inc.  
170 Data Drive  
Waltham, MA 02451

05 HAVEMA GEN



Also with the further perpetual right and easement from time to time to pass and repass over, across and upon said Grantor's property as is reasonable and necessary in order to renew, replace, repair, remove, add to, maintain, operate, patrol and otherwise change said "UNDERGROUND SYSTEM" and each and every part thereof and to make such other excavation or excavations as may be reasonably necessary in the opinion and judgment of the Grantee, its successors and assigns, and to clear and keep cleared the portions and areas of the Grantor's property wherein the "UNDERGROUND SYSTEM" is specifically located, as shown on the sketches herein referred to, of such trees, shrubs, bushes, above ground and below ground structures, objects and surfaces, as may, in the opinion and judgment of the Grantee, interfere with the efficient and safe operation and maintenance of the "UNDERGROUND SYSTEM" and other related electrical equipment. However, said Grantee, its successors and assigns, will properly backfill said excavation or excavations and restore the surface of the land to as reasonably good condition as said surface was in immediately prior to the excavation or excavations thereof.

If said herein referred to locations as approximately shown on the sketches herein also referred to shall become unsuitable for the purposes of the Grantee or the Grantor, its successors and assigns, then said locations may be changed to areas mutually satisfactory to both the Grantor and the Grantee herein; and further, said newly agreed to locations shall be indicated and shown on the sketches above referred to by proper amendment or amendments hereto. The Grantor, for itself, its successors and assigns, covenant and agrees with the Grantee, for itself, its successors and assigns, that this Grant of Easement and the location of the "UNDERGROUND SYSTEM" may not be changed or modified without the written consent of the Grantee, its successors and assigns, which consent shall not be unreasonably withheld. Any relocation so requested shall be at the sole cost and expense of the requesting party.

It is the intention of the Grantor to grant to the Grantee, its successors and assigns, all the rights and easements aforesaid and any and all additional and/or incidental rights needed to install, erect, maintain and operate within the Grantor's property an "UNDERGROUND SYSTEM" for the transmission of intelligence and for the purpose of supplying electric service to the Grantor's property, including, without limitation, to the building, buildings or proposed buildings shown on the last herein referred to sketches or amended sketches and the right to service others from said "UNDERGROUND SYSTEM".

Following such installation, Grantor may, at its sole cost and expense, prepare and submit to Grantee for review and approval an "as-built" plan in recordable form showing the permanent locations of the "UNDERGROUND SYSTEM", following which Grantor and Grantee, at Grantor's sole expense, may enter into an amendment to this easement to establish such permanent locations with such plan attached.

The easements herein granted are non-exclusive, however, it is agreed that the "UNDERGROUND SYSTEM" shall remain the exclusive property of the Grantee, its successors and assigns, and that the Grantee, its successors and assigns, shall pay all taxes assessed thereon.

[Signature Page Follows]

For Grantor's title, see deed dated May 11, 1995, recorded with the Registry in Book 13028, Page 63.

IN WITNESS WHEREOF, the City of Haverhill has caused its corporate seal to be hereto affixed and these presents to be signed in its name and behalf by Melinda Barrett, its Mayor, being thereto duly authorized this \_\_\_\_\_ day of \_\_\_\_\_, 2025.

CITY OF HAVERHILL

\_\_\_\_\_  
By: Melinda Barrett

Its: Mayor

Commonwealth of Massachusetts

County of \_\_\_\_\_ } ss.

On this the \_\_\_\_\_ day of \_\_\_\_\_, 2025, before me, the undersigned Notary Public, personally appeared Melinda Barrett, proved to me through satisfactory evidence of identity, which was/were \_\_\_\_\_, to be the person whose name is signed on the preceding Grant of Easement, and acknowledged to me that she signed it voluntarily for its stated purpose, as Mayor of the City of Haverhill.

\_\_\_\_\_  
Signature of Notary Public

\_\_\_\_\_  
Printed Name of Notary

My Commission Expires \_\_\_\_\_

Place Notary Seal and/or Any Stamp Above

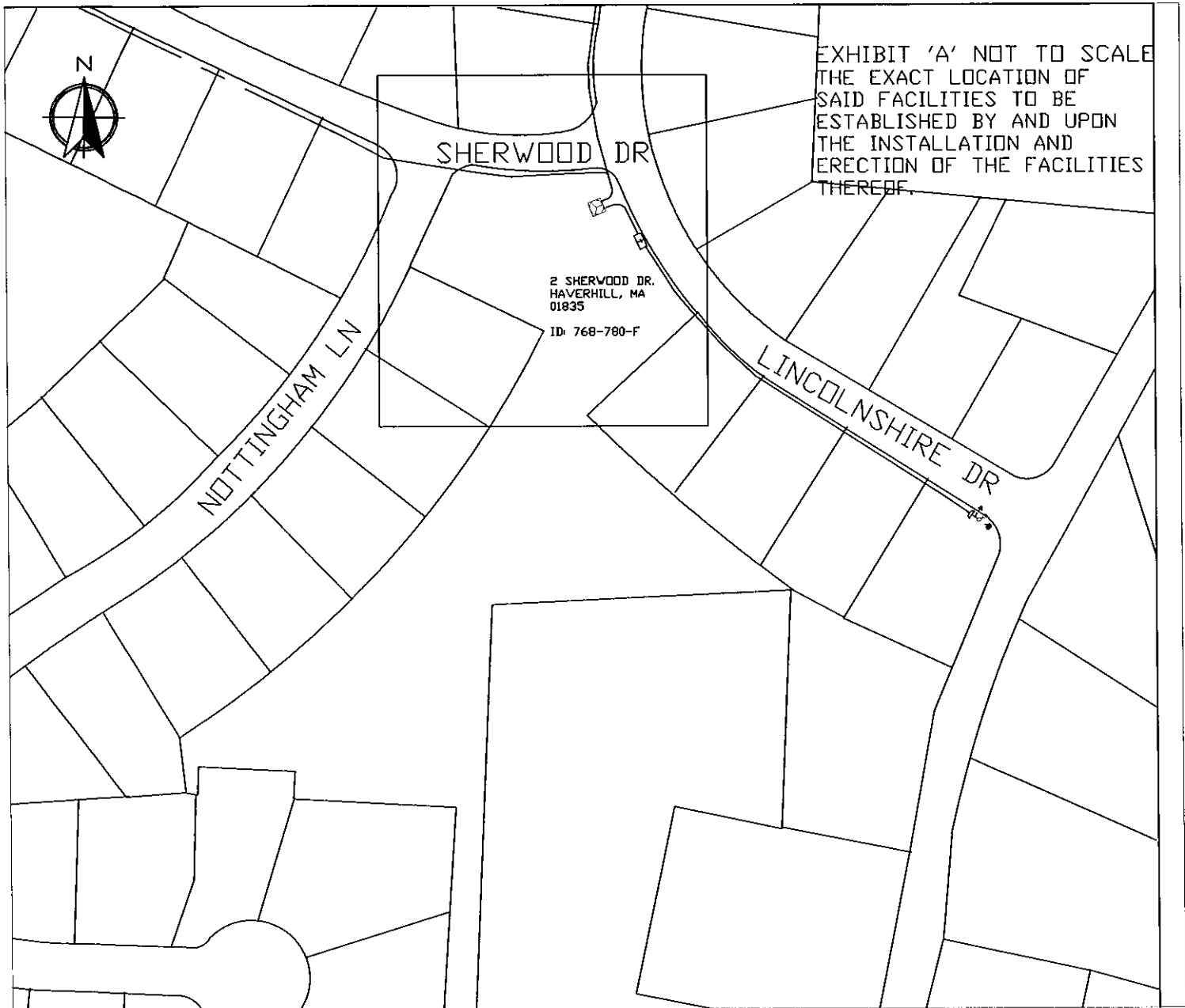


EXHIBIT 'A' NOT TO SCALE  
THE EXACT LOCATION OF  
SAID FACILITIES TO BE  
ESTABLISHED BY AND UPON  
THE INSTALLATION AND  
ERECTION OF THE FACILITIES  
THEREOF.

## ELECTRIC DISTRIBUTION CONSTRUCTION EASEMENT

### LEGEND



PROPOSED PULLBOX LOCATION

EXISTING UNDERGROUND CONDUIT W/ UG PRIMARY

PROPERTY LINE



PROPOSED PADMOUNT TRANSFORMER PAD LOCATION

# nationalgrid

### Owner(s):

CITY OF HAVERHILL  
4 SUMMER ST.  
HAVERHILL, MA  
01830

### Address:

2 SHERWOOD DR.  
HAVERHILL, MA  
01835

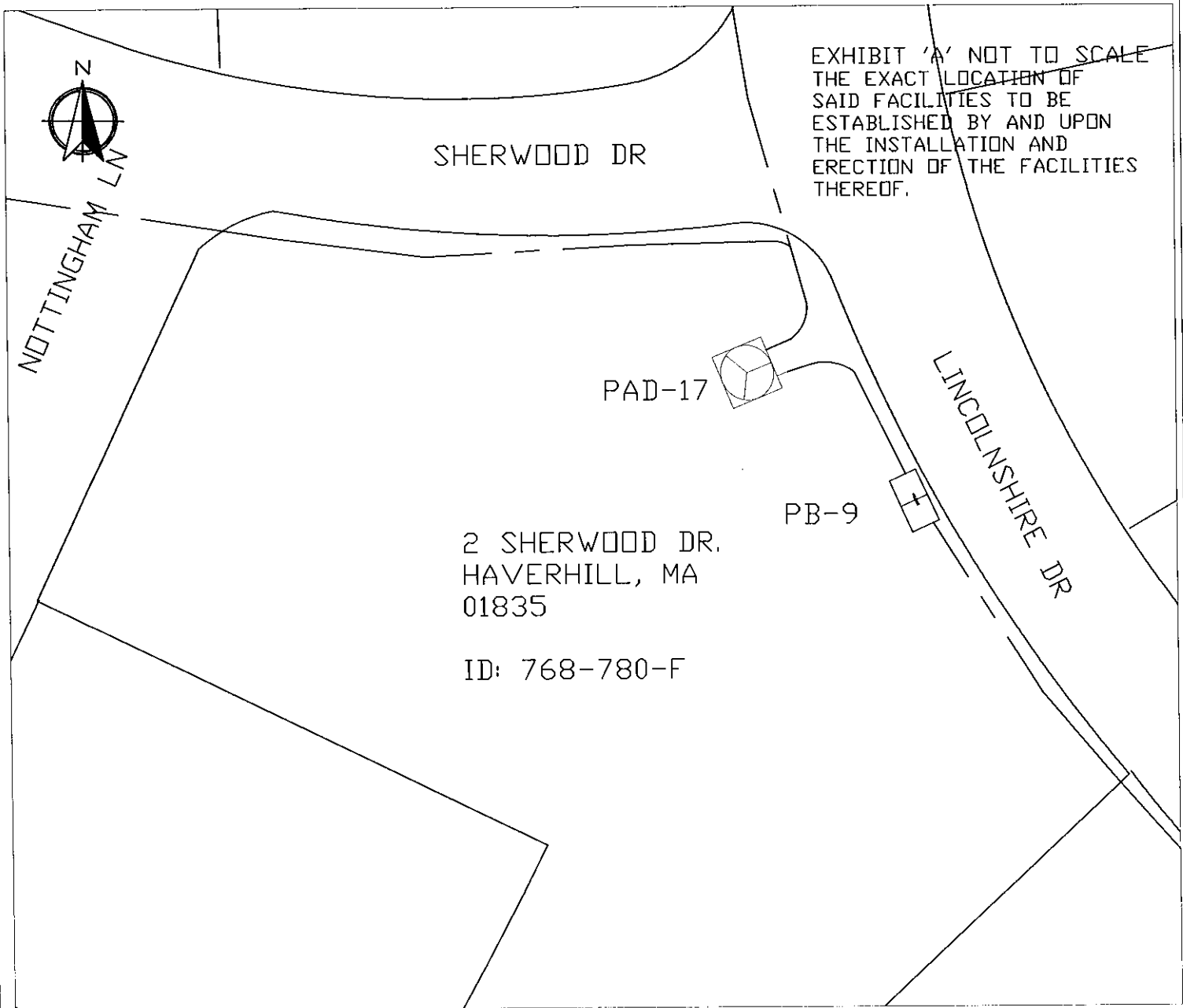
### Sketch to Accompany Easement for:

NATIONALGRID TO INSTALL 1-75KVA PADMOUNTED TRANSFORMER ON  
CUSTOMER INSTALLED TRANSFORMER PAD-17, NATIONALGRID TO INSTALL  
UNDERGROUND FACILITIES TO CUSTOMER INSTALLED PULLBOX PB-9 AT  
2 SHERWOOD DR. HAVERHILL, MA 01835.

WR#31063977

Date: 9.10.25 Drawn By: V.EANG

DRAWING NOT TO SCALE. DISTANCES ARE APPROXIMATE.



## ELECTRIC DISTRIBUTION CONSTRUCTION EASEMENT

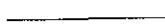
### LEGEND



PROPOSED PULLBOX LOCATION



EXISTING UNDERGROUND CONDUIT W/ UG PRIMARY



PROPERTY LINE



PROPOSED PADMOUNT TRANSFORMER PAD LOCATION

# nationalgrid

#### Owner(s):

CITY OF HAVERHILL  
4 SUMMER ST.  
HAVERHILL, MA  
01830

#### Address:

2 SHERWOOD DR.  
HAVERHILL, MA  
01835

#### Sketch to Accompany Easement for:

NATIONALGRID TO INSTALL 1-75KVA PADMOUNTED TRANSFORMER ON  
CUSTOMER INSTALLED TRANSFORMER PAD-17, NATIONALGRID TO INSTALL  
UNDERGROUND FACILITIES TO CUSTOMER INSTALLED PULLBOX PB-9 AT  
2 SHERWOOD DR. HAVERHILL, MA 01835.

WR#31063977

Date: 9.10.25 Drawn By: V.EANG

DRAWING NOT TO SCALE. DISTANCES ARE APPROXIMATE.



MELINDA E. BARRETT  
MAYOR

**CITY OF HAVERHILL  
MASSACHUSETTS**

CITY HALL, ROOM 100  
FOUR SUMMER STREET  
HAVERHILL, MA 01830  
PHONE 978-374-2300  
FAX 978-373-7544  
MAYOR@HAVERHILLMA.GOV  
WWW.HAVERHILLMA.GOV

September 25, 2025

**To:** City Council President Thomas J. Sullivan and Members of the Haverhill  
City Council

**From:** Melinda E. Barrett

**RE: Order- Asset Management Plan Grant- Authority to File**

Dear Mr. President and Members of the Haverhill City Council:

Please see attached a proposed order authorizing the Mayor to file an application and execute documents for grant assistance for funding an Asset Management Plan for the City's stormwater assets.

I recommend approval.

Sincerely,

**Melinda E. Barrett**  
Mayor

MEB/em



# Haverhill

Robert E. Ward, DPW Director  
Phone: 978-374-2382 Fax: 978-521-4083  
[rward@haverhillma.gov](mailto:rward@haverhillma.gov)

Date: September 23, 2025

To: The Honorable Melina E. Barrett  
Mayor of Haverhill

From: Robert E. Ward *REW*  
DPW Director

Subject: Asset Management Plan Grant – Authority to File Document

Attached for your approval and City Council approval is a proposed City Council document to authorize the Mayor to file an application and execute documents for grant assistance for funding an Asset Management Plan for the City's stormwater assets.

The project will be funded through a grant program implemented by the Massachusetts Department of Environmental Protection and the Massachusetts Clean Water Trust. The grant amount is \$150,000, and the City will provide the remaining \$100,000 with in-kind services and cash.

The primary objective of this project is to ensure the long-term sustainability of the City's stormwater collection system. The Asset Management Plan will assist the City in making strategic decisions for the repair, replacement, or rehabilitation of particular assets.

If the document is acceptable, I respectfully request that it be submitted to the City Council for approval. I plan to attend the meeting when it is considered to answer questions.

If you need additional information, please email me at [rward@haverhillma.gov](mailto:rward@haverhillma.gov) or call me at (978) 374-2382.

Attachment(s)

Authority to File – For approval  
Certifying Authority to File

Cc: Christine Lindberg, Chief of Staff, [clindberg@haverhillma.gov](mailto:clindberg@haverhillma.gov)  
Lisa Mead, Mead, Talerman & Costa LLC, [lisa@mtclawyers.com](mailto:lisa@mtclawyers.com)  
James Conte, Asset & Information Management Specialist, [jconte@haverhillma.gov](mailto:jconte@haverhillma.gov)





DOCUMENT

## CITY OF HAVERHILL

In Municipal Council

5.3.1

SEP 26 AM 8:37  
HVCITYCLERK

ORDERED:

### AUTHORITY TO FILE

Whereas, City of Haverhill, (the "Applicant"), after thorough investigation, has determined that the work activity consisting of data collection, analysis and engineering to prepare an asset management plan for the City's stormwater assets is both in the public interest and necessary to protect the public health, and that to undertake this activity, it is necessary to apply for assistance; and

Whereas, the Massachusetts Department of Environmental Protection (MassDEP) and the Massachusetts Clean Water Trust (the Trust) of the Commonwealth of Massachusetts, pursuant to Chapter 21 and Chapter 29C of the General Laws of the Commonwealth (Chapter 21 and Chapter 29C) are authorized to provide financial assistance to municipalities for the purpose of funding planning and construction activities relative to Water Pollution Abatement Projects; and

Whereas, the Applicant has examined the provisions of the Act, Chapter 21 and Chapter 29C, and believes it to be in the public interest to file a loan application.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Haverhill as follows:

1. That the Mayor is hereby authorized on behalf of the Applicant to file applications and execute agreements for grant and/or loan assistance as well as furnishing such information, data and documents pertaining to the applicant for a grant(s) and/or loan(s) as may be required; and otherwise to act as the authorized representative of the Applicant in connection with this application;
2. That the purpose of said loan(s), if awarded, shall be to fund planning activities.
3. That if said award is made the Applicant agrees to pay those costs which constitute the required Applicant's share of the project cost.

5.3.2

**CERTIFYING AUTHORITY TO FILE**

I hereby certify that the City Council of the City of Haverhill (hereinafter referred to as the "Applicant"), at a meeting noticed and conducted in accordance with all applicable legal requirements, duly voted to authorize the Mayor to act on behalf of the Applicant, as its agent, in filing applications for, executing agreements regarding, and performing any and all other actions necessary to secure for the Applicant such loan(s) for construction or planning of Water Pollution Abatement Projects as may be made available to the Applicant pursuant to the provisions of the Massachusetts Clean Waters Act (M.G.L. c.21, section 27-33E, inclusive, as amended) and the Water Pollution Abatement Revolving Loan Program (M.G.L. c.29C) for the following project:

CWSRF 19093 – Haverhill Stormwater Asset Management Plan

I hereby certify that Melinda E. Barrett is the present incumbent of the position referenced above, and do hereby certify:

1. That the attached resolution is a true and correct copy of the resolution as finally adopted at a meeting of the governing body held on the \_\_\_\_\_ day of \_\_\_\_\_, 2025, and duly recorded in my office:
2. That said meeting was duly convened and held in all respects in accordance with law and to the extent required by law, due and proper notice of such meeting was given; and a legal quorum was present throughout the meeting, and a legally sufficient number of members of the governing body voted in the proper manner and for the adoption of said resolution; that all other requirements and proceedings under the law incident to the proper adoption or passage of said resolution, including publication, if required, have been duly fulfilled, carried out, and otherwise observed; and that I am authorized to execute this certificate:
3. That if an impression of a seal has been affixed below, it constitutes the official seal of the Applicant and this certificate is hereby executed under such official seal; but if no seal has been affixed, the Applicant does not have an official seal:

IN WITNESS WHEREOF, I have hereunto set my hand this

\_\_\_\_\_ day of \_\_\_\_\_, 2025

\_\_\_\_\_  
Kaitlin M. Wright, City Clerk

**CITY COUNCIL**

**Thomas J. Sullivan**, *President*  
**Timothy J. Jordan**, *Vice President*  
**John A. Michitson**  
**Colin F. LePage**  
**Melissa J. Lewandowski**  
**Catherine P. Rogers**  
**Shaun P. Toohey**  
**Michael S. McGonagle**  
**Katrina Hobbs Everett**  
**Devan Ferreira**  
**Ralph T. Basiliere**



**CITY OF HAVERHILL**

HAVERHILL, MASSACHUSETTS 01830-5843

6.1  
CITY HALL, ROOM 204

4 SUMMER STREET

TELEPHONE: 978-374-2328

FACSIMILE: 978-374-2329


[WWW.CITYOFHAVERHILL.COM](http://WWW.CITYOFHAVERHILL.COM)  
[CITYCOUNCIL@HAVERHILLMA.GOV](mailto:CITYCOUNCIL@HAVERHILLMA.GOV)

SEP 24 AM 9:48  
HAVCITYCLERK

September 17, 2025

To: President and Members of the City Council



Councilor Michitson wishes to introduce Matt Belfiore and Dave Schultz of HC Media to show video intended to change the image of manufacturing jobs and work as a recruitment tool for manufacturing companies.

*John A. Michitson*  
Councilor John A. Michitson 

(Meeting: 9.30.25)

**City Council Special Permit****CCSP-25-6**

Submitted On: May 22, 2025

**Applicant** Marcos Devers 9788047588

@ mdjincorporated@comcast.net

**Primary Location**43 JACKSON ST  
Haverhill, MA 01832**Important: Please Read Before Starting Your Application****Applicant Information****What is Your Role in This Process?**

Attorney/Agent

**Applicant Business/Firm Phone**

978-804-7588

**Applicant Business/Firm City**

Lawrence

**Applicant Business/Firm Zip**

01841

**Client Business Name**

Evelin Perez

**Client Email**

lvinperez06@icloud.com

**Client City**

Lawrence

**Client Zip**

01841

**Client Business Structure**

Sole Proprietorship

**Applicant Business/Firm Name**

MDJ Incorporated

**Applicant Business/Firm Address**

16 Woodland St

**Applicant Business/Firm State**

MA

**Client Name**

Evelin Perez

**Client Phone**

978-387-9076

**Client Address**

19 Custer St

**Client State**

MA

**Client County**

Essex

**New Field**

None

**Property Information****Proposed Housing Plan Name**

Conversion of 2-Family to Three-Family Dwelling

**How Long Owned by Current Owner?**

3 Years

**Lot Dimension(s)**

11,700 s.f.

**Zoning District Where Property Located**

RU - Residential Urban Density

**Proposed Street Name(s)**

43 Jackson St

**Type of Dwelling(s) Planned in Project**

Multi-Family

**Registry Plat Number, Block & Lot**

513-284-7

**Deed Recorded in Essex South Registry: Block Number**

42559

**Rear Yard Setback**

true

**Lot Depth**

--

**Building Height**

--

**Open Space**

--

**Sign Size**

--

**Other**

--

**Hearing Waiver**

**Agrees**

Yes

**Agreement & Signature**

**Agrees**

true

**PLEASE READ**

**Lot Frontage**

--

**Lot Area**

--

**Floor Area Ratio**

true

**Parking**

true

**Use**

true



September 26, 2025

Conservation Department Review

Record No.CCSP-25-6

Status Completed                      Became Active July 9, 2025  
Assignee Robert Moore                      Due Date None

Primary Location

43 JACKSON ST  
Haverhill, MA 01832

Owner

ADAMES DINELSON A EVELIN PEREZ  
DE COLON MARTINEZ VICTOR  
JACKSON ST 43 HAVERHILL, MA  
01832

Applicant

Marcos Devers  
 978-804-7588  
 mdjincorporated@comcast.net  
 16 Woodland St  
Lawrence, MA 01841

Messages

Robert Moore    July 9, 2025 at 10:22 am  
n/a

Step Activity

OpenGov system activated this step                      07/09/2025 at 9:36 am  
  
OpenGov system assigned this step to Robert Moore                      07/09/2025 at 9:36 am  
  
Robert Moore approved this step                      07/09/2025 at 10:22 am



**DPW Review**

Record No.CCSP-25-6

**Status** Active

**Became Active** July 9, 2025

**Assignee** Robert Ward

**Due Date** None

**Primary Location**

43 JACKSON ST  
Haverhill, MA 01832

**Owner**

ADAMES DINELSON A EVELIN PEREZ  
DE COLON MARTINEZ VICTOR  
JACKSON ST 43 HAVERHILL, MA  
01832

**Applicant**

 Marcos Devers

 978-804-7588

 @ mdjincorporated@comcast.net

 16 Woodland St  
Lawrence, MA 01841

**Messages**

**Kaitlin Wright**September 23, 2025 at 3:50 pm

Please review by Thursday 09/25. Coming to Council on 09/30.

**Step Activity**

OpenGov system activated this step07/09/2025 at 9:36 am

OpenGov system assigned this step to Robert Ward07/09/2025 at 9:36 am



City of Haverhill, MA

September 26, 2025

## Engineering Department Review

Record No.CCSP-25-6

StatusActiveBecame ActiveJuly 9, 2025

AssigneeJohn PettisDue DateNone

### Primary Location

43 JACKSON ST  
Haverhill, MA 01832

### Owner

ADAMES DINELSON A EVELIN PEREZ  
DE COLON MARTINEZ VICTOR  
JACKSON ST 43 HAVERHILL, MA  
01832

### Applicant

Marcos Devers

978-804-7588

mdjincorporated@comcast.net

16 Woodland St  
Lawrence, MA 01841

## Messages

Kaitlin WrightSeptember 23, 2025 at 3:51 pm

Please review by Thursday 09/25. Coming to Council on 09/30.

### Step Activity

OpenGov system activated this step07/09/2025 at 9:36 am

OpenGov system assigned this step to John Pettis07/09/2025 at 9:36 am



Fire1 Department Review

Record No.CCSP-25-6

Status Completed

Became Active July 9, 2025

Assignee Eric Tarpy

Due Date None

Primary Location

43 JACKSON ST  
Haverhill, MA 01832

Owner

ADAMES DINELSON A EVELIN PEREZ  
DE COLON MARTINEZ VICTOR  
JACKSON ST 43 HAVERHILL, MA  
01832

Applicant

Marcos Devers

978-804-7588

mdjincorporated@comcast.net

16 Woodland St  
Lawrence, MA 01841

Messages

No comments yet.

Step Activity

OpenGov system activated this step	07/09/2025 at 9:36 am
OpenGov system assigned this step to Eric Tarpy	07/09/2025 at 9:36 am
Eric Tarpy approved this step	07/09/2025 at 2:05 pm



City of Haverhill, MA

September 26, 2025

Fire2 Department Review

Record No.CCSP-25-6

Status Skipped

Became Active July 9, 2025

Assignee Robert Irvine

Due Date None

Primary Location

43 JACKSON ST  
Haverhill, MA 01832

Owner

ADAMES DINELSON A EVELIN PEREZ  
DE COLON MARTINEZ VICTOR  
JACKSON ST 43 HAVERHILL, MA  
01832

Applicant

Marcos Devers

978-804-7588

mdjincorporated@comcast.net

16 Woodland St  
Lawrence, MA 01841

Messages

No comments yet.

Step Activity

OpenGov system activated this step07/09/2025 at 9:36 am

OpenGov system assigned this step to Robert Irvine07/09/2025 at 9:36 am

Eric Tarpy waived this step07/09/2025 at 2:05 pm





September 26, 2025

# Health Department Review

Record No.CCSP-25-6

Status

Completed

Became Active

July 9, 2025

Assignee

Mark Tolman

Due Date

None

## Primary Location

43 JACKSON ST  
Haverhill, MA 01832

## Owner

ADAMES DINELSON A EVELIN PEREZ  
DE COLON MARTINEZ VICTOR  
JACKSON ST 43 HAVERHILL, MA  
01832

## Applicant

Marcos Devers

978-804-7588

mdjincorporated@comcast.net

16 Woodland St

Lawrence, MA 01841

## Messages

Mark Tolman

July 29, 2025 at 9:01 am

Building will be connected to city water and sewer and will have municipal rubbish pickup.

## Step Activity

OpenGov system activated this step

07/09/2025 at 9:36 am

OpenGov system assigned this step to Bonnie Dufresne

07/09/2025 at 9:36 am

Bonnie Dufresne reassigned this step from Bonnie Dufresne to Mark Tolman

07/09/2025 at 9:53 am

Mark Tolman approved this step

07/29/2025 at 9:01 am

## Police Department Review

Record No.CCSP-25-6

Status

Completed

Became Active

July 9, 2025

Assignee

Kevin Lynch

Due Date

None

### Primary Location

43 JACKSON ST  
Haverhill, MA 01832

### Owner

ADAMES DINELSON A EVELIN PEREZ  
DE COLON MARTINEZ VICTOR  
JACKSON ST 43 HAVERHILL, MA  
01832

### Applicant

 Marcos Devers

 978-804-7588

 mdjincorporated@comcast.net

 16 Woodland St  
Lawrence, MA 01841

## Messages

No comments yet.

### Step Activity

OpenGov system activated this step	07/09/2025 at 9:36 am
OpenGov system assigned this step to Kevin Lynch	07/09/2025 at 9:36 am
Kevin Lynch approved this step	07/09/2025 at 11:39 am



September 26, 2025

## School Department Review

Record No.CCSP-25-6

Status	Completed	Became Active	July 9, 2025
Assignee	Margaret Marotta	Due Date	None

### Primary Location

43 JACKSON ST  
Haverhill, MA 01832

### Owner

ADAMES DINELSON A EVELIN PEREZ  
DE COLON MARTINEZ VICTOR  
JACKSON ST 43 HAVERHILL, MA  
01832

### Applicant

Marcos Devers  
 978-804-7588  
 mdjincorporated@comcast.net  
 16 Woodland St  
Lawrence, MA 01841

## Messages

No comments yet.

### Step Activity

OpenGov system activated this step	07/09/2025 at 9:36 am
OpenGov system assigned this step to Margaret Marotta	07/09/2025 at 9:36 am
Margaret Marotta approved this step	07/12/2025 at 11:59 am



September 26, 2025

Storm Water Review

Record No.CCSP-25-6

Status Active                      Became Active July 9, 2025  
Assignee John Pettis              Due Date None

Primary Location

43 JACKSON ST  
Haverhill, MA 01832

Owner

ADAMES DINELSON A EVELIN PEREZ  
DE COLON MARTINEZ VICTOR  
JACKSON ST 43 HAVERHILL, MA  
01832

Applicant

Marcos Devers  
 978-804-7588  
 mdjincorporated@comcast.net  
 16 Woodland St  
Lawrence, MA 01841

Messages

Kaitlin Wright                      September 23, 2025 at 3:51 pm  
Please review by Thursday 09/25. Coming to Council on 09/30.

Robert Moore                      July 9, 2025 at 10:23 am  
c.219 n/a

Step Activity

OpenGov system activated this step                      07/09/2025 at 9:36 am  
  
OpenGov system assigned this step to Robert Moore                      07/09/2025 at 9:36 am  
  
Robert Moore reassigned this step from Robert Moore to John Pettis                      07/09/2025 at 10:23 am





September 26, 2025

# Water/Wastewater Review

Record No.CCSP-25-6

Status Active                      Became Active July 9, 2025  
Assignee Robert Ward              Due Date None

## Primary Location

43 JACKSON ST  
Haverhill, MA 01832

## Owner

ADAMES DINELSON A EVELIN PEREZ  
DE COLON MARTINEZ VICTOR  
JACKSON ST 43 HAVERHILL, MA  
01832

## Applicant

Marcos Devers  
 978-804-7588  
 mdjincorporated@comcast.net  
 16 Woodland St  
Lawrence, MA 01841

## Messages

Kaitlin Wright                      September 23, 2025 at 3:51 pm  
Please review by Thursday 09/25. Coming to Council on 09/30.

## Step Activity

OpenGov system activated this step                      07/09/2025 at 9:36 am  
  
OpenGov system assigned this step to Robert Ward                      07/09/2025 at 9:36 am



City of Haverhill, MA

September 26, 2025

Water Supply Review

Record No.CCSP-25-6

StatusActive

Became ActiveJuly 9, 2025

AssigneeRobert Ward

Due DateNone

Primary Location

43 JACKSON ST  
Haverhill, MA 01832

Owner

ADAMES DINELSON A EVELIN PEREZ  
DE COLON MARTINEZ VICTOR  
JACKSON ST 43 HAVERHILL, MA  
01832

Applicant

Marcos Devers

978-804-7588

mdjincorporated@comcast.net

16 Woodland St  
Lawrence, MA 01841

Messages

Kaitlin WrightSeptember 23, 2025 at 3:51 pm

Please review by Thursday 09/25. Coming to Council on 09/30.

Step Activity

OpenGov system activated this step07/09/2025 at 9:36 am

OpenGov system assigned this step to Robert Ward07/09/2025 at 9:36 am

Natalia Hernandez approved this step09/26/2025 at 11:28 am



City of Haverhill, MA

September 26, 2025

## Building Inspector Review

Record No.CCSP-25-6

Status Completed

Became Active July 9, 2025

Assignee Tom Bridgewater

Due Date None

### Primary Location

43 JACKSON ST  
Haverhill, MA 01832

### Owner

ADAMES DINELSON A EVELIN PEREZ  
DE COLON MARTINEZ VICTOR  
JACKSON ST 43 HAVERHILL, MA  
01832

### Applicant

 Marcos Devers  
 978-804-7588  
 mdjincorporated@comcast.net  
 16 Woodland St  
Lawrence, MA 01841

## Messages

Tom Bridgewater

September 25, 2025 at 2:40 pm

43 Jackson was approved by ZBA on 12-18-2024 The ZBA can approve also approve up to 6 units inside the envelope if there no exterior changes. They removed the section where the new unit will be located and want to rebuild therefore it now needs City Council approval.

## Step Activity

OpenGov system activated this step

07/09/2025 at 9:36 am

OpenGov system assigned this step to Tom  
Bridgewater

07/09/2025 at 9:36 am

Tom Bridgewater approved this step

07/10/2025 at 1:26 pm



# Haverhill

City Clerk's Office, Room 118  
Phone: 978-374-2312 Fax: 978-373-8490  
[cityclerk@haverhillma.gov](mailto:cityclerk@haverhillma.gov)

July 31, 2025

## PUBLIC HEARING

City Council Chambers, City Hall, Room 202, 4 Summer st

Notice is hereby given that a hearing will be held for all parties interested, in a hybrid meeting (in person/virtual), on Tuesday September 30, 2025 at 7:00 PM on a request from MDJ Inc. for Evelin Perez De Colon, to convert an existing two-family dwelling into a three-family dwelling at 43 Jackson St.

*(Residents who are interested in commenting on this item can either (1) Attend in person (Council Chambers, Room 202) or (2) Attend remotely using the link provided on the public meeting calendar on the City's website.)*

Description of area, maps and plans are on file in the City Clerk's Office.

**Advertise: September 11 & September 18, 2025**  
**Haverhill Gazette**

Kaitlin M, Wright, CMC  
City Clerk



## ZONING OPINION

To: The Haverhill City Council

Re: 43 Jackson Street, Haverhill, MA

### Zoning Opinion

The current owner purchased the subject property in June 2022. The property consists of 0.173 acres and features a wood-framed structure, which is a residential two-family dwelling located in a RU Zoning 3-family District. The deteriorating rear area will be demolished and rebuilt; a deck will be added, and the dwelling will be converted from a two-family to a three-family residence. These changes primarily affect the property requiring a variance but do not significantly impact the surrounding zoning district.

The required minimum lot area is 11700 sq. ft. and the existing lot is 35% smaller.

There is no minimum lot area per dwelling unit required; the existing size is 3,776 sq. ft., and the proposed size is 2,517 sq. ft.

The required minimum frontage is 80 ft., while the existing frontage is 60 ft.

The required minimum lot length is 100 ft., and the existing lot length exceeds 100 ft.

The required minimum front setback is 20 ft., with the existing setback at 15 ft.

The required minimum side setback is 10 ft.; the left setback is 3 ft., and the right setback is 31 ft.

The required minimum rear setback is 30 ft., with the proposed setback at 15 ft.

The allowed maximum height is 35 ft., and the proposed height is 33 ft.

The maximum allowed height for stories is 3.5, while the existing and proposed height for stories is 3.

The allowed maximum building coverage is 30%, and the proposed coverage is 21%.

The allowed maximum Floor Area Ratio (FAR) is not applicable (NA), and the proposed FAR is 0.60.

The allowed minimum open space is 40%, with the proposed minimum open space at 68%.

The special permit is necessary because strict enforcement of the applicable zoning restrictions regarding the land or building limits the owners, who experience significant financial or other hardships. The desired relief is acceptable without causing significant detriment to the public good. The proposed work supports the conclusion that the requested relief may be granted without undermining the intent or purpose of the zoning ordinance.

Reconstruction, extension, or structural change of a nonconforming structure that increases an existing nonconformity requires a variance. Per 5.2.1.1 and 5.3.1.1, a change to a nonconforming use is permissible only if it is determined that such a change or extension will not be substantially more detrimental to the neighborhood than the existing nonconforming use.

According to the Permissible change 5.2.1.1, reconstructing, extending, altering, or modifying a nonconforming structure is permitted only if it is determined that such actions will not be significantly more harmful to the neighborhood than the current nonconforming structure.

## PROJECT DESCRIPTION TO THE CITY COUNCIL

To: The Haverhill City Council

Re: 43 Jackson Street, Haverhill, MA

### Project Description.

The project involves renovating and reconstructing an existing two-family dwelling, converting it into a three-family dwelling.

The current owner purchased the subject property in June 2022. The property encompasses 0.173 acres and features a wood-framed structure classified as a two-family residential dwelling, situated within a RU Zoning 3-family District.

The deteriorating rear space will be demolished and rebuilt, a deck will be added, and the dwelling will be converted from a two-family to a three-family residence. These conditions primarily affect the property for which a variance is sought but do not significantly impact the zoning district in which it is situated.

## WRITTEN BRIEF TO THE CITY COUNCIL -SUMMARY-

To: The Haverhill City Council

Re: 43 Jackson Street, Haverhill, MA

Summary, setting forth in detail all facts relied upon by the applicant.

The current owner purchased the subject property in June 2022. The property has 0.173 acres and a wood-framed structure whose use is a residential two-family dwelling located in a RU Zoning 3-family District dwelling.

- The required minimum lot area is 11700 sq. ft, and the existing lot is 35 % smaller.
- There is no minimum lot area per dwelling unit required; the existing is 3776 sq. ft, and the proposed is 2517
- The required minimum frontage is 80 ft., and the existing is 60 ft.
- The required minimum lot length is 100 ft., and the existing lot length is greater than 100 ft.
- The required minimum front setback is 20 ft., and the existing is 15 ft.
- The required minimum side setback is 10 ft., the left setback is 3 ft., and the right setback is 31 ft.
- The required minimum rear setback is 30 ft., and the proposed is 15 ft.
- The allowed maximum height is 35 ft., and the existing proposed height is 33 ft.
- The maximum height allowed for stories is 3.5. The existing and proposed height for stories is 3.
- The allowed maximum building coverage is 30%, and the proposed building coverage is 21%.
- The allowed maximum FAR -Floor Area Ratio- is no (NA), and the proposed FAR is 0.60.
- The allowed minimum open space is 40%, and the proposed minimum open space is 68%.
- 

Based on General Laws, Chapter 40A, Sections 10 and 14, this case involves a variance, which is hereby identified and factually supported:

The deteriorating rear space will be demolished and rebuilt; a deck will be added, and the dwelling will be converted from a two-family to a three-family dwelling. These conditions primarily affect the property for which a variance is sought but do not significantly impact the zoning district in which it is located.

The variance is necessary because the strict enforcement of the applicable zoning restrictions regarding the land or building limits the owners who experience significant financial or other hardships. The desired relief is acceptable without major detriment to the public good. The proposed work supports the conclusion that the relief sought may be granted without nullifying or substantially undermining the intent or purpose of the zoning ordinance.

The reconstruction, extension, or structural change of a nonconforming structure that increases an existing nonconformity or creates a new one shall require a variance.

To change a nonconforming use only if it determines that such change or extension will not be substantially more detrimental to the neighborhood than the existing nonconforming use. Per 5.2.1.1 and 5.3.1.1

Permissible change 5.2.1.1. Reconstructing, extending, altering, or modifying a nonconforming structure is allowed only if it is determined that such actions will not be substantially more detrimental to the neighborhood than the existing nonconforming structure. Permissible change 5.3.1.1.

**05/14/2025**

**Property Owner's Permission**

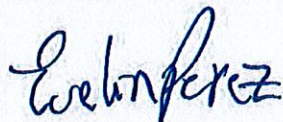
**To the City of Haverhill City Council**

**Re: 43 Jackson Street, Two to Three-Family Conversion**

**I am Evelin Perez De Colon, and I am the owner of 43 Jackson Street, Haverhill, MA. I hereby declare that I am also the applicant for the subject variance and special permit for the property.**

**Please feel free to reach out if you have any questions.  
Thank you very much.**

**Sincerely,**

A handwritten signature in blue ink that reads "Evelin Perez". The signature is fluid and cursive, with the last name "Perez" being more prominent.

**Evelin Perez De Colon**



**R.A.M. ENGINEERING**  
160 Main Street  
Haverhill, Massachusetts 01830  
TEL: (978) 372-0449 FAX: (978) 372-7183

## PROJECT DESCRIPTION TO THE CITY COUNCIL

To: The Haverhill City Council

Re: 43 Jackson Street, Haverhill, MA

### Project Description.

The project involves renovating and reconstructing an existing two-family dwelling, converting it into a three-family dwelling.

The current owner purchased the subject property in June 2022. The property encompasses 0.173 acres and features a wood-framed structure classified as a two-family residential dwelling, situated within a RU Zoning 3-family District.

The deteriorating rear space will be demolished and rebuilt, a deck will be added, and the dwelling will be converted from a two-family to a three-family residence. These conditions primarily affect the property for which a variance is sought but do not significantly impact the zoning district in which it is situated.

AERIAL VIEW:



STREET VIEW:



# DWELLING RENOVATION

## 43 JACKSON STREET, HAVERHILL MA

INDEX:

SHEET LIST			
SHEET NO.	SHEET NAME	INITIAL DATE	DESCRIPTION
C - COVER SHEET & CODES			
C-100	COVER SHEET		
C-101	CODE REVIEW		
C-102	CODES & GENERAL INFORMATION		
PZ - PROPERTY ZONING			
PZ-100	PROPERTY ZONING PLAN		
A - ARCHITECTURAL			
A-101	EXISTING FIRST FLOOR PLAN		
A-102	EXISTING SECOND FLOOR PLAN		
A-103	FIRST FLOOR PLAN		
A-104	SECOND FLOOR PLAN		
S - STRUCTURAL			
S-101	EXISTING & PROPOSED FOUNDATION PLAN		
S-102	PROPOSED 1ST & 2ND FLOOR FRAMING PLAN		
S-103	PROPOSED CEILING & ROOF FRAMING PLAN		
S-104	STRUCTURAL SCHEDULES		
S-105	STRUCTURAL DETAILS 01		
S-106	STRUCTURAL DETAILS 02		
S-107	STRUCTURAL DETAILS 03		
S-108	STRUCTURAL DETAILS 04		
S-109	STRUCTURAL NOTES		

**MDJ INC.**  
Engineers, Architects & Associates  
MARCOS A. DEVERO, P.E.  
16 WOODLAND ST. LAURENCE, MA 01841  
978-685-5430/318-604-7560  
mdj@mdjinc.com/ma.mdj.com

**APPLICANT/OWNER:**  
EVELYN P. DE COLON

**VERIFIED:**  
MDJ INC.

**APPROVED:**  
MDJ INC.

**SIGNED:**  
MDJ INC.

**DRAWN BY:**  
MDJ INC.

**ISSUED:**  
FEB. 2015

**PROJECT:**  
DWELLING  
RENOVATION

**LOCATION:**  
43 JACKSON STREET  
HAVERHILL MA 01832

**CONSULTANT:**

**REVISION:**

REV.	DATE	DESCRIPTION

**STAMP:**

**SCALE:**  
N.T.S.

**DRAWING NO.:**  
C-100

**DRAWING NAME:**  
COVER SHEET

**NOTES:**  
CONTRACTOR SHALL PERFORM ALL  
WORKS IN COMPLIANCE WITH THE  
COMMONWEALTH OF MASSACHUSETTS  
LATEST EDITION OF THE BUILDING  
CODES, THE BUILDING BOARD OF  
SPECIAL INSPECTORS AND  
THE CITY OF HAVERHILL, MA.

APPLICANT/OWNER: EVELYN P. DECAJON	VERIFIED: MDJ INC.
APPROVED: MDJ INC.	SIGNED: MDJ INC.
DRAWN BY: MDJ INC.	ISSUED: FEB. 2025

PROJECT:  
 DWELLING  
 RENOVATION

LOCATION:  
 43 JACKSON STREET,  
 HAVERHILL MA 01832

CONSULTANT:

REVISION:  
 REV. DATE DESCRIPTION

STAMP:

SCALE:  
 N.T.S.

DRAWING NO.:  
 C-101

DRAWING NAME:  
 CODE REVIEW

NOTES:  
 CONTRACTOR SHALL PERFORM ALL  
 WORKS IN COMPLIANCE WITH THE  
 COMMONWEALTH OF MASSACHUSETTS  
 LATEST EDITION OF THE BUILDING  
 CODE, THE BUILDING BOARD OF  
 STANDARDS AND REGULATIONS AND  
 THE CITY OF HAVERHILL P.L.M.

R301.12 Headrooms. The headroom in stairways shall be not less than 6 feet 6 inches above the finished floor level. The headroom in stairways shall be not less than 6 feet 6 inches above the finished floor level. The headroom in stairways shall be not less than 6 feet 6 inches above the finished floor level.

R301.13 Vertical Rise. A flight of stairs shall not have a vertical rise larger than 14 inches between floor levels or landings.

R301.15.1 Risers. The riser height shall be not more than 8 1/2 inches. The riser height shall be measured vertically between leading edges of the treads. The greatest rise within any flight of stairs shall not exceed the riser height. The riser height shall be measured vertically between leading edges of the treads. The greatest rise within any flight of stairs shall not exceed the riser height.

R301.15.2 Treads. The tread depth shall be not less than nine inches. The tread depth shall be measured horizontally between the vertical planes of the treads. The greatest tread within any flight of stairs shall not exceed the tread depth.

R301.15.3 Under Treads. Under treads shall have a minimum tread depth of 1 1/2 inches. Under treads shall have a minimum tread depth of 1 1/2 inches. Under treads shall have a minimum tread depth of 1 1/2 inches.

# STRUCTURAL

R502.1.1 General. The minimum design loads for the structure shall be the dead load, live load, wind load, snow load, seismic load, and other loads specified in the building code. The minimum design loads for the structure shall be the dead load, live load, wind load, snow load, seismic load, and other loads specified in the building code.

R502.1.2 Seismic. The seismic design category shall be determined based on the seismic hazard analysis. The seismic design category shall be determined based on the seismic hazard analysis. The seismic design category shall be determined based on the seismic hazard analysis.

R502.1.3 Wind. The wind design category shall be determined based on the wind hazard analysis. The wind design category shall be determined based on the wind hazard analysis. The wind design category shall be determined based on the wind hazard analysis.

R502.1.4 Snow. The snow design category shall be determined based on the snow hazard analysis. The snow design category shall be determined based on the snow hazard analysis. The snow design category shall be determined based on the snow hazard analysis.

R502.1.5 Other. Other loads shall be determined based on the applicable building code. Other loads shall be determined based on the applicable building code. Other loads shall be determined based on the applicable building code.

R502.1.6 Foundation. The foundation design shall be based on the geotechnical engineering report. The foundation design shall be based on the geotechnical engineering report. The foundation design shall be based on the geotechnical engineering report.

R502.1.7 Connections. The connections shall be designed to resist the full design loads. The connections shall be designed to resist the full design loads. The connections shall be designed to resist the full design loads.

R502.1.8 Details. The details shall be designed to resist the full design loads. The details shall be designed to resist the full design loads. The details shall be designed to resist the full design loads.

## CODE REVIEW

The contractor and subcontractor must perform the works conforming to the current code including, but not limited to the following standards:

R302.3 Bathrooms. Mechanical ventilation in accordance with section R302.3 is required for all bathrooms with a shower or bathtub and room with a toilet.

## MINIMUM ROOM AREAS

R304.1 Minimum Area. Habitable rooms shall have a floor area of not less than 70 square feet. Exception: Kitchens.

R304.2 Minimum Dimensions. Habitable rooms shall be not less than 7 feet in any horizontal dimension. Exception: Kitchens.

R304.3 Height. The height of a room with a sloping ceiling shall be measured from the finished floor to the lowest part of the ceiling. The height of a room with a sloping ceiling shall be measured from the finished floor to the lowest part of the ceiling.

R305.1 Minimum Height. Habitable spaces and hallways shall have a ceiling height of not less than 7 feet 6 inches. Habitable spaces and hallways shall have a ceiling height of not less than 7 feet 6 inches.

R305.2 Ceiling Height. The ceiling height shall be measured from the finished floor to the lowest part of the ceiling. The ceiling height shall be measured from the finished floor to the lowest part of the ceiling.

R305.3 Emergency Escape and Rescue. Emergency escape and rescue openings shall have a net clear opening of not less than 5 1/2 feet. Emergency escape and rescue openings shall have a net clear opening of not less than 5 1/2 feet.

R305.4 Emergency Escape and Rescue. Emergency escape and rescue openings shall have a net clear opening of not less than 5 1/2 feet. Emergency escape and rescue openings shall have a net clear opening of not less than 5 1/2 feet.

R305.5 Emergency Escape and Rescue. Emergency escape and rescue openings shall have a net clear opening of not less than 5 1/2 feet. Emergency escape and rescue openings shall have a net clear opening of not less than 5 1/2 feet.

R305.6 Emergency Escape and Rescue. Emergency escape and rescue openings shall have a net clear opening of not less than 5 1/2 feet. Emergency escape and rescue openings shall have a net clear opening of not less than 5 1/2 feet.

R305.7 Emergency Escape and Rescue. Emergency escape and rescue openings shall have a net clear opening of not less than 5 1/2 feet. Emergency escape and rescue openings shall have a net clear opening of not less than 5 1/2 feet.

R305.8 Emergency Escape and Rescue. Emergency escape and rescue openings shall have a net clear opening of not less than 5 1/2 feet. Emergency escape and rescue openings shall have a net clear opening of not less than 5 1/2 feet.

R305.9 Emergency Escape and Rescue. Emergency escape and rescue openings shall have a net clear opening of not less than 5 1/2 feet. Emergency escape and rescue openings shall have a net clear opening of not less than 5 1/2 feet.

R305.10 Emergency Escape and Rescue. Emergency escape and rescue openings shall have a net clear opening of not less than 5 1/2 feet. Emergency escape and rescue openings shall have a net clear opening of not less than 5 1/2 feet.







PROPOSED ZONING PLAN

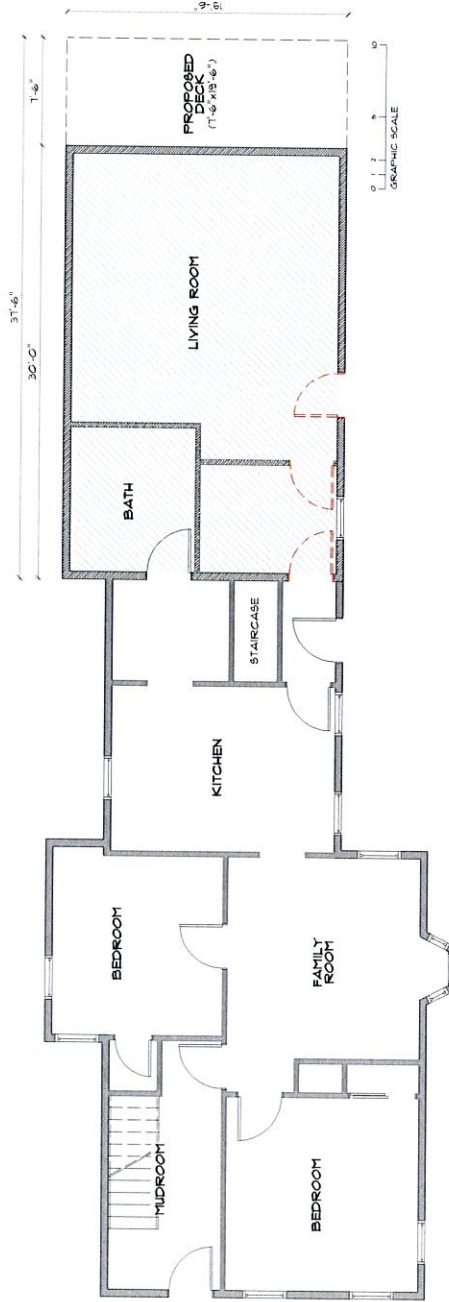
LEGEND	
PROPERTY LINE	CURB
EXISTING DWELLING	CONCRETE
PROPOSED DWELLING	GRASS

REFERENCE DOCUMENT	
PROPERTY ID	513-284-1
STREET ADDRESS	43 JACKSON ST. HAVERHILL MA
LOT SIZE	21320 SQUARE FEET
ASSESORS PLAN	513 PAGE 162
BLOCK	284 LOT 7
DEED BOOK	410943 ZONE R-U

LOCATION MAP	
19 210 1	513-284-11
513-284-9B	513-284-12
513-284-9	513-284-13
513-284-10	513-284-14
513-284-11	513-284-15
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513-284-143	513-284-147



LEGEND	
---	PROPOSED SPACE
---	ITEM TO BE DEMOLISHED
---	EXISTING WALL TO REMAIN
---	EXISTING WALL TO BE DEMOLISHED
---	RECONSTRUCTION OF UNSAFE STRUCTURE



1 EXISTING FIRST FLOOR PLAN  
A-10 SCALE: 1/8" = 1'-0"

**MDJ INC.**

Engineers, Architects & Associates  
MARCO A. DEVERO, P.E.  
16 WOODLAND ST., LAWRENCE, MA 01841  
978-688-5435/978-688-7868  
mdj\_incorporated@comcast.net

APPLICANT/OWNER: EVELYN F. DE COON	VERIFIED: MDJ INC.
APPROVED: MDJ INC.	SIGNED: MDJ INC.
DRAWN BY: MDJ INC.	ISSUED: FEB. 2025

PROJECT:  
DWELLING  
RENOVATION

LOCATION:  
43 JACKSON STREET,  
HAVERHILL MA 01832

CONSULTANT:

REVISION:	REV.	DATE	DESCRIPTION

STAMP:

SCALE: 1/8" = 1'-0"	DRAWING NO.: A-101
------------------------	-----------------------

DRAWING NAME:  
EXISTING FIRST  
FLOOR PLAN

NOTES:  
CONTRACTOR SHALL PERFORM ALL  
WORKS IN COMPLIANCE WITH THE  
COMMONWEALTH OF MASSACHUSETTS  
LATEST EDITION OF THE BUILDING  
CODE, THE BUILDING BOARD OF  
STANDARDS AND REGULATIONS AND  
THE CITY OF HAVERHILL, MA.

**MDJ INC.**  
Engineers, Architects & Associates

MARCOS A. DEVERS, P.E.  
16 WOODLAND ST. SUITE 101, HAV. MA 01832  
978-465-5411 FAX 978-465-5412  
mdevers@mdjinc.com

APPLICANT/OWNER: EVELYN F. DE CALON	VERIFIED: MDJ INC.
APPROVED: MDJ INC.	SIGNED: MDJ INC.
DRAWN BY: MDJ INC.	ISSUED: FEB. 2005

PROJECT:  
DWELLING  
RENOVATION

LOCATION:  
43 JACKSON STREET,  
HAVERHILL MA 01832

CONSULTANT:

REVISION:  
REV. DATE DESCRIPTION

STAMP:

SCALE:  
1/8" = 1'-0"

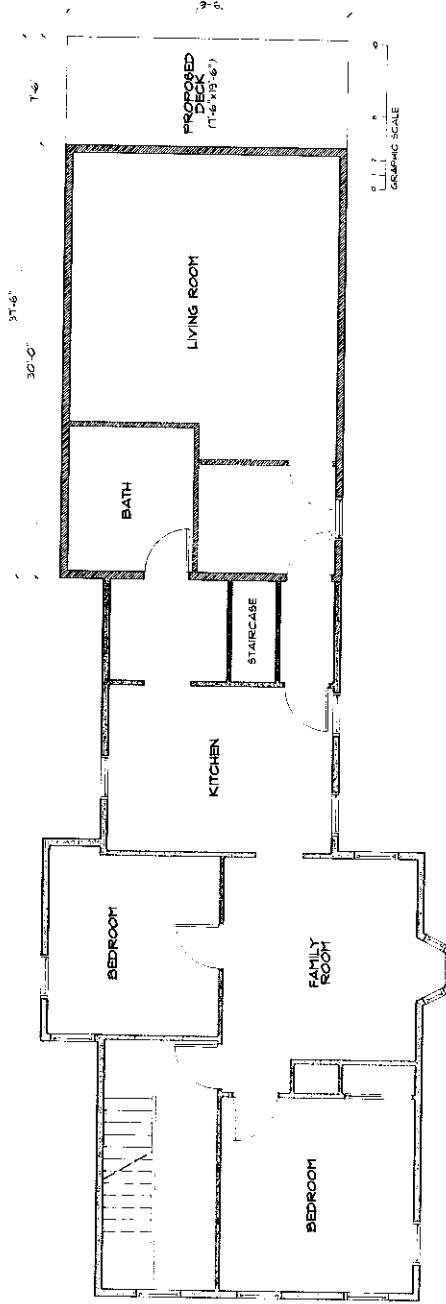
DRAWING NO.:  
A-102

DRAWING NAME:  
EXISTING SECOND  
FLOOR PLAN

NOTES:  
CONTRACTOR SHALL PERFORM ALL  
WORKS IN COMPLIANCE WITH THE  
COMMONWEALTH OF MASSACHUSETTS  
LATEST EDITION OF THE BUILDING  
CODE, THE BUILDING BOARD OF  
STANDARDS AND REGULATIONS AND  
THE CITY OF HAVERHILL, MA.



LEGEND	
---	PROPOSED SPACE
---	ITEM TO BE DEMOLISHED
---	EXISTING WALL TO REMAIN
---	EXISTING WALL TO BE DEMOLISHED
---	EXISTING CONSTRUCTION OF UNLASE STRUCTURE



EXISTING SECOND FLOOR PLAN  
SCALE: 1/8" = 1'-0"



**MDJ INC.**  
Engineers, Architects & Associates  
MARCO A. DEVERIS, P.E.  
16 WOODLAND ST., LAURENCE, MA 01841  
381-685-5433 FAX 381-684-7848  
mdjinc@mdjinc.com

<b>APPLICANT/OWNER:</b> EVELYN P. DE COLON	<b>VERIFIED:</b> MDJ INC.
<b>APPROVED:</b> MDJ INC.	<b>SIGNED:</b> MDJ INC.
<b>DRAWN BY:</b> MDJ INC.	<b>ISSUED:</b> FEB. 2025

**PROJECT:**  
DWELLING  
RENOVATION

**LOCATION:**  
43 JACKSON STREET,  
HAVERHILL MA 01832

**CONSULTANT:**

<b>REVISION:</b>	<b>DATE</b>	<b>DESCRIPTION</b>

**STAMP:**

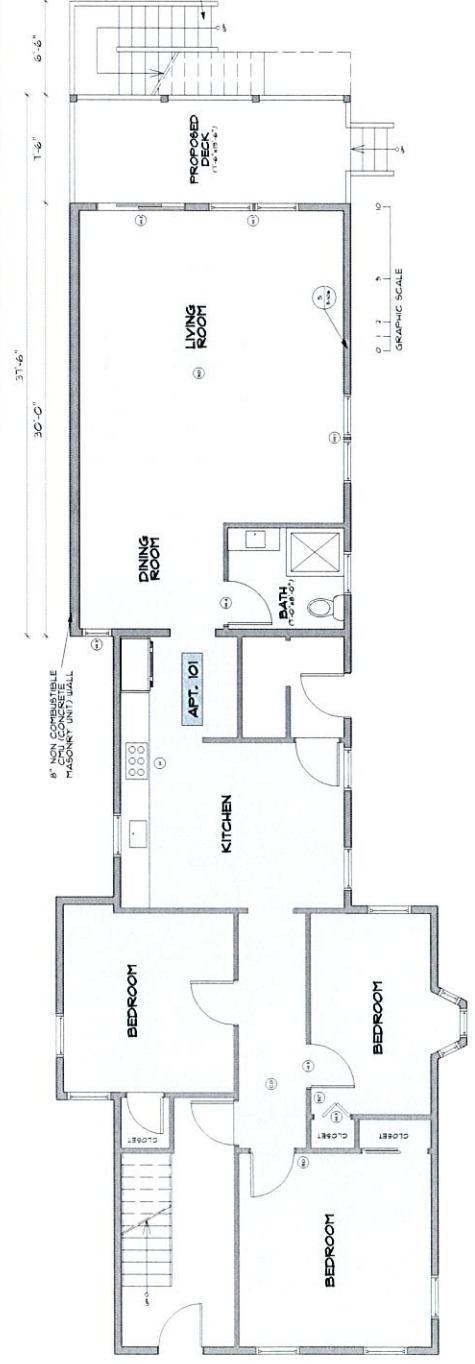
<b>SCALE:</b> 1/8" = 1'-0"	<b>DRAWING NO.:</b> A-103
-------------------------------	------------------------------

**DRAWING NAME:**  
FIRST FLOOR PLAN

**NOTES:**  
CONTRACTOR SHALL PERFORM ALL  
WORKS IN COMPLIANCE WITH THE  
COMMONWEALTH OF MASSACHUSETTS  
LATEST EDITION OF THE BUILDING  
CODES, REGULATIONS, ORDINANCES,  
STANDARDS AND REGULATIONS AND  
THE CITY OF HAVERHILL, MA.

LEGEND	
APT. 101	1330.80 SQ. FT.
APT. 201	790.30 SQ. FT.
APT. 202	840.30 SQ. FT.

LEGEND	
(H)	HEAT DETECTOR
(S)	SMOKE DETECTOR
(CO)	CARBON MONOXIDE



**1 FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

**MDJ INC.**  
Engineers, Architects & Associates  
MARCOS A. DEVERIS, P.E.  
16 WOODLAND ST. LAURENCE, MA 01841  
978-686-5400/978-604-1846  
mdj\_incorporated@comcast.net

**APPLICANT/OWNER:**  
EVELYN P. DE COLON

**VERIFIED:**  
MDJ INC.

**APPROVED:**  
MDJ INC.

**SIGNED:**  
MDJ INC.

**DRAWN BY:**  
MDJ INC.

**ISSUED:**  
FEB. 2025

**PROJECT:**  
DWELLING  
RENOVATION

**LOCATION:**  
43 JACKSON STREET  
HAVERHILL MA 01832

**CONSULTANT:**

**REVISION:**

REV.	DATE	DESCRIPTION

**STAMP:**

**SCALE:**  
1/8" = 1'-0"

**DRAWING NO.:**  
A-104

**DRAWING NAME:**  
SECOND FLOOR PLAN

**NOTES:**  
CONTRACTOR SHALL PERFORM ALL  
WORKS IN COMPLIANCE WITH THE  
COMMONWEALTH OF MASSACHUSETTS  
LATEST EDITION OF THE BUILDING  
CODE, THE BUILDING BOARD OF  
STANDARDS AND REGULATIONS AND  
THE CITY OF HAVERHILL MA.



**ENERGY SCHEDULE (AS APPLICABLE)**

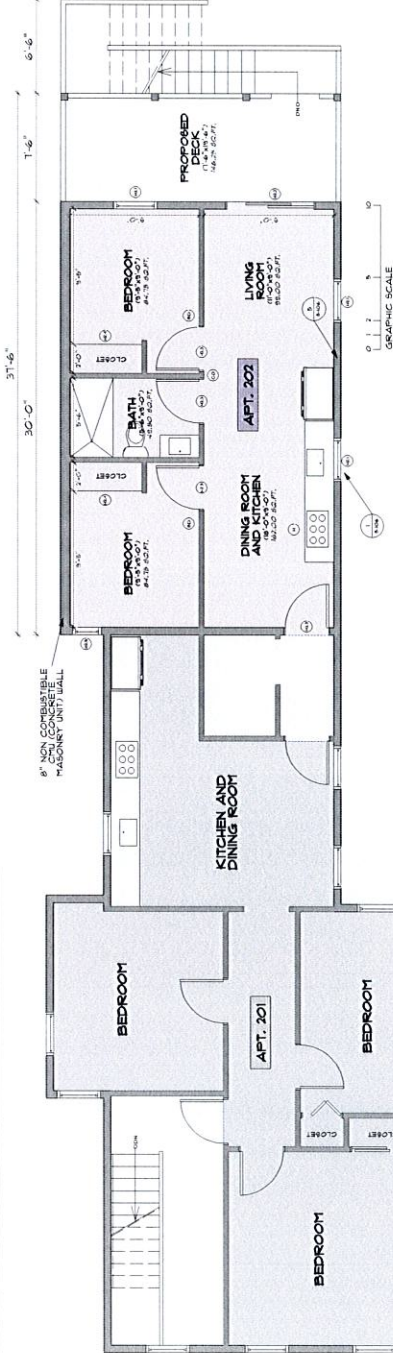
COMPLIANCE DETERMINED BY MASSACHUSETTS STRETCH ENERGY CODE.  
PRESCRIPTIVE OPTION FOR RESIDENTIAL ADDITION (401.3)

1. RENOVATION TO COMPLY WITH ENERGY STAR QUALIFIED HOMES  
FOLLOWS:  
11. ROOF R-VALUE: R-30  
12. FLOOR R-VALUE: R-50  
13. HEATING/COOLING DUCTS TO BE SEALED AND TESTED TO MEET  
REQUIREMENTS OF 401.3

2. RENOVATION TO COMPLY WITH ENERGY STAR PROGRAM  
REQUIREMENTS FOR RESIDENTIAL ADDITION (401.3) FOLLOWS:  
11. ROOF R-VALUE: R-30  
12. FLOOR R-VALUE: R-50  
13. HEATING/COOLING DUCTS TO BE SEALED AND TESTED TO MEET  
REQUIREMENTS OF 401.3

LEGEND	
APT. 101	1330.80 SQ. FT.
APT. 201	1780.30 SQ. FT.
APT. 202	540.50 SQ. FT.

LEGEND	
(U)	HEAT DETECTOR
(M)	SMOKE DETECTOR
(C)	CARBON MONOXIDE



**1 SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**MDJ INC.**  
Engineers, Architects • Associates

MARCOS A. DEVERIS, P.E.  
16 WOODBURY AVENUE, SUITE 200  
HAVERHILL, MA 01830  
TEL: 978.326.7777  
FAX: 978.326.7778  
MDJ\_INCPROPOSED@COMCAST.NET

<b>APPLICANT/OWNER:</b> EVELYN P. DE COLON	<b>VERIFIED:</b> MDJ INC.
<b>APPROVED:</b> MDJ INC.	<b>SIGNED:</b> MDJ INC.
<b>DRAWN BY:</b> MDJ INC.	<b>ISSUED:</b> FEB. 2025

**PROJECT:**  
DWELLING  
RENOVATION

**LOCATION:**  
43 JACKSON STREET,  
HAVERHILL MA 01832

**CONSULTANT:**

**REVISION:**

REV.	DATE	DESCRIPTION

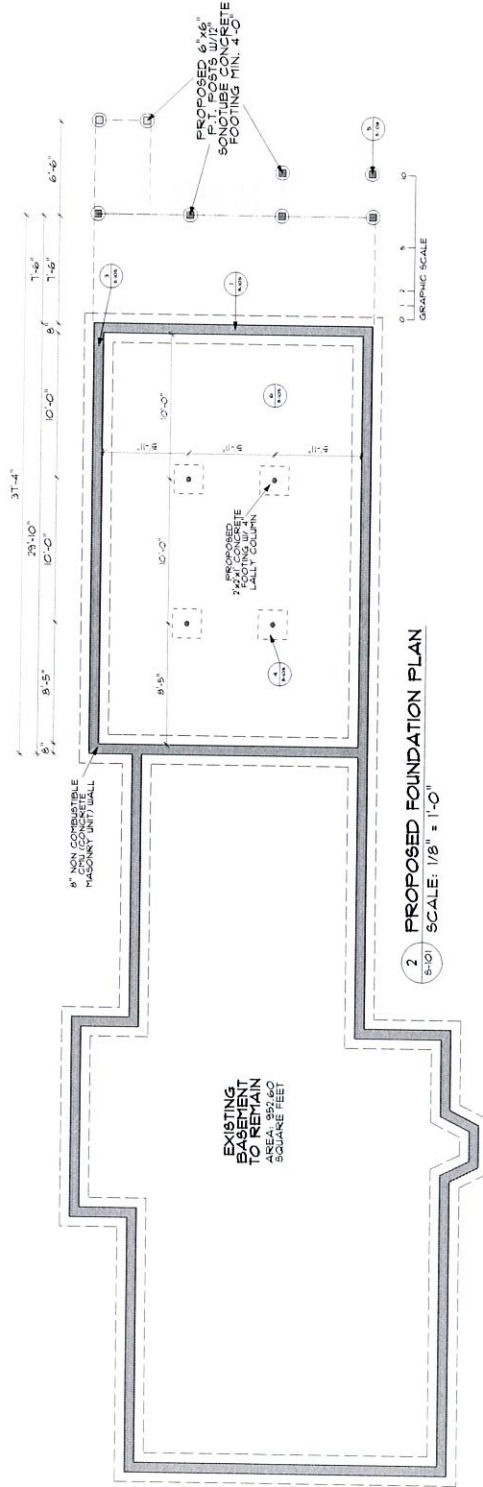
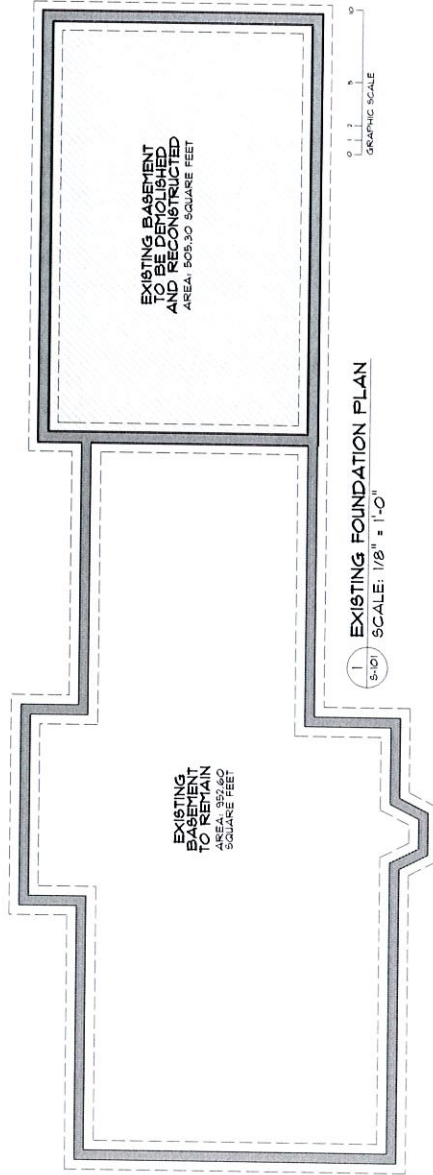
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1/8" = 1'-0"

**DRAWING NO.:**  
S-101

**DRAWING NAME:**  
EXISTING & PROPOSED  
FOUNDATION PLAN

**NOTES:**  
CONTRACTOR SHALL PERFORM ALL  
WORKS IN COMPLIANCE WITH THE  
LATEST EDITION OF MASSACHUSETTS  
CONSTRUCTION REGULATIONS  
CODE, THE BUILDING BOARD OF  
STANDARDS AND REGULATIONS AND  
THE CITY OF HAVERHILL, MA.





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Engineers, Architects & Architects  
THOMAS A. DEVER, P.E.  
16 WOODLAND ST. LAURENCE, MA 01840  
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www.mdjinc.com

APPLICANT/OWNER:  
EVELYN F. DE COLO  
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APPROVED:  
MDJ INC.  
SIGNED:  
MDJ INC.  
DRAWN BY:  
MDJ INC.  
ISSUED:  
FEB. 2025

PROJECT:  
DWELLING  
RENOVATION

LOCATION:  
43 JACKSON STREET,  
HAVERHILL MA 01832

CONSULTANT:

REVISION:  
REV. # DATE DESCRIPTION

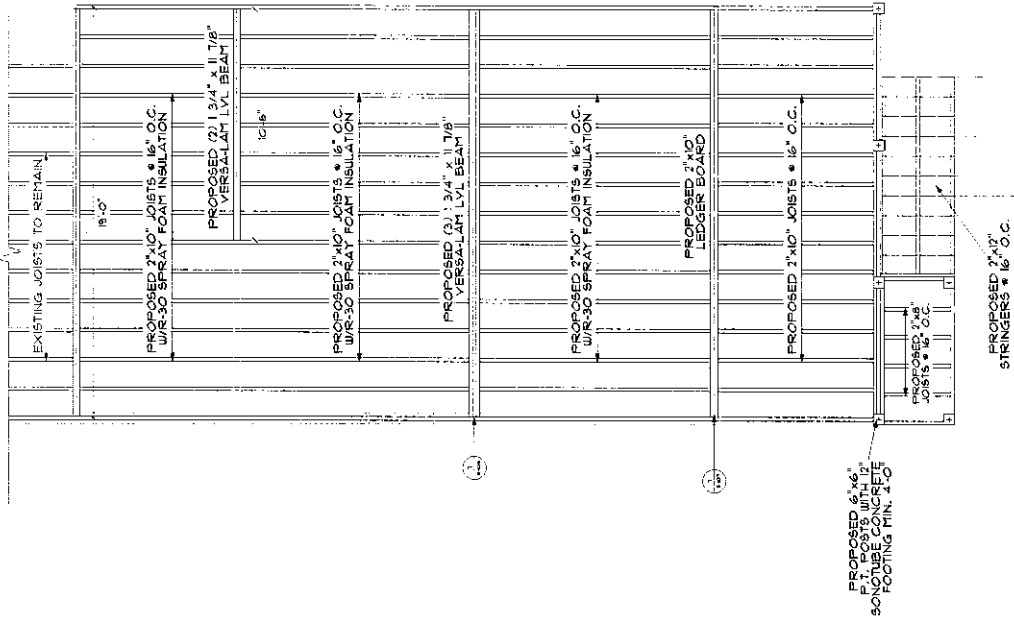
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3/16" = 1'-0"

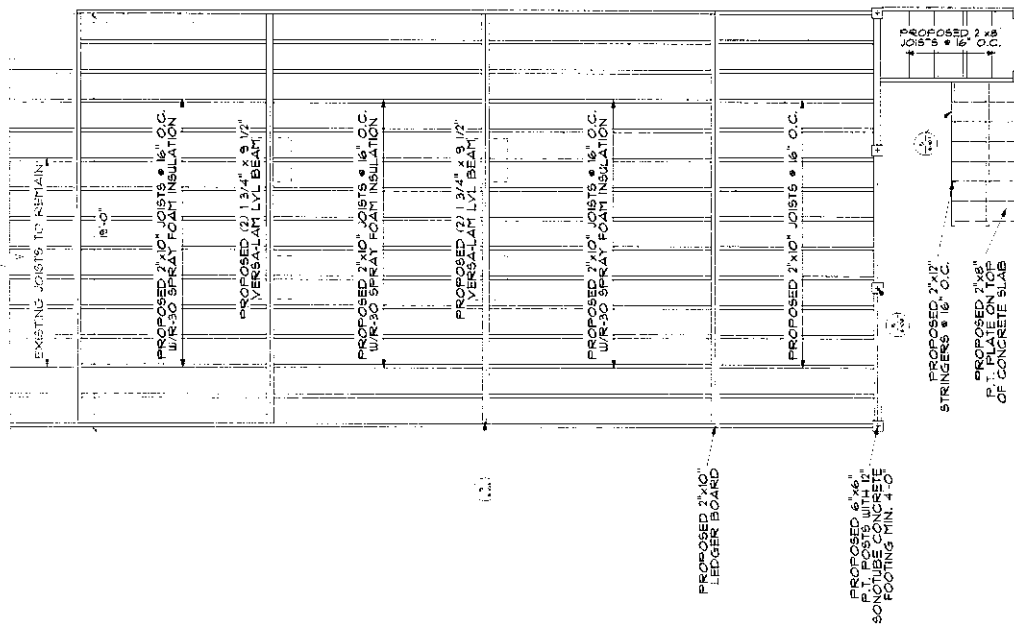
DRAWING NO.:  
S-102

DRAWING NAME:  
PROPOSED 1ST & 2ND  
FLOOR FRAMING PLAN

NOTES:  
CONTRACTOR SHALL PERFORM ALL  
WORKS IN COMPLIANCE WITH THE  
COMMONWEALTH OF MASSACHUSETTS  
BUILDING CODE, 806 CMR, AND  
CODE THE BUILDING BOARD OF  
STANDARDS AND REGULATIONS AND  
THE CITY OF HAVERHILL, MA



2. PROPOSED SECOND FLOOR FRAMING PLAN  
SCALE: 3/16" = 1'-0"



1. PROPOSED FIRST FLOOR FRAMING PLAN  
SCALE: 3/16" = 1'-0"

2

**MDJ INC.**  
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MDJ INC.

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**SIGNED:**  
MDJ INC.

**DRAWN BY:**  
MDJ INC.

**ISSUED:**  
FEB. 2025

**PROJECT:**  
DWELLING  
RENOVATION

**LOCATION:**  
43 JACKSON STREET,  
HAVERHILL MA 01832

**CONSULTANT:**

**REVISION:**

REV.	DATE	DESCRIPTION
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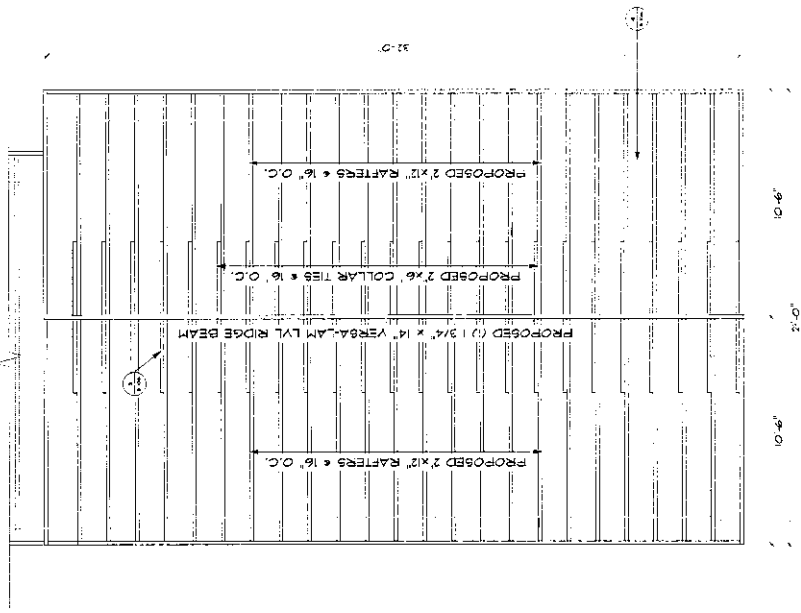
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**SCALE:**  
3/16" = 1'-0"

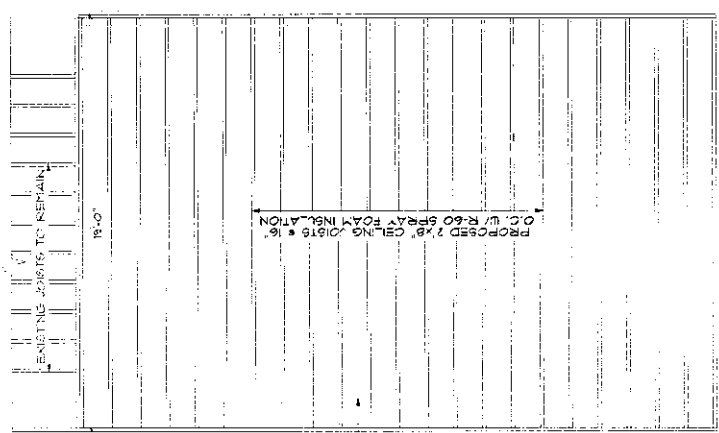
**DRAWING NO.:**  
S-103

**DRAWING NAME:**  
PROPOSED CEILING &  
ROOF FRAMING PLAN

**NOTES:**  
CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE CONSTRUCTION OF BUILDINGS ACTS OF THE COMMONWEALTH OF MASSACHUSETTS, THE BUILDING DEPARTMENT CODE, THE BUILDING BOARD OF STANDARDS AND REGULATIONS AND THE CITY OF HAVERHILL, MA.



2  
S-103  
**PROPOSED ROOF FRAMING PLAN**  
SCALE: 3/16" = 1'-0"



1  
S-103  
**PROPOSED CEILING FRAMING PLAN**  
SCALE: 3/16" = 1'-0"

## FASTENING SCHEDULE

DESCRIPTION OF BUILDING ELEMENTS	SPACING AND LOCATION
JOIST TO SILL OR GIRDER	TOE NAIL (3)-8d
BRIDGING TO JOIST	TOP NAIL EA. END (2)-8d
SOLE PLATE TO JOIST OR BLK'G	FACE NAIL 16d • 16" O.C.
STUD TO SOLE PLATE	TOE NAIL (4)-8d, END NAIL (2) 16d
TOP PLATE TO STUD	END NAIL (2)-16d
DOUBLE STUDS	FACE NAIL 16d • 24" O.C.
DOUBLE TOP PLATES	FACE NAIL 16d • 16" O.C.
CONTINUOUS HEADER, TWO PIECES	16d • 16" O.C. ALONG EA. EDGE
BUILT-UP HEADER, TWO PIECES W/ 1/2" SPACER	16d • 16" O.C. ALONG EA. EDGE
TOP PLATE, LAPs AND INTERSECTION	FACE NAIL (2)-16d
CEILING JOISTS TO PLATE	TOE NAIL (3)-8d
CONTINUOUS HEADER TO STUD	TOE NAIL (4)-8d
CEILING JOISTS, LAP OVER PARTITIONS	FACE NAIL (3)-10d
1" BRACE TO EACH STUD AND PLATE	FACE NAIL (2)-8d
BUILT-UP CORNER STUDS	10d • 24" O.C.
2" PLANKS	(2)-16d • EA.BRG.
1/2" PLYWOOD ROOF AND WALL	EDGES 8d • 6" O.C.
SHEATHING	INTERMEDIATE 8d • 12" O.C.
3/4" PLYWOOD SUBFLOOR	EDGES 8d • 6" O.C.
2x MULTIPLE JOISTS - STAGGER • 15" O.C. W/ (2) • EA. END OR SPLICE	
(3) OR FEWER	16d NAILS
(4) OR MORE	1/2" DIA M.B. W/ STANDARD NUT AND WASHERS

FASTENING SCHEDULE  
N.T.S.

**FIRST FLOOR SCHEDULE**

MARK	PLACE	QTY.	DESCRIPTION
HL1	EXT.	2	2-2x10 FOR A HEADER SPAN 5'-4" W/ 2 JACK STUDS
HL2	EXT.	1	3-2x10 FOR A HEADER SPAN 6'-0" W/ 2 JACK STUDS
HL3	EXT.	1	2-2x4 FOR A HEADER SPAN 2'-0" W/ 1 JACK STUDS
HL4	INT.	1	2-2x8 FOR A HEADER SPAN 3'-0" W/ 2 JACK STUDS

2 FIRST FLOOR HEADER SCHEDULE  
5-104 N.T.S.

## SECOND FLOOR SCHEDULE

MARK	PLACE	QTY.	DESCRIPTION
H2.1	EXT.	3	2-2x4 FOR A HEADER SPAN 2'-8" W/ 1 JACK STUDS
H2.2	EXT.	1	2-2x10 FOR A HEADER SPAN 6'-0" W/ 2 JACK STUDS
H2.3	INT.	3	2-2x6 FOR A HEADER SPAN 3'-0" W/ 1 JACK STUDS
H2.4	INT.	2	2-2x6 FOR A HEADER SPAN 4'-0" W/ 2 JACK STUDS
H2.5	EXT.	1	2-2x4 FOR A HEADER SPAN 2'-0" W/ 1 JACK STUDS

3 SECOND FLOOR HEADER SCHEDULE

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978-686-5493/330-854-7666  
mdjinc@mdjinc.com/ma.com

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SIGNED:  
MDJ INC.  
APPROVED:  
MDJ INC.  
DRAWN BY:  
MDJ INC.  
ISSUED:  
FEB. 2025

PROJECT:  
DWELLING  
RENOVATION

LOCATION:  
43 JACKSON STREET,  
HAVERHILL MA 01832

CONSULTANT:

REVISION:  
REV. DATE DESCRIPTION

STAMP:

SCALE:  
N.T.S.  
DRAWING NO.:  
S-104

DRAWING NAME:  
STRUCTURAL  
SCHEDULES

NOTE:  
CONTRACTOR SHALL PERFORM ALL  
WORKS IN COMPLIANCE WITH THE  
COMMONWEALTH OF MASSACHUSETTS  
LATEST EDITION OF THE BUILDING  
CODE, THE BUILDING BOARD OF  
STANDARDS AND REGULATIONS AND  
THE CITY OF HAVERHILL MA.

FIRST FLOOR SCHEDULE

MARK	PLACE	QTY.	DESCRIPTION
H1.1	EXT. 2	2-2x10 FOR A HEADER SPAN 5'-4" W/ 2 JACK STUDS	
H1.2	EXT. 1	3-2x10 FOR A HEADER SPAN 6'-0" W/ 2 JACK STUDS	
H1.3	EXT. 1	2-2x4 FOR A HEADER SPAN 2'-0" W/ 1 JACK STUDS	
H1.4	INT. 1	2-2x8 FOR A HEADER SPAN 3'-0" W/ 2 JACK STUDS	

2  
S-104  
FIRST FLOOR HEADER SCHEDULE  
N.T.S.

SECOND FLOOR SCHEDULE

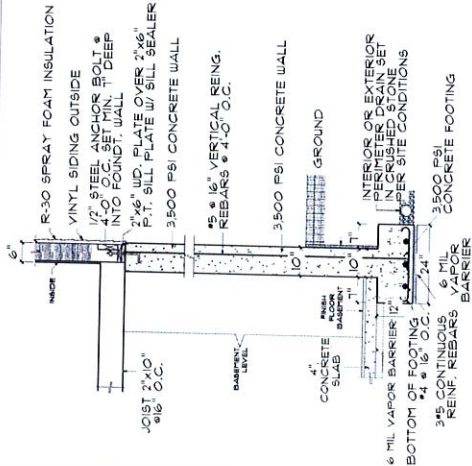
MARK	PLACE	QTY.	DESCRIPTION
H2.1	EXT. 3	2-2x4 FOR A HEADER SPAN 2'-8" W/ 1 JACK STUDS	
H2.2	EXT. 1	2-2x10 FOR A HEADER SPAN 6'-0" W/ 2 JACK STUDS	
H2.3	INT. 3	2-2x6 FOR A HEADER SPAN 3'-0" W/ 1 JACK STUDS	
H2.4	INT. 2	2-2x8 FOR A HEADER SPAN 4'-0" W/ 2 JACK STUDS	
H2.5	EXT. 1	2-2x4 FOR A HEADER SPAN 2'-0" W/ 1 JACK STUDS	

3  
S-104  
SECOND FLOOR HEADER SCHEDULE  
N.T.S.

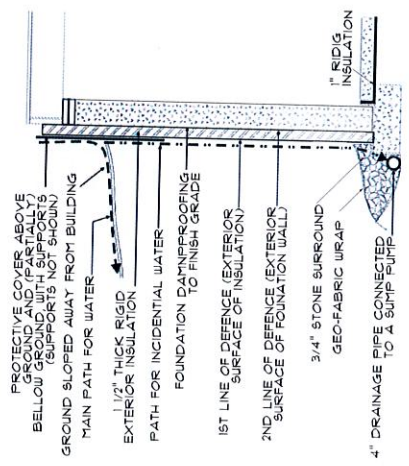
FASTENING SCHEDULE

DESCRIPTION OF BUILDING ELEMENTS	SPACING AND LOCATION
JOIST TO SILL OR GIRDER	TOE NAIL (3)-8d
BRIDGING TO JOIST	TOP NAIL EA. END (2)-8d
SOLE PLATE TO JOIST OR BLK'G	FACE NAIL 16d @ 16" O.C.
STUD TO SOLE PLATE	TOE NAIL (4)-8d, END NAIL (2) 16d
TOP PLATE TO STUD	END NAIL (2)-16d
DOUBLE STUDS	FACE NAIL 16d @ 24" O.C.
DOUBLE TOP PLATES	FACE NAIL 16d @ 16" O.C.
CONTINUOUS HEADER, TWO PIECES	16d @ 16" O.C. ALONG EA. EDGE
BUILT-UP HEADER, TWO PIECES W/ 1/2" SPACER	16d @ 16" O.C. ALONG EA. EDGE
TOP PLATE, LAPs AND INTERSECTION	FACE NAIL (2)-16d
CEILING JOISTS TO PLATE	TOE NAIL (3)-8d
CONTINUOUS HEADER TO STUD	TOE NAIL (4)-8d
CEILING JOISTS, LAP OVER PARTITIONS	FACE NAIL (3)-10d
1" BRACE TO EACH STUD AND PLATE	FACE NAIL (2)-8d
BUILT-UP CORNER STUDS	10d @ 24" O.C.
2" PLANKS	(2)-16d @ EA.BRG.
1/2" PLYWOOD ROOF AND WALL	EDGES 8d @ 6" O.C.
SHEATHING	INTERMEDIATE 8d @ 12" O.C.
3/4" PLYWOOD SUBFLOOR	EDGES 8d @ 6" O.C.
2x MULTIPLE JOISTS - STAGGER @ 19" O.C. W/ (2) @ EA. END OR SPLICE	
(3) OR FEWER	16d NAILS
(4) OR MORE	1/2" DIA M.B. W/ STANDARD NUT AND WASHERS

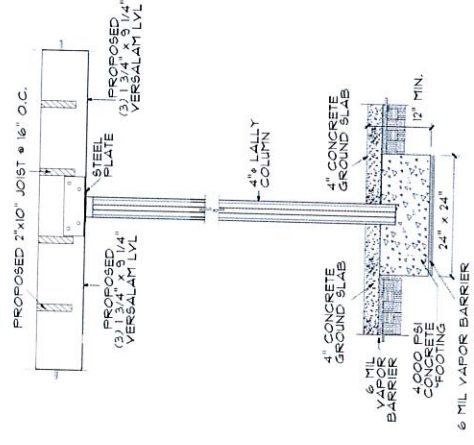
1  
S-104  
FASTENING SCHEDULE  
N.T.S.



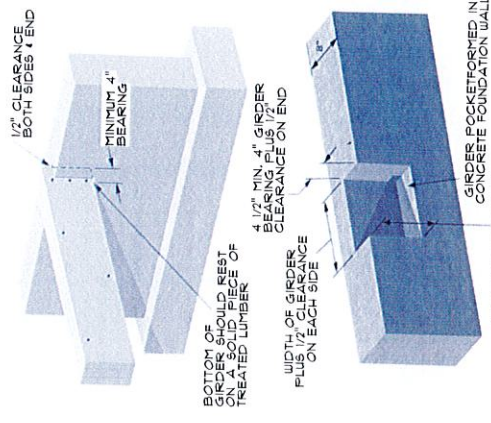
1 TYP. FOUNDATION WALL DETAIL  
S-105 N.T.S.



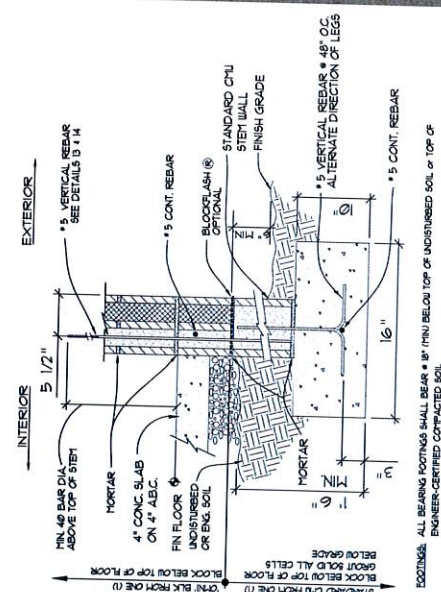
2 EXTERIOR INSULATION FOUNDATION WALL DETAIL  
S-105 N.T.S.



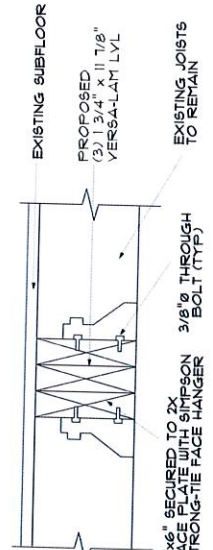
4 LALLY COLUMN DETAIL  
S-105 N.T.S.



5 BEAM/FOUND. WALL CONNECTION  
S-105 N.T.S.



3 EXTERIOR WALL FOOTING - CMU STEM  
S-105 N.T.S.



7 LVL CONNECTION DETAIL  
S-105 N.T.S.

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APPROVED:  
MDJ INC.  
SIGNED:  
MDJ INC.  
DRAIN BY:  
MDJ INC.  
ISSUED:  
FEB. 2025

PROJECT:  
DWELLING RENOVATION

LOCATION:  
43 JACKSON STREET,  
HAVERHILL MA 01832

CONSULTANT:

REVISION:  
REV. DATE DESCRIPTION

STAMP:

SCALE:  
N.T.S.

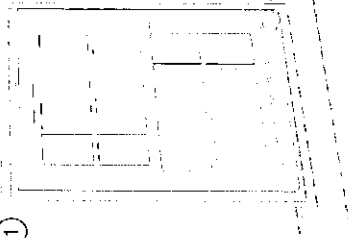
DRAWING NO.:  
S-105

DRAWING NAME:  
STRUCTURAL  
DETAILS 01

NOTE:  
CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS EDITION OF THE BUILDING CODE, AND THE BOARD OF STANDARDS AND REGULATIONS AND THE CITY OF HAVERHILL, MA.

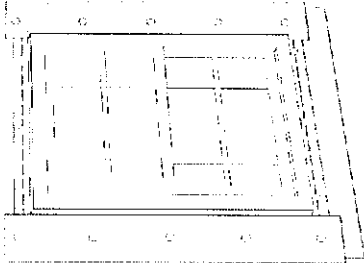


1



THE WIDTH OF FLASHINGS DEPENDS ON THE WIDTH OF THE TRIM AND WHERE THE FINAL COMPLETE COURSE OF SIDING STOPS BELOW THE WINDOW. ALL FLASHINGS SHOULD EXTEND PAST THE WINDOW NAILING FLANGES. THE WIDTH OF FLASHING UNDER THE WINDOW IS SIZED TO ALLOW FOR THE VERSION OF WATER.

2



SEE NOTE BELOW

APPLY THE SIDE FLASHING BY OVERLAPPING THE BOTTOM FLASHING.

APPLY THE TOP FLASHING OVER THE TOPS OF THE SIDE FLASHINGS.

NOTE: MAKE SURE THE WIDTH OF THE BOTTOM FLASHING IS SUFFICIENT TO OVERLAP THE NAILING FLANGE OF THE TOP COURSE OF COMPLETE SIDING PANELS.

### VINYL SIDING/WINDOW AND DOOR FLASHING

5-106 N.T.S.

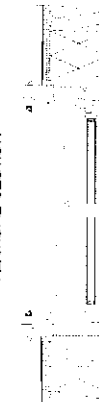
NOTE: THE BUILDER MUST CHECK THE DIMENSIONS OF THE WINDOWS AND DOORS BEFORE BUILDING THE FRAMING WALLS. THE BUILDER AND THE OWNER HAVE THE RESPONSIBILITY TO CHECK THE ROUGH OPENINGS OF THE MANUFACTURER'S SPECIFICATIONS. THE DIMENSIONS SHOWN IN THE PLANS ARE GENERAL AND NOT THE MANUFACTURER'S SPECIFICATIONS. (THE DESIGNER DOES NOT CHOOSE THE MANUFACTURER OF WINDOWS AND DOORS.)

### HORIZONTAL SECTION



EGRESS OPENING  
GLASS OPENING HEIGHT  
CLEAR OPENING HEIGHT  
UNIT DIMENSION HEIGHT  
ROUGH OPENING HEIGHT

### VERTICAL SECTION



GLASS OPENING WIDTH  
CLEAR EGRESS OPENING WIDTH  
UNIT OPENING WIDTH  
ROUGH OPENING WIDTH

### 2 DIMENSIONS OF TYPICAL DOUBLE-HUNG WINDOWS

5-106 N.T.S.

(1) 1 3/4" x 14" RIDGE BEAM

2"x10" RAFTERS @ 16" O.C.

2"x6" COLLAR TIES @ 16" O.C.

2"x8" ATTIC FLOOR JOIST

OVERHANG

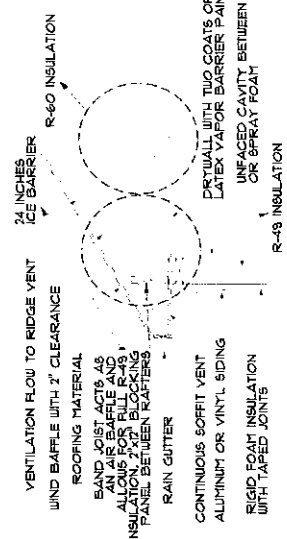
FASCIA CUT

SOFFIT CUT

BIRD'S MOUTH CUT

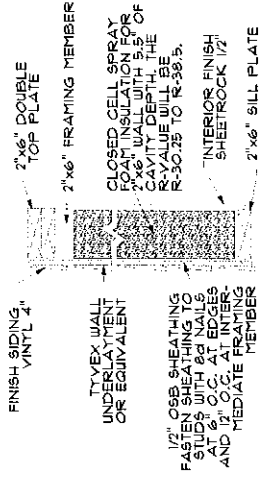
### 3 ROOF CROSS SECTION

5-106 N.T.S.



### 4 VENTED ROOF WITH CEILING INSULATION

5-106 N.T.S.



### 5 EXTERIOR WALL & INSULATION DETAIL

5-106 N.T.S.

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mdj@mdjinc.com

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APPROVED: MDJ INC.	SIGNED: MDJ INC.
DRAWN BY: MDJ INC.	ISSUED: FEB. 2025

PROJECT:  
DUELLING  
RENOVATION

LOCATION:  
43 JACKSON STREET,  
HAVERHILL MA 01832

CONSULTANT:

REVISION:	DATE	DESCRIPTION

STAMP:

SCALE:  
N.T.S.

DRAWING NO:  
S-106

DRAWING NAME:  
STRUCTURAL  
DETAILS 02

NOTES:  
CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE CODES OF THE COMMONWEALTH OF MASSACHUSETTS, THE LATEST EDITION OF THE BUILDING DEPARTMENT OF THE BOARD OF STATE ARCHITECTS AND ENGINEERS AND THE CITY OF HAVERHILL, MA.





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MDJINC@GMAIL.COM

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REV. # DATE DESCRIPTION

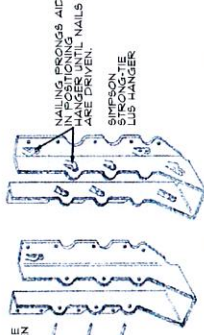
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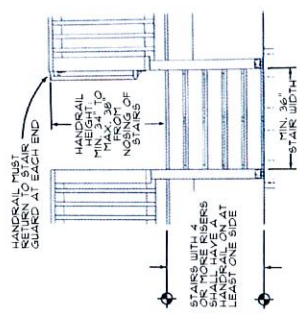
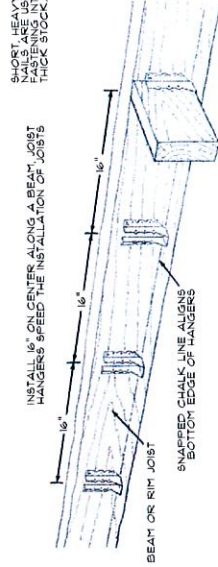
DRAWING NO.:  
S-108

DRAWING NAME:  
STRUCTURAL  
DETAILS 04

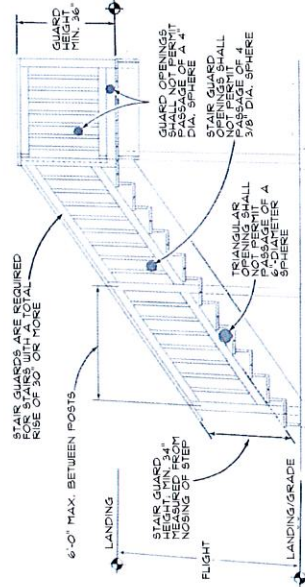
NOTES:  
CONTRACTOR SHALL PERFORM ALL  
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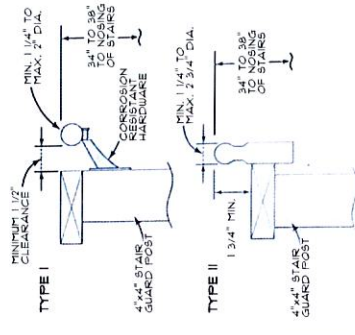
2 METAL HANGER DETAIL  
S-108 N.T.S.



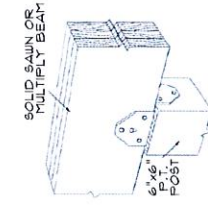
4 HANDRAIL REQUIREMENTS  
S-108 N.T.S.



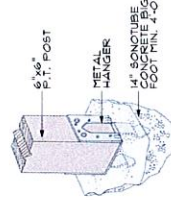
3 STAIR GUARD REQUIREMENTS  
S-108 N.T.S.



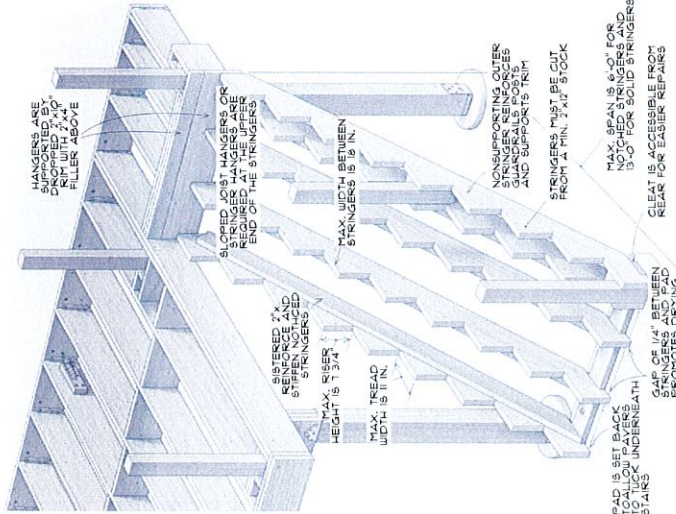
7 HANDRAIL MOUNTING  
S-108 N.T.S.



6 POST/ BEAM  
S-108 N.T.S.



5 SONOTUBE DETAIL  
S-108 N.T.S.



1 STAIRCASE DETAIL  
S-108 N.T.S.



## STRUCTURAL NOTES

## GENERAL NOTES:

- ALL WORK SHALL CONFORM TO THE FOLLOWING STANDARDS:  
 1. MASSACHUSETTS RESIDENTIAL CODE 200 CMR 510.00  
 2. MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER  
 STRUCTURES ACI 301  
 3. NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION  
 AFPA NDS  
 4. SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS  
 ACI 301  
 5. BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE -  
 ACI 318

2. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, COORDINATION OF OTHER TRADES, AND THE TECHNIQUES TO PRODUCE A SOUND AND QUALITY PROJECT. SHORING IS THE RESPONSIBILITY OF THE CONTRACTOR.

3. ALL CONTRACTORS SHALL VERIFY AND COORDINATE ALL DIMENSIONS AND DETAILS RELATED TO THIS PROJECT. CONTRACTORS MUST INFORM ALL DISCREPANCIES BEFORE PROCEEDING.

4. ALL DETAILS AND NOTES SHOWN ON THE CONTRACT DOCUMENTS ARE TYPICAL FOR ALL SIMILAR CONDITIONS EXCEPT WHERE SPECIFICALLY REQUIRED OTHERWISE

5. NO MAIN FRAMING OR STRUCTURAL MEMBERS ARE TO BE MODIFIED, ALTERED, OR CUT WITHOUT THE APPROVAL.

6. ALL CONTRACTORS SHALL BE RESPONSIBLE FOR ALL JOB SAFETY DURING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO SHEETING, SHORING, AND GUYING STRUCTURES, BARRIERS, AND SIGNAGE.

7. IF ANY QUESTION OR CHANGES, CONSULT WITH THE STRUCTURAL DESIGNER.

STRUCTURAL LOADS:

- STRUCTURAL LOADS:  
PER "MASSACHUSETTS STATE BUILDING CODE" 10TH EDITION  
DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES - ASCE  
705  
EXPOSURE ..... B  
-GROUND SNOW LOAD ..... SO PSF  
-UNBALANCED SNOW LOAD ..... SO PSF  
(ADDITIONAL ALLOWANCES FOR DRIFTING AND SLIDING SNOW)  
LIVE LOADS -LIVING SPACE..... 40 PSF

**WOOD FRAMING:**

1. ALL WOOD FRAMING SHALL CONFORM TO THE FOLLOWING STANDARDS:  
 -MASSACHUSETTS RESIDENTIAL CODE 180 CMR;  
 -INTERNATIONAL BUILDING CODE - 2015 EDITION.  
 -INTERNATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION - AFPA NDS.

2. ALL FRAMING MEMBERS SHALL BE NO. 1 / NO.2 OR BETTER WITH AL MAXIMUM MOISTURE CONTENT OF 19% UNLESS NOTED OTHERWISE.

- 3 ENGINEERED LUMBER PRODUCTS SHALL HAVE THE FOLLOWING DESIGN VALUES OR BETTER:  
-COLUMNS GRADE 3100 Fb 5P, Fc=3,100 Psl, Fc11=3,000 Psl, E=1,800,000 Psl  
-BEAMS GRADE 3100 Fb 5P Fc=3,100 Psl, Fv = 285 Psl, E = 2,100,000 Psl

4. ALL LUMBER AND PLYWOOD SHALL BE GRADE-STAMPED BY THE APPROPRIATE MANUFACTURER'S ASSOCIATION FOR THE APPROPRIATE USE.

5. ROOF AND WALL SHEATHING SHALL COMPLY WITH THE FOLLOWING:
- APA RATED SHEATHING, EXPOSURE 1 OR 2
  - ROOF SHEATHING SHALL HAVE A MINIMUM GRAIN RATING
  - ROOF SHEATHING SHALL HAVE A ONE PANEL EDGE CLIP BETWEEN EACH SUPPORT
  - LEAVE A 1/8" EXPANSION GAP BETWEEN ALL PANELS AS REQUIRED BY APA
  - INSTALL SHEETS WITH FACE GRAIN PERPENDICULAR TO SUPPORTING MEMBERS

6. ALL WOOD THAT CONTACTS CONCRETE, MASONRY, OR EARTH SHALL BE PRESSURE TREATED (PT) WITH A CCAC 0.40 PROCESS. SEE MANUFACTURER'S RECOMMENDATIONS FOR FASTENING TO PT WOOD.

7. ALL FRAMING SHALL BE PLUMB, TRUE, AND ADEQUATELY BRACED SUCH THAT THE STRUCTURE IS RIGID AND BEARS FULLY WITHOUT THE USE OF SHIMS.

8. BUILD UP ALL FRAMING MEMBERS WITH 16D NAILS AT 16" O. C. MAXIMUM UNLESS NOTED OTHERWISE. PROVIDE PLYWOOD FILLERS BETWEEN MEMBERS TO MATCH WALL THICKNESS.

9. PROVIDE SOLID BLOCKING UNDER ALL CONCENTRATED LOADS. PROVIDE CONTINUITY TO TOP OF FOUNDATION OR FOOTING.

10. PROVIDE A DOUBLE TOP PLATE FOR ALL EXTERIOR WALLS  
W/SPICES STAGGERED BY 4 FEET MIN.

II. FASTENERS SHALL COMPLY WITH THE FOLLOWING:

- NAILS SHALL BE COMMON WIRE NAILS, GALVANIZED & EXPOSED FRAMING  
-BOLTS, NUTS, AND WASHER SHALL BE ASTM A-307 HOT DIP GALVANIZED ATEXTERIOR EXPOSED FRAMING  
CONFORMING TO ASTM A193.  
-METAL CONNECTORS SHALL BE MANUFACTURED BY SIMPSON OR APPROVED EQUAL.  
-ALL WOOD MEMBERS TO BE NAILED PER THE MASSACHUSETTS RESIDENTIAL CODE 190 CMR 5100

12. PLYWOOD SHALL BE NAILED AT 6" O.C. AT ALL JOINTS AND EDGES & AT 10" O.C. AT OTHER SUPPORTS. GLUE PLYWOOD SUB-FLOORS TO JOISTS BEFORE NAILING WITH CONSTRUCTION ADHESIVE.

13. PROVIDE DOUBLE JOISTS UNDER PARALLEL PARTITION WALLS  
AT ALL FLOORS UNLESS OTHERWISE NOTED.

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Engineers, Architects & Associates  
**MARCOS A DEVERIS, P.E.**  
16 WOODLAND ST. LAURENCE, MA 01841  
978-682-5631/578-804-1926  
ed.incorporated@comcast.net

APPLICANT/OWNER:	VERIFIED:
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APPLICANT/OWNER:	VERIFIED:
------------------	-----------

APPROVED: \_\_\_\_\_ SIGNED: \_\_\_\_\_

APPROVED: \_\_\_\_\_ SIGNED: \_\_\_\_\_

**DRAWN BY:** \_\_\_\_\_ **ISSUED:** \_\_\_\_\_

**DRAWN BY:** \_\_\_\_\_ **ISSUED:** \_\_\_\_\_

**PROJECT:**  
DWELLING  
RENOVATION

LOCATION:  
43 JACKSON STREET,  
HAVERHILL MA 01832

CONSULTANT:

REVISION:

STAMP:

SCALE:  
N.T.S.

SCALE:  
N.T.S.

DRAWING NAME:  
STRUCTURAL NOTES

**NOTES:**  
CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS LATEST EDITION OF THE BUILDING CODE, THE BUILDING BOARD OF STANDARDS AND REGULATIONS AND THE CITY OF HAYVERHILL, MA.

90

513-281-11  
BOSQUE KARIN J-ETUX  
1 HERITAGE FARM RD  
HAVERHILL, MA 01832contract.

513-282-11  
31 BARTLETT STREET NOMINEE TR  
491 WASHINGTON ST  
LYNN, MA 01901

513-282-12  
SMART ROBERT G  
48 JACKSON ST  
HAVERHILL, MA 01832

513-282-15  
CS KING, LLC  
23 REGINA DR  
CHELMSFORD, MA 01824

513-282-18  
DUMAS PAUL A-LIFE EST  
24 JACKSON ST  
HAVERHILL, MA 01832

513-282-7  
MANON ANGEL MIGUEL  
19 BARTLETT ST  
HAVERHILL, MA 01832

513-283-7  
VETERANS NORTHEAST OUTREACH CENTER, INC  
65 CEDAR ST  
HAVERHILL, MA 01830

513-284-10  
92-98 TEMPLE STREET REALTY TRUST  
181 GREEN ST  
STONEHAM, MA 02180

513-284-14  
WELCOME HOME HOUSING LLC  
517 MOODY ST  
LOWELL, MA 01854

513-284-2  
CRUZ ISMAEL  
3 REED ST  
HAVERHILL, MA 01832

513-282-10  
MENDEZ PEDRO  
PO BOX 493  
HAVERHILL, MA 01831

513-282-11A  
GONZALEZ BORELI  
7 TYLER AVE  
HAVERHILL, MA 01832

513-282-13  
FERNALD KELLIE  
44 JACKSON ST  
HAVERHILL, MA 01832

513-282-16  
BAEZ HERMINIO CONSTANZA-ETAL  
34 JACKSON ST  
HAVERHILL, MA 01832

513-282-19  
FUENTES JOSE  
22 JACKSON ST  
HAVERHILL, MA 01832

513-282-8  
ANTONIADIS JO-ANN  
21 BARTLETT ST  
HAVERHILL, MA 01832

513-283-8  
WELCOME HOME HOUSING LLC  
517 MOODY ST  
LOWELL, MA 01854

513-284-11  
McEVOY JAMES W-ETAL  
71 ASHLAND AV  
METHUEN, MA 01844

513-284-15  
ALFA PROPERTIES LLC  
1CYR DR  
LAWRENCE, MA 01840

513-284-3  
7-9 REED STREET REALTY TRUST  
66 DEXTER ST  
HAVERHILL, MA 01830

12,3

513-282-10A  
CAMPBELL JOANN  
27 BARTLETT ST  
HAVERHILL, MA 01832

513-282-11B  
SOULIOTIS DEMETRIOS-ETUX  
106 HIGH ST  
HAVERHILL, MA 01832

513-282-14  
DAWKINS DOUGLAS G-ETUX  
1078 BROADWAY  
HAVERHILL, MA 01832

513-282-17  
SEVEN OF CLUBS REALTY TRUST  
44 LONGWOOD AV  
NORTH ANDOVER, MA 01845

513-282-6  
GARCIA JEANNETTE  
15 BARTLETT ST  
HAVERHILL, MA 01832

513-282-9  
WITHAM NOMINEE REALTY TRUST  
25 BARTLETT STREET  
HAVERHILL, MA 01832

513-284-1  
DIAZ ESMERLYN M-ETUX  
54 TEMPLE ST  
HAVERHILL, MA 01832

513-284-12  
DOMINGUEZ MIROPE Y  
82 TEMPLE STREET  
HAVERHILL, MA 01832

513-284-16  
CELEST INVESTMENTS LLC  
82 OSGOOD ST  
LAWRENCE, MA 01843

513-284-4  
29-31 JACKSON STREET, LLC  
117 SPRINGVALE AVE  
CHELSEA, MA 02150

43  
JACKSON ST  
CCSP  
25-6

9/30  
COPY



513-284-5	513-284-5A	513-284-6
33-35 JACKSON STREET LLC	33-35 JACKSON STREET LLC	WILLIAMS CARMEN ETUX
20C DEL CARMINE ST, STE 101	20C DEL CARMINE ST, STE 101	39 JACKSON ST
WAKEFIELD, MA 01880contract.	WAKEFIELD, MA 01880	HAVERHILL, MA 01830
513-284-7	513-284-8	513-284-8A
ADAMES DINELSON A	ACOSTA WILLSON G GARCIA	VILLERS ALBERT J
43 JACKSON ST	45 JACKSON ST, Unit 1	82 HIGH ST
HAVERHILL, MA 01832	HAVERHILL, MA 01832	HAVERHILL, MA 01830
513-284-9	514-285-10	514-285-11
GUILLEN YARIS MARCEL-ETAL	FALTAS HANY	ACOSTA ALMA A
80 HIGH ST	379 NORTH MAIN ST	70 HIGH ST
HAVERHILL, MA 01832	ANDOVER, MA 01810	HAVERHILL, MA 01830
514-285-12	514-285-16	514-285-17
BARRIOS MARLOND	CUNNINGHAM JUSTIN R	MORETA YUBELKIS-ETUX
66 HIGH ST	56 CENTRAL STREET	54 CENTRAL ST
HAVERHILL, MA 01832	HAVERHILL, MA 01830	HAVERHILL, MA 01832
514-285-2	514-285-3	514-285-4
HAKESLEY ROBERT ETUX	BERRIOS NAIDA-ETAL	WELCOME HOME HOUSING LLC
P O BOX 5407	15 TREMONT ST	517 MOODY ST
BRADFORD, MA 01835	HAVERHILL, MA 01832	LOWELL, MA 01854
514-285-6	514-285-7	514-285-8
73 TEMPLE STREET, LLC	73 TEMPLE STREET, LLC	BONILLA ALVIDA M
83 MAPLE ST	83 MAPLE ST	13 ARCH AV
MELROSE, MA 02176	MELROSE, MA 02176	HAVERHILL, MA 01832
514-285-9	514-286-2	514-286-2A
MEDEIROS LINDSAY M	TEMPLE GROUP HAVERHILL, LLC	NEWLIFE, LLC
93 TEMPLE ST	38 WASHINGTON ST, SUITE B	20 PROUTY RD
HAVERHILL, MA 01832	HAVERHILL, MA 01832	BURLINGTON, MA 01803
514-286-3	514-286-3A	514-286-4-1
FONTES ANTONIO M-ETUX	LANG DAVID	NIKITAS DIMITRIOS
44 ROLLILNS ST	20 TREMONT ST	5 AQUA WAY
GROVELAND, MA 01834	HAVERHILL, MA 01832	SALEM, NH 03079
514-286-4-2	514-286-4-3	514-290-16
NIKITAS DIMITRIOS	NIKITAS DIMITRIOS	IGLESIA PENTACOSTAL UNIDA EN SANTIDAD DE
5 AQUA WAY	5 AQUA WAY	75 HIGH ST
SALEM, NH 03079	SALEM, NH 03079	HAVERHILL, MA 01832
514-290-20	514-290-9	519-309-1
RIOS LUZ M-ETAL	RODRIGUEZ YUDIT-ETUX	PAREDES DAVID A
71 HIGH ST	67 HIGH ST	24 BISCAYNE DR
HAVERHILL, MA 01832	HAVERHILL, MA 01832	CHELMSFORD, MA 01824

519-309-11  
OTERO MILAGROS  
4 SWASEY ST  
HAVERHILL, MA 01832contract.

519-309-3  
89 HIGH STREET TRUST  
89 HIGH ST  
HAVERHILL, MA 01832

519-310-13  
MENDEZ SERGIO LEONEL LOPEZ  
58 JACKSON ST  
HAVERHILL, MA 01832

519-310-3  
101-103 HIGH STREET, LLC  
379 NORTH MAIN ST  
ANDOVER, MA 01810

519-311-2  
HIGH HAVERHILL, LLC  
21 BRADLEY AVE  
HAVERHILL, MA 01832

519-309-1A  
ULERIO MERCEDES I-ETAL  
92 AUBURN ST  
LAWRENCE, MA 01840

519-309-3A  
GOMEZ JUAN C-ETUX  
61 JACKSON ST, EXT  
HAVERHILL, MA 01832

519-310-2  
D & B REALTY TRUST  
37 PLAISTOW RD UNIT 7  
PLAISTOW, NH 03865

519-310-4  
7 GROVE STREET, LLC  
50 RANDALL RD  
READING, MA 01867

519-311-33  
JIMENEZ LUIS MORALES  
2-4 GROVE ST  
HAVERHILL, MA 01832

519-309-2  
JORDAN HECTOR ETALI  
87 HIGH ST  
HAVERHILL, MA 01832

519-310-1  
GAGER MORGAN D ETUX  
14 MINERAL ST  
READING, MA 01867

519-310-2A  
AMIEGBE STEPHEN EROMOSELE  
97-99 HIGH ST  
HAVERHILL, MA 01832

519-311-1  
CITY OF HAVERHILL  
4 SUMMER ST ROOM #114  
HAVERHILL, MA 01830

also :  
Applicant

A	B	C	D	E	F	G	H	I	J	K
ParcelID	StreetNum	AltStreetName	StreetName	LocCity	CondoUnit	Owner1	BillingAddress	City	State	Zip
1 513-281-11	116	HIGH ST	HAVERHILL			BOSQUE KARIN J-ETUX	1 HERITAGE FARM RD	HAVERHILL	MA	01832
2 513-282-10	29	BARTLETT ST	HAVERHILL			MENDEZ PEDRO	PO BOX 493	HAVERHILL	MA	01831
3 513-282-10A	27	BARTLETT ST	HAVERHILL			CAMPBELL JOANN	27 BARTLETT ST	HAVERHILL	MA	01832
4 513-282-11	31	BARTLETT ST	HAVERHILL			31 BARTLETT STREET NOMINEE TR	491 WASHINGTON ST	LYNN	MA	01901
5 513-282-11A	33	BARTLETT ST	HAVERHILL			GONZALEZ BORELI	7 TYLER AVE	HAVERHILL	MA	01832
6 513-282-11B	106	HIGH ST	HAVERHILL			SOULOTIS DEMETRIOS-ETUX	106 HIGH ST	HAVERHILL	MA	01832
7 513-282-12	48	JACKSON ST	HAVERHILL			SMART ROBERT G	48 JACKSON ST	HAVERHILL	MA	01832
8 513-282-12	44	JACKSON ST	HAVERHILL			FERNALD KELLIE	44 JACKSON ST	HAVERHILL	MA	01832
9 513-282-13	42	JACKSON ST	HAVERHILL			DAWKINS DOUGLAS G-ETUX	1078 BROADWAY	HAVERHILL	MA	01832
10 513-282-14	36	JACKSON ST	HAVERHILL			CS KING, LLC	23 REGINA DR	CHELMSFORD	MA	01824
11 513-282-15	34	JACKSON ST	HAVERHILL			BAEZ HERMINIO CONSTANZA-ETAL	34 JACKSON ST	HAVERHILL	MA	01832
12 513-282-16	30	JACKSON ST	HAVERHILL			SEVEN OF CLUBS REALTY TRUST	44 LONGWOOD AV	NORTH ANDOVER	MA	01845
13 513-282-17	24	JACKSON ST	HAVERHILL			DUMAS PAUL A-LIFE EST	24 JACKSON ST	HAVERHILL	MA	01832
14 513-282-18	22	JACKSON ST	HAVERHILL			FUENTES JOSE	22 JACKSON ST	HAVERHILL	MA	01832
15 513-282-19	19	BARTLETT ST	HAVERHILL			GARCIA JEANNETTE	15 BARTLETT ST	HAVERHILL	MA	01832
16 513-282-6	15	BARTLETT ST	HAVERHILL			MANON ANGEL MIGUEL	19 BARTLETT ST	HAVERHILL	MA	01832
17 513-282-7	21	BARTLETT ST	HAVERHILL			ANTONIADIS JO-ANN	21 BARTLETT ST	HAVERHILL	MA	01832
18 513-282-8	25	BARTLETT ST	HAVERHILL			WITTHAM NOMINEE REALTY TRUST	25 BARTLETT STREET	HAVERHILL	MA	01832
19 513-282-9	10	REED ST	HAVERHILL			VETERANS NORTHEAST OUTREACH CENTER, INC	65 CEDAR ST	HAVERHILL	MA	01830
20 513-283-7	2	REED ST	HAVERHILL			WELCOME HOME HOUSING LLC	517 MOODY ST	LOWELL	MA	01854
21 513-283-8	54	TEMPLE ST	HAVERHILL			DAZ ESMERLYN M-ETUX	54 TEMPLE ST	HAVERHILL	MA	01832
22 513-284-1	92	TEMPLE ST	HAVERHILL			92-98 TEMPLE STREET REALTY TRUST	181 GREEN ST	STONEHAM	MA	02180
23 513-284-10	88	TEMPLE ST	HAVERHILL			MCVOY JAMES W-ETAL	71 ASHLAND AV	METHUEN	MA	01844
24 513-284-11	82	TEMPLE ST	HAVERHILL			DOMINGUEZ MIROPE Y	82 TEMPLE STREET	HAVERHILL	MA	01832
25 513-284-12	76	TEMPLE ST	HAVERHILL			WELCOME HOME HOUSING LLC	517 MOODY ST	LOWELL	MA	01854
26 513-284-14	68	TEMPLE ST	HAVERHILL			ALFA PROPERTIES LLC	10YR DR	LAWRENCE	MA	01840
27 513-284-15	58	TEMPLE ST	HAVERHILL			CELEST INVESTMENTS LLC	82 OSGOOD ST	LAWRENCE	MA	01843
28 513-284-16	3	REED ST	HAVERHILL			CRUZ ISMAEL	3 REED ST	HAVERHILL	MA	01832
29 513-284-2	7	REED ST	HAVERHILL			7-9 REED STREET REALTY TRUST	66 DEXTER ST	HAVERHILL	MA	01830
30 513-284-3	29	JACKSON ST	HAVERHILL			29-31 JACKSON STREET, LLC	117 SPRINGVALE AVE	CHELSEA	MA	02150
31 513-284-4	35	JACKSON ST	HAVERHILL			33-35 JACKSON STREET LLC	20C DEL CARMINE ST, STE 101	WAKEFIELD	MA	01880
32 513-284-5	33	JACKSON ST	HAVERHILL			33-35 JACKSON STREET LLC	20C DEL CARMINE ST, SITE 101	WAKEFIELD	MA	01880
33 513-284-5A	39	JACKSON ST	HAVERHILL			WILLIAMS CARMEN ETUX	39 JACKSON ST	HAVERHILL	MA	01830
34 513-284-6	43	JACKSON ST	HAVERHILL			ADAMES DINEISON A	43 JACKSON ST	HAVERHILL	MA	01832
35 513-284-7	45-	JACKSON ST	HAVERHILL			JACOSTA WILLSON G GARCIA	45 JACKSON ST, Unit 1	HAVERHILL	MA	01832
36 513-284-8	82	HIGH ST	HAVERHILL			VILLERS ALBERT J	82 HIGH ST	HAVERHILL	MA	01830
37 513-284-8A	80	HIGH ST	HAVERHILL			GUILLEN YARIS MARCEL-ETAL	80 HIGH ST	HAVERHILL	MA	01832
38 513-284-9	99	TEMPLE ST	HAVERHILL			PALTAS HANY	379 NORTH MAIN ST	ANDOVER	MA	01810
39 514-285-10	70	HIGH ST	HAVERHILL			JACOSTA ALMAA	70 HIGH ST	HAVERHILL	MA	01830
40 514-285-11	66	HIGH ST	HAVERHILL			BARRIOS MARLOND	66 HIGH ST	HAVERHILL	MA	01832
41 514-285-12	56	CENTRAL ST	HAVERHILL			CUNNINGHAM JUSTIN R	56 CENTRAL STREET	HAVERHILL	MA	01830
42 514-285-16	52	CENTRAL ST	HAVERHILL			MORETA VYBELKIS-ETUX	54 CENTRAL ST	HAVERHILL	MA	01832
43 514-285-17	13	TREMONT ST	HAVERHILL			HAKESLEY ROBERT ETUX	P O BOX 5407	BRADFORD	MA	01835
44 514-285-2	15	TREMONT ST	HAVERHILL			BERRIOS NAIDA-ETAL	15 TREMONT ST	HAVERHILL	MA	01832
45 514-285-3	19	TREMONT ST	HAVERHILL			WELCOME HOME HOUSING LLC	517 MOODY ST	LOWELL	MA	01854
46 514-285-4	73	TEMPLE ST	HAVERHILL			73 TEMPLE STREET, LLC	83 MAPLE ST	MELROSE	MA	02176
47 514-285-6	87	TEMPLE ST	HAVERHILL			73 TEMPLE STREET, LLC	83 MAPLE ST	MELROSE	MA	02176
48 514-285-7	91	TEMPLE ST	HAVERHILL			BONILLA ALVIDA M	13 ARCH AV	HAVERHILL	MA	01832
49 514-285-8	93	TEMPLE ST	HAVERHILL			MEDEROS LINDSAY M	93 TEMPLE ST	HAVERHILL	MA	01832
50 514-285-9	93	TEMPLE ST	HAVERHILL			MEDEROS LINDSAY M	93 TEMPLE ST	HAVERHILL	MA	01832



A	B	C	D	E	F	G	H	I	J	K
51 514-286-2	61		TEMPLE ST	HAVERHILL	TEMPLE GROUP HAVERHILL, LLC		38 WASHINGTON ST, SUITE B	HAVERHILL	MA	01832
52 514-286-2A	8	10	BEACON ST	HAVERHILL	NEWLIFE, LLC		20 PROUTY RD	BURLINGTON	MA	01803
53 514-286-3	65		TEMPLE ST	HAVERHILL	FONTES ANTONIO M-ETUX		44 ROLLINS ST	GROVELAND	MA	01834
54 514-286-3A	20		TREMONT ST	HAVERHILL	LANG DAVID		20 TREMONT ST	HAVERHILL	MA	01832
55 514-286-4-1	16		TREMONT ST	HAVERHILL	1 NIKITAS DIMITRIOS		5 AQUA WAY	SALEM	NH	03079
56 514-286-4-2	16		TREMONT ST	HAVERHILL	2 NIKITAS DIMITRIOS		5 AQUA WAY	SALEM	NH	03079
57 514-286-4-3	16		TREMONT ST	HAVERHILL	3 NIKITAS DIMITRIOS		5 AQUA WAY	SALEM	NH	03079
58 514-290-16	75		HIGH ST	HAVERHILL	IGLESIA PENTACOSTAL UNIDA EN SANTIDAD DE		75 HIGH ST	HAVERHILL	MA	01832
59 514-290-20	71		HIGH ST	HAVERHILL	RIOS LUZ M-ETAL		71 HIGH ST	HAVERHILL	MA	01832
60 514-290-9	67		HIGH ST	HAVERHILL	RODRIGUEZ YUDIT-ETUX		167 HIGH ST	HAVERHILL	MA	01832
61 519-309-1	83		HIGH ST	HAVERHILL	PARADES DAVID A		24 BISCAYNE DR	HAVERHILL	MA	01832
62 519-309-11	4		SWASEY ST	HAVERHILL	OTERO MLAGROS		14 SWASEY ST	HAVERHILL	MA	01832
63 519-309-1A	2		SWASEY ST	HAVERHILL	ULERIO MERCEDES I-ETAL		92 AUBURN ST	LAWRENCE	MA	01840
64 519-309-2	87		HIGH ST	HAVERHILL	JORDAN HECTOR ETAL		87 HIGH ST	HAVERHILL	MA	01832
65 519-309-3	89	91	HIGH ST	HAVERHILL	89 HIGH STREET TRUST		89 HIGH ST	HAVERHILL	MA	01832
66 519-309-3A	61		JACKSON ST	HAVERHILL	GOMEZ JUAN C-ETUX		61 JACKSON ST, EXT	HAVERHILL	MA	01832
67 519-310-1	93		HIGH ST	HAVERHILL	GAGER MORGAN D ETUX		14 MINERAL ST	READING	MA	01867
68 519-310-13	58		JACKSON ST	HAVERHILL	MENDEZ SERGIO LEONEL LOPEZ		58 JACKSON ST	HAVERHILL	MA	01832
69 519-310-2	95		HIGH ST	HAVERHILL	D & B REALTY TRUST		37 PLASTOW RD UNIT 7	PLASTOW	NH	03865
70 519-310-2A	97		HIGH ST	HAVERHILL	AMIEGBE STEPHEN EROMOSELE		97-99 HIGH ST	HAVERHILL	MA	01832
71 519-310-3	101	103	HIGH ST	HAVERHILL	101-103 HIGH STREET, LLC		379 NORTH MAIN ST	ANDOVER	MA	01810
72 519-310-4	7		GROVE ST	HAVERHILL	7 GROVE STREET, LLC		50 RANDALL RD	READING	MA	01867
73 519-311-1	107		HIGH ST	HAVERHILL	CITY OF HAVERHILL		4 SUMMER ST ROOM #114	HAVERHILL	MA	01830
74 519-311-2	109		HIGH ST	HAVERHILL	HIGH HAVERHILL, LLC		21 BRADLEY AVE	HAVERHILL	MA	01832
75 519-311-33	2		GROVE ST	HAVERHILL	JIMENEZ LUIS MORALES		2-4 GROVE ST	HAVERHILL	MA	01832

BOARD OF ASSESSORS  
CITY OF HAVERHILL  
4 SUMMER STREET • RM 115  
HAVERHILL, MA 01830-5843

90

90

City Council Special Permit

**CCSP-25-6**

Submitted On: May 22, 2025

**Applicant**

👤 Marcos Devers  
📞 9788047588  
@ mdjincorporated@comcast.net

**Primary Location**

43 JACKSON ST  
Haverhill, MA 01832

Hearing  
Sept 30, 2025

**Important: Please Read Before Starting Your Application**

**Applicant Information**

**What is Your Role in This Process?**

Attorney/Agent

**Applicant Business/Firm Phone**

978-804-7588

**Applicant Business/Firm City**

Lawrence

**Applicant Business/Firm Zip**

01841

**Client Business Name**

Evelin Perez

**Client Email**

lvinperez06@icloud.com

**Client City**

Lawrence

**Client Zip**

01841

**Client Business Structure**

Sole Proprietorship

**Applicant Business/Firm Name**

MDJ Incorporated

**Applicant Business/Firm Address**

16 Woodland St

**Applicant Business/Firm State**

MA

**Client Name**

Evelin Perez

**Client Phone**

978-387-9076

**Client Address**

19 Custer St

**Client State**

MA

**Client County**

Essex

**New Field**

None

Ads  
9/11 + 9/18

IN CITY COUNCIL: July 22 2025

VOTED: that HEARING BE HELD

SEPTEMBER 30 2025

Attest: Kaitlin M. Wright City Clerk

JUL 9 AM 11:40  
HAVCITYCLERK

**Property Information**

**Proposed Housing Plan Name**

Conversion of 2-Family to Three-Family Dwelling

**How Long Owned by Current Owner?**

3 Years

**Lot Dimension(s)**

11,700 s.f.

**Zoning District Where Property Located**

RU - Residential Urban Density

**Deed Recorded in Essex South Registry: Page**

484

**Proposed Street Name(s)**

43 Jackson St

**Type of Dwelling(s) Planned in Project**

Multi-Family

**Registry Plat Number, Block & Lot**

513-284-7

**Deed Recorded in Essex South Registry: Block Number**

42559

**Does the Property Have Multiple Lots?**

No

**Thoroughly Describe the Reason(s) for thre Special Permit**

The reconstruction, extension and structural conversion and increase of existing use of a 2-Family to Three-Family Dwelling structure in such a manner as to increase the livable space, including the extension of an exterior wall at or along the same setback distance from the left side property line.,

**Property Description**



Hearing March 18, 2025  
**Haverhill**

Economic Development and Planning  
Phone: 978-374-2330 Fax: 978-374-2315  
wpillsbury@HaverhillMA.gov

DATE: January 7, 2025

MEMO TO: City Council President Thomas Sullivan and members of the Haverhill City Council

FROM: William Pillsbury, Economic Development and Planning Director

**RE: Zoning Amendment- Battery Energy Storage Systems**

Attached please find a proposed zoning ordinance amendment prepared by City Solicitor Lisa Mead. The proposed amendment creates a regulatory framework and necessary tools for detailed and thorough review of any applications filed to create Battery storage facilities.

I request that the council refer the proposed ordinance to the planning board for a hearing to be held on February 12, 2025, and also schedule a hearing before the council on the proposed amendment shortly thereafter.

Thank you for your attention to this matter.

**RECOMMENDATION: Refer the proposed amendment to the Planning BOARD FOR A HEARING ON FEBRUARY 12, 2025 and schedule a hearing on the city council agenda shortly thereafter.**

IN CITY COUNCIL: January 7 2025  
REFER TO PLANNING BOARD AND VOTED THAT  
COUNCIL HEARING BE HELD MARCH 18 2025  
Attest:

\_\_\_\_\_  
City Clerk

IN CITY COUNCIL: March 18 2025  
HEARING CONTINUED TO APRIL 29 2025  
Attest:

\_\_\_\_\_  
City Clerk

IN CITY COUNCIL: April 29 2025  
HEARING CONTINUED TO JUNE 3 2025  
Attest:

\_\_\_\_\_  
City Clerk

IN CITY COUNCIL: June 3 2025  
REQUEST TO CONTINUE BY CITY SOLICITOR TO JULY 8 2025

4 Summer Street—Room 201, Haverhill, MA 01830 [www.cityofhaverhill.com](http://www.cityofhaverhill.com)

Attest:

\_\_\_\_\_  
City Clerk

IN CITY COUNCIL: July 8 2025  
REQUEST TO CONTINUE TO AUGUST 5 2025  
Attest:

\_\_\_\_\_  
City Clerk

IN CITY COUNCIL: August 5 2025  
CONTINUE TO SEPTEMBER 30, 2025  
Attest:

\_\_\_\_\_  
City Clerk

JAN 2 PM 3:41  
Haverhill City Clerk

## Kaitlin Wright

---

**From:** Lisa Mead <lisa@mtclawyers.com>  
**Sent:** Wednesday, September 24, 2025 4:56 PM  
**To:** Kaitlin Wright; Thomas J Sullivan, Esq.  
**Cc:** William Pillsbury; Mayor; Lori Robertson  
**Subject:** RE: BESS Zoning Hearing

**Warning! External Email. Exercise caution when opening attachments or clicking on any links.**

This will need to be continued to the first meeting in December. I believe that is what we discussed Mayor, correct?

Lisa

Lisa L. Mead

[she/her/hers]



Mead, Talerman & Costa LLC


30 Green St

Newburyport MA 01950

978 463 7700 ext 101

978 463 7747 (fax)

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 Think before you print.

---

**From:** Kaitlin Wright <kwright@haverhillma.gov>  
**Sent:** Wednesday, September 24, 2025 4:39 PM  
**To:** Lisa Mead <lisa@mtclawyers.com>; Thomas J Sullivan, Esq. <tsullivan@dlgclosing.com>  
**Cc:** William Pillsbury <wpillsbury@haverhillma.gov>; Mayor <mayor@haverhillma.gov>; Lori Robertson



## Kaitlin Wright

---

**From:** Lisa Mead <lisa@mtclawyers.com>  
**Sent:** Thursday, July 31, 2025 4:48 PM  
**To:** Thomas J Sullivan, Esq.  
**Cc:** Kaitlin Wright; William Pillsbury; Mayor; Lori Robertson  
**Subject:** RE: BESS Zoning Hearing

**Warning! External Email. Exercise caution when opening attachments or clicking on any links.**  
Go to the last meeting in September.

Lisa L. Mead

[she/her/hers]



Mead, Talerman & Costa LLC

30 Green St

Newburyport MA 01950

978 463 7700 ext 101

978 463 7747 (fax)

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---

**From:** Thomas J Sullivan, Esq. <tsullivan@dlgclosing.com>  
**Sent:** Thursday, July 31, 2025 4:31 PM  
**To:** Lisa Mead <lisa@mtclawyers.com>  
**Cc:** Kaitlin Wright <kwright@haverhillma.gov>; William Pillsbury <wpillsbury@haverhillma.gov>; Mayor <mayor@haverhillma.gov>; Lori Robertson <lrobertson@haverhillma.gov>  
**Subject:** Re: BESS Zoning Hearing



**Kaitlin Wright**

10.2

**From:** Thomas J Sullivan, Esq. <tsullivan@dlgclosing.com>  
**Sent:** Thursday, July 3, 2025 11:29 AM  
**To:** Lisa Mead; Kaitlin Wright; William Pillsbury  
**Cc:** Mayor; Lori Robertson  
**Subject:** RE: BESS Zoning Hearing

**Warning! External Email. Exercise caution when opening attachments or clicking on any links.**

Hi,

Let's continue until the first meeting in August please.

TY!

August 5, 2025

Tom

Thomas J. Sullivan, Esq.  
Downey Law Group, LLC  
[tsullivan@dlgclosing.com](mailto:tsullivan@dlgclosing.com)

Main Office and Mailing Address:  
462 Boston Street  
Topsfield, MA 01983  
Phone: (978) 887-1000  
Fax: (978) 887-1021



Satellite Office:  
345 Main Street  
Haverhill, MA 01830  
Phone: 978-373-2200

**From:** Lisa Mead <lisa@mtclawyers.com>  
**Sent:** Thursday, July 3, 2025 11:25 AM  
**To:** Kaitlin Wright <kwright@haverhillma.gov>; Thomas J Sullivan, Esq. <tsullivan@dlgclosing.com>; William Pillsbury <wpillsbury@haverhillma.gov>  
**Cc:** Mayor <mayor@haverhillma.gov>; Lori Robertson <lrobertson@haverhillma.gov>  
**Subject:** RE: BESS Zoning Hearing

Please continue it again, we are waiting to hear from the developer. I would take it out a month.

Lisa L. Mead

[she/her/hers]

## Kaitlin Wright

---

**From:** Lisa Mead <lisa@mtclawyers.com>  
**Sent:** Sunday, June 1, 2025 7:22 PM  
**To:** Thomas J Sullivan, Esq.; Thomas J. Sullivan; Kaitlin Wright  
**Cc:** William Pillsbury; Mayor  
**Subject:** BESS Zoning

**Warning! External Email. Exercise caution when opening attachments or clicking on any links.**

Tom,

Please continue this public hearing to your first meeting in July. We are waiting to hear back from the developers.

Thank you,

Lisa

Lisa L. Mead

[she/her/hers]



Mead, Talerman & Costa LLC

30 Green St

Newburyport MA 01950

978 463 7700 ext 101

978 463 7747 (fax)

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 Think before you print.

## Kaitlin Wright

---

**From:** William Pillsbury  
**Sent:** Monday, April 28, 2025 11:30 AM  
**To:** Kaitlin Wright  
**Cc:** Mayor; Lori Robertson; Lisa Mead  
**Subject:** Request to postpone Zoning hearing on Battery Storage

Hi Kaitlin: At the request of City Solicitor Lisa Mead after discussion with President Sullivan, please accept this request to postpone the hearing on the Battery Energy Storage Systems (BESS) to the meeting of June 3<sup>rd</sup>. Thanks for your attention to this matter.

William Pillsbury  
Economic Development and Planning Director

APR 28 AM 11:31  
HAYCITYCLERK

**Maria Bevilacqua**

#41 ✓

10.2.1.4

**To:** HGLegals@hgazette.com  
**Cc:** Kaitlin Wright  
**Subject:** Hearing - Zoning Amendment-add new section 7.9 Battery Energy Storage Systems  
**Attachments:** Hearing Zoning 2025 - Add new section 7.9 Battery Energy Storage Systems-Gazette  
Feb 20 & 27 2025.docx

Afternoon:

Please run this Hearing ad 2 times in the Gazette – Feb 20 & 27, 2025. Hearing Zoning Amendment – add a new section 7.9 Battery Energy Storage Systems.

Questions - please contact me at 978-420-3624.

Thank you!

Maria Bevilacqua

City Clerk's Office  
Room 118  
4 Summer st  
Haverhill, MA 01830



# Haverhill

City Clerk's Office, Room 118  
Phone: 978-420-3623 Fax: 978-373-8490  
cityclerk@cityofhaverhill.com

January 7, 2025

## HYBRID HEARING

City Council Chambers, City Hall, Room 202, 4 Summer st

Notice is hereby given that a hearing will be held for all parties interested, in a hybrid meeting (virtual/in person), on Tuesday, March 18, 2025 at 7:00 pm on a request from Economic Development and Planning Director, William Pillsbury, for a Zoning Amendment – add a new section 7.9 Battery Energy Storage Systems  
REFER TO PLANNING BOARD AND  
COUNCIL HEARING MARCH 18, 2025

*(Residents who are interested in commenting on this item can either (1) Attend in person (Council Chambers, Room 202) or (2) Attend remotely using the link provided on the public meeting calendar on the City's website)*

Description of area, maps and plans are on file in the City Clerk's Office.

Advertise: February 20 & February 27, 2025  
Haverhill Gazette

Kaitlin M Wright  
City Clerk





DOCUMENT 5-B

1012

## CITY OF HAVERHILL

In Municipal Council January 7 2025

~~ORDERED~~XXX

MUNICIPAL ORDINANCE

CHAPTER

An Ordinance re: Zoning - Add new section 7.9 Battery Storage Systems

Since this Ordinance exceeds in length eight octavo pages of ordinary book print, in lieu of advertising, it is published by the City Council in a municipal bulletin placed on file in the City Clerk's Office and posted on the municipal bulletin in City Hall.

5-B

PLACED ON FILE for at least 10 days

Attest;

\_\_\_\_\_  
Kaithin M. Wright City Clerk

**Maria Bevilacqua**

*Hearing*

**From:** North of Boston <noreply@wave2adportal.com>  
**Sent:** Friday, January 10, 2025 4:16 PM  
**To:** Maria Bevilacqua; Maria Bevilacqua  
**Subject:** Thank you for placing your order with us.  
**Attachments:** W01296210.pdf

**Warning! External Email. Exercise caution when opening attachments or clicking on any links.**

**THANK YOU for your notice submission!**

This is your confirmation that your order has been submitted. Below are the details of your transaction. Please save this confirmation for your records.

**Job Details**

Order Number:  
**W0129621**  
Business Type:  
All Other Public Notices  
Notice Size:  
Public Notices  
Notice Estimate:  
\$184.62  
Referral Code: *Hearing*  
**7.9 Battery Energy Storage**

**Account Details**

Haverhill Clerk  
4 SUMMER ST STE 118  
HAVERHILL, MA 01830  
978-374-2312  
cityclerk@cityofhaverhill.com  
HAVERHILL CITY CLERK

**Schedule for notice number W01296210**

Thu Feb 20, 2025  
Haverhill Gazette Public Notices  
All Zones  
Thu Feb 27, 2025  
Haverhill Gazette Public Notices  
All Zones

**HYBRID HEARING**

**City Council Chambers, City Hall, Room 202, 4 Summer st**  
Notice is hereby given that a hearing will be held for all parties interested, in a hybrid meeting (virtual/in person), on Tuesday, March 18, 2025 at 7:00 pm on a request from Economic Development and Planning Director, William Pillsbury, for a Zoning Amendment - Mixed Use  
REFER TO PLANNING BOARD AND  
COUNCIL HEARING MARCH 18, 2025  
**(Residents who are interested in commenting on this item can either (1) Attend in person (Council Chambers, Room 202) or (2) Attend remotely using the link provided on the public meeting calendar on the City's website)**  
Description of area, maps and plans are on file in the City Clerk's Office.

Kaitlin M Wright  
City Clerk

HG - Publication Dates

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## Maria Bevilacqua

---

**From:** CMacDonald@salemnews.com on behalf of HGLegals@hgazette.com  
**Sent:** Friday, January 10, 2025 4:15 PM  
**To:** Maria Bevilacqua  
**Cc:** Maria Bevilacqua  
**Subject:** Re: Hearing - Zoning Amendment-add new section 7.9 Battery Energy Storage Systems

Thank you for your email. This notice has been placed through our online legal notice portal. The confirmation has been emailed to you with the proof copy, print date, and cost. An invoice will be sent at the end of the month.

Please let us know if you need any changes or if you have not received the confirmation email.

Cordially,  
Christa MacDonald  
Haverhill Gazette  
North of Boston Media Group  
978-946-2157  
100 Turnpike St.  
North Andover, MA 01845

•Emails received after **3:00 p.m.** will not be processed until the following business day. This includes both requests for changes and new orders. For urgent matters please contact our Legal Advertising Manager, Christa MacDonald, at [cmacdonald@northofboston.com](mailto:cmacdonald@northofboston.com)

•Please review your proof promptly. If no changes are requested, the notice will print as shown.

•To our pre-pay customers -- payment will be required before publication.

---

**From:** "Maria Bevilacqua" <maria@haverhillma.gov>  
**To:** "HGLegals@hgazette.com" <HGLegals@hgazette.com>  
**Cc:** "Kaitlin Wright" <kwright@haverhillma.gov>  
**Date:** 01/07/2025 03:14 PM  
**Subject:** Hearing - Zoning Amendment-add new section 7.9 Battery Energy Storage Systems

---

Afternoon:

Please run this Hearing ad 2 times in the Gazette – Feb 20 & 27, 2025. Hearing Zoning Amendment – add a new section 7.9 Battery Energy Storage Systems.

Questions - please contact me at 978-420-3624.

Thank you!

**Maria Bevilacqua**

Ordinance

**From:** North of Boston <noreply@wave2adportal.com>  
**Sent:** Friday, January 10, 2025 3:59 PM  
**To:** Maria Bevilacqua; Kaitlin Wright  
**Subject:** Thank you for placing your order with us.  
**Attachments:** W01296150.pdf

**Warning! External Email. Exercise caution when opening attachments or clicking on any links.**

**THANK YOU for your notice submission!**

This is your confirmation that your order has been submitted. Below are the details of your transaction. Please save this confirmation for your records.

**Job Details**

Order Number:  
**W0129615**  
Business Type:  
All Other Public Notices  
Notice Size:  
Public Notices  
Notice Estimate:  
\$46.15  
Referral Code:

**Zoning Ordinance Battery Storage Systems**

**Account Details**

Haverhill Clerk  
4 SUMMER ST STE 118  
HAVERHILL, MA 01830  
978-374-2312  
cityclerk@cityofhaverhill.com  
HAVERHILL CITY CLERK

**Schedule for notice number W01296150**

Thu Feb 20, 2025  
Haverhill Gazette Public Notices  
All Zones

**CITY OF HAVERHILL**  
**In Municipal Council**  
**Municipal Ordinance Chapter**  
An Ordinance re: Zoning - Add new  
section 7.9 Battery Storage Systems  
Since this Ordinance exceeds in  
length eight octavo pages of ordi-  
nary book print, in lieu of advertis-  
ing, it is published by the City Coun-  
cil in a municipal bulletin placed on  
file in the City Clerk's Office and  
posted on the municipal bulletin in  
City Hall.  
**PLACED ON FILE for at least 10**  
**days**  
Attest: Kaitlin M Wright City Clerk  
HG - February 20 2025

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*This is an automated message, please do not reply to this e-mail. If you have any questions or concerns you may contact us toll-free at 800-681-6248.*

Maria Bevilacqua

City Clerk's Office

Room 118

4 Summer st

Haverhill, MA 01830[attachment "Hearing Zoning 2025 - Add new section 7.9 Battery Energy Storage Systems-Gazette Feb 20 & 27 2025.docx" deleted by Christa MacDonald/NOB]



Filed

8 Octavo pages

5-B

**MUNICIPAL ORDINANCE CHAPTER 255 Zoning****AN ORDINANCE RELATING TO AMENDING CHAPTER 255, ZONING BY ADDING A NEW SECTION 7.9 BATTERY ENERGY STORAGE SYSTEMS**

**BE IT ORDAINED** by the City Council of the City of Haverhill that Chapter 255, Zoning, of the Code of the City of Haverhill, as amended, being and is hereby further amended as follows by inserting the following new section 7.9 entitled "Battery Energy Storage Systems";

**§7.9 BATTERY ENERGY STORAGE SYSTEMS****§7.9.1. Purpose.**

The purpose of this Section is to advance and protect the public health, safety, welfare, and quality of life by creating regulations for the installation and use of free-standing battery energy storage systems ("BESS"), with the following objectives:

- A. To provide a regulatory scheme for the location, construction and operation of free-standing BESS consistent with best practices and safety protocols;
- B. To ensure compatible land uses in the vicinity of the areas affected by BESS and to mitigate any potential impacts on abutting and nearby properties; and
- C. To mitigate the impacts of BESS on environmental resources such as agricultural lands, forests, wildlife, wetlands and other natural resources.

This Section shall be construed to be consistent with state law, including but not limited to the provisions of General Laws chapter 40A, section 3, and state regulations, including but not limited to the provisions of the State Building Code, State Fire Code, and State Electrical Code. In the event of any conflict between the provisions of this section and the provisions of state law or regulations, the state law and regulations shall prevail.

**7.9.2. Definitions.**

See "battery energy storage systems" in Section 11.0

**7.9.3 Applicability.**

- A. The requirements of this ordinance shall apply to BESS permitted, installed, decommissioned or modified after the effective date of this ordinance, excluding general maintenance and repair. BESS subject to this ordinance are only those that exceed the following capacities:

For Hearing 11/16/18, 2025

5-B

10.2.1.5

- Lead-acid with a capacity of greater than 70 kW
- Nickel with a capacity of greater than 70 kW
- Lithium-ion with a capacity of greater than 30 kW
- Sodium nickel chloride with a capacity of greater than 20 kW
- Flow with a capacity of greater than 20 kW
- Other battery technologies with a capacity of greater than 20 kW

B. Only BESS that meet the criteria herein shall be permitted under this ordinance. BESS permitted under and subject to this ordinance shall be classified either as a Tier 1, Tier 2 or Tier 3 BESS as set forth herein. All sizes noted in this section shall include the total capacity of the proposed facility and not refer solely as a limitation on total export. For avoidance of doubt, a proposed system which has an export capacity of 50 MW but has a total storage or redundancy capacity of 100 MW shall be treated as a 100 MW system.

1. Tier 1 BESS have an aggregate capacity less than or equal to 500 kW, derive 51% or more of their power from Solar Energy Systems as defined herein, and, if in a room or enclosed area, consist of only a single energy storage system technology.
2. Tier 2 BESS consist of those which meet one or more of the following criteria;
  - a. have an aggregate energy capacity greater than 500kW and less than 5 MW, but no greater than 5 MW;
  - b. are comprised of more than one storage battery facility in a room or enclosed area;
  - c. derive less than 51% of their power from Solar Energy Systems as defined herein.
3. Tier 3 BESS consist of those which meet one or more of the following criteria;
  - a. have an aggregate capacity greater than 5 MW, but no greater than 200MW;
  - b. are comprised of more than one storage battery facility in a room or enclosed area;
  - c. derive less than 51% of their power from Solar Energy Systems as defined herein.

§ 7.9.4. General Requirements

- A. All permits required by state codes, including but not limited to building permit, an electrical permit, and a fire department permit shall be required for installation of all BESS.
- B. All BESS, all Dedicated Use Buildings, and all other buildings or structures that (a) contain or are otherwise associated with a battery energy storage system; and (b) subject to the requirements of the State Building Code, shall be designed, erected, and installed in accordance with all applicable provisions of the State Building Code

5-B  
780 CMR, State Fire Code 527 CMR 1.00, and State Electrical Code 527 CMR 12.00. All BESS shall comply with NFPA 855, Standard for the Installation of Stationary Energy Storage Systems.

- C. Energy storage system capacities, including array capacity and separation, are limited to the thresholds contained in NFPA 855.

#### § 7.9.5. Permitting Requirements for Tier 1 BESS

Tier 1 BESS are allowed by right in all zoning districts, subject to applicable provisions of the State Building Code, Electrical Code, Fire Code, and other applicable codes, and are subject to site plan review in accordance with section 10.8 hereof and such provisions of this ordinance as are applicable.

Tier 1 BESS and appurtenances shall be prohibited in the Zone A and Zone 1 public water supply protection areas.

#### § 7.9.6. Permitting Requirements for Tier 1, Tier 2 and Tier 3 BESS

§ 7.9.6.1 Special Permit Required. Tier 2 and Tier 3 BESS subject to this ordinance require the issuance of a Special Permit in those zoning districts identified in Appendix A, Table 1, and are subject to Major Site Plan Review pursuant to Section 10.8. Tier 2 and Tier 3 BESS shall comply with the applicable requirements set forth in this ordinance including the General Special Permit Criteria set forth in section 10.4.2, as well as this Section 7.9, and the Haverhill General Ordinances. The City Council shall be the Special Permit Granting Authority ("SPGA"). The Applicant shall be required to submit all materials required in accordance with the SPGA Rules and Regulations, in addition to any other materials necessary or as may be required in order to support that the Application meets the Design Requirements set forth in section 7.9.6.2 herein.

§ 7.9.6.1.1 Development Review Required As Part of Hearing Process: For the purpose of a Special Permit filed hereunder, the Applicant shall be required to submit a complete application for a Special Permit in accordance with the Requirements hereunder. Following the opening of the Public Hearing by the SPGA, the Application shall be referred to the Development Review Committee as set forth in §10.1.4 hereof. The Development Review Committee shall meet with the Applicant who shall be required to provide any additional information as the Committee may reasonably request and the Development Review Committee shall provide the SPGA with its recommendations within ninety (90) days of the date upon which the application was thereto referred.

§ 7.9.6.1.2 Prohibitions: Notwithstanding the foregoing, Tier 2 and Tier 3 BESS and appurtenances shall be prohibited in the Zone A and Zone I public water supply protection areas.

§ 7.9.6.2 Design Requirements. The following requirements apply to all BESS subject to this ordinance, except where it is specifically noted to apply only to Tier 2 or Tier 3 BESS:

- A. Site Plan Drawings. The Applicant shall provide a full set of Site Drawings stamped by a Massachusetts Registered Professional Engineer inclusive of items set forth in section 7.9.7.K.1 hereof.

5-B

10.2.15

- B. Utility Lines and Electrical Circuitry. All on-site utility lines shall be placed underground to the extent feasible and as permitted by the serving utility, with the exception of the main service connection at the utility company right-of-way and any new interconnection equipment, including without limitation any poles.
- C. Signage. Signage shall comply with the requirements of Section 6.2 of this Zoning Ordinance and the following additional requirements; in the event of a conflict between the provisions of Section 6.2 and this section, the requirements of this section shall control.
  - 1. The signage shall be in compliance with ANSI Z535 and shall include the type of technology associated with the BESS, any special hazards associated, the type of suppression system installed in the area of BESS, and 24-hour emergency contact information, including reach-back phone number.
  - 2. As required by the state electrical code, disconnect and other emergency shutoff information shall be clearly displayed on a light reflective surface. A clearly visible warning sign concerning voltage shall be placed at the base of all pad-mounted transformers and substations.
  - 3. Signage compliant with ANSI Z535 shall be provided on doors to rooms, entrances to BESS facilities, and on BESS outdoor containers.
- D. Lighting. Lighting of the BESS shall be limited to that minimally required for safety, security and operational purposes, shall be shielded from abutting properties, shall be directed downward, shall incorporate full cut-off fixtures to reduce light pollution and shall otherwise be consistent with local, state and federal law. A photometric plan shall be required.
- E. Vegetation and tree cutting. Areas within ten feet on each side of Tier 2 and Tier 3 BESS shall be cleared of combustible vegetation and other combustible growth. Single specimens of trees, shrubbery, or cultivated ground cover such as green grass, ivy, succulents, or similar plants used as ground covers shall be permitted provided that they do not form a means of readily transmitting fire. Removal of trees should be minimized to the extent possible. No tree or vegetation clearing shall be permitted within the Setbacks as noted below except for the purposes of the area of ingress and egress to the site. Vegetation control in the Water Supply Protection Overlay District (WSPOD) shall be by mowing or other mechanical means. The use of synthetic pesticides, herbicides, and fertilizers shall be prohibited for BESS facilities within the WSPOD.
- F. Setbacks. Tier 2 and Tier 3 BESS shall be set back a minimum of 50 yards from all side, rear, and front lot lines; except that Tier 2 and Tier 3 BESS shall be set back a minimum of 100 yards from side, rear, and front lot lines that abut or are across a street from residential zoning districts or existing single, two-family, or multi-family structures. The minimum setback areas shall include a Buffer Area at least fifty feet wide along all property lines. Access drives and parking are allowed in the setback areas, except emergency access as noted below, but shall not intrude into the required setback areas except where necessary to provide access or egress to the property. In addition, a minimum of 50 feet must be maintained between BESS components and all buildings, stored combustible materials, hazardous materials, high-piled storage, personnel means of egress, and other exposure hazards not associated with electrical grid infrastructure.
- G. Emergency Access: There shall be a 60-foot-wide paved emergency access road around the

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complete perimeter of the facility but inside the required setback area which may not exceed a 7% grade at any time. Ongoing maintenance of the access road including snow removal after 3 inches of snow shall be included as part of the Operations and Maintenance Plan required herein.

- H. Lot Size. The minimum lot size for Tier 1 BESS shall not be less than 1 acre. The minimum lot size for a Tier 2 BESS shall be not less than 10 acres and the minimum lot size for a Tier 3 BESS shall be no less than 20.
- I. Dimensional. All BESS shall comply with the dimensional limitations for principal structures of the underlying zoning district as provided in Appendix B, Table 2, of this Zoning Ordinance, unless otherwise provided in this ordinance. No BESS shall exceed 15 feet in height and there shall be no vertical stacking of BESS units.
- J. Fencing Requirements. Tier 2 and Tier 3 BESS, including all mechanical equipment, shall be enclosed by a minimum eight-foot high fence with a self-locking gate to prevent unauthorized access unless housed in a dedicated-use building. All gates shall accommodate a knox box or other accessible means to allow access to public safety personnel. Security barriers, fences, landscaping, and other enclosures must not inhibit required air flow to or exhaust from the BESS and components. Electrical equipment greater than 1,000V require a separate and additional means to restrict access. NFPA 855 requires specialty safety systems to be provided based on the BESS chemistry and installed location.
- K. Screening and Visibility. Tier 2 and Tier 3 BESS shall have views minimized from adjacent properties to the extent reasonably practicable using architectural features, earth berms, landscaping, or other screening methods that will harmonize with the character of the property and surrounding area. Such features may not inhibit required air flow to or exhaust from the BESS and components and must comply with the setbacks established in paragraph G above.
- L. Failure Protection. All Tier 2 and Tier 3 BESS shall include an impenetrable layer beneath the surface and no closer than four (4) feet to the closest water table which will cause any discharge to flow into a basin located on site which will then capture and/or treat any runoff as a result of a failed battery or fire or other destruction. The Application shall include details of the proposed catchment system along with a detailed stormwater report and stamped detailed engineering plans from a Massachusetts Registered Professional Engineer depicting the stormwater system. All BESS facilities located within the WSPOD shall have full containment to capture all releases, either intentionally from maintenance or accidental in nature. Release and runoff shall not be allowed.
- M. Batteries. Failed battery cells and modules shall not be stored on the site and shall be removed no later than 30 days after deemed failed by the BESS operator or cell/module manufacturer. The operator shall notify the Haverhill Fire Chief in advance if the type of battery or batteries used onsite is to be changed. All failed battery cells and modules shall not be stored outdoors and must be protected from further damage and potential release of contaminants to the environment.
- N. Storage. No equipment or hazardous materials, in liquid, dry, or gas form, shall be stored onsite of the BESS other than those items in quantities necessary for the proper operation of the facility. Any storage for materials deemed necessary shall be properly labeled, covered and contained to protect from release to the environment.



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- O. Acoustical Impacts. No system shall cause an increase in acoustical levels over ambient at the Property line. An acoustical study prepared by a Massachusetts Registered Acoustical Engineer shall be provided.
- P. Water Source. A municipal water source shall be provided including a FDC within 100 feet before the entrance to the Hazard Area on the Property. The Applicant shall present evidence including a hydraulic analysis in accordance to the City standard to support that there is adequate volume and pressure for fire suppression on the Property and not have a detrimental impact on the surrounding neighborhood. The applicant shall be required to make any related offsite improvement to achieve the required standard to alleviate any impact on the adjacent users.
- Q. Decommissioning Plan. The applicant shall submit with its application a decommissioning plan for all BESS to be implemented upon abandonment and/or in conjunction with removal of the facility. The owner or operator of the BESS shall notify the Building Commissioner in writing at least twenty days prior to when a BESS will be decommissioned. Decommissioning of an abandoned or discontinued BESS shall be completed within six months after the facility ceases operation. The decommissioning plan shall include:
1. A narrative description of the activities to be accomplished, including who will perform that activity and at what point in time, for complete physical removal of all BESS components, structures, equipment, security barriers, and transmission lines from the site;
  2. Disposal of all solid and hazardous waste in accordance with local, state, and federal waste disposal regulations;
  3. The anticipated life of the BESS;
  4. The estimated decommissioning costs and how said estimate was determined, including an allowance for annual cost of living increases or increases due to inflation;
  5. The method of ensuring that funds will be available for decommissioning and restoration;
  6. The method by which the decommissioning cost will be kept current;
  7. The manner in which the site will be restored, including a description of how any changes to the surrounding areas and other systems adjacent to the BESS, such as, but not limited to, structural elements, building penetrations, means of egress, and required fire detection suppression systems, will be protected during decommissioning and confirmed as being acceptable after the system is removed; and
  8. A listing of any contingencies for removing an intact operational energy storage system from service, and for removing an energy storage system from service that has been damaged by a fire or other event.
- R. Decommissioning Fund. The owner and/or operator of the energy storage system, shall

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continuously maintain a fund or other surety acceptable to the City, in a form approved by the City Council and City Solicitor, for the removal of the BESS, in an amount to be determined by the City, and which includes the City as loss payee, for the period of the life of the facility. All costs of the financial security shall be borne by the Applicant.

- S. Proof of Liability Insurance. The applicant or property owner shall provide evidence of commercial liability insurance in an amount and type generally acceptable in the industry and approved by the Planning Board prior to the issuance of a building permit, and shall continue such insurance in effect until such facility has been decommissioned, removed, and the site restored in accordance with this ordinance.

§ 7.9.6.3 Special Permit Criteria. In addition to the general Special Permit criteria set forth in section 10.4.2 of this Ordinance, an application for Tier 2 or Tier 3 BESS shall meet the following criteria:

A. The project protects the ground water and surrounding properties from catastrophic failure of one or more of the batteries or cells by implementing appropriate catchment and filtration systems for water run off or run off from the system.

B. The project appropriately attenuates sound intrusion beyond the property lines onto adjacent properties so that there is no change in ambient sound after construction and during operations of the system.

C. The project includes only dark sky compliant down lighting which does not intrude beyond the property lines onto adjacent properties.

D. The project is secure and addresses possible trespass or other intrusion by individuals not affiliated with the project.

E. The project meets the public safety needs of the City.

F. The project minimizes visual impacts from utility infrastructure for interconnection.

F. The project is minimally visible from adjacent properties.

#### § 7.9.7. Site Plan application.

For all BESS the Site Plan application shall include the following information, in addition to that required by Section 10.8 of this Zoning Ordinance and the applicable Planning Board requirements governing Site Plan Applications:

A. Utility Infrastructure information requirements:

1. A one- or three-line electrical diagram detailing the BESS layout, associated components, and electrical interconnection methods, with all State Electrical Code compliant disconnects and over current devices.
2. The Applicant shall provide a copy of the fully executed Interconnection Services Agreement ("ISA") with the local utility distribution company.
3. If the ISA has not been issued, the Applicant shall be required to provide a full copy of the Application for Interconnection filed with the local utility distribution

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company.

- B. Preliminary equipment specification sheets that document the proposed BESS components, inverters and associated electrical equipment that are to be installed. A final equipment specification sheet shall be submitted prior to the issuance of building permit.
- C. Name, address, and contact information of proposed or potential system installer and the owner and/or operator of the BESS. Such information of the final system installer shall be submitted prior to the issuance of building permit.
- D. Large-scale fire test data, evaluation information, and calculations, and modeling data. For any of the following, UL 9540A fire test data must be made available to the Planning Board for review:
  - BESS systems with a capacity of greater than 50 kW
  - BESS systems with spacing between arrays of less than 3 feet
- E. Commissioning Plan. The system installer or commissioning agent shall prepare a commissioning plan prior to the start of commissioning. Such plan shall be compliant with NFPA 855 and document and verify that the system and its associated controls and safety systems are in proper working condition per requirements set forth in applicable state codes. Where commissioning is required by the Building Code, BESS commissioning shall be conducted by a Massachusetts Licensed Professional Engineer after the installation is complete but prior to final inspection and approval. A corrective action plan shall be developed for any open or continuing issues that are allowed to be continued after commissioning. A report describing the results of the system commissioning and including the results of the initial acceptance testing required by applicable state codes shall be provided to Zoning Enforcement Officer prior to final inspection and approval and maintained at an approved on-site location.
- F. Fire Safety Compliance Plan. Such plan shall document and verify that the system and its associated controls and safety systems are in compliance with state codes, including documentation that BESS components comply with the safety standards set forth in subsection 7.9.9. Such plan shall also include a detailed training plan for public safety personnel.
- G. Operation and Maintenance Manual. Such plan shall describe continuing BESS maintenance and property upkeep, as well as design, construction, installation, testing and commissioning information and shall meet all requirements set forth state codes and NFPA 855. Maintenance provisions will be driven by manufacturer requirements for the specific listed system. It shall address maintenance of the access and perimeter roadways, perimeter fencing, and shall include a snow removal plan and 24 hours access requirements by public safety officials. There shall be an annual; acoustical review to assure ongoing compliance with the requirement of no change from ambient at the property line and fire department inspection.
- H. Depending on the location of the BESS in relation to and its interaction with the electrical grid, interconnection will be completed per 527 CMR 12.00. System interconnections into utility grids shall be in accordance with NFPA 855 and the local distribution company standards for interconnection of distributed energy resources. An accessible disconnect is

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required per 527 CMR 12.00.

- I. Prior to the issuance of the building permit, As Built engineering documents must be signed and sealed by a Massachusetts Licensed Professional Engineer and provided to the Building Commissioner and Planning Department .
- J. Emergency Operations Plan. An Emergency Operations Plan compliant with NFPA 855 is required. A copy of the approved Emergency Operations Plan shall be given to the system operator, the local fire department, local fire code official and police department. For so long as the BESS is operational, the operator shall provide the Fire Department, Police Department, Building Commissioner, and Mayor's office with contact information for personnel that can be reached 24 hours per day every day, and this contact information shall be updated by the operator whenever there is a change in the information. The operator shall also be required to have an official representative be present onsite not later than two hours after notification by the Fire Chief, Police Chief, or their designee. A permanent copy shall also be placed in an approved location to be accessible to facility personnel, fire code officials, and emergency responders. The emergency operations plan shall include the following information:
  1. Procedures for safe shutdown, de-energizing, or isolation of equipment and systems under emergency conditions to reduce the risk of fire, electric shock, and personal injuries, and for safe start-up following cessation of emergency conditions.
  2. Procedures for inspection and testing of associated alarms, interlocks, and controls, including time intervals for inspection and testing.
  3. Procedures to be followed in response to notifications from the Battery Energy Storage Management System, when provided, that could signify potentially dangerous conditions, including shutting down equipment, summoning service and repair personnel, and providing agreed upon notification to fire department personnel for potentially hazardous conditions in the event of a system failure.
  4. Emergency procedures to be followed in case of fire, explosion, release of liquids or vapors, damage to critical moving parts, or other potentially dangerous conditions. Procedures can include sounding the alarm, notifying the fire department, evacuating personnel, de-energizing equipment, and controlling and extinguishing the fire.
  5. Response considerations similar to a safety data sheet (SDS) that will address response safety concerns and extinguishment when an SDS is not required.
  6. Procedures for safe disposal of BESS equipment damaged in a fire or other emergency event, including maintaining contact information for personnel qualified to safely remove damaged BESS equipment from the facility.
  7. Other procedures as determined necessary by the City to provide for the safety of occupants, neighboring properties, and emergency responders.

8. Procedures and schedules for conducting drills of these procedures and for training local first responders on the contents of the plan and appropriate response procedures.

K. Each Application shall be accompanied by the following information:

1. A certified plot plan at a minimum scale of one inch equals 40 feet and a maximum scale of one inch equals 20 feet. The site plan shall contain:
  - a. Date of site plan with all revisions noted and dated. Title of development, North arrow, scale, map and lot number, name and address of record owner, name and address of person preparing the site plan.
  - b. The names of all owners of record of adjacent properties, and the map and lot number of the properties and all buildings.
  - c. Zoning district boundaries and flood zone boundaries shall be shown as they affect the property including limits of the WSPOD and public water supply Zone A and Zone I on the overall site plan.
  - d. Boundaries of the property and lines of existing street, lots, easements and areas dedicated to public use, including rights of way.
  - e. A locus map showing the location of the property with reference to surrounding area.
  - f. A table indicating all calculations necessary to determine conformance to Bylaw regulations including current required and proposed regulations.
  - g. Square footage of property to the nearest 10 square feet.
2. All plans must include the location of existing and proposed buildings, walls, fences, culverts, parking areas, loading areas, walkways and driveways.
  - a. Location and dimensions of utilities, gas, telephone, electrical, communications, water drainage, sewer and other waste disposal.
  - b. Location, type and dimensions of landscaping and screening.
  - c. Location of existing rock outcroppings, high points, vistas, ponds, depressions, wetlands, major trees (twelve-inch caliper and over) and any other significant existing features.
  - d. Two-foot contours where slopes are less than 15% and five-foot contours when 15% or more. Existing contours shall be indicated by dashed line. Proposed contours shall be indicated by solid line.
  - e. Dimensioned schematic drawings of all proposed buildings. Scale shall not exceed ¼ inch equals one foot nor less than 1/8 inch equals one foot.
  - f. A narrative describing the proposal and addressing the foregoing requirements.
  - g. Location of street numbers indicated on the schematic drawings and/or site plan.



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- h. Surface and water pollution. A report on the impact of Stormwater runoff on adjacent and downstream surface water bodies, subsurface groundwater and the water table.
- i. Soils. The potential dangers of erosion and sedimentation caused by the operation and maintenance of the proposed development.
- j. General environmental impact. A report on the relationship of the proposed development of the major botanical, zoological, geological and hydrological resources of the site, and compatibility of the proposed development with adjacent or surrounding land uses and neighborhoods.
- k. Traffic impact. A report on existing street capacities, estimated average daily traffic generation, composition, peak hour levels and directional flows resulting from the proposed development, proposed methods to mitigate the estimated traffic impact and methodology and sources used to derive existing data and estimations.
- l. Renderings showing the proposed project in relationship to its surroundings.

#### § 7.9.8. Ownership Changes.

If the owner of the BESS changes or the owner of the property changes, the Special Permit shall remain in effect, provided that the successor owner or operator assumes in writing all of the obligations of the Special Permit, Site Plan approval, and decommissioning plan. A new owner or operator of the BESS shall notify the Building Commissioner of such change in ownership or operator within 14 days of the ownership change. A new owner or operator must provide such notification to the Building Commissioner in writing.

#### § 7.9.9. Safety

System Certification. BESS and equipment shall be listed by a Nationally Recognized Testing Laboratory to UL 9540 (Standard for BESS and Equipment) or approved equivalent, with subcomponents meeting each of the following standards as applicable:

- A. UL 1973 (Standard for Batteries for Use in Stationary, Vehicle Auxiliary Power and Light Electric Rail Applications),
- B. UL 1642 (Standard for Lithium Batteries),
- C. UL 1741 or UL 62109 (Inverters and Power Converters),
- D. Certified under the applicable electrical, building, and fire prevention codes as required.
- E. Alternatively, field evaluation by an approved testing laboratory for compliance with UL 9540 (or approved equivalent) and applicable codes, regulations and safety standards may be used to meet system certification requirements.

Site Access. BESS shall be maintained in good working order and in accordance with industry standards. Site access shall be maintained, including snow removal at a level acceptable to the local

fire department.

BESS, components, and associated ancillary equipment shall have required working space clearances, and electrical circuitry shall be within weatherproof enclosures marked with the environmental rating suitable for the type of exposure in compliance with NFPA 70.

#### § 7.9.11. Abandonment

The BESS shall be considered abandoned when it ceases to operate consistently for more than one year. If the owner and/or operator fails to comply with decommissioning upon any abandonment, the City may, after compliance with any applicable state and federal constitutional requirements, enter the property and utilize the available bond and/or security for the removal of any BESS and restoration of the site in accordance with the decommissioning plan.

And further add the following new definition to § 11.1 of Chapter 255

#### § 11.1

**BATTERY ENERGY STORAGE SYSTEM ("BESS")** -- An electronic system that protects energy storage systems from operating outside their safe operating parameters and disconnects electrical power to the energy storage system or places it in a safe condition if potentially hazardous temperatures or other conditions are detected. For the purposes of this bylaw, BESS are comprised of three (3) types as further described in § 7.9.3.B. of this bylaw; Tier 1 BESS, Tier 2 BESS and Tier 3 BESS.

And further to amend section 3.1.3, Table of Use and Parking regulations by allowing Tier 1, Tier 2 and Tier 3 BESS in the districts as follows:

	RS	RR	RL	RM	RH	RU	CN	CH	CG	CC	CM	OP	BG	BP	PC
<b>I. MISCELLANEOUS COMMERCIAL USES (cont'd)</b>															
22. Kennel or veterinary hospital in which all animals, fowl or other forms of life are completely enclosed in pens or other structures	BA	BA	N	N	N	N	N	BA	N	N	N	N	N	N	D
23. Commercial communications and/or television tower, provided that it shall be at least 500 feet from any R District	BA	N	N	N	N	N	N	BA	BA	BA	N	BA	BA	BA	None
<b>24. Battery Energy Storage Systems: Tier 1</b>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>Y</u>	<u>N</u>	<u>Y</u>	<u>Y</u>	<u>None</u>
<b>25. Battery Energy Storage Systems: Tier 2</b>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>CC</u>	<u>None</u>

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26. Battery Energy Storage Systems: Tier 3	N	N	N	N	N	N	N	N	N	N	N	N	N	CC	None
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IN CITY COUNCIL: January 7 2025  
PLACED ON FILE for at least 10 days  
Attest:

\_\_\_\_\_  
City Clerk

IN CITY COUNCIL: March 18 2025  
CONTINUED TO APRIL 29 2025 (with Hearing)  
Attest:

\_\_\_\_\_  
City Clerk

IN CITY COUNCIL: April 29 2025  
HEARING CONTINUED TO JUNE 3 2025  
Attest:

\_\_\_\_\_  
City Clerk

IN CITY COUNCIL: June 3 2025  
REQUEST BY CITY SOLICITOR TO CONTINUE TO JULY 8 2025  
Attest:

\_\_\_\_\_  
City Clerk

IN CITY COUNCIL: July 8 2025  
CONTINUED TO AUGUST 5, 2025

Attest:  
\_\_\_\_\_  
City Clerk

IN CITY COUNCIL: August 5 2025  
CONTINUE TO SEPTEMBER 30, 2025  
Attest:

\_\_\_\_\_  
City Clerk

Event Permit

EVNT-25-28

Submitted On: Sep 15, 2025

Applicant

 Cynthia Graham  
 9789941854  
@ cynthiagraham409@gmail.com

Primary Location

75 KENOZA AVE  
Haverhill, MA 01830

Organization Information

Organization

Haverhill Firefighting Museum

Organization Phone

9789941854

Organization Address

75 Kenoza Ave

Organization City

Haverhill

Organization State

MA

Organization Zip

01830

Is the Organization Tax Exempt?

Yes

Is the Organization Non-Profit?

Yes

Is the Organization a House of Worship?

No

SEP 26 AM 11:53  
HAVCITYCLERK

Contact Information

Contact Name

Cynthia Graham

Contact Title

Vice President

Contact Phone

978-994-1854

Contact Email

cynthiagraham409@gmail.com

Contact Address

669 Kenoza St

Contact City

Haverhill

Contact State

MA

Contact Zip

01830

Property Owner Information

Property Owner Name

HFD CU

Property Owner Phone

9883728833

Property Owner Address

75 Kenoza Ave

Property Owner City

Haverhill

Property Owner State

MA

Property Owner Zip

01830

Is the Applicant the Property Owner?

No

**Event Information****Description of event**

Chili/Chowder Cookoff

**Type of Event**

Other

**IF OTHER, Please Specify**

Cookoff competition

**Event Date**

10/18/2025

**Event Location**

75 Kenoza Ave

**is the Event on Bradford Common?**

No

**Is the Event on City Property?**

No

**Event Venue**

Indoor

**Number of Anticipated Attendees**

170

**Do attendees need to purchase a ticket to attend?**

Yes

**Is this event open to the public? Or private?**

Public

**Are You Requesting Additional Fees Be Waived? (APPLICATION FEE IS NOT WAIVABLE)**

Yes

**Event Start Time**

5:00

**Event End Time**

10:00

**Will Food Be Served/Sold at the Event?**

Yes

**IF YES TO FOOD, By What Means?**

Organization Sponsored Cookout

**IF YES To FOOD, How Will it be Cooked?**

Prepared Off-site

**Any Helpful Comments about Food**

Food will arrive hot in crockpots and plugged in immediately to keep hot throughout the serving

**Special Considerations (i.e. fireworks)**

None

**Parking Information****Number of Parking Spaces Onsite**

12

**Have Off-site Parking Arrangements Been Made?**

Yes

**IF YES, Please Provide Details of Offsite Arrangements**

On the street and neighboring parking lot

**Are There Charges/Fees for Parking?**

No

**Sanitation Information****Number of Public Restrooms Available**

2

**Type of Toilets**

Permanent



**Please Describe Plans for Solid Waste Disposal & Recycling**

Pickup

**General Release & Indemnity Agreement**

**Yes**

true

**Terms of Understanding**

**Yes**

true

## City Clerk Approval

Record No.EVNT-25-28

Status Completed

Became Active September 15, 2025

Assignee Kaitlin Wright

Due Date None

### Primary Location

75 KENOZA AVE  
Haverhill, MA 01830

### Owner

HAVERHILL FIRE DEPT. CREDIT UNION  
KENOZA AVE 75 HAVERHILL, MA 01830

### Applicant

 Cynthia Graham  
 978-994-1854  
 @ cynthiagraham409@gmail.com  
 669 Kenoza St  
Haverhill, Ma 01830

## Messages

Kaitlin Wright

September 15, 2025 at 4:31 pm

Hi Cindy, the following documents are needed to move forward with your application – General Release and Indemnity Agreement, and Certificate of Insurance with City of Haverhill listed as additionally insured. To confirm, you are not contracting with any vendors for this event?

Kaitlin Wright

September 15, 2025 at 4:31 pm

General release and indemnity agreement should include language like this – In consideration of a permit granted by the Haverhill City Council as requested herein, \_\_\_\_\_hereby remises, releases and forever discharges the City of Haverhill, its respective employees, agents and attorneys from all manner of actions, causes of actions, debts, dues, claims and demands both in law and in equity, more especially any and all claims as a result of the issuance of this permit or use of any City Property, including, but not limited to, property damages and personal injuries resulting from the same.

Cynthia Graham

September 15, 2025 at 4:34 pm

Hi. I provided the insurance with the city as an also insured. Nicholas was going to attach it for me. Do you have that general release printed so that I can sign it?

Kaitlin Wright

September 17, 2025 at 12:51 pm

Hi Cindy, does the musuem have general liability insurance? The insurance sent to Nick is liquor liability.

For the general release and indemnity agreement, please just paste the text below into a word document and have yourself or a member of the musuem crew sign on behalf of the musuem.

In consideration of a permit granted by the Haverhill City Council as requested herein, \_\_\_\_\_hereby remises, releases and forever discharges the City of Haverhill, its respective employees, agents and attorneys from all manner of actions, causes of actions, debts, dues, claims and demands both in law and in equity, more especially any and all claims as a result of the issuance of this permit or use of any City Property, including, but not limited to, property damages and personal injuries resulting from the same.

Thank you!

## Building Inspector Approval

Record No.EVNT-25-28

Status Completed

Became Active September 23, 2025

Assignee Tom Bridgewater

Due Date None

### Primary Location

75 KENOZA AVE  
Haverhill, MA 01830

### Owner

HAVERHILL FIRE DEPT. CREDIT UNION  
KENOZA AVE 75 HAVERHILL, MA 01830

### Applicant

 Cynthia Graham  
 978-994-1854  
 @ cynthiagraham409@gmail.com  
 669 Kenoza St  
Haverhill, Ma 01830

## Messages

No comments yet.

### Step Activity

OpenGov system activated this step	09/23/2025 at 12:03 pm
OpenGov system assigned this step to Tom Bridgewater	09/23/2025 at 12:03 pm
Tom Bridgewater approved this step	09/23/2025 at 2:01 pm

## Fire Inspector Approval

Record No.EVNT-25-28

Status Completed

Became Active September 23, 2025

Assignee Eric Tarpy

Due Date None

### Primary Location

75 KENOZA AVE  
Haverhill, MA 01830

### Owner

HAVERHILL FIRE DEPT. CREDIT UNION  
KENOZA AVE 75 HAVERHILL, MA 01830

### Applicant

 Cynthia Graham  
 978-994-1854  
 cynthiagraham409@gmail.com  
 669 Kenoza St  
Haverhill, Ma 01830

## Messages

Eric Tarpy

September 24, 2025 at 4:07 pm

Fire Dept has no comment/concerns on event as presented by applicant. Building has fire alarm and sprinkler system

## Step Activity

OpenGov system activated this step

09/23/2025 at 12:03 pm

OpenGov system assigned this step to Eric Tarpy

09/23/2025 at 12:03 pm

Eric Tarpy approved this step

09/24/2025 at 4:07 pm

## Health Inspector Approval

Record No. EVNT-25-28

Status Completed

Became Active September 23, 2025

Assignee Mark Tolman

Due Date None

### Primary Location

75 KENOZA AVE  
Haverhill, MA 01830

### Owner

HAVERHILL FIRE DEPT. CREDIT UNION  
KENOZA AVE 75 HAVERHILL, MA 01830

### Applicant

 Cynthia Graham  
 978-994-1854  
 cynthiagraham409@gmail.com  
 669 Kenoza St  
Haverhill, Ma 01830

## Messages

No comments yet.

### Step Activity

OpenGov system activated this step	09/23/2025 at 12:03 pm
OpenGov system assigned this step to Mark Tolman	09/23/2025 at 12:03 pm
Mark Tolman approved this step	09/24/2025 at 8:15 am





## Police Department Approval

Record No. EVNT-25-28

Status Completed

Became Active September 23, 2025

Assignee Kevin Lynch

Due Date None

### Primary Location

75 KENOZA AVE  
Haverhill, MA 01830

### Owner

HAVERHILL FIRE DEPT. CREDIT UNION  
KENOZA AVE 75 HAVERHILL, MA 01830

### Applicant

 Cynthia Graham  
 978-994-1854  
 cynthiagraham409@gmail.com  
 669 Kenoza St  
Haverhill, Ma 01830

## Messages

No comments yet.

### Step Activity

OpenGov system activated this step	09/23/2025 at 12:03 pm
OpenGov system assigned this step to Kevin Lynch	09/23/2025 at 12:03 pm
Kevin Lynch approved this step	09/25/2025 at 10:27 am

## Public Works Director Approval

Record No.EVNT-25-28

Status Completed

Became Active September 23, 2025

Assignee Robert Kimball

Due Date None

### Primary Location

75 KENOZA AVE  
Haverhill, MA 01830

### Owner

HAVERHILL FIRE DEPT. CREDIT UNION  
KENOZA AVE 75 HAVERHILL, MA 01830

### Applicant

 Cynthia Graham  
 978-994-1854  
 @ cynthiagraham409@gmail.com  
 669 Kenoza St  
Haverhill, Ma 01830

## Messages

No comments yet.

### Step Activity

OpenGov system activated this step	09/23/2025 at 12:03 pm
OpenGov system assigned this step to Robert Kimball	09/23/2025 at 12:03 pm
Robert Kimball approved this step	09/24/2025 at 7:13 am

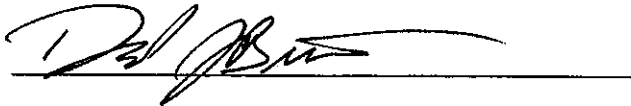
# HAVERHILL FIRE DEPT. CREDIT UNION

*NOT FOR PROFIT. NOT FOR CHARITY. BUT FOR SERVICE.*

March 28, 2025

To Whom It May Concern:

The Haverhill Firefighting Museum, a tenant in the Haverhill Fire Dept Credit Union building on 75 Kenoza Ave in Haverhill, MA., has our permission to hold events in their space.



David Butt  
Manager/Treasurer



75 KENOZA AVENUE, HAVERHILL, MASSACHUSETTS 01830-4132

PHONE. 978.372.8833 • FAX. 978.372.7782

WWW.HFDCU.COM

# HAVERHILL FIREFIGHTING MUSEUM

*Come experience the evolution of  
New England Fire Fighting history!*

In consideration of a permit by the Haverhill City Council as requested herein, The Haverhill Firefighting Museum hereby remises, releases and forever discharges the City of Haverhill, its respective employees, agents and attorneys from all manner of actions, debts, dues, claims and demands both in law and in equity, more especially any and all claims as a result of the issuance of this permit or use of any city property, including, but not limited to, property damages and personal injuries resulting from the same.

*Cynthia Graham 9/18/25*

Cynthia Graham  
V/P HFFM



# CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

09/19/2025

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

**IMPORTANT:** If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

<b>PRODUCER</b> <b>James Page Insurance Agency, Inc.</b> <b>191 Merrimack St, Suite 306</b> <b>Haverhill, MA 01830</b> <b>License #: 1780398</b>	<b>CONTACT NAME:</b> James Traver	<b>FAX (A/C, No):</b> 9789127902	
	<b>PHONE (A/C, No, Ext):</b> (978)373-3893	<b>E-MAIL ADDRESS:</b> jtraver@jamespageins.com	
<b>INSURED</b> <b>Haverhill Firefighting Museum</b> <b>Cynthia Graham</b> <b>Cynthia Graham</b> <b>75 Kenoza Ave</b> <b>Haverhill, MA 01830</b>	<b>INSURER(S) AFFORDING COVERAGE</b>		<b>NAIC #</b>
	<b>INSURER A:</b> The Hartford		
	<b>INSURER B:</b>		
	<b>INSURER C:</b>		
	<b>INSURER D:</b>		
	<b>INSURER E:</b>		
<b>INSURER F:</b>			

**COVERAGES****CERTIFICATE NUMBER:** 00066355-250919100951**REVISION NUMBER:** 1

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> <b>COMMERCIAL GENERAL LIABILITY</b> <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR  GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PROJECT <input type="checkbox"/> LOC OTHER:			08 SBA PQ9467 SB	07/13/2025	07/13/2026	EACH OCCURRENCE \$ <b>1,000,000</b> DAMAGE TO RENTED PREMISES (Ea occurrence) \$ <b>50,000</b> MED EXP (Any one person) \$ <b>10,000</b> PERSONAL & ADV INJURY \$ <b>1,000,000</b> GENERAL AGGREGATE \$ <b>2,000,000</b> PRODUCTS - COMP/OP AGG \$ <b>2,000,000</b>
	<b>AUTOMOBILE LIABILITY</b> <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> NON-OWNED AUTOS ONLY						COMBINED SINGLE LIMIT (Ea accident) \$ BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
	<b>UMBRELLA LIAB</b> <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> RETENTION \$						EACH OCCURRENCE \$ AGGREGATE \$
	<b>WORKERS COMPENSATION AND EMPLOYERS' LIABILITY</b> ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below		N/A				PER STATUTE <input type="checkbox"/> OTH-ER <input type="checkbox"/> E.L. EACH ACCIDENT \$ E.L. DISEASE - EA EMPLOYEE \$ E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

**CERTIFICATE HOLDER**

City of Haverhill  
4 Summer St  
Haverhill, MA 01830

**CANCELLATION**

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

(JPT)

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INTERNAL REVENUE SERVICE  
P. O. BOX 2508  
CINCINNATI, OH 45201

DEPARTMENT OF THE TREASURY

Date: MAY 21 2013

HAVERHILL FIRE FIGHTING MUSEUM, INC.  
C/O CYNTHIA GRAHAM  
75 KENOZA AVE  
HAVERHILL, MA 01830

Employer Identification Number:

90-0116104

DLN:

07053250391012

Contact Person:

RACHEL M LEIPHEIT

ID# 31617

Contact Telephone Number:

(977) 828-5500

Accounting Period Ending:

October 31

Public Charity Status:

170(b)(1)(A)(vi)

Form 990 Required:

Yes

Effective Date of Exemption:

August 28, 2012

Contribution Deductibility:

Yes

Addendum Applies:

Yes

Dear Applicant:

We are pleased to inform you that upon review of your application for tax-exempt status we have determined that you are exempt from Federal income tax under section 501(c)(3) of the Internal Revenue Code. Contributions to you are deductible under section 170 of the Code. You are also qualified to receive tax deductible bequests, devises, transfers or gifts under section 2055, 2106 or 2522 of the Code. Because this letter could help resolve any questions regarding your exempt status, you should keep it in your permanent records.

Organizations exempt under section 501(c)(3) of the Code are further classified as either public charities or private foundations. We determined that you are a public charity under the Code section (1) stated in the heading of this letter.

Please see enclosed Publication 4221-09, Compliance Guide for 501(c)(3) Public Charities, for some helpful information about your responsibilities as an exempt organization.

32152-01 07/07 (10/0/10/0)



**Tag Day Permit**

**TAGD-25-22**

Submitted On: Sep 20, 2025

**Applicant**

👤 Cory Baldera  
📞 9785516952  
@ baldera4@gmail.com

SEP 25 AM 8:15  
HAVERHILL CITY CLERK

12.4.1

**Organization Information**

**Organization**

Haverhill Girls Softball League

**Organization Phone**

9785516952

**Organization Address**

1314 N. Main Street

**Organization City**

Haverhill

**Organization State**

Massachusetts

**Organization Zip**

01830

**Is the Organization Tax Exempt?**

Yes

**Is the Organization Non-Profit?**

Yes

**Is your organization affiliated with the Haverhill Public School system?**

No

**Is the Applicant a Haverhill Resident**

Yes

**Off-Street Locations Information [OFF-STREET LOCATIONS NOT PERMITTED]**

**How Many Locations Will You Cover?**

2

**Location 1**

784 River St Haverhill Ma 01832 (Dunkins)

**Location 2**

74 Plaistow Rd Haverhill MA 01830 (Dunkins)

**Date Information -MAXIMUM 3 CONSECUTIVE DAYS**

**How Many Dates Will the Event Include?**

2

**Date #1**

11/01/2025

**Date #2**

11/02/2025



MELINDA E. BARRETT  
MAYOR

CITY OF HAVERHILL  
MASSACHUSETTS

13.1

CITY HALL, ROOM 100  
FOUR SUMMER STREET  
HAVERHILL, MA 01830  
PHONE 978-374-2300  
FAX 978-373-7544  
MAYOR@HAVERHILLMA.GOV  
WWW.HAVERHILLMA.GOV

September 25, 2025

To: City Council President Thomas J. Sullivan and Members of the Haverhill City Council

From: Mayor Melinda E. Barrett

**RE: FY25 Bills**

Dear Mr. President and Members of the Haverhill City Council:

Attached, please find an order to pay bills from the previous fiscal year:

Vendor	Amount	Account
Vestis	\$ 95.94	Police Dept.
Advantage One	\$654.90	Police Dept.
Advantage One	\$654.90	Police Dept.
Advantage One	\$654.90	Police Dept.

Total: \$ 2,059.44

I recommend approval.

Sincerely,

**Melinda E. Barrett**  
**Mayor**

MEB/em



Document  
CITY OF HAVERHILL  
In Municipal Council

Ordered:

That in accordance with General Laws, Chapter 44, Section 64, authorize the payment of bill(s) of the previous years and to further authorize the payment from current year departmental appropriations as listed below:

<u>Vendor</u>	<u>Amount</u>	<u>Account</u>
Vestis	\$95.94	Police Dept
Advantage One	\$654.50	Police Dept
Advantage One	\$654.50	Police Dept
Advantage One	\$654.50	Police Dept

SEP 26 AM 8:36  
HAG CITY CLERK



2680 Palumbo Drive  
Lexington, KY 40509

Pay your bill and view invoices and statements at  
<http://myaccount.vestis.com>.

# INVOICE

WENDY DUFF  
HAVERHILL POLICE DEPT.  
40 BAILEY BLVD  
HAVERHILL MA 01830

BILLING INQUIRIES	(866) 837-8471
CUSTOMER SERVICE	(866) 837-8471
ACCOUNT NUMBER	860001181
CUSTOMER NUMBER	2859319
INVOICE NUMBER	3010641545
INVOICE DATE	06/18/2025
TERMS	NET 10 EOM
PO #	
NAID	
MARKET CENTER	301
ROUTE NUMBER	16

Page 1 of 1

Ship

To: HAVERHILL POLICE DEPT.  
40 BAILEY BLVD  
HAVERHILL MA 01830

A/R BALANCES AS OF 06/18/2025						
TOTAL DUE	CURRENT	1-30 DAYS	31-60 DAYS	61-90 DAYS	91-120 DAYS	OVER 120 DAYS
1237.37	354.50	400.32	482.55	0.00	0.00	0.00

WEARER#	WEARER NAME	ITEM	ITEM DESCRIPTION	SIZE	TYPE	BILL QTY	RATE	TOTAL
6	PAUL REYNOLDS	GO0218NAVY	JACKET HIP 65/35	2XLR	Rent	2	1.303	2.61
6	PAUL REYNOLDS	GP0621NAVY	PANT CARGO 65/35	42X30	Rent	11	0.290	3.19
6	PAUL REYNOLDS	GS0019NAVY	SHIRT WORK SS 65/35	2XLR	Rent	11	0.804	8.84
			EASY CARE - GARMENTS					5.12
		CE0102BLAK	DUST MOP HANDLE	X	Rent	2	0.199	0.40
		CE0104BLAK	WET MOP HANDLE	X	Rent	1	0.132	0.13
		CE0112XXXX	AC MOP FRAME	18	Rent	2	0.218	0.44
		DP0018BLUE	MOP DUST SYNTHETIC	18	Rent	5	4.263	21.32
		DP0025GREN	MOP WET SYNTHETIC	LGER	Rent	3	4.263	12.79
		XX0257BLAK	LNDRY BAG ERGO	X	Rent	0	0.000	0.00
			SERVICE CHARGE					41.10

Based on your usage, some inventory levels were increased. See Bill Qty column for updated charges.

SUBTOTAL (ALL PAGES) 95.94  
FREIGHT 0.00  
TAX 0.00  
TOTAL \$95.94

THANK YOU FOR YOUR BUSINESS

Delivery received by:

pR

Signature from handheld acknowledging delivery

To ensure proper payment application, please write your invoice number  
on your check, and include the attached coupon with your payment



INVOICE DATE 06/18/2025  
ACCOUNT NUMBER 860001181

Bill To:

HAVERHILL POLICE DEPT.  
40 BAILEY BLVD  
HAVERHILL MA 01830

Payable

To: VESTIS  
PO BOX 28050  
NEW YORK NY 10087-8050

PAYMENT DUE July 10, 2025  
TOTAL DUE \$95.94  
INVOICE NUMBER 3010641545

1 000000732796 0003010641545 0 0000009594 0000009594 7



**Advantage Asset Tracking Corporation**  
56 Newark Street, 3rd Floor  
Hoboken New Jersey 07030  
<https://www.advantageone.tech>  
1 (888) 973-3533

# Invoice

Invoice: 2025-1464

Balance Due (USD)  
**\$654.50**

Bill To:  
**Haverhill Police Department**  
40 Bailey Blvd.  
Haverhill, MA 01830

Ship To:  
Haverhill Police Department  
40 Bailey Blvd.  
Haverhill, MA 01830

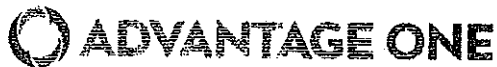
Invoice Date : April 30, 2025  
Terms : Net 30  
Service Period : April 2025

Item & Description	Quantity	Rate	Amount
Monitoring Services:Geotab Services - Sourcewell:SW - Pro Plus, Self Install Geotab Monthly Monitoring Fee - Sourcewell ProPlus Plan, No Installation	34.00	19.25	654.50
Sub Total			654.50
Sales Tax Amount (0%)			0.00
<b>Total Balance Due (USD)</b>			<b>\$654.50</b>

## ACH PAYMENTS:

TD Bank  
TD Bank Address: 47 Newark Street, Hoboken, NJ, 07030  
Account Number: 435 763 1667  
Routing Number: 031 201 360  
W-9 Number: 30-0958416

Please send remittances to: [ar@advtracking.net](mailto:ar@advtracking.net)



**Advantage Asset Tracking Corporation**  
56 Newark Street, 3rd Floor  
Hoboken New Jersey 07030  
<https://www.advantageone.tech>  
1 (888) 973-3533

# Invoice

Invoice: 2025-1882

Balance Due (USD)  
**\$654.50**

Bill To:  
**Haverhill Police Department**  
40 Bailey Blvd.  
Haverhill, MA 01830

Ship To:  
Haverhill Police Department  
40 Bailey Blvd.  
Haverhill, MA 01830

Invoice Date : May 31, 2025  
Terms : Net 30  
Service Period : May 2025

Item & Description	Quantity	Rate	Amount
Monitoring Services:Geotab Services - Sourcewell:SW - Pro Plus, Self Install Geotab Monthly Monitoring Fee - Sourcewell ProPlus Plan, No Installation	34.00	19.25	654.50
Sub Total			654.50
Sales Tax Amount (0%)			0.00
<b>Total Balance Due (USD)</b>			<b>\$654.50</b>

## ACH PAYMENTS:

TD Bank  
TD Bank Address: 47 Newark Street, Hoboken, NJ, 07030  
Account Number: 435 763 1667  
Routing Number: 031 201 360  
W-9 Number: 30-0958416

Please send remittances to: [ar@advtracking.net](mailto:ar@advtracking.net)



**Advantage Asset Tracking Corporation**

56 Newark Street, 3rd Floor  
Hoboken New Jersey 07030  
<https://www.advantageone.tech>  
1 (888) 973-3533

# Invoice

Invoice: 2025-2282

Balance Due (USD)  
**\$654.50**

**Bill To:**

**Haverhill Police Department**  
40 Bailey Blvd.  
Haverhill, MA 01830

**Ship To:**

Haverhill Police Department  
40 Bailey Blvd.  
Haverhill, MA 01830

Invoice Date : June 30, 2025

Terms : Net 30

Service Period : June 2025

Item & Description	Quantity	Rate	Amount
Monitoring Services:Geotab Services - Sourcewell:SW - Pro Plus, Self Install	34.00	19.25	654.50
Geotab Monthly Monitoring Fee - Sourcewell ProPlus Plan, No Installation			
Sub Total			654.50
Sales Tax Amount (0%)			0.00
<b>Total Balance Due (USD)</b>			<b>\$654.50</b>

**ACH PAYMENTS:**

TD Bank

TD Bank Address: 47 Newark Street, Hoboken, NJ, 07030

Account Number: 435 763 1667

Routing Number: 031 201 360

W-9 Number: 30-0958416

Please send remittances to: [ar@advtracking.net](mailto:ar@advtracking.net)



141

# Haverhill

Engineering Department, Room 300  
978-374-2335

John H. Pettis III, P.E.  
Deputy DPW Director/City Engineer  
[JPettis@HaverhillMA.gov](mailto:JPettis@HaverhillMA.gov)

September 23, 2025

**MEMO TO: CITY COUNCIL PRESIDENT THOMAS J. SULLIVAN AND  
MEMBERS OF THE CITY COUNCIL**

**Subject: 495 Main Street, Parking Restriction**

As requested, attached please find time of year parking restriction ordinance for the subject location.

Please contact me if you have any questions.

Sincerely,

John H. Pettis III, P.E.  
City Engineer

C: Mayor Barrett, Ward, Pistone, O'Brien, Mead

SEP 25 AM 8:41  
HAVERHILL CITY CLERK



DOCUMENT

# CITY OF HAVERHILL

In Municipal Council

SEP 25 AM 11:08  
HAVERHILL CITY CLERK

ORDERED:

MUNICIPAL ORDINANCE

CHAPTER 240

14.1

## AN ORDINANCE RELATING TO VEHICLES AND TRAFFIC

BE IT ORDAINED by the City Council of the City of Haverhill that the Code of the City of Haverhill, Chapter 240, as amended, be further amended by ADDING the following to §240-85 Schedule B: Parking Restrictions and Prohibitions:

LOCATION	REGULATION	HOURS/DAYS
Main Street, In front of 495 Main Street	2 Hr Parking	8:30 am-6 pm, Mon-Fri, Jan 1 through Apr 30

APPROVED AS TO LEGALITY:

\_\_\_\_\_  
City Solicitor



# Haverhill

Engineering Department, Room 300  
978-374-2335

John H. Pettis III, P.E.  
Deputy DPW Director/City Engineer  
[JPettis@HaverhillMA.gov](mailto:JPettis@HaverhillMA.gov)

September 24, 2025

**MEMO TO: CITY COUNCIL PRESIDENT THOMAS J. SULLIVAN AND  
MEMBERS OF THE CITY COUNCIL**

Subject: *River Street, Parking Restrictions*

A review was done of the first several hundred feet of River Street, on the north side of road, as it was brought to our attention that there were discrepancies between City Code and actual signage, and that several buildings that were previously partially commercial are now all residential. The attached Ordinance cleans this up and only has time limited parking in front of businesses.

Also, on 11/9/23 I wrote an Ordinance for handicap parking in front of 151 River Street (HPS-23-18) and the Council passed it on 11/28/23. While Highway Department did install the sign, this is not reflected in City Code, so should be added.

Please contact me if you have any questions.

Sincerely,

John H. Pettis III, P.E.  
City Engineer

C: Mayor Barrett, Ward, Kimball, Pistone, O'Brien, Mead, Wright, Lynch

SEP 25 AM 8:41  
HAVCITYCLERK



DOCUMENT

# CITY OF HAVERHILL

In Municipal Council

14.2  
SEP 25 AM 11:08  
HAVCITYCLERK

ORDERED:

## MUNICIPAL ORDINANCE

## CHAPTER 240

### AN ORDINANCE RELATING TO VEHICLES AND TRAFFIC

**BE IT ORDAINED** by the City Council of the City of Haverhill that the Code of the City of Haverhill, Chapter 240, as amended, be further amended by **DELETING** the following from § 240-85 Schedule B: Parking Restrictions and Prohibitions:

#### **River Street**

From 20' west of Washington Street To 109 River Street	Time limit: 30 min	7 am-6 pm
From 109 to No. 211 River Street, except for 1 24-hour handicapped parking space at No. 163, north side	Time limited: 2 hour	7 am-6 pm
In front of 125 River Street (Victoriana Catering)	Time limited: 1 hour	8 am-4 pm M-Sa
In front of No. 167 River Street except For 1 24-hour handicap parking space	No Parking	24 hours
In front of 169-171 River Street	No Parking	24 hours
From No. 211 west for 210 ft, north side	Time limited: 1 hour	7 am -5 pm

**Also, that § Chapter 240-85 Schedule B: Parking Restrictions and Prohibitions, as amended, is hereby further amended by ADDING the following:**

#### **River Street**

From 20' west of Washington St to Across front of 67 River Street	Time limit: 1 hour	7 am-6 pm M-F
In front of 83 River Street	Time limit: 1 hour	7 am-6 pm M-F
In front of 125 River Street	Time limit: 1 hour	9 am-5 pm M-Sa



DOCUMENT

## CITY OF HAVERHILL

In Municipal Council

ORDERED:

In front of 173 River Street, except for 1 24-hour handicapped parking space	No Parking	24 hours
In front of 219 River Street	Time limited: 1 hr	7 am -5 pm

APPROVED AS TO LEGALITY:

---

City Solicitor



**CITY COUNCIL**

**Thomas J. Sullivan**, *President*  
**Timothy J. Jordan**, *Vice President*  
**John A. Michitson**  
**Colin F. LePage**  
**Melissa J. Lewandowski**  
**Catherine P. Rogers**  
**Shaun P. Toohey**  
**Michael S. McGonagle**  
**Katrina Hobbs Everett**  
**Devan Ferreira**  
**Ralph T. Basiliere**



15.1  
CITY HALL, ROOM 204  
4 SUMMER STREET  
TELEPHONE: 978-374-2328  
FACSIMILE: 978-374-2329

[WWW.CITYOFHAVERHILL.COM](http://WWW.CITYOFHAVERHILL.COM)  
[CITYCOUNCIL@HAVERHILLMA.GOV](mailto:CITYCOUNCIL@HAVERHILLMA.GOV)

**CITY OF HAVERHILL**

HAVERHILL, MASSACHUSETTS 01830-5843

September 17, 2025

SEP 24 AM 9:47  
HAVCITYGLERK

To: President and Members of the City Council

Councilor Lewandowski requests a discussion on city protocol and ongoing planning for clearing of vegetation in Riverside Park/Edible Avenue and along the river.

*Melissa J. Lewandowski*  
Councilor Melissa J. Lewandowski (LAW)

(Meeting: 9.30.25)

**CITY COUNCIL**

**Thomas J. Sullivan**, *President*  
**Timothy J. Jordan**, *Vice President*  
**John A. Michitson**  
**Colin F. LePage**  
**Melissa J. Lewandowski**  
**Catherine P. Rogers**  
**Shaun P. Toohey**  
**Michael S. McGonagle**  
**Katrina Hobbs Everett**  
**Devan Ferreira**  
**Ralph T. Basiliere**



**CITY OF HAVERHILL**

HAVERHILL, MASSACHUSETTS 01830-5843

CITY HALL, ROOM 204  
4 SUMMER STREET  
TELEPHONE: 978-374-2328  
FACSIMILE: 978-374-2329

[WWW.CITYOFHAVERHILL.COM](http://WWW.CITYOFHAVERHILL.COM)  
[CITYCOUNCIL@HAVERHILLMA.GOV](mailto:CITYCOUNCIL@HAVERHILLMA.GOV)

16.1

September 10, 2025

SEP 11 4:32 PM  
HVCITYCLERK

To: President and Members of the City Council

Councilor Lewandowski requests an amendment to Chapter 191 of the City of Haverhill City Ordinances prepared by City Solicitor Lisa Mead reflecting changes that were voted by City Council on July 22, 2025. She also requests to send a letter to the delegation to advocate for additional language to our state statute on solicitation to protect residents.

*Melissa J. Lewandowski*  
Councilor Melissa J. Lewandowski

(Meeting: 9.16.25)

## **Part I**

ADMINISTRATION OF THE GOVERNMENT

## **Title XV**

REGULATION OF TRADE

## **Chapter 101**

TRANSIENT VENDORS, HAWKERS AND PEDLERS

## **Section 34**

DOOR-TO-DOOR SALES FOR FUTURE DELIVERY;  
EMPLOYMENT OF MINORS; DUTIES OF SALES  
ORGANIZATION; REGISTRATION

Section 34. (a) As used in this section the following terms shall have the following meanings:—

"Sales agent", a person under eighteen years of age who is recruited or retained by, or who represents, or is in any manner associated with, whether as an employee or an independent contractor, any sales organization engaged in the sale of goods or periodicals door-to-door for future delivery for any commercial purpose in a city or town in the commonwealth. The term "sales agent" shall not include: (i) a person engaged in activities under the immediate supervision of a parent or guardian, or (ii) a person who does not earn his primary source of income while performing services for a sales organization, or (iii) a person who does not reside away from his home while engaged in the sales activity.

"Sales organization", a person or representative thereof, engaged in the supervision, recruitment, retention, or employment of sales agents for the door-to-door sale of goods or periodicals for future delivery.

"Sales group", any group of persons, including sales agents, which is engaged in the door-to-door sale of goods or periodicals for future delivery and which is under the supervision of a sales organization or sales supervisor.

"Sales supervisor", a person representing a sales organization who directs or supervises a sales group in any city or town in which it is engaged in the sale of goods or periodicals door-to-door for future delivery.

(b) No sales organization shall recruit, hire, or employ a person to engage in the sale of goods or periodicals door-to-door for future delivery unless and until such person furnishes the sales organization with information sufficient to inform such sales organization of such person's age and identification.

Each sales organization shall:

(1) prior to the employment of a person under eighteen years of age, furnish to a parent or guardian of such person a listing of cities or towns in which the sales group will be working in the two weeks immediately following such employment, the dates when the sales group shall be in each such city or town, the address of the sales group in each such city or town during the time the sales group is in such city or town, and the business address at which such parent or guardian may be informed of such person's work address.

(2) keep accurate accounts of sales made, lawful expenses incurred, and all amounts earned by each sales agent.

(3) provide to each sales agent for each pay period, but not less than once each seven days, an itemized written statement of the account of such sales agent.

(4) pay, on the same day each pay period to each sales agent, all money earned from all sales made a week or more prior thereto by such sales agent.

No sales organization, in carrying out any contract, agreement, or other arrangement with any sales agent, shall engage in any of the following conduct or activity:

(1) threats or acts of reprisals, intimidation, or physical violence against any sales agent, or any person acting on behalf of any sales agent.

(2) refusal to disburse commissions, salary, compensation, or other remuneration owing to a sales agent.

(c) All sales agents and sales supervisors covered by the provisions of this section shall register with a chief of police or with another official to be designated by the city council of a city or the board of selectmen of a town of initial registration. Each applicant for registration shall provide positive identification, give a permanent street address, provide an exemplar of his signature, the name of his employer or the party responsible for complying with the provisions of subsection (b), the business address of such employer, the identity and registration of any motor vehicle to be used to transport goods or persons engaged in said business, and a brief description of the goods to be sold and proposed method of operation. Said chief of police or designated official shall photograph each applicant for the purpose of identification and shall retain a copy of each such photograph for a minimum of two years.

Each registrant shall pay to the city or town in which the initial registration occurs a registration fee in accordance with the provisions of section twenty-two.

If the chief of police or designated official determines by investigation or receives reliable information that an applicant has been convicted of a felony or is a fugitive from justice or if such applicant refuses to provide any of the required information, then said applicant may be denied registration. Otherwise, said chief of police or designated official shall provide each successful applicant who pays the required fee a certificate of registration which shall be effective and valid for two years from the date of issuance. Each such certificate of registration shall include the applicant's photograph, the applicant's description and signature, as well as the date and the name of the city or town of issuance. The certificate of registration shall be issued within forty-eight hours of the submission of the application. Such certificate shall be conspicuously displayed by each registered sales agent and sales supervisor when engaged in selling.

Before a sales agent or sales group may commence selling goods or periodicals door-to-door for future delivery in a city or town, written notice shall be given to the chief of police or other official designated by the city council of such city or the board of selectmen of such town. Such written notification shall include the name and local address of each sales agent and sales supervisor, the date and time in which the sale is to be conducted, a description of the goods or periodicals to be sold, and the proposed method of operation.

The chief of police or other designated official of a city or town shall electronically notify the department of criminal justice information services of the name of each sales agent, including a sales agent within a sales group, and each sales supervisor who has registered or provided notice that he is selling goods or periodicals door-to-door for future delivery in said city or town. Said notification shall be by means of the criminal justice information system in accordance with a plan to be



developed by the department of criminal justice information services. The the chief of police shall make inquiry to determine whether a sales agent or sales supervisor is a missing person.

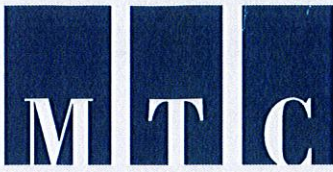
The chief of police or other designated official may regulate the hours during which and conditions under which the registrant may engage in door-to-door selling. If the sales group intends to extend its stay in any city or town, the sales supervisor, or sales organization if there is no sales supervisor, shall submit to the chief of police or other designated person a written statement citing the reason for such extension and the date of the expected departure of such sales group.

Any such registration may be revoked for good cause by the chief of police or other designated official in any city or town in which such sales are being made. Good cause shall include a violation of this section or a determination that the registrant has been convicted of a felony, or is a fugitive from justice, or has been charged with a felony while engaged as a sales agent or sales supervisor. In the event of any such revocation, the chief of police or other designated official shall immediately notify in writing the chief of police of the city or town which issued the certificate of registration so revoked.

(d) A person or sales organization that knowingly violates any provision of this section shall be subject to a fine of five hundred dollars or imprisonment for not more than six months.

A person who knowingly supplies false information on an application or who carries on the business regulated by this section without registering or after his registration is revoked or expired shall be punished by a fine of not more than five hundred dollars or by imprisonment for not more than six months.

(e) The provisions of this section shall not apply to any person who goes door-to-door to sell goods or periodicals on behalf of any group organized for any political purpose or for any purpose described in section four of chapter one hundred and eighty, nor shall this section apply to a person engaged in any sale governed by section sixty-nine of chapter one hundred and forty-nine.



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July 28, 2025

By Electronic Delivery

Thomas J. Sullivan  
City Council President  
Haverhill City Council  
4 Summer Street,  
Room 204  
Haverhill, MA 01830

Re: Amendment to Ch. 191 of the City Ordinances

Dear Mr. Sullivan:

Reference is made to the above captioned matter. In that connection, the City has requested that we draft an ordinance amendment to Ch. 191 of the City of Haverhill City Ordinances to reflect the following changes as voted by City Council on July 22, 2025:

1. To reduce the allowed solicitation hours from 9am to 5pm.
2. To prohibit solicitation on Sundays and legal holidays.
3. To require solicitors to visibly display proof of the permit on their person.
4. To increase the fine for violation of the Ordinance to \$500.00 per violation.

Attached to this correspondence for the City Council's review is a redline version of proposed changes, as well as a clean copy.

Sincerely,

/s/ Lisa L. Mead

Atty. Lisa Mead, City Solicitor

Enclosure(s)

cc: Melinda E. Barrett, Mayor



DOCUMENT

**CITY OF HAVERHILL**

In Municipal Council

ORDERED:

MUNICIPAL ORDINANCE

CHAPTER 255

ARTICLE I

**Hawkers and Peddlers**

[Adopted as Secs. 23-18 and 23-19 of the 1963 City Code (Ch. 191, Art. I, of the 1980 Code)]

**§ 191-1. Crying of wares prohibited; condition of vehicles.**

No person hawking, peddling or carrying or exposing any articles for sale shall cry his wares to the disturbance of the peace and the comfort of the inhabitants of the City nor otherwise than in vehicles or receptacles which are neat and clean and do not leak.

**§ 191-2. Peddling near schools.**

No licensed or unlicensed hawker or peddler shall sell or offer for sale on any public street, way or public place in the City within 2,000 feet of any school in the City any goods, wares or merchandise between the hours of 8:00 a.m. and 4:00 p.m. on days when the schools of the City are in session.

ARTICLE II  
**Solicitors and Canvassers**  
[Adopted 6-30-1964 by Doc. 176 (Ch. 191, Art. II, of the 1980 Code)]

**§ 191-3. Registration required; hours.**

No person or group of persons, solicitors, salesmen or canvassers shall solicit funds as authorized by Chapter 68 of the General Laws or other laws or sell or offer for sale any products or merchandise upon the public ways or in any other public places or on private premises in the City of Haverhill prior to 9:00 a.m. or after 8:00 p.m., nor unless All people soliciting or canvassing shall be -registered with the Chief of Police. Solicitation or canvassing is prohibited on Sundays and legal holidays.

**§ 191-4. Licensing; fees. [Added 4-8-2003 by Doc. 58]**

Any person soliciting or canvassing shall pay a fee to the City of Haverhill for such license which shall be approved by the Police Department and granted by the City Council. The fee for such license shall be \$60. Said proof of license shall be visibly displayed on the person of such licensee at all times while soliciting or canvassing within the City of Haverhill.

**§ 191-5. Exemptions. [Added 4-8-2003 by Doc. 58]**

This shall not pertain to Boy or Girl Scouts, religious organizations or any fund raising for school organizations.

## ARTICLE III

**Ice Cream Vendors****[Adopted 6-23-1981 by Doc. 122 (Ch. 191, Art. III, of the 1980 Code)]****§ 191-6. Licensing of vendors.**

- A. Licenses for the sale of ice cream and related products from a vending truck shall be issued by the Board of Health. The initial licenses shall be granted to expire on the first anniversary of the effective date of this legislation.
- B. There shall be issued no more than two such licenses during the course of any given year.
- C. Whenever a license hereunder is issued to a vendor whose principal place of business is located within the City of Haverhill, such license shall limit to two the number of vending trucks to be used by the licensee.
- D. Whenever a license hereunder is issued to a vendor whose principal place of business is located outside the City of Haverhill, such license shall limit to one the number of vending trucks to be used by the licensee.
- E. The fee for licenses issued hereunder shall be set by the Board of Health.
- F. In evaluating an application for a license to sell ice cream and related products from a vending truck, the Board of Health shall consider the following criteria:
  - (1) Whether the applicant has sufficient vending equipment to adequately service the needs of the City.
  - (2) The number of years the applicant has been engaged in the sale of ice cream and related products from vending trucks within the City.
  - (3) The extensiveness and quality of the applicant's line of products to be offered for sale to the public.
  - (4) Whether the applicant's business is located within the City.
  - (5) Whether the applicant has previously had a license to peddle within the City.
  - (6) Whether the applicant has been convicted within the prior 12 months of any offense against the laws of Massachusetts or the ordinances of the City relating to peddling.
  - (7) Whether the applicant is a person of good moral character and has a good business reputation within the City.
  - (8) Any other factors relating to the applicant deemed relevant by the Board of Health in determining whether the issuance of a license to him will best serve the general welfare of the residents of the City.
- G. The Board of Health shall regulate the issuance, revocation, suspension and renewal of all licenses hereunder.
- H. Any individual, corporation, partnership or other entity to which a license hereunder is issued



shall be entitled, at least 30 days prior to the expiration of such license, to apply for renewal of such license, said renewal to be granted unless for good cause shown.

- I. Nothing contained in this § 191-6 shall apply to the issuance or other disposition of a license to sell ice cream and related products from a vending truck at the Haverhill Municipal Stadium, and no license issued hereunder shall entitle the licensee to operate at said stadium.<sup>1</sup>
- J. Any individual engaged in the sale of ice cream and related products from a vending truck must be listed on the application and comply with the provisions of Article VII of Chapter 191. **[Added 5-20-2014; amended 6-2-2015 by Doc. 71]**

**§ 191-7. Licensing of vendors at Haverhill Municipal Stadium.**

- A. Licenses for the sale of ice cream and related products from a vending truck at the Haverhill Municipal Stadium shall be issued by the Board of Health. The initial licenses shall be granted to expire on the first anniversary of the effective date of this legislation.
- B. There shall be issued no more than two such licenses during the course of any given year.
- C. Such license shall stipulate that the licensee shall use no more than one vending truck per licensee in the sale of ice cream and related products at the Haverhill Municipal Stadium.
- D. The fee for such licenses shall be set by the Board of Health.
- E. In evaluating an application for a license to sell ice cream and related products from a vending truck, the Board of Health shall consider the following criteria:
  - (1) Whether the applicant has sufficient vending equipment to adequately service the needs of the stadium.
  - (2) The number of years the applicant has been engaged in the sale of ice cream and related products from vending trucks within the City.
  - (3) The extensiveness and quality of the applicant's line of products to be offered for sale to the public.
  - (4) Whether the applicant's business is located within the City.
  - (5) Whether the applicant has previously had a license to peddle within the City.
  - (6) Whether the applicant has been convicted within the prior 12 months of any offense against the laws of Massachusetts or the ordinances of the City relating to peddling.
  - (7) Whether the applicant is a person of good moral character and has a good business reputation within the City.
  - (8) Any other factors relating to the applicant deemed relevant by the Board of Health in determining whether the issuance of a license to him will best serve the general welfare of the residents of the City.

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1. Editor's Note: Original § 191-4J, re: effectiveness for one year unless amended, which immediately followed this subsection, was repealed 6-8-2004 by Doc. 84 and 12-7-2004 by Doc. 155.

- F. The Board of Health shall regulate the issuance, revocation, suspension and renewal of all licenses hereunder.
- G. Any individual, corporation, partnership or other entity to which a license hereunder is issued shall be entitled, at least 30 days prior to the expiration of such license, to apply for renewal of such license, said renewal to be granted unless for good cause shown.<sup>2</sup>
- H. Any individual engaged in the sale of ice cream and related products from a vending truck must be listed on the application and comply with the provisions of Article VII of Chapter 191. **[Added 5-20-2014; amended 6-2-2015 by Doc. 71]**

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2. Editor's Note: Original § 191-5H, re: effectiveness for one year unless renewed, which immediately followed this subsection, was repealed 6-8-2004 by Doc. 84 and 12-7-2004 by Doc. 155.

## ARTICLE IV

**Peddlers and Hawkers, Transient Vendors and Fixed Location Vendors<sup>3</sup>**  
**[Adopted 12-1-1981 by Doc. 212 (Ch. 191, Art. IV, of the 1980 Code)]**

**§ 191-8. Definitions. [Amended 11-9-1982 by Doc. 193; 12-7-2004 by Doc. 155]**

The following words shall for the purposes of this article have the following meanings, unless the context requires otherwise:

**FIXED LOCATION VENDOR** — Any person who, for himself or for another person, engages in the sale of goods, wares, merchandise, food or beverages at a fixed location which is carried on in any fixed or mobile cart, wagon or tables. **[Amended 10-5-2010 by Doc. 104]**

**HAWKER or PEDDLER** — Any person who, for himself or for another person, travels by foot, automobile or any other type of conveyance from place to place, from house to house, or from street to street, taking or attempting to lease or take orders for retail sale of goods, wares, merchandise, or services. This shall include persons engaged in door-to-door sale for future delivery as defined by MGL c. 101, § 34. **[Amended 3-21-2006 by Doc. 39; 3-10-2015 by Doc. 31; 4-28-2015 by Doc. 53]**

**SEASONAL PRODUCTS** — Christmas trees, wreaths, baskets, blooming plants and cut flowers.

**TRANSIENT VENDOR** — Any person who, for himself or for another person, who engages in a temporary or transient business in the commonwealth selling goods, wares or merchandise, either in one locality or in traveling from place to place. Temporary or transient business shall mean any exhibition and sale of goods, wares or merchandise which is carried on in any tent, booth, building or other structure, unless such place is open for business during usual business hours for a period of at least 12 consecutive months.

**§ 191-9. Licenses. [Amended 11-9-1982 by Doc. 193; 11-14-1989 by Doc. 193-B; 7-13-1993 by Doc. 87; 6-28-1994 by Doc. 99; 2-4-1997 by Doc. 23; 4-20-1999 by Doc. 64; 7-23-2002 by Doc. 116; 6-8-2004 by Doc. 84; 12-7-2004 by Doc. 155]**

It shall be unlawful for any person, firm or corporation to engage in the business of hawker/ peddler without first having secured a state license or a license from the City. It shall be unlawful for any person, firm or corporation to engage in the business of transient vendor without first having secured a state license and a license from the City. It shall be unlawful for any person, firm or corporation to engage in the business of fixed location vendor without first having secured a license from the City.

- A. **Application.** Applications for permission to use City property or to sell on City streets, sidewalks, public ways or in any public space shall be made to the City Clerk and shall be subject to the approval of the City Council. Applications shall state thereon the kind of merchandise to be sold, the proposed location of the business, the dates and times of operation and the permanent address and telephone number of the vendor.
- B. **Fee.** The fee for a hawker/peddler license shall be \$62, unless the applicant has a state license

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3. **Editor's Note:** The title of this article was changed from "Transient Vendors and Peddlers and Hawkers of Seasonal Products" to "Peddlers and Hawkers, Transient Vendors and Fixed Location Vendors" 4-24-2012 by Doc. 51.

in which case there shall be no fee. The fee for a transient vendor or a fixed location vendor shall be \$100 for a period of less than 30 days or \$300 for a period exceeding 30 days.

- C. Prior approvals. Before such a permit is issued, approval shall be obtained from the Chief of Police (registration and traffic safety, etc.); Building Inspector (signs, zoning, regulations, etc.); Wiring Inspector (lights, etc.); Recreation Director (use of Riverside Park and area in front of or on the side of Haverhill Stadium); Fire Inspector; and Health Department (food or beverage sales).
- D. Hours of operation. No sales activity shall be allowed before 9:00 a.m. and after 59:00 p.m. without the prior permission of the City Council. No sales activity shall be allowed on Sundays or legal holidays without the prior permission of the City Council. Proof of license shall be visibly displayed on the person of such licensee at all times while hawking or peddling within the City of Haverhill.
- E. The sale of silly string or similar type goods or snap caps and stink bombs or similar explosives or any facsimile cigarettes during a parade or public event in the City of Haverhill is prohibited.
- F. A permit to sell may only be used by the person whose name appears on the City license, unless an employee is working under a licensed vendor and obtains a separate employee license. The fee for such an employee license shall be \$25, and the employee license shall run with the term of the licensed vendor. **[Amended 10-5-2010 by Doc. 104]**
- G. No transient vendor or fixed location vendor license shall be issued without the applicant indemnifying the City of Haverhill from any and all claims arising out of the maintenance of such a location and by placing on file a sidewalk obstruction bond in the amount of \$5,000 as set forth in § 222-46 of this Code.
- H. All permits issued under this section may be effective for up to one year, commencing on January 1 and with an expiration date of December 31 of the year in which the permit is granted. Any license which is not renewed for the upcoming year by December 1 of the prior year may be subject to reassignment in accordance with the provisions of § 191-11B. **[Amended 10-5-2010 by Doc. 104]**
- I. Any person, firm or corporation engaging in the business of hawker/peddler within the City of Haverhill who is operating on the basis of a state license solely shall register with the Chief of Police at least 24 hours prior to conducting business and shall provide the kind of merchandise to be sold, the proposed areas and locations in which they will engage in their business, the dates and times of operation, the permanent address and telephone number of the vendor, and a copy of a valid state hawker/peddler license.
- J. Door-to-door sales. **[Added 3-21-2006 by Doc. 39; amended 4-24-2012 by Doc. 51; 3-10-2015 by Doc. 31; 4-28-2015 by Doc. 53]**
  - (1) Any person, firm or corporation engaging in the business of door-to-door sales for future delivery shall comply with all provisions of M.G.L. c. 101, § 34. The Chief of Police shall be the designated official for the registration required by M.G.L. c. 101, § 34. The Chief of Police may make reasonable rules and regulations for such registrations and persons engaged in the business of door-to-door sales consistent with M.G.L. c. 101, § 34. A registration fee of \$100 shall be paid to the Police Department for each person so registered.



- (2) Signs prohibiting solicitation; trespass.
  - (a) It shall be unlawful for any salesperson to enter the premises or remain on property displaying a "No Trespassing" or "No Solicitation" sign.
  - (b) It shall be unlawful for any salesperson to ignore a no-solicitation directive or remain on private property after a resident or resident's representative has indicated that the salesperson is not welcome.
- (3) Do Not Knock Registry.
  - (a) The Police Department shall prepare a list of addresses of those premises where the owner and/or occupant has notified the Chief of Police, or his designee, that a door-to-door salesperson, hawker, peddler or any other person, including corporate or business entities, wishing to sell wares or services in all districts, in locations which are not stationary, are not permitted on the premises (hereinafter referred to as the "Do Not Knock Registry"). Notification shall be by completion of a form available at the Police Department.
  - (b) The Chief of Police or designee shall distribute the current Do Not Knock Registry to a person or entity licensed under this section at the time of issuance of the license. The licensee shall not peddle, canvass, or conduct door-to-door sales at any premises identified on the then current Do Not Knock Registry.
- (4) Exemptions. The above provisions shall not apply to any person who goes door to door for the purpose of advocating any religious, political, social or other position or belief protected by the federal or state constitution, the sale or delivery of newspapers, any corporation organized for charitable purposes, such as schools or the Boy/Girl Scouts, and candidates for public office.
- (5) Penalties. Any canvasser, peddler, itinerant vender or owner or employee of a door-to-door sales enterprise who violates any provision of this section shall be:
  - (a) Subject to a fine of \$5300 per offense; and/or
  - (b) Subject to a one-year revocation of any license issued by the Chief of Police.

**§ 191-10. Seasonal products; fee. [Added 7-13-1993 by Doc. 87; 4-20-1999 by Doc. 64; 4-8-2003 by Doc. 58; 6-8-2004 by Doc. 84; 12-7-2004 by Doc. 155]**

It shall be unlawful for any person, firm or corporation to engage in the business of transient vendor or fixed location vendor for the sale of seasonal products without first having secured a City license pursuant to the requirements of § 191-9. The fee for a license to sell seasonal products shall be \$200.

**§ 191-11. Permitted fixed locations; exceptions. [Added 7-13-1993 by Doc. 87; amended 5-16-1995 by Doc. 88; 4-20-1999 by Doc. 64; 11-9-2004 by Doc. 146; 12-7-2004 by Doc. 155]**

- A. Permitted locations. Selling within the City of Haverhill of products licensed under § 191-9 by fixed-location vendors shall only be permitted within the boundaries of these areas:

**[Amended 10-5-2010 by Doc. 104; 3-22-2011 by Doc. 29]**

- (1) Winnekenni area, Route 110: one vendor.
- (2) Bradford Common: one vendor.\*
- (3) Riverside Park: one vendor.
- (4) Washington Square: one vendor.
- (5) GAR Park: one vendor.
- (6) Swasey Park: one vendor.
- (7) Outside Haverhill Stadium at Lincoln and Nettleton Avenues: one vendor.
- (8) Other areas as approved by the City Council.

\* An enclosed cart 8.5 x 12 feet, excluding hitch, is allowed at the Bradford site only. Any party desiring a similar type of cart at any other location must petition the City Council for permission

- B. Vacated locations. Persons who wish to be considered for a permit for one of the above locations, when vacated, may notify the City Clerk, who shall maintain a waiting list, including the person's name, address and a date of receipt. Interested parties shall be notified when a location is vacated and shall have 30 days to apply for issuance of a permit. If more than one person applies for a particular site, preference shall be given to the earliest qualified applicant, as determined by the City Council. If no person has applied for a permit within 30 days or if there are no persons on the waiting list, the location shall be granted to the earliest qualified applicant, if the City Council so determines. The waiting list must be renewed every two years, with those applicants on the list to be notified by the City Clerk by regular U.S. mail to renew the application by November 1. Persons may be permitted for more than one location if allowed by the City Council. Any person with a valid permit who fails to operate his/her location for a period of less than four days per calendar week, Sunday through Saturday, weather permitting, from Memorial Day through Labor Day, may have said permit be subject to revocation by the City Council, after notice and hearing. **[Amended 10-5-2010 by Doc. 104; 3-22-2011 by Doc. 29]**
- C. Exceptions. The following areas shall not be permitted to have any type of selling by either a transient vendor or hawker/peddler:
- (1) All municipal parking areas.
  - (2) Plug Pond.
  - (3) Meadowbrook Conservation Area.
  - (4) Within 300 feet of any public school building, notwithstanding the provisions of § 191-2.
  - (5) Within 25 feet of any parade route commencing 1/2 hour prior to the start of said parade,



except for those permitted to sell in accordance with § 191-12.

**§ 191-12. Special events. [Amended 7-13-1993 by Doc. 87; 4-20-1999 by Doc. 64; 12-7-2004 by Doc. 155]**

- A. Fixed location vendors shall also be permitted to operate during special events, provided that a notification of intent to operate during the special event is filed with the event director or committee at least 30 days prior to said special event and the event director or committee approves the specific location. The event director or committee shall not unreasonably withhold approval for operation during a special event; however, the event director or committee shall have exclusive jurisdiction over the assigned specific location at which any person(s) may operate.<sup>4</sup>

**§ 191-13. Fraud; violations and penalties. [Amended 7-13-1993 by Doc. 87]**

- A. Fraud. Any licensed transient vendor or peddler or hawker who shall be guilty of any fraud, cheating or misrepresentation, whether through himself or through an employee, while acting in the City, or who shall barter, sell or peddle any goods or merchandise or wares other than those specified in his application for a license or who shall fail to comply with the conditions and restrictions contained herein shall be deemed guilty of a violation of this article.
- B. Penalty. Any person, firm or corporation violating any provision of this article shall be fined not less than \$50 nor more than \$2500 for each offense, and a separate offense shall be deemed committed on each day during or on which a violation occurs or continues.

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4. Editor's Note: Former Subsection B, regarding waiving the fee for "sponsor vendors," which immediately followed, was repealed 7-11-2017 by Doc. 82. Original § 191-7.4, Street vending during the Great Race on June 13, 1998, added 5-26-1998 by Doc. 83, which followed this section, was repealed 6-8-2004 by Doc. 84 and 12-7-2004 by Doc. 155.

ARTICLE V

**Leafletting**

**[Adopted 12-15-1992 by Doc. 174 (Ch. 191, Art. V, of the 1980 Code)]**

**§ 191-14. Distribution of leaflets.**

No person, organization, company or other entity shall distribute or cause to be distributed leaflets, pamphlets or other material by attaching the same to motor vehicles belonging to another person.

**§ 191-15. Cleanup responsibilities.**

Any person, organization, company or other entity either legally or illegally distributing or causing to be distributed leaflets, pamphlets or other material shall be responsible for the cost of cleaning up litter which is the result of the distribution. This section may be enforced by either a civil or criminal proceeding.

ARTICLE VI  
**Exterior Vending Machines**  
**[Adopted 2-1-2011 by Doc. 13]**

**§ 191-16. Purpose.**

The purpose of this article is to protect, preserve and maintain the public health, safety and welfare by regulating business activities relating to exterior vending machines, as defined herein. This article sets forth requirements for the review of exterior vending machines so that such machines may be permitted without adversely affecting the public health, safety and welfare.

**§ 191-17. Definitions.**

As used in this article, the following terms shall have the meanings indicated:

**EXTERIOR VENDING MACHINES** — Any automated machine that is placed outside of a fully enclosed building and that is designed to allow consumers to insert monies by way of cash, credit or debit cards and obtain goods, merchandise or products stored within or produced by the machine, excepting all food, beverage or cigarette vending machines.

**§ 191-18. License required.**

The use and/or placement of all exterior vending machines shall require a license from the City Council. Each license shall be valid for one calendar year. Application for such licenses shall be on a form prescribed by the City Clerk, and a fee of \$100 shall be paid for each machine to be licensed. The application shall be submitted to the Police Chief, Fire Chief, Building Inspector, Wiring Inspector and the Board of Health for review and comment prior to the City Council taking final action on the application. The City Council shall then hold a public hearing on such license. In determining whether to issue such a license, the City Council may consider issues pertaining to hours of operation, traffic, lighting, noise and such other issues as may affect the public health, safety and welfare. The City Council may impose reasonable conditions upon the issuance of any such license. Each licensed machine shall display a sticker from the City evidencing that it is properly licensed.

**§ 191-19. Violations and penalties.**

- A. The following penalties shall be applied in addition to any other remedies available in this article:
  - (1) First offense: \$150.
  - (2) Subsequent offense: \$300.
- B. Each day of violation shall be an independent violation which may result in a separate citation.

**§ 191-20. Severability.**

The provisions of this article shall be severable and if any section, part, or portion hereof shall be held invalid for any purpose by any court of competent jurisdiction, the decision of such court.<sup>5</sup>

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5. Editor's Note: So in original.

ARTICLE VII  
**Fingerprint-Based Background Checks**  
**[Adopted 6-2-2015 by Doc. 71]**

**§ 191-21. Purpose.**

To protect the health, safety, and welfare of the inhabitants of the City of Haverhill, and as authorized by MGL c. 6, § 172B1/2, this article requires:

- A. Applicants for certain City licenses permitting the engagement in specific occupational activities within the City of Haverhill as enumerated in § 191-23 to submit to fingerprinting by the Haverhill Police Department;
- B. The Haverhill Police Department to conduct criminal record background checks based on such fingerprints; and
- C. The City of Haverhill to consider the results of such background checks in determining whether or not to grant a license.

**§ 191-22. Authorization.**

The City of Haverhill authorizes the Massachusetts State Police, the Massachusetts Department of Criminal Justice Information Systems (DCJIS) and the Federal Bureau of Investigation (FBI) as may be applicable to conduct on behalf of the City of Haverhill and its Police Department fingerprint-based state and national criminal record background checks, including of FBI records, consistent with this article. The City of Haverhill authorizes the Police Department to receive and utilize FBI records in connection with such background checks, consistent with this article.

**§ 191-23. Fingerprinting of applicants required; use of fingerprints.**

- A. Any applicant for a license to engage in any of the following occupational activities within the City of Haverhill shall submit a full set of fingerprints taken by the Haverhill Police Department within 10 days of the date of the application for a license, for the purpose of conducting a state and national criminal record background check to determine suitability of the applicant for the license:
  - (1) Owner or operator of a public conveyance (taxi or livery service).
  - (2) Ice cream truck vendor.
- B. At the time of fingerprinting, the Haverhill Police Department shall notify the individual fingerprinted that the fingerprints will be used to check the individual's FBI and other criminal history records.

**§ 191-24. Processing; communication of results.**

- A. The Police Department shall transmit fingerprints it has obtained pursuant to § 191-23 of this article to the Identification Section of the Massachusetts State Police, DCJIS and/or the FBI as may be necessary for the purpose of conducting fingerprint-based state and national criminal record checks of license applicants specified in § 191-23.

- B. An applicant may request, in writing, and receive a copy of his or her criminal history records from the Police Department. Should an applicant wish to correct or amend the information contained in it, he or she will be directed to the DCJIS for state records and the FBI for national records.
- C. The City of Haverhill Police Department shall communicate the results of the fingerprint-based criminal record background checks to the applicable licensing authority within the City. The Police Department shall indicate whether the applicant has been convicted of, or is awaiting final adjudication for, a crime that bears upon the applicant's suitability, or any felony or misdemeanor involving the use of force or the threatened use of force, controlled substances or a sex-related offense.

#### **§ 191-25. Utilization of results.**

Licensing authorities of the City of Haverhill shall utilize the results of fingerprint-based criminal history record background checks for the sole purpose of determining the suitability of the subjects of the checks in connection with the license applications specified in § 191-23. A City of Haverhill licensing authority may deny any application for a license on the basis of the results of the fingerprint-based criminal record background check, if the licensing authority, in its sole discretion, determines that the results of the check render the subject unsuitable for the proposed occupational activity. The licensing authority shall consider all applicable laws, regulations and City policies bearing on the applicant's suitability in making this determination. The licensing authority shall not deny a license based on information in a criminal record unless the applicant has been afforded a reasonable time to correct or complete the record or has declined or failed to do so.

#### **§ 191-26. Compliance with other laws, regulations, and policies.**

Implementation of this article and the conducting of fingerprint-based criminal record background checks by the City of Haverhill shall be in accordance with all applicable laws, regulations, and City policies, which shall include record retention and confidentiality requirements. The City of Haverhill shall not disseminate the results of fingerprint-based criminal record background checks except as may be provided by law, regulation, and City policy. The City of Haverhill shall not disseminate criminal record information to unauthorized persons or entities.

#### **§ 191-27. Fees; adoption of policy.**

- A. The fee charged by the Haverhill Police Department for the purpose of conducting fingerprint-based criminal record background checks shall be a total of \$100. A portion of the fee, as specified in MGL c. 6, § 172B1/2, shall be deposited into the Firearms Fingerprint Identity Verification Fund, and the remainder of the fee may be retained by the City of Haverhill for costs associated with the administration of the fingerprinting system.
- B. Further, the City Council hereby adopts the following Civil Fingerprinting Policy for Municipal Licensing Applicants by the City of Haverhill, Massachusetts, for the purpose of conducting state and national criminal history screening of applicants for the above-referenced municipal licenses as follows.<sup>6</sup>



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6. Editor's Note: Said policy is included as an attachment to this chapter.

ARTICLE VIII  
**Food Trucks**  
[Adopted 2-2-2016 by Doc. 67<sup>7</sup>]

**§ 191-28. Definitions.**

As used in this article, the following terms shall have the meanings indicated:

**FOOD TRUCK** — A walk-on vehicle-where food is cooked, prepared and served in individual portions that is no larger than 30 feet by eight feet.

**§ 191-29. License required; fee.**

No person shall operate a food truck on public ways or in any other public places without a license from the City Council. The fee for such a license shall be \$50 per day, but no more than \$500 for any calendar year.

**§ 191-30. Permitted locations; exceptions.**

Applicants may propose for license from the City Council any reasonable and permissible site from which to operate. Any proposed site shall be reasonably designed to accommodate and provide for the public need, must not negatively impact public health or safety, and may not negatively impact the quality of life while in operation pursuant to its license or while at the designated site. Any licensed food truck must be in compliance with the City's Noise Ordinance, Chapter 182 of this Code, at all times. No food truck shall operate within the Central Business District, as defined by § 11-70 of this Code, except for special events as permitted by the City Council.

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7. Editor's Note: This ordinance was adopted as Art. VII, but was redesignated to maintain the organization of the Code.



DOCUMENT

**CITY OF HAVERHILL**

In Municipal Council

ORDERED:

Municipal Ordinance

Chapter

An Ordinance Relating to Solicitation and Door to Door Sales: Amend Chapter 255 Section 191-3, 191-4, and 191-9D and replace it with new sections 191-3, 191-4, and 191-9D.

Since this Ordinance exceeds in length eight octavo pages of ordinary book print, in lieu of advertising, it is published by the City Council in a municipal bulletin, placed on file in the City Clerk's Office, and posted on the municipal bulletin in City Hall.

PLACED ON FILE for at least 10 days

Attest:

  
Kaitlin M. Wright, CMC, City Clerk

SEP 12 PM1:38  
HAVERHILL CITY CLERK

## **Document # 33-R**

Councilor Lewandowski requests an amendment to Chapter 191 of the City of Haverhill City Ordinances prepared by City Solicitor Lisa Mead reflecting changes that were voted by the City Council on July 22, 2025. She also requests to send a letter to our legislative delegation to advocate for additional language to our state statute on solicitation to protect residents.

IN CITY COUNCIL: SEPTEMBER 16, 2025

**PLACED ON FILE FOR 10 DAYS**

**11 YEAS, 0 NAYS, 0 ABSENT, 0 ABSTENTATION**

Attest: Kaitlin M. Wright  
Kaitlin M. Wright, CMC  
City Clerk

Approved: Melinda E. Barrett  
Melinda E. Barrett, Mayor

**CITY COUNCIL**

**Thomas J. Sullivan**, President  
**Timothy J. Jordan**, Vice President  
**John A. Michitson**  
**Colin F. LePage**  
**Melissa J. Lewandowski**  
**Catherine P. Rogers**  
**Shaun P. Toohey**  
**Michael S. McGonagle**  
**Katrina Hobbs Everett**  
**Devan Ferreira**  
**Ralph T. Basiliere**



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**CITY OF HAVERHILL**

HAVERHILL, MASSACHUSETTS 01830-5843

SEP 19 AM 9:36  
 HAVCITYCLERK

**DOCUMENTS REFERRED TO COMMITTEE STUDY**

103-HH	Motion by Councilor Michitson to send the <i>Home Rule Petition – An act establishing guidelines for the installation of and use of Electric vehicle charging stations in the City of Haverhill</i> , to committee in order to coordinate with condo associations.	A&F	12/23/23
40	Motion by Councilor Lewandowski to send updated Cannabis Social Equity Best Practices for the Cannabis Control Commission to A&F for further review.	A&F	4/2/24
12-P	Motion by Councilor Jordan to send possible conditions on new development and potential changes to our zoning ordinances.	Planning & Development	5/21/24
12-S	Motion by Councilor Ferreira to send the City's Swimming Ordinance Chapter 193 Article III and related items at Lake Saltonstall, aka Plug Pond to NRPP for further discussion.	NRPP	6/18/24
33-F	Motion by Councilor Basiliere to send resident winter parking concerns and offer suggestions for improvements	Public Health Safety	3/11/25
60	Motion by Councilor Michitson to send the Haverhill Housing Production Plan to P&D for further discussion	Planning & Development	5/6/25
33-L	Motion by Councilor Lewandowski to send Bill 3360 (vacancy tax on residential properties) for review and also further review of MVSP (Massachusetts Vacant Storefront Program)	Planning & Development	6/24/25
33-M	Motion by Councilor Michitson to send for feedback on Cross-Cutting Career training event from various participants	Planning & Development	6/24/25
33-P	Motion by Councilor Ferreira to send for review as to what our local strategies are for traffic and safety as well as looking into these intersections for public safety (Amesbury Line Road/Merrimac Road)	Public Health Safety	9/16/25
94-B	Motion by Councilor Ferreira to look at updating the standards of Ch. 250 article VI of the Haverhill Zoning Code regarding water use restrictions established in 2016	Planning & Development	9/16/25