



Commonwealth of Massachusetts
Executive Office of Energy and Environmental Affairs

Department of Environmental Protection

Address: 100 Cambridge Street, Suite 900, Boston MA 02114 | Phone: 617-292-5500

Maura T. Healey
Governor

Kim Driscoll
Lieutenant Governor

Rebecca Tepper
Secretary

Bonnie Heiple
Commissioner

April 23, 2020

The Honorable Melinda E. Barret, Mayor of Haverhill
c/o April Doroski, Fuss & O'Neill, Inc.
1550 Main Street, Suite 400
Springfield, MA 01103

RE: ISSUANCE OF CHAPTER 91 LICENSE No. WW01-0000749

Little River Channel and Site Improvements, Winter Street and MBTA Railroad Right-of-Ways, 93 Lafayette Square, 14-16 and 30 Stevens Street, Waters of the Little River, Haverhill, Essex County

Dear Mr. Mayor Barret:

The Department of Environmental Protection hereby issues the above-referenced Chapter 91 License, enclosed, authorizing the Licensee to perform certain activities pursuant to M.G.L. Chapter 91, the Public Waterfront Act, and the Waterways Regulations at 310 CMR 9.00. Any change in use or alteration of any structure or fill not authorized by this License shall render this License void.

No work may be undertaken until this License and accompanying Mylar Plans have been duly recorded in the applicable County Registry of Deeds or Land County for the district in which the land is located, within the chain of title of the affected property.

RECORDING OF THE LICENSE

This License must be recorded within the chain of title of the affected property at the appropriate County Registry of Deeds or, if registered land with the Land Registration Office, within sixty (60) days from the date of license issuance. In the case of recorded land, the License shall also be noted in the Registry's Grantor Index under the name of the owner of the land upon which the project is located. In the case of the registered land, the License shall also be noted on the Land Court Certificate of Title of the owner of the land upon which the project is located. Failure to record this License and accompanying Mylar Plans within the chain of title of the affected property within sixty (60) days of the date of issuance will render this License void pursuant to 310 CMR 9.18.


Upon recording the License and Plan, you must notify the Department by accessing your Authorization Record at <https://eplace.eea.mass.gov/citizenaccess> and entering the recording information. Instructions for entering recording information may be found at: <https://www.mass.gov/doc/eplace-waterways-recording-information-amendment/download> Failure to notify the Department of the recording of this License is a violation of 310 CMR 9.00.

CERTIFICATE OF COMPLIANCE

Pursuant to 310 CMR 9.19, once the licensed project is complete, the Licensee must file a Request for a Certificate of Compliance form, BRP WW05, within sixty (60) days of completion but in no event later than five (5) years from the License's issuance date, or any extension thereof, in accordance with 310 CMR 9.19(1). The license for any project for which such a request is not filed and certificate issued may be revoked pursuant to 310 CMR 9.26.

Please contact the Waterways Regulation Program at dep.waterways@mass.gov if there are any questions.

Sincerely,



Daniel J. Padien
Program Chief
Waterways Regulation Program

Cc: Mayor's Office, City of Haverhill
Haverhill Planning Board
Haverhill Conservation Commission

Encl: Chapter 91 License No. WW01-0000749 and accompanying Mylar plans

The Commonwealth of Massachusetts



No. WW01-0000749

Whereas, City of Haverhill

of -- Haverhill -- in the County of -- Middlesex -- and Commonwealth aforesaid, -- has applied to the Department of Environmental Protection for license to -- construct and maintain a grade control boulder, scour pool system, canoe/kayak launch, fishing platform, waterway access stairs, pedestrian bridge and walking trail, scour protection, including improvement dredging, as further detailed below-----

and has submitted plans of the same to the Department; and whereas due notice of said application, and of the time and place fixed for a hearing thereon has been given, as required by law, to the -- Municipal Official -- of the -- City of Haverhill -----

Now, said Department, having heard all parties desiring to be heard, and having fully considered said application, hereby, ~~subject to the approval of the Governor~~, authorizes and licenses the said-

City of Haverhill ---- subject to the provisions of the ninety-first chapter of the General Laws, and of all laws which are or may be in force applicable thereto, is hereby licensed to -- perform improvement dredging of 926,400 square feet (10,680± cubic yards) of aquatic sediment (maximum depth of 15.5 ft; including one-foot overdredge; 4.5 ft below the high water mark, El. 20.0 feet NAVD88); construct and maintain a river channel to a width of 18± ft at the toe of the bank with a stone fill and sediment channel bottom; construct and maintain grade control boulders and scour pools; install and maintain stone scour protection at Winter Street Bridge consisting of non-woven geotextile fabric with riprap and sediment; construct and maintain a canoe/kayak launch, waterway access stairs, and fishing platform at Cashman's Park; construct and maintain a 127-foot span pedestrian bridge (low cord at el. 24 feet NAVD 88, 4 feet of clearance above the high water mark); temporary installation of cofferdams, turbidity curtains and dewatering within the dam impoundment area -----

in/over waters of -- the Little River -- at Winter Street and MBTA Railroad Rights-of-Way, 93 Lafayette Square, 14-16 and 30 Stevens Street -- in the -- City of Haverhill -- and in accordance with the locations shown and details indicated on the accompanying License Plan No. WW01-0000749 (20 Sheets) prepared by Fuss & Oneill, dated January 26, 2026, signed and sealed by Daniel L. Monette, Massachusetts P.E. No. 53854 on March 31, 2026.

The Licenses and/or Legislative Authorizations previously issued for the project site include Board of Harbor and Land Commissioners License No. 1009, issued on July 14, 1887. The fill and structures authorized therein, to the extent they remain, shall be maintained in accordance with the terms and conditions of said licenses and plans, or as may be modified herein.

The structures authorized hereby shall be limited to the following uses: water-dependent infrastructure crossing facility, public access to waterfront open space and navigational waters for passive recreational purposes, and shoreline protection structures and associated fill thereto.

The structures and fill authorized pursuant to this License are valid for an unlimited term, pursuant to 310 CMR 9.15(1)(c).

The dredging authorized by this License is valid for a term of five (5) years from the date of issuance, pursuant to 310 CMR 9.15(2).

The Dredging Permit incorporated within this License is valid for a term of five (5) years from to the date of issuance.

This License is subject to the following Special and Standard Conditions.

SPECIAL CHAPTER 91 LICENSE CONDITIONS

1. The Licensee shall maintain all structures/fill authorized herein in accordance with the terms and conditions specified herein or this License may expire, pursuant to 310 CMR 9.25(1).
2. Any structural alteration, change in use, or and other modifications to that explicitly authorized herein and contained on the License Plans, shall require the prior review of the Department to determine whether additional licensing is required pursuant to M.G.L. Chapter 91 and the Waterways Regulations at 310 CMR 9.00.
3. All in-water work shall be conducted in accordance with the time-of-year (TOY) restrictions established by the Massachusetts Division of Marine Fisheries (MassDMF) or as otherwise revised

or clarified in writing by MassDMF and subject to the approval of the Department. The Licensee or its contractor(s) shall ensure the following:

- In-water and/or silt-producing work shall not be performed during the TOY restriction period which extends from March 1st to June 30th of any given year.
 - In-water work shall be scheduled to occur during periods of low flow conditions in the Little River, between July 1st to October 31st of any given year.
4. Temporary cofferdams, turbidity curtains and any other structures used for water diversion shall be removed from below Ordinary High Water within thirty (30) days of completion of in-water work, or as otherwise confirmed in writing by the Department. These structures shall be installed and maintained in a manner that does not interfere with the public rights of navigation and free passage over and through water.
 5. All structures and fill authorized herein shall be constructed to meet the Engineering and Construction Standards pursuant to 310 CMR 9.37.
 6. The use of unencapsulated polystyrene as part of any permanent or temporary component of the structures and/or fill authorized herein is prohibited.
 7. The Licensee shall allow agents of the Department to enter the project site to verify compliance with the conditions of this License.
 8. All work authorized herein shall be completed within five (5) years of the date of license issuance. The construction period may be extended by the Department for one (1) or more one (1) year periods without public notice, provided that the Applicant submits to the Department thirty (30) days prior to the end of the construction period, a written request to extend the period and provides adequate justification for said extension.
 9. Within sixty (60) days of completion of the licensed project, the Licensee shall request in writing that the Department issue a Certificate of Compliance in accordance with 310 CMR 9.19. The request shall be accompanied by a certification by a registered professional engineer licensed to do business in the Commonwealth that the project was completed in accordance with the plans, specifications, and conditions of this License.

Please see the following pages for additional conditions to this License

Duplicate of said plan, License No. WW01-0000749 on file in the office of said Department, and original of said plan accompanies this License and is to be referred to as a part hereof.

STANDARD CHAPTER 91 LICENSE CONDITIONS

1. Acceptance of this Chapter 91 License shall constitute an agreement by the Licensee to conform with all terms and conditions stated herein.
2. This License is granted upon the express condition that any and all other applicable authorizations necessitated due to the provisions hereof shall be secured by the Licensee prior to the commencement of any activity or use authorized pursuant to this License.
3. Any change in use or any substantial structural alteration of any structure or fill authorized herein shall require the issuance by the Department of a new Chapter 91 License in accordance with the provisions and procedures established in Chapter 91 of the Massachusetts General Laws. Any unauthorized substantial change in use or unauthorized substantial structural alteration of any structure or fill authorized herein shall render this License void.
4. This License shall be revocable by the Department for noncompliance with the terms and conditions set forth herein. This License may be revoked after the Department has given written notice of the alleged noncompliance to the Licensee and those persons who have filed a written request for such notice with the Department and afforded them a reasonable opportunity to correct said noncompliance. Failure to correct said noncompliance after the issuance of a written notice by the Department shall render this License void and the Commonwealth may proceed to remove or cause removal of any structure or fill authorized herein at the expense of the Licensee, its successors and assigns as an unauthorized and unlawful structure and/or fill.
5. The structures and/or fill authorized herein shall be maintained in good repair and in accordance with the terms and conditions stated herein and the details indicated on the accompanying License Plans.
6. Nothing in this License shall be construed as authorizing encroachment in, on or over property not owned or controlled by the Licensee, except with the written consent of the owner or owners thereof. The Licensee stated that MBTA, Steven Shain, G&C Concrete, and New Alpha Bro Property, LLC were the property owner at the time the application was submitted.
7. This License is granted subject to all applicable Federal, State, County, and Municipal laws, ordinances, and regulations including but not limited to a valid final Order of Conditions issued pursuant to the Wetlands Protection Act, M.G.L. Chapter 131 §40.
8. This License is granted upon the express condition that the use of the structures and/or fill authorized hereby shall be in strict conformance with all applicable requirements and authorizations of the MassDEP.
9. This License authorizes structure(s) and/or fill on:

_____ Private Tidelands - In accordance with the public easement that exists by law on Private Tidelands, the Licensee shall allow the public to use and to pass freely upon the area of the subject property lying between the high and low water marks, for the purposes of fishing, fowling, navigation, and the natural derivatives thereof.

_____ Commonwealth Tidelands - The Licensee shall not restrict the public's right to use and to pass freely, for any lawful purpose, upon lands lying seaward of the low water mark and upon any other lands defined as Commonwealth Tidelands. Said lands are held in trust by the Commonwealth for the benefit of the public.

_____ Great Pond of the Commonwealth - The Licensee shall not restrict the public's right to use and to pass freely upon lands lying seaward of the high water mark for any lawful purpose.

X

_____ Navigable River or Stream - The Licensee shall not restrict the public's right to use and to pass freely, for any lawful purpose, in the waterway.

No restriction on the exercise of these public rights shall be imposed unless otherwise expressly provided in this License.

10. Unless otherwise expressly provided by this License, the Licensee shall not limit the hours of availability of any areas of the subject property designated for public passage, nor place any gates, fences, or other structures on such areas in a manner that would impede or discourage the free flow of pedestrian movement thereon.

STANDARD CHAPTER 91 DREDGING CONDITIONS

1. Acceptance of this authorization shall constitute an agreement by the Licensee/Permittee to conform to all terms and conditions stated herein.
2. Any modification from that explicitly authorized herein and contained on the Plans shall require prior review of the Department to determine whether additional authorization is required pursuant to M.G.L. Chapter 91, the Public Waterfront Act, and the Waterways Regulations at 310 CMR 9.00.
3. The Licensee/Permittee shall inform the Department in writing at least three (3) days before commencing any authorized dredging or dredge material disposal.
4. This authorization is issued upon the express condition that any and all other applicable authorizations necessitated due to the provisions hereof shall be secured by the Licensee/Permittee prior to the commencement of any activity hereby authorized.
5. This authorization shall be revocable by the Department for noncompliance with the terms and conditions set forth herein. This authorization may be revoked after the Department has given written notice of the alleged noncompliance to the Licensee/Permittee, or his agent, and those persons who have filed a written request, with the Department, for such notice and have afforded the Licensee/Permittee a reasonable opportunity to correct said noncompliance. Failure to correct noncompliance after the issuance of a written notice by the Department shall render this authorization void.

6. This authorization is issued subject to all applicable federal, state, county, and municipal laws, ordinances, bylaws, and regulations, including but not limited to, a valid Order of Conditions issued pursuant to the Wetlands Protection Act, M.G.L. Chapter 131, §40 and a valid Water Quality Certification issued pursuant 314 CMR 9.00.
7. This authorization is issued upon the express condition that dredging, transportation, and disposal of dredge material shall be in strict conformance with all applicable requirements and authorizations of the Department. Any subsequent maintenance dredging and transportation and disposal of dredge material during the term of this authorization shall be in strict conformance with all applicable requirements and authorizations of the Department.
8. Unless otherwise authorized in accordance with a Special Condition of this authorization, no maintenance dredging beyond the time authorized herein is permitted.
9. The dredging under this authorization shall be conducted as to cause no unnecessary obstruction of the free passage of vessels.
10. In conducting the dredging authorized, care shall be taken to cause no shoaling. If, however, any shoaling is caused, the Licensee/Permittee shall, at his expense, remove the shoal areas. The Licensee/Permittee shall pay all costs of supervision, and if at any time the Department deems necessary a survey or surveys of the area dredged, the Licensee/Permittee shall pay all costs associated with such work.
11. Nothing in this authorization shall be construed as to impair the legal rights of any persons or authorize dredging on land not owned by the Licensee/Permittee without consent of the owner(s) of such property.
12. The Licensee/Permittee shall assume and pay all claims and demands arising in any manner from the work authorized herein and shall save harmless and indemnify the Commonwealth of Massachusetts, its officers, employees, and agents from all claims, audits, damages, costs and expenses incurred by reason thereof.
13. Whosoever violates any provisions of this authorization shall be subject to a fine of twenty-five thousand dollars and zero cents (\$25,000.00) per day for each day such violation occurs or continues, or by imprisonment for not more than one year, or both such fine and imprisonment; or shall be subject to civil penalty not to exceed twenty-five thousand dollars and zero cents (\$25,000.00) for each day such violation occurs or continues.
14. In the event of any conflict between the Special Conditions and the Standard Conditions, the Special Conditions shall prevail.

The amount of tidewater displaced by the work hereby authorized has been ascertained by said Department, and compensation thereof has been made by the said -- City of Haverhill -- by paying into the treasury of the Commonwealth -- (N/A) -- for each cubic yard so displaced, being the amount hereby assessed by said Department (N/A).

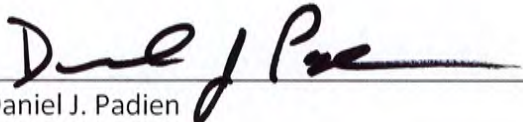
Nothing in this License shall be so construed as to impair the legal rights of any person.

This License shall be void unless the same and the accompanying Mylar Plan are recorded within the chain of title of the affected property within sixty (60) days from the date hereof, in the Registry of Deeds for the -- Essex North -- County of -- Essex.

In witness whereas, said Department of Environmental Protection have hereunto set their

hands this 23rd day of April in the year 2020.

Program Chief


Daniel J. Padien

Department of
Environmental Protection

~~THE COMMONWEALTH OF MASSACHUSETTS~~

~~This License is approved in consideration of the payment into the treasury of the Commonwealth by the said -- City of Haverhill -- the further sum of -- N/A -- the amount determined by the Governor as a just and equitable charge for rights and privileges hereby granted in the land of the Commonwealth.~~

~~BOSTON,~~

~~Approved by the Governor.~~

~~Maura T. Healey, Governor~~



Commonwealth of Massachusetts
Executive Office of Energy and Environmental Affairs

Department of Environmental Protection

Address: 100 Cambridge Street, Suite 900, Boston MA 02114 | Phone: 617-292-5500

Maura T. Healey
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April 23, 2026

The Honorable Mayor Melinda E. Barret, City of Haverhill
c/o April Doroski – Fuss & O’Neill, Inc.
1550 Main Street, Suite 400
Springfield, MA 01103

Re: Chapter 91 Administrative Authorization to Demolish Existing Unlicensed Structures (Chapter 91 Application No. 23-WW01-0056-APP) Little River Dam off 93 Lafayette Square (Parcel ID 516-304-1), and 14-16 Stevens Street (Parcel ID 307-2-9), Waters of the Little River, Haverhill, Essex County


Dear Mayor Barrett:

The Department of Environmental Protection Waterways Regulation Program (the “Department”) has reviewed the request in the referenced Chapter 91 Application for the City of Haverhill (the “Applicant”) seeking to demolish and remove unlicensed structures associated with the Little River Dam, including 65 feet of the 75-foot long stone dam, spillway, and portions of an existing retaining wall.

The Department’s review of licensing and cartographic databases did not identify any authorization for the structures proposed to be demolished and removed. Pursuant to 310 CMR 9.05(3)(m), the Department may authorize the removal of unlicensed fill and structures without a license or permit to facilitate a water-dependent use for projects that comply with certain criteria as stipulated in the regulations at 310 CMR 9.05(3). The Department has determined that the removal of the structures listed above and as depicted on the plans (attached) does not require a Chapter 91 Waterways License or Permit. Furthermore, the Department finds that removal of these existing unauthorized structures will facilitate water-dependent uses, namely improving stream connectivity and navigability. Therefore, this letter serves as the Department’s written approval to conduct the demolition activities listed above.

Prior to commencement of the actives approved herein, all other applicable local, State, and Federal approvals must be obtained. Please contact dep.waterways@mass.gov if there are any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Daniel J. Padien". The signature is fluid and cursive, with the first name "Daniel" and last name "Padien" clearly distinguishable.

Daniel J. Padien
Program Chief
Waterways Regulation Program

cc: Mayor Melinda E. Barret, City of Haverhill
City of Haverhill Conservation Commission

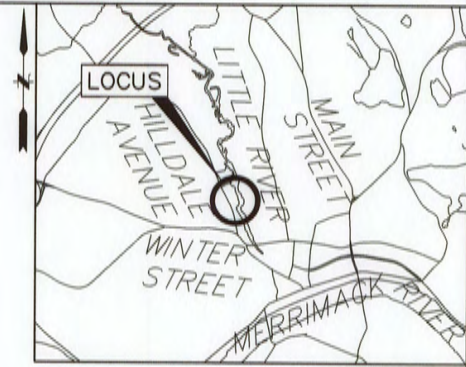
I CERTIFY THAT THIS PLAN WAS MADE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

3/31/2026
DATE

Daniel Monette
DANIEL MONETTE, PE

DRAWING INDEX

SHEET	TITLE
1	DRAWING INDEX & LEGEND
2	EXISTING CONDITIONS PLAN NO. 1
3	PROPOSED CONDITIONS PLAN NO. 1
4	PROPOSED CONDITIONS PLAN NO. 2
5	PROPOSED CONDITIONS PLAN NO. 3
6	PROPOSED CONDITIONS PLAN NO. 4
7	PROPOSED CONDITIONS PLAN NO. 5
8	PROPOSED CONDITIONS PLAN NO. 6
9	PROPOSED CONDITIONS PLAN NO. 7
10	PROPOSED CONDITIONS PLAN NO. 8
11	PROPOSED CONDITIONS PLAN NO. 9
12	DETAIL PLAN NO. 1
13	DETAIL PLAN NO. 2
14	DETAIL PLAN NO. 3
15	DETAIL PLAN NO. 4
16	DETAIL PLAN NO. 5
17	DETAIL PLAN NO. 6
18	DETAIL PLAN NO. 7
19	DETAIL PLAN NO. 8
20	PARCEL LIST



LOCUS MAP
SCALE: 1" = 6000'

NOTES

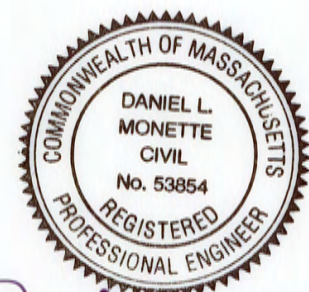
- PLANS ARE REFERENCED TO VERTICAL DATUM NAVD88 AND HORIZONTAL DATUM NAD83.
- ORDINARY HIGH WATER ELEVATION WAS TAKEN FROM AVERAGE OF OBSERVED ORDINARY HIGH WATER MARKS.
- FEMA FLOODPLAIN BOUNDARIES AND ELEVATIONS (NAVD88) WERE TAKEN FROM THE FOLLOWING FLOOD INSURANCE RATE MAPS FOR THE CITY OF HAVERHILL (COMMUNITY):
 - PANEL: 89, MAP NUMBER: 25009C0089G, EFFECTIVE DATE: JULY 19, 2018
 - PANEL: 87, MAP NUMBER: 25009C0087F, EFFECTIVE DATE: JULY 3, 2012

PRIOR CHAPTER 91 AUTHORIZATIONS

AUTHORIZATION	ISSUING AGENCY	DATE
1009	HARBOR & LAND COMMISSIONERS	JULY 14, 1887

LEGEND

	ORDINARY HIGH WATER (OHW. EL.20.0' NAVD88)
	FEMA ZONE AE 100-YEAR FLOODPLAIN BOUNDARY
	EXISTING CONTOURS
	PROPERTY LINE
	PROJECT SITE



Daniel Monette
3-31-2026

DRAWING INDEX & LEGEND

PLAN BY: FUSS & O'NEILL
1550 MAIN STREET,
SUITE 400
SPRINGFIELD, MA 01103
DATUM: NAVD88

SHEET 1 OF 20
JANUARY 26, 2026

PLAN ACCOMPANYING PETITION BY CITY OF HAVERHILL TO LICENSE AND MAINTAIN THE LITTLE RIVER DAM REMOVAL AND RESTORATION PROJECT IN HAVERHILL, ESSEX COUNTY, MASSACHUSETTS.

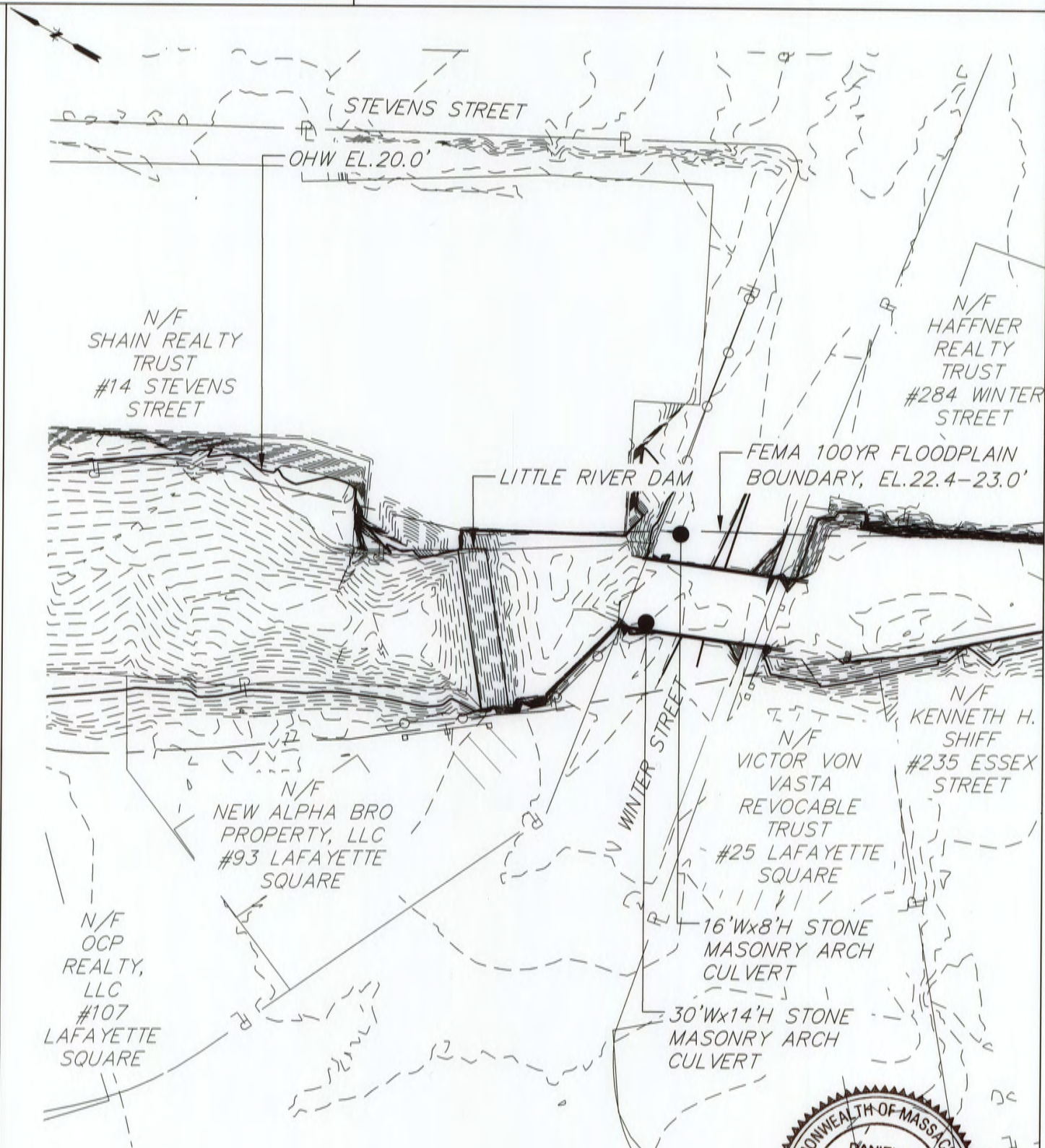
LICENSE PLAN NO. WW01-0000 749
Approved by Department of Environmental Protection
of Massachusetts

Daniel P. Rice
April 23, 2026

I CERTIFY THAT THIS PLAN WAS MADE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

3/31/2026
DATE

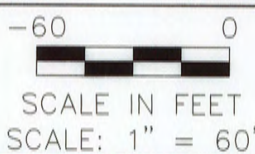
Daniel Monette
DANIEL MONETTE, PE



Daniel Monette
3.31.2026

PLAN BY: FUSS & O'NEILL
1550 MAIN STREET, SUITE 400
SPRINGFIELD, MA 01103
DATUM: NAVD88

LICENSE LIMITED TO AREA
BELOW HIGH WATER LINE



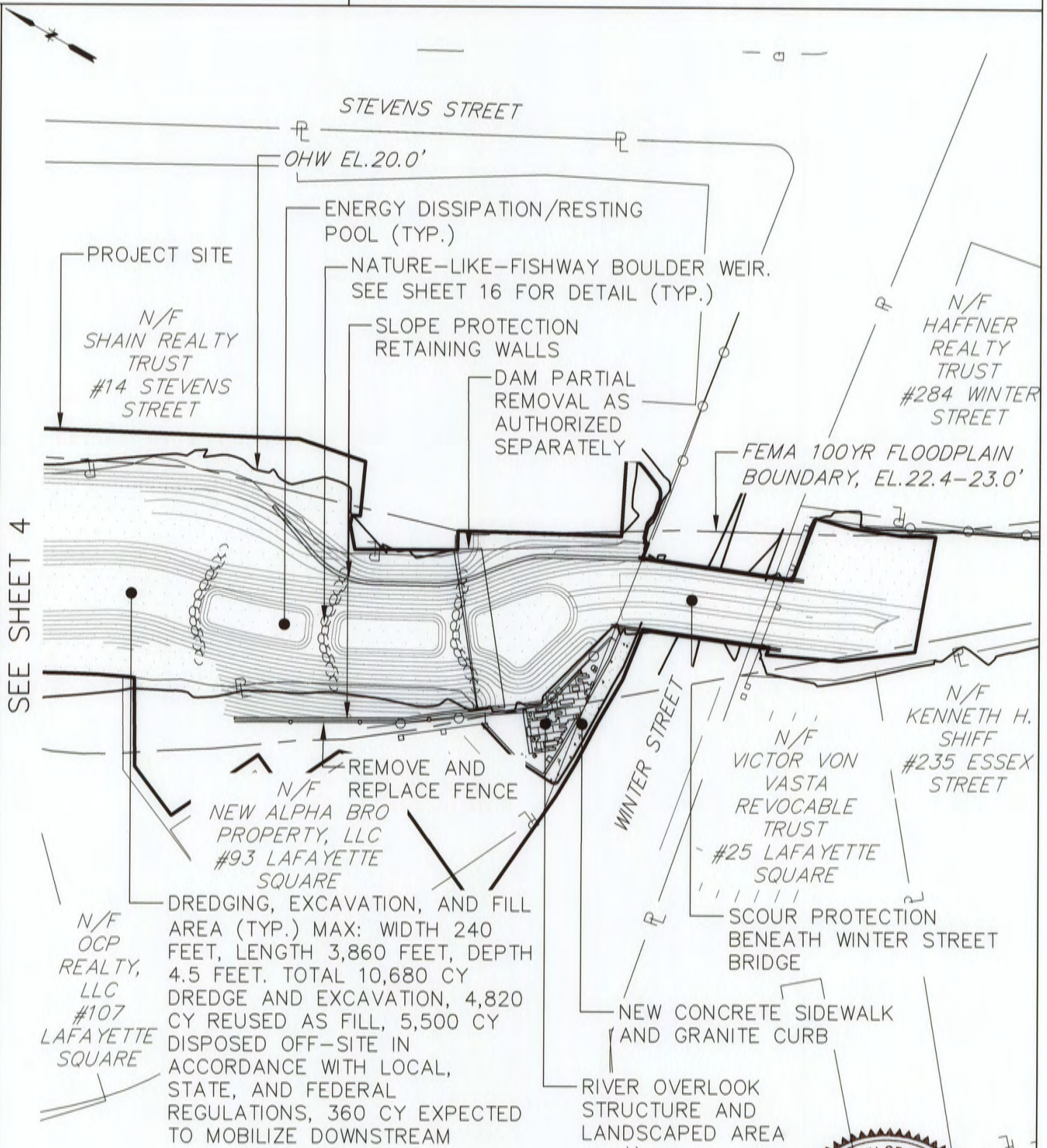
EXISTING CONDITIONS
PLAN NO. 1
SHEET 2 OF 20
JANUARY 26, 2026

LICENSE PLAN NO. **WW01-000749**
Approved by Department of Environmental Protection
Date: **April 23, 2026**

I CERTIFY THAT THIS PLAN WAS MADE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

3/31/2026
DATE

Daniel Monette
DANIEL MONETTE, PE



PLAN BY: FUSS & O'NEILL
1550 MAIN STREET, SUITE 400
SPRINGFIELD, MA 01103
DATUM: NAVD88

LICENSE LIMITED TO AREA
BELOW HIGH WATER LINE



Daniel Monette
3-31-2026

-60 0 PROPOSED CONDITIONS
SCALE IN FEET SHEET 3 OF 20
SCALE: 1" = 60' JANUARY 26, 2026

LICENSE PLAN NO. **WW01-0000749**
Approved by Department of Environmental Protection
Date: **April 23, 2026**

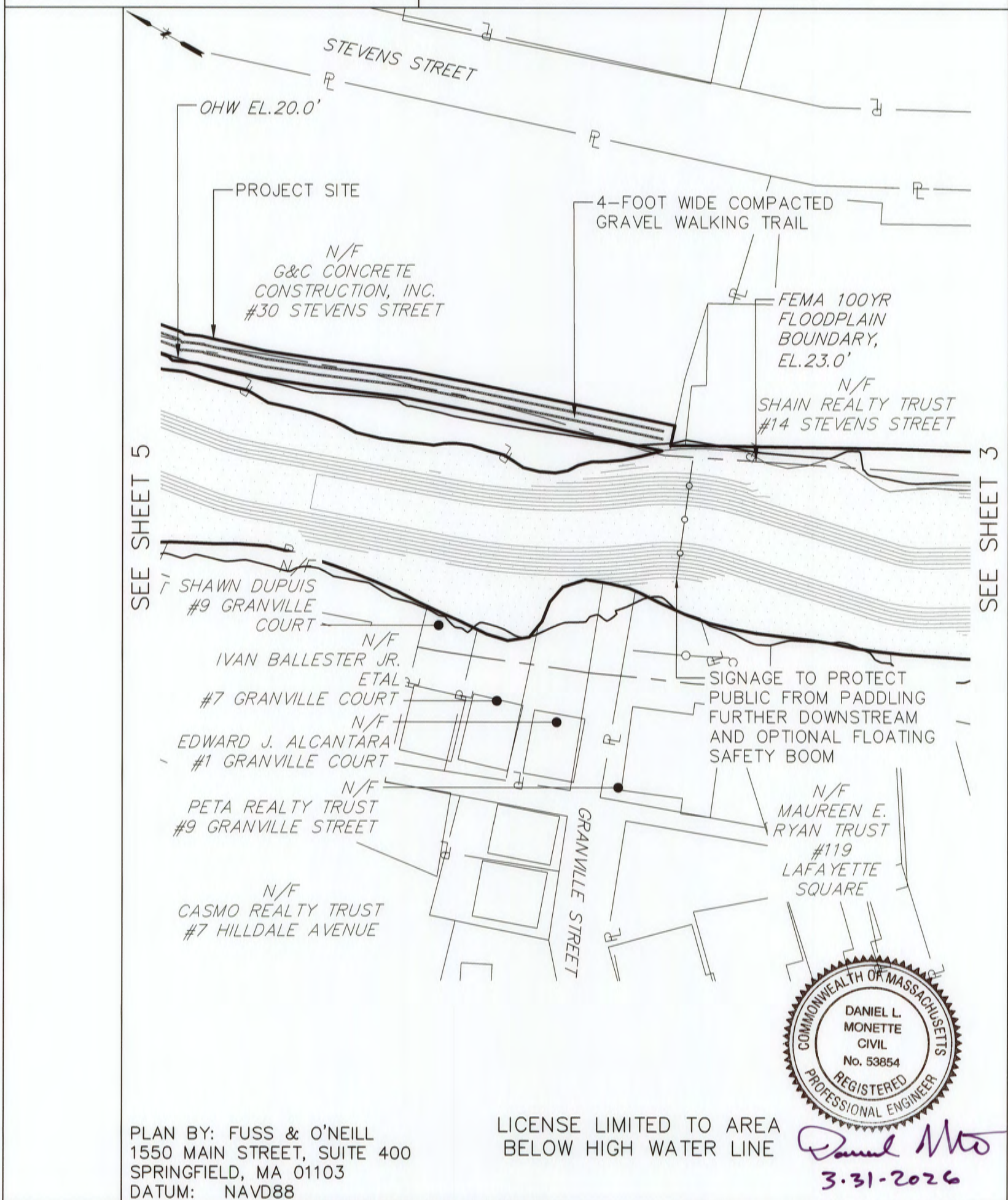
I CERTIFY THAT THIS PLAN WAS MADE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

3/31/2026

DATE

Daniel Monette

DANIEL MONETTE, PE



SEE SHEET 5

SEE SHEET 3

PLAN BY: FUSS & O'NEILL
1550 MAIN STREET, SUITE 400
SPRINGFIELD, MA 01103
DATUM: NAVD88

LICENSE LIMITED TO AREA
BELOW HIGH WATER LINE



Daniel Monette
3.31.2026

PROPOSED CONDITIONS
PLAN NO. 2
SHEET 4 OF 20
SCALE IN FEET
SCALE: 1" = 60'
JANUARY 26, 2026

LICENSE PLAN NO. *WV01-0000749*
Approved by Department of Environmental Protection
Date: *April 23, 2026*

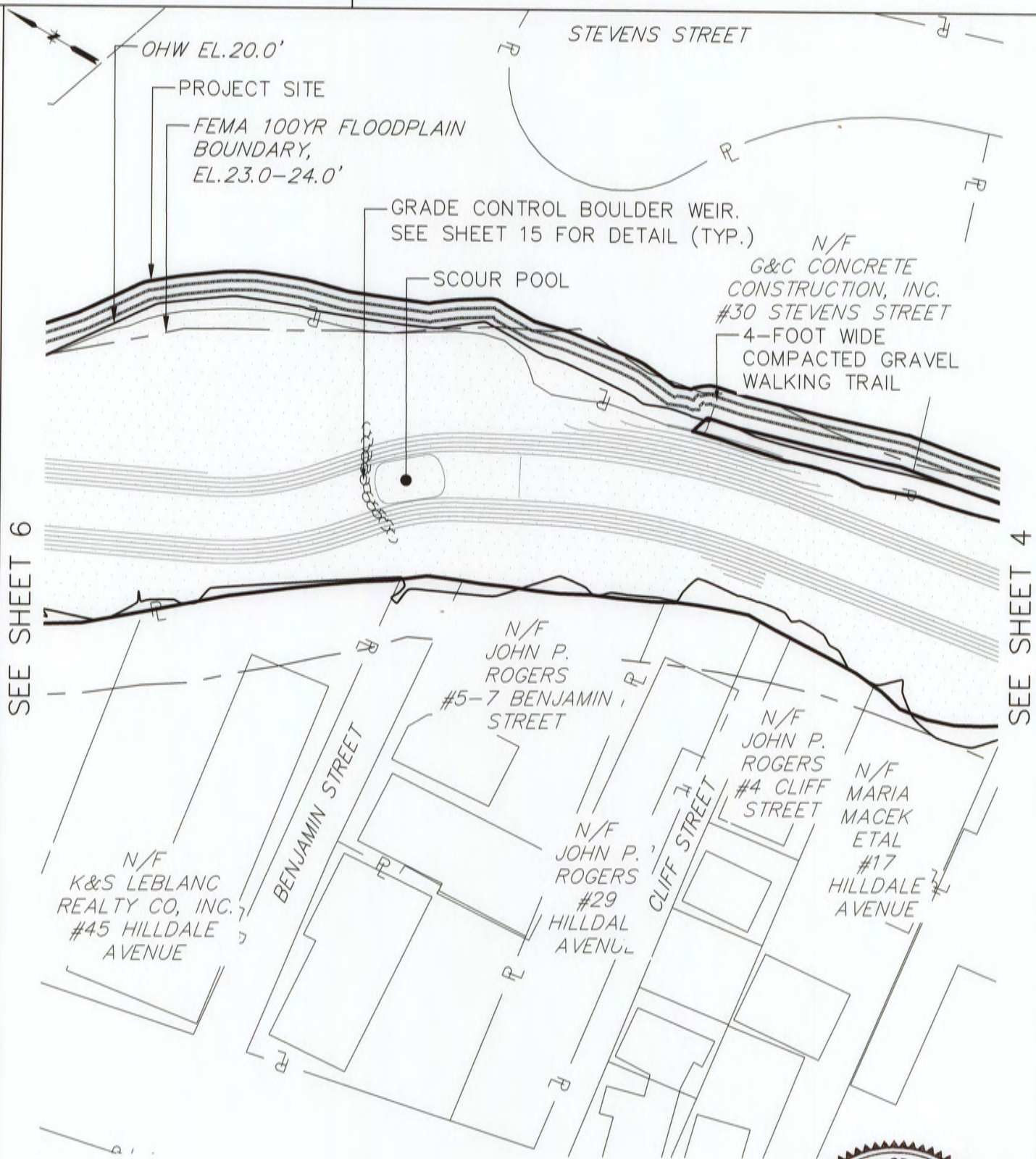
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DATE

Daniel Monette

DANIEL MONETTE, PE



PLAN BY: FUSS & O'NEILL
1550 MAIN STREET, SUITE 400
SPRINGFIELD, MA 01103
DATUM: NAVD88

LICENSE LIMITED TO AREA
BELOW HIGH WATER LINE



Daniel Monette
3.31.2026

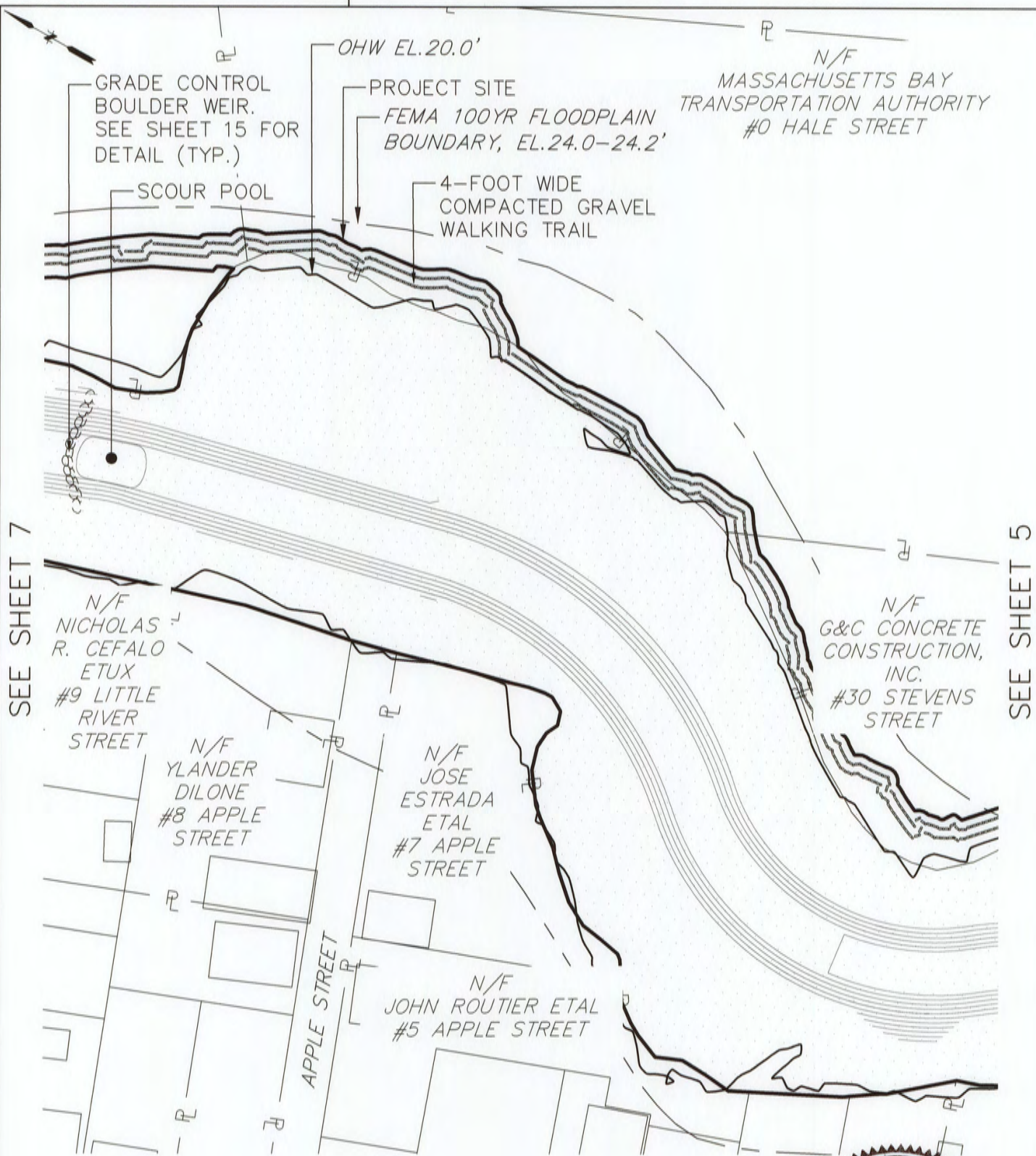
PROPOSED CONDITIONS
PLAN NO. 3
SHEET 5 OF 20
JANUARY 26, 2026

LICENSE PLAN NO. *WW01-0000749*
Approved by Department of Environmental Protection
Date: *April 23, 2026*

I CERTIFY THAT THIS PLAN WAS MADE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

3/31/2026
DATE

Daniel Monette
DANIEL MONETTE, PE



PLAN BY: FUSS & O'NEILL
1550 MAIN STREET, SUITE 400
SPRINGFIELD, MA 01103
DATUM: NAVD88

LICENSE LIMITED TO AREA
BELOW HIGH WATER LINE



Daniel Monette
3.31.2026

-60 0 PROPOSED CONDITIONS
SCALE IN FEET PLAN NO. 4
SCALE: 1" = 60' SHEET 6 OF 20
JANUARY 26, 2026

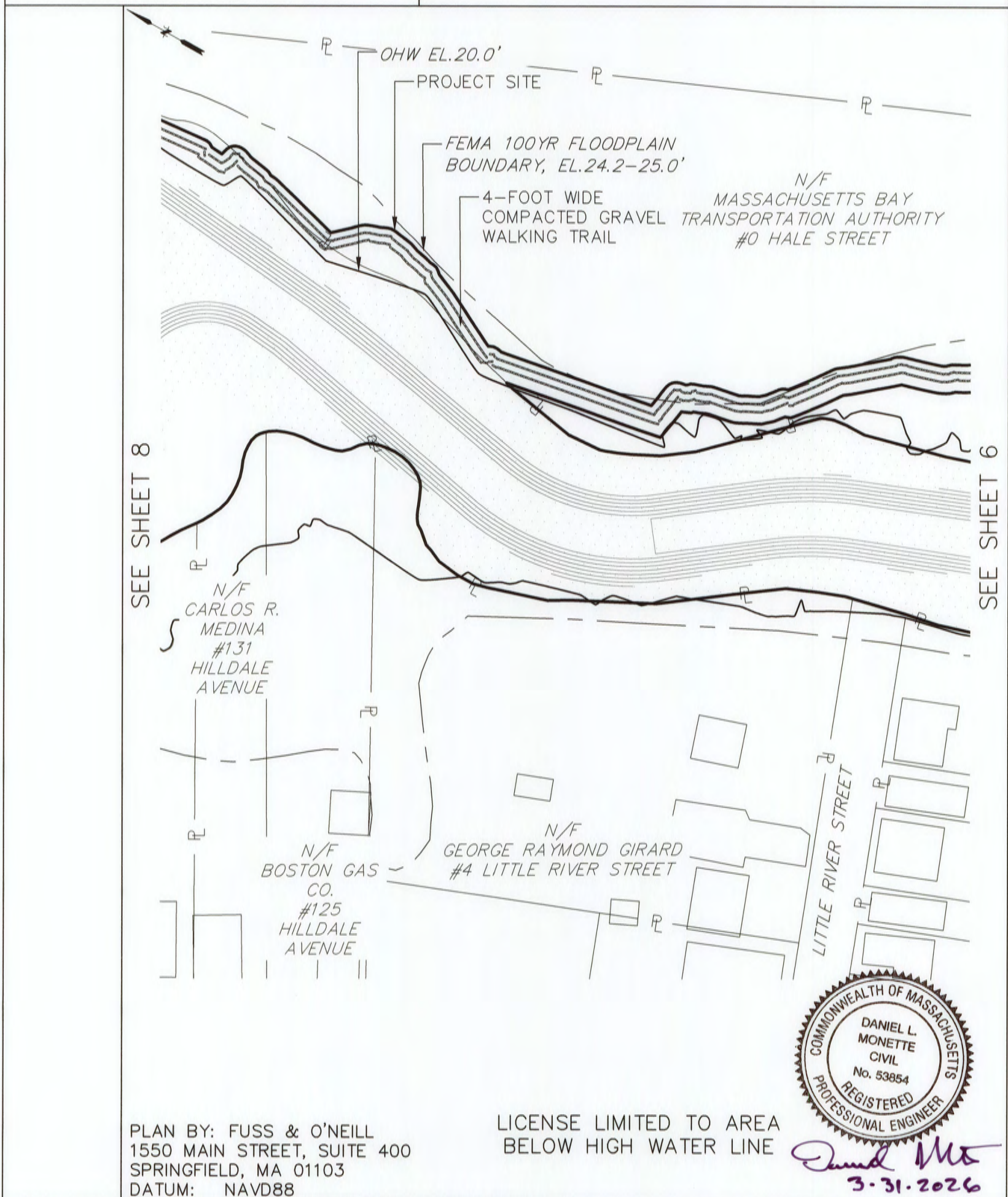
LICENSE PLAN NO. **WW101-0000749**
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Date: **April 23, 2026**

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3/31/2026

DATE

DANIEL MONETTE, PE



SEE SHEET 8

SEE SHEET 6

PLAN BY: FUSS & O'NEILL
1550 MAIN STREET, SUITE 400
SPRINGFIELD, MA 01103
DATUM: NAVD88

LICENSE LIMITED TO AREA
BELOW HIGH WATER LINE

3-31-2026

PROPOSED CONDITIONS
PLAN NO. 5
SHEET 7 OF 20
SCALE IN FEET
SCALE: 1" = 60'
JANUARY 26, 2026

LICENSE PLAN NO. **WW01-0000749**
Approved by Department of Environmental Protection
Date: **April 23, 2026**

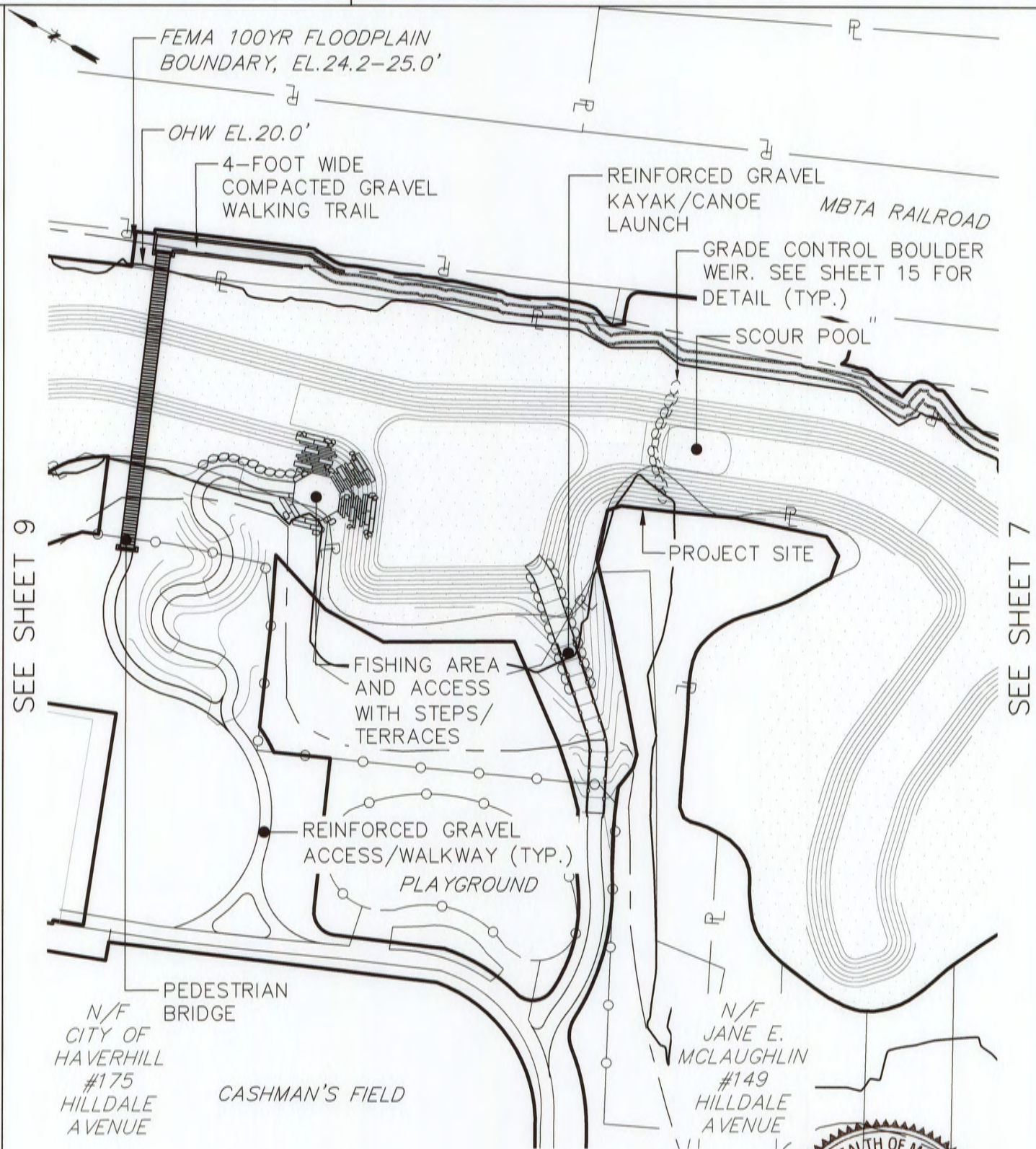
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3/31/2026

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Daniel Monette

DANIEL MONETTE, PE



SEE SHEET 9

SEE SHEET 7

PLAN BY: FUSS & O'NEILL
1550 MAIN STREET, SUITE 400
SPRINGFIELD, MA 01103
DATUM: NAVD88

LICENSE LIMITED TO AREA
BELOW HIGH WATER LINE



Daniel Monette
3-31-2026

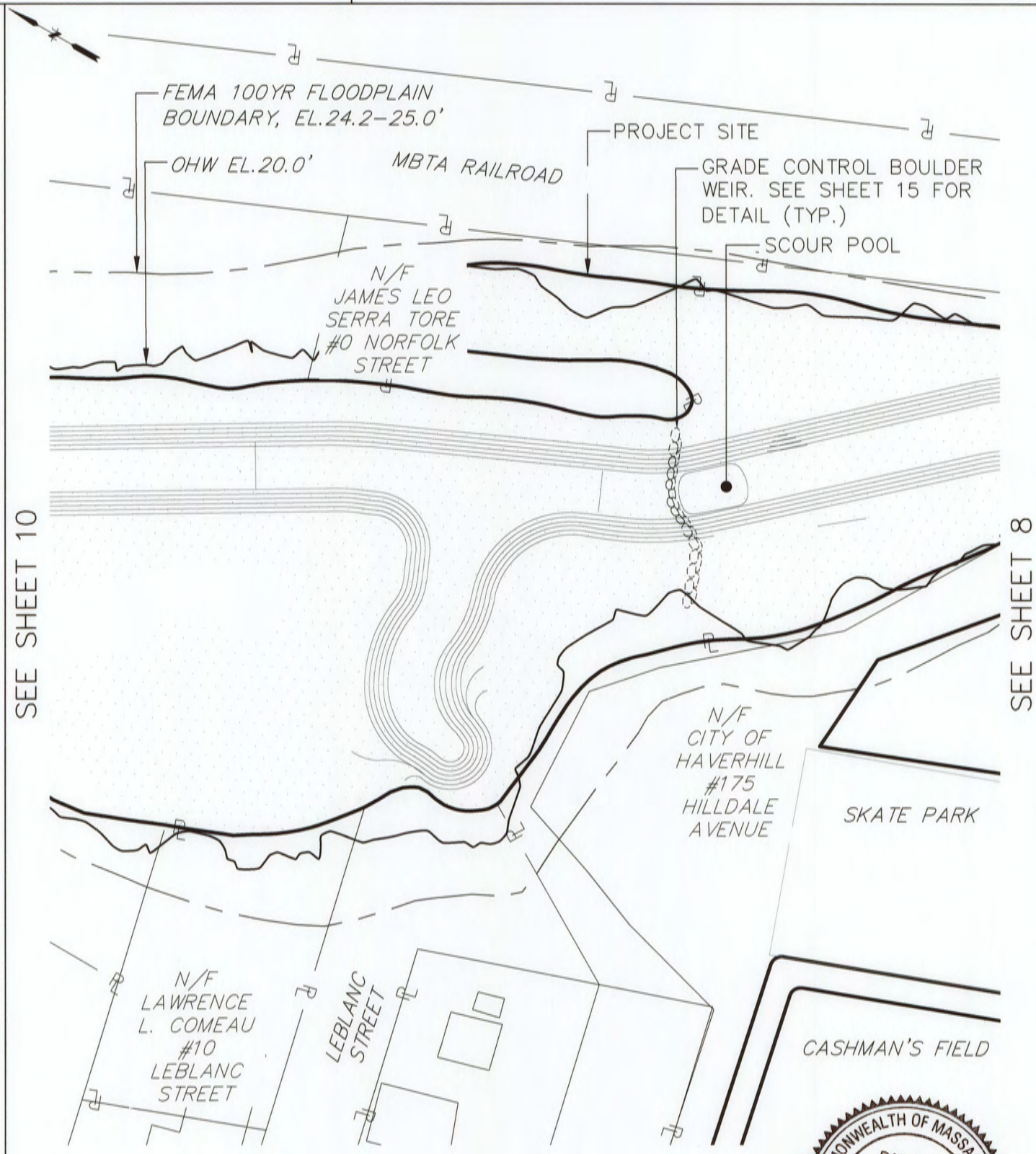
-60 0 PROPOSED CONDITIONS
SCALE IN FEET SHEET 8 OF 20
SCALE: 1" = 60' JANUARY 26, 2026

LICENSE PLAN NO. **W001-0000949**
Approved by Department of Environmental Protection
Date: **April 23, 2026**

I CERTIFY THAT THIS PLAN WAS MADE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

3/31/2026
DATE

Daniel Mto
DANIEL MONETTE, PE



PLAN BY: FUSS & O'NEILL
1550 MAIN STREET, SUITE 400
SPRINGFIELD, MA 01103
DATUM: NAVD88

LICENSE LIMITED TO AREA
BELOW HIGH WATER LINE



Daniel Mto
3/31/2026

-60 0 PROPOSED CONDITIONS
SCALE IN FEET SHEET 9 OF 20
SCALE: 1" = 60' JANUARY 26, 2026

LICENSE PLAN NO. **WW01-000749**
Approved by Department of Environmental Protection
Date: **April 23, 2026**

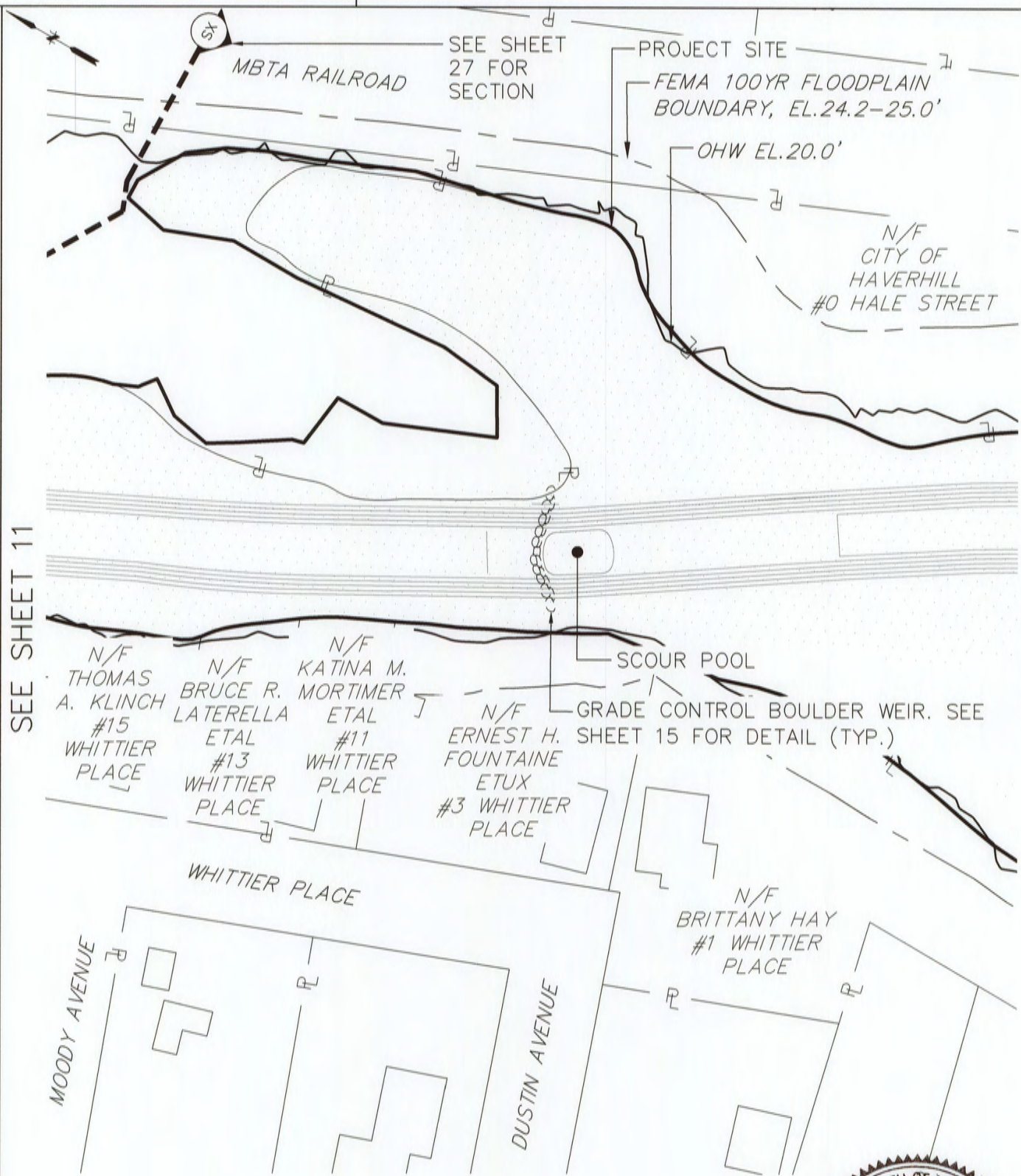
I CERTIFY THAT THIS PLAN WAS MADE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

3/31/2026

DATE

Daniel Mto

DANIEL MONETTE, PE



PLAN BY: FUSS & O'NEILL
1550 MAIN STREET, SUITE 400
SPRINGFIELD, MA 01103
DATUM: NAVD88

LICENSE LIMITED TO AREA
BELOW HIGH WATER LINE



Daniel Mto
3/31/2026

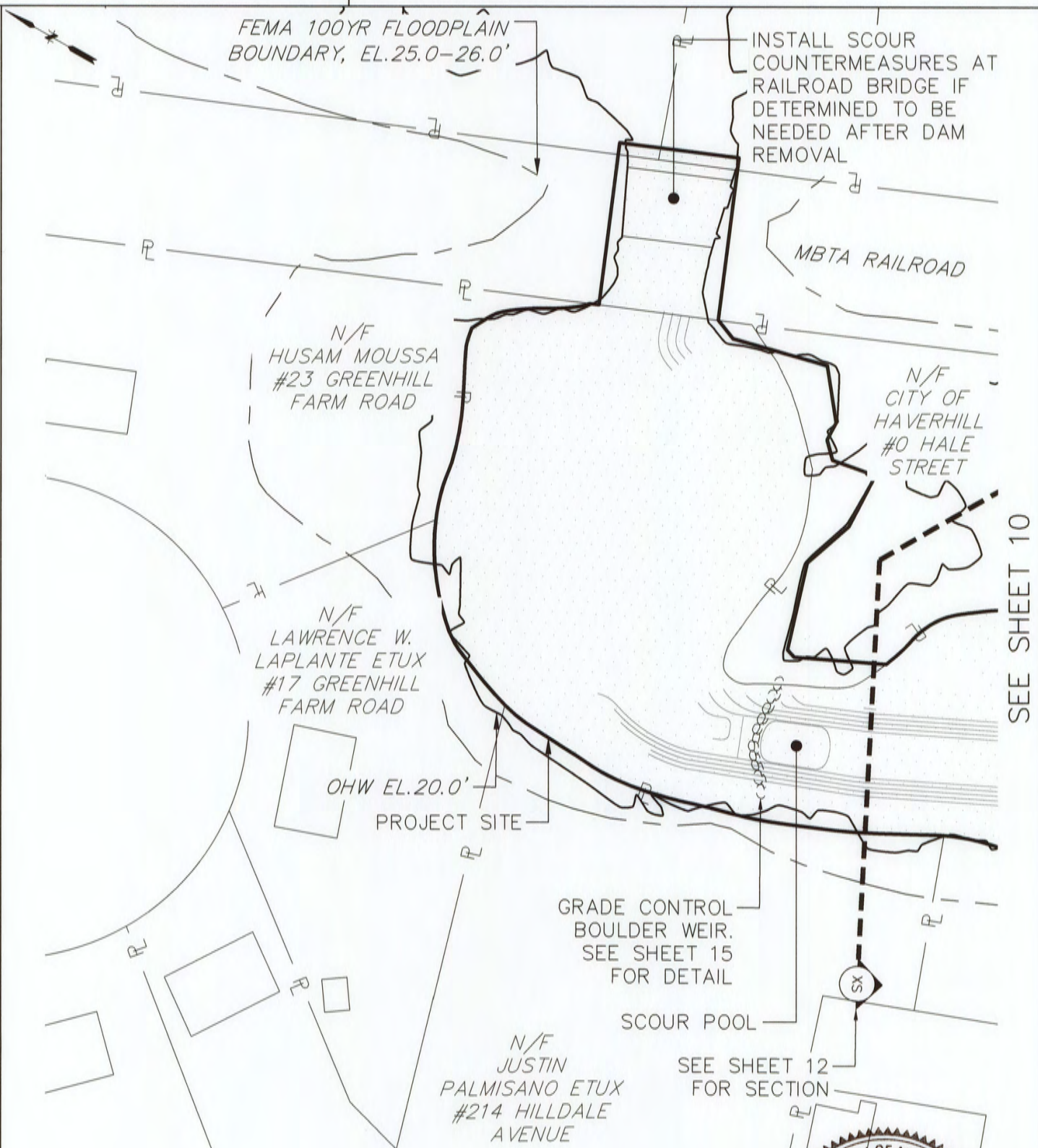
-60 0 PROPOSED CONDITIONS
SCALE IN FEET PLAN NO. 8
SCALE: 1" = 60' SHEET 10 OF 20
JANUARY 26, 2026

LICENSE PLAN NO. **WW01-0000749**
Approved by Department of Environmental Protection
Date: **April 23, 2026**

I CERTIFY THAT THIS PLAN WAS MADE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

3/31/2026
DATE

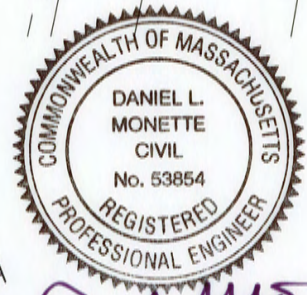
Daniel M
DANIEL MONETTE, PE



SEE SHEET 10

PLAN BY: FUSS & O'NEILL
1550 MAIN STREET, SUITE 400
SPRINGFIELD, MA 01103
DATUM: NAVD88

LICENSE LIMITED TO AREA
BELOW HIGH WATER LINE



Daniel M
3.31.2026

-60 0

 SCALE IN FEET
 SCALE: 1" = 60'

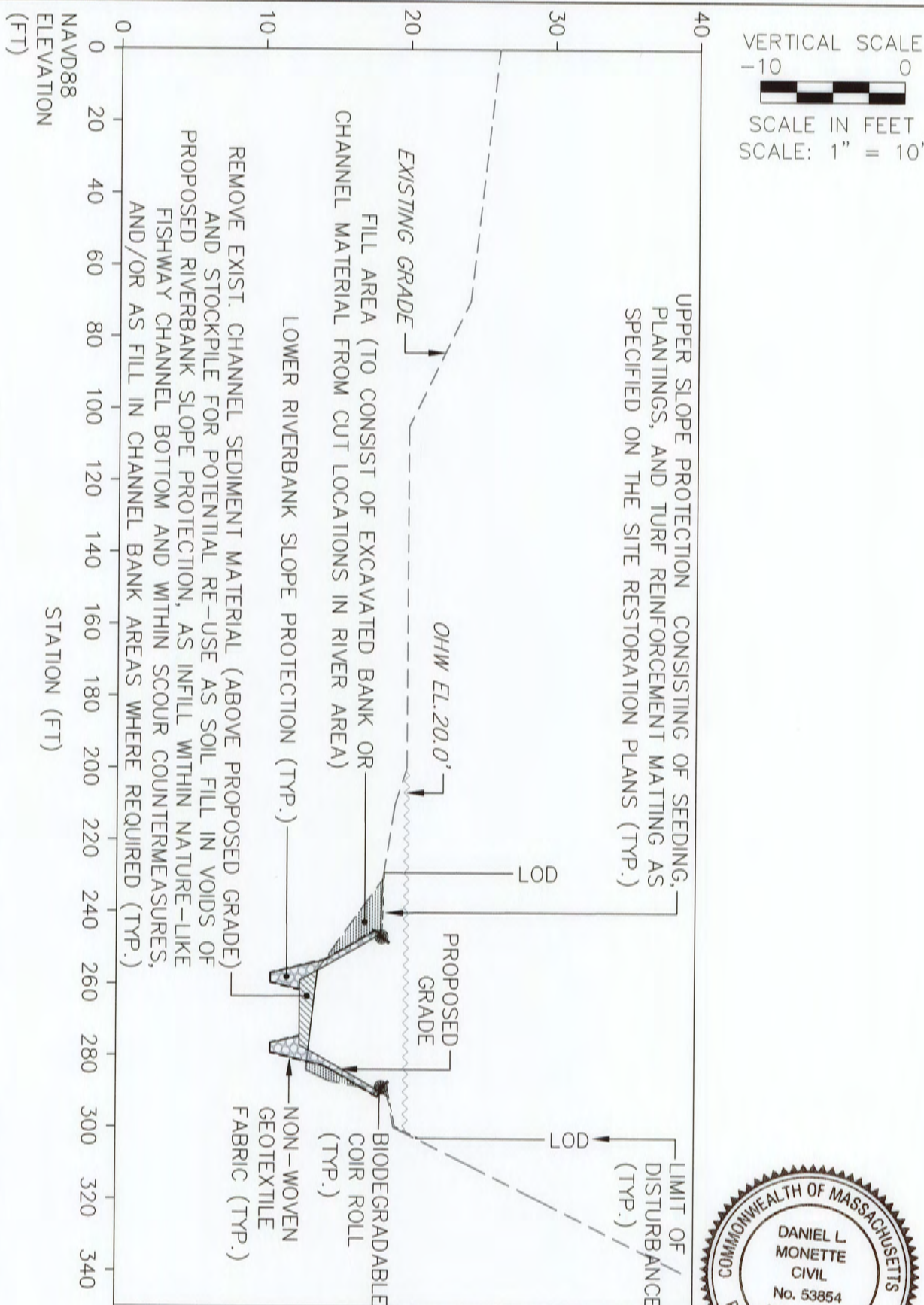
PROPOSED CONDITIONS
 PLAN NO. 9
 SHEET 11 OF 20
 JANUARY 26, 2026

LICENSE PLAN NO. WW01-0000349
 Approved by Department of Environmental Protection
 Date: April 23, 2026

I CERTIFY THAT THIS PLAN WAS MADE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

3/31/2026
DATE

Daniel M
DANIEL MONETTE, PE



TYPICAL CHANNEL SECTION

SCALE: H: 1" = 40'
V: 1" = 10'

HORIZONTAL SCALE
-40 0
SCALE IN FEET
SCALE: 1" = 40'



Daniel M
3.31.2026

PLAN BY: FUSS & O'NEILL
1550 MAIN STREET, SUITE 400
SPRINGFIELD, MA 01103
DATUM: NAVD88

DETAIL
PLAN NO. 1
SHEET 12 OF 20
JANUARY 26, 2026

LICENSE PLAN NO. ww01-0000749
Approved by Department of Environmental Protection
Date: April 23, 2026

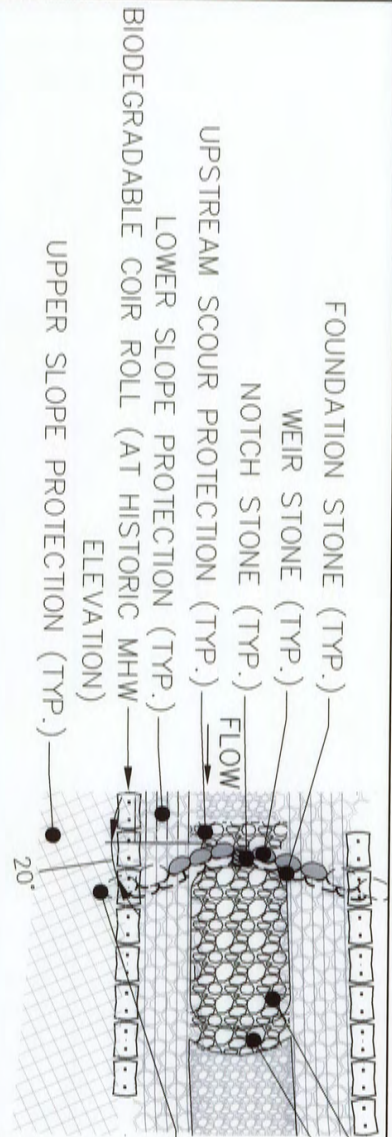
I CERTIFY THAT THIS PLAN WAS MADE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

3/31/2026

DATE

Daniel Monette

DANIEL MONETTE, PE

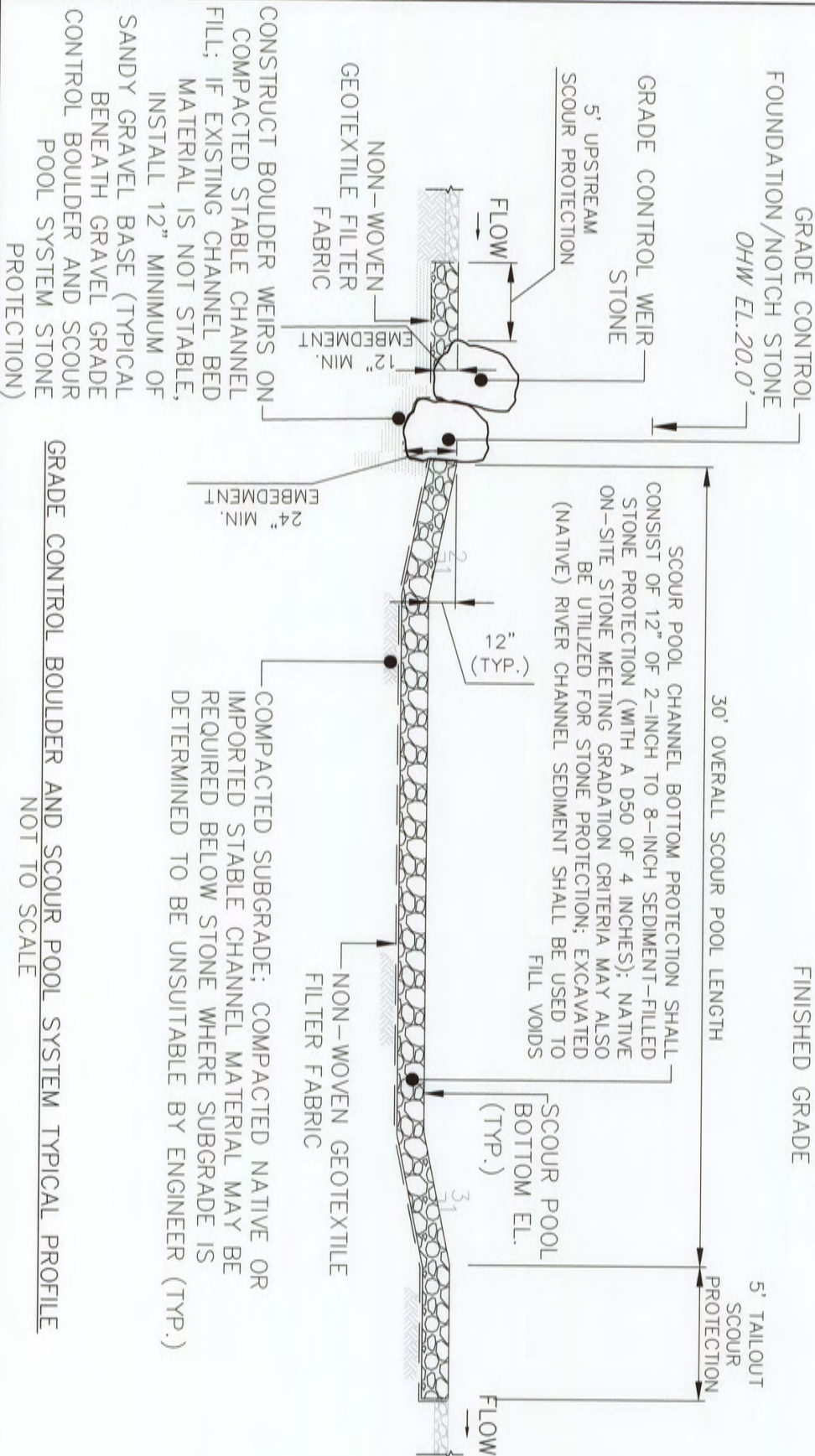


SCOUR POOL (TYP.)
TAILOUT SCOUR PROTECTION (TYP.)
FLOW
EXTEND FOUNDATION AND WEIR STONES APPROXIMATELY 10-15 FEET INTO EXIST. BANK (TYP. FOR BOTH SIDES OF RIVER); COMPACT USING STABLE CHANNEL FILL ON ALL SIDES TO FINISHED GRADE



Daniel Monette
3.31.2026

TYPICAL GRADE CONTROL BOULDER AND SCOUR POOL SYSTEM PLAN VIEW



GRADE CONTROL FOUNDATION/NOTCH STONE
OHW EL. 20.0'

GRADE CONTROL WEIR STONE

5' UPSTREAM SCOUR PROTECTION

NON-WOVEN GEOTEXTILE FILTER FABRIC

12" MIN. EMBEDMENT

FLOW

CONSTRUCT BOULDER WEIRS ON COMPACTED STABLE CHANNEL FILL; IF EXISTING CHANNEL BED MATERIAL IS NOT STABLE, INSTALL 12" MINIMUM OF SANDY GRAVEL BASE (TYPICAL BENEATH GRAVEL GRADE CONTROL BOULDER AND SCOUR POOL SYSTEM STONE PROTECTION)

SCOUR POOL CHANNEL BOTTOM PROTECTION SHALL CONSIST OF 12" OF 2-INCH TO 8-INCH SEDIMENT-FILLED STONE PROTECTION (WITH A D50 OF 4 INCHES); NATIVE ON-SITE STONE MEETING GRADATION CRITERIA MAY ALSO BE UTILIZED FOR STONE PROTECTION; EXCAVATED (NATIVE) RIVER CHANNEL SEDIMENT SHALL BE USED TO FILL VOIDS

30' OVERALL SCOUR POOL LENGTH

SCOUR POOL BOTTOM EL. (TYP.)

NON-WOVEN GEOTEXTILE FILTER FABRIC

24" MIN. EMBEDMENT

COMPACTED SUBGRADE; COMPACTED NATIVE OR IMPORTED STABLE CHANNEL MATERIAL MAY BE REQUIRED BELOW STONE WHERE SUBGRADE IS DETERMINED TO BE UNSUITABLE BY ENGINEER (TYP.)

5' TAILOUT SCOUR PROTECTION

FLOW

GRADE CONTROL BOULDER AND SCOUR POOL SYSTEM TYPICAL PROFILE
NOT TO SCALE

PLAN BY: FUSS & O'NEILL
1550 MAIN STREET, SUITE 400
SPRINGFIELD, MA 01103
DATUM: NAVD88

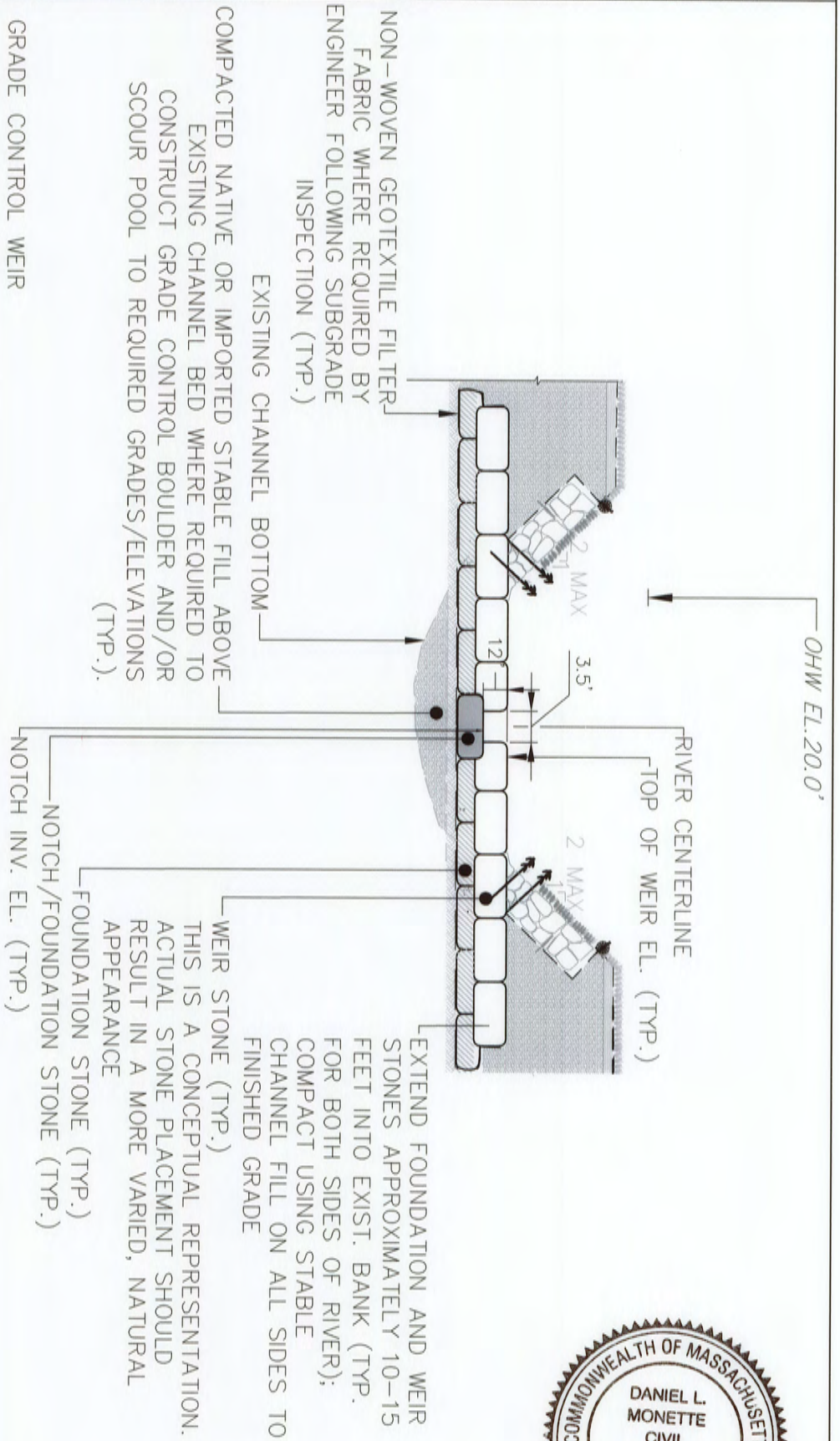
DETAIL
PLAN NO. 3
SHEET 14 OF 20
JANUARY 26, 2026

LICENSE PLAN NO. **WW01-0000749**
Approved by Department of Environmental Protection
Date; **April 23, 2026**

I CERTIFY THAT THIS PLAN WAS MADE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

3/31/2026
DATE

Daniel Monette
DANIEL MONETTE, PE



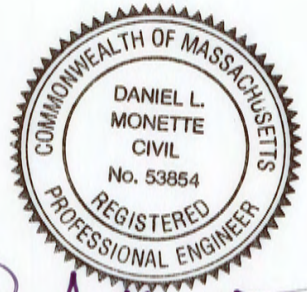
GRADE CONTROL WEIR

STONE TYPE	STONE LENGTH (A)*	STONE WIDTH (B)	STONE HEIGHT (C)
FOUNDATION/NOTCH STONE	3.0'-4.0'	2.0'-3.0'	3.0'-3.5'
WEIR STONE	3.0'-4.0'	2.0'-3.0'	3.0'-3.5'

- * 'A' DIMENSION REFERS TO LENGTH OF STONE PERPENDICULAR TO FLOW; 'C' DIMENSION REFERS TO WIDTH OF STONE PARALLEL TO FLOW.
- ** ADDITIONAL WEIR STONE MAY BE PLACED BEHIND & ABUTTING THE NOTCH STONES AS DIRECTED BY THE ENGINEER TO OBTAIN REQUIRED NOTCH WIDTH.
- *** DIMENSIONS SELECTED FOR ANY FOUNDATION/NOTCH AND WEIR STONES SHALL RESULT IN A MINIMUM WEIGHT OF 2,200 LBS ASSUMING THE STONE HAS AN APPROXIMATE UNIT WEIGHT OF 160 LBS/CF.

GRADE CONTROL BOULDER WEIR TYPICAL SECTION
NOT TO SCALE

PLAN BY: FUSS & O'NEILL
1550 MAIN STREET, SUITE 400
SPRINGFIELD, MA 01103
DATUM: NAVD88



Daniel Monette
3.31.2026

DETAIL
PLAN NO. 4
SHEET 15 OF 20
JANUARY 26, 2026

LICENSE PLAN NO. WW01-0000749
Approved by Department of Environmental Protection
Date: April 23, 2026

I CERTIFY THAT THIS PLAN WAS MADE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

3/31/2026
DATE

Daniel Monette
DANIEL MONETTE, PE

EXTEND FOUNDATION AND WEIR STONES APPROX. 10-15 FEET INTO EXIST. BANK ON RIVER RIGHT AND APPROX. 10-15 FEET INTO PROP. BANK ON RIVER LEFT WHERE NO RIVERWALL EXISTS; EXTEND TO LIMIT OF PROPOSED WALL ON RIVER RIGHT WHERE WALL IS PROPOSED; COMPACT USING STABLE CHANNEL FILL ON ALL SIDES TO FINISHED GRADE

NON-WOVEN GEOTEXTILE FILTER FABRIC WHERE REQUIRED BY ENGINEER FOLLOWING SUBGRADE INSPECTION (TYP.)

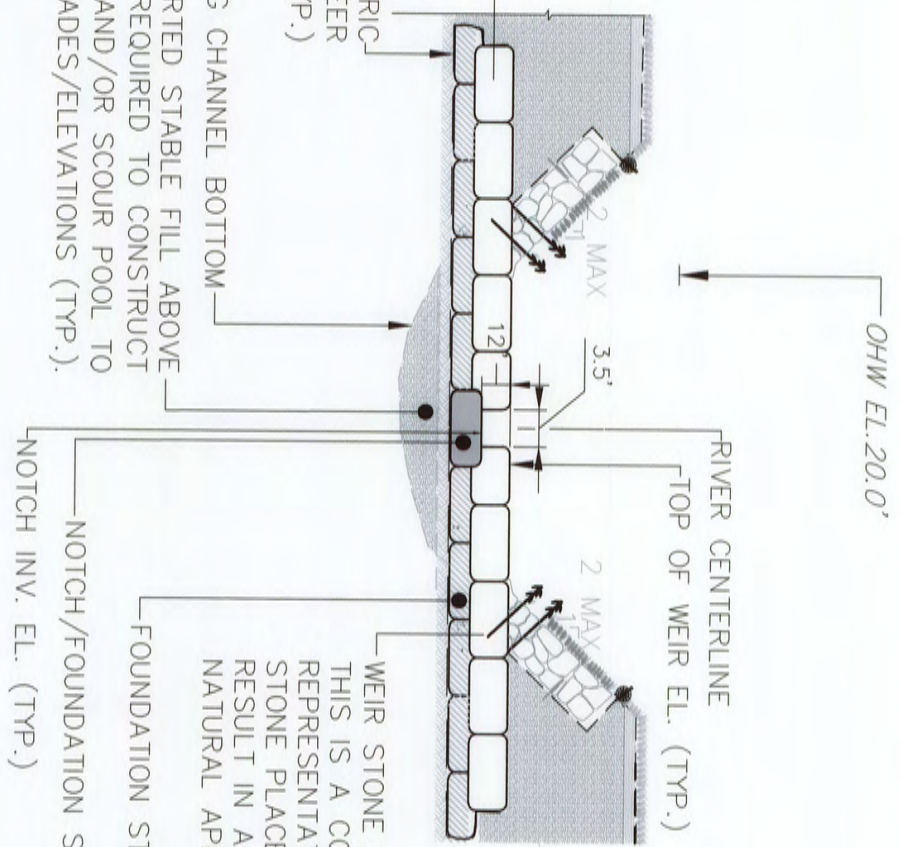
EXISTING CHANNEL BOTTOM
COMPACTED NATIVE OR IMPORTED STABLE FILL ABOVE EXISTING CHANNEL BED WHERE REQUIRED TO CONSTRUCT GRADE CONTROL BOULDER AND/OR SCOUR POOL TO REQUIRED GRADES/ELEVATIONS (TYP.).

NATURE-LIKE FISHWAY BOULDER WEIR

STONE TYPE	STONE LENGTH (A)*	STONE WIDTH (B)	STONE HEIGHT (C)
FOUNDATION/NOTCH STONE	3.0'-4.0'	2.0'-3.0'	3.0'-3.5'
WEIR STONE	3.0'-4.0'	2.0'-3.0'	3.0'-3.5'

- * 'A' DIMENSION REFERS TO LENGTH OF STONE PERPENDICULAR TO FLOW; 'C' DIMENSION REFERS TO WIDTH OF STONE PARALLEL TO FLOW.
- ** ADDITIONAL WEIR STONE MAY BE PLACED BEHIND & ABUTTING THE NOTCH STONES AS DIRECTED BY THE ENGINEER TO OBTAIN REQUIRED NOTCH WIDTH.
- *** DIMENSIONS SELECTED FOR ANY FOUNDATION/NOTCH AND WEIR STONES SHALL RESULT IN A MINIMUM WEIGHT OF 2,400 LBS ASSUMING THE STONE HAS AN APPROXIMATE UNIT WEIGHT OF 160 LBS/CF.

NATURE-LIKE FISHWAY BOULDER WEIR TYPICAL SECTION
NOT TO SCALE



Daniel Monette
3-31-2026

PLAN BY: FUSS & O'NEILL
1550 MAIN STREET, SUITE 400
SPRINGFIELD, MA 01103
DATUM: NAVD88

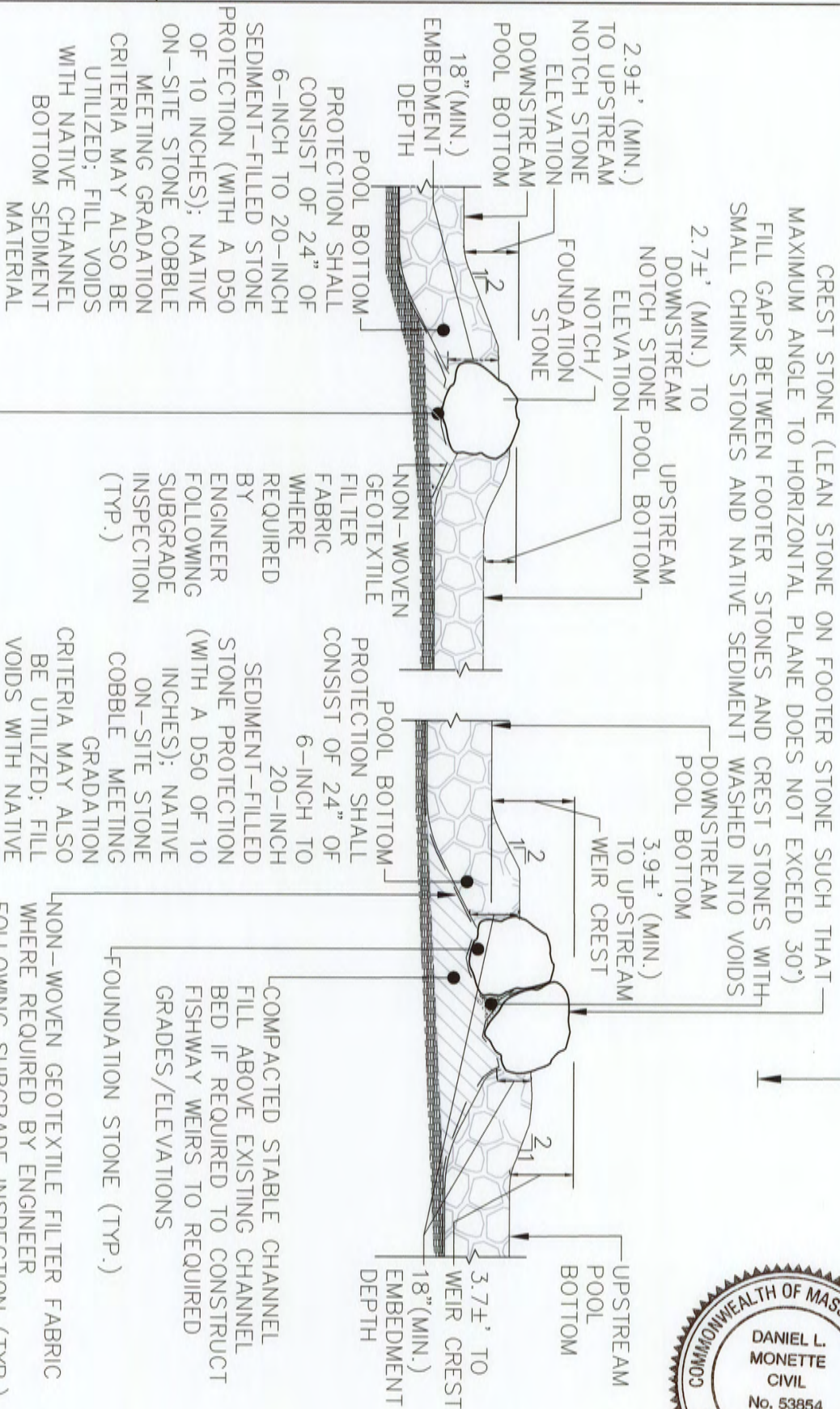
DETAIL
PLAN NO. 5
SHEET 16 OF 20
JANUARY 26, 2026

LICENSE PLAN NO. **WW01-0000749**
Approved by Department of Environmental Protection
Date: **April 23, 2026**

I CERTIFY THAT THIS PLAN WAS MADE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

3/31/2026
DATE

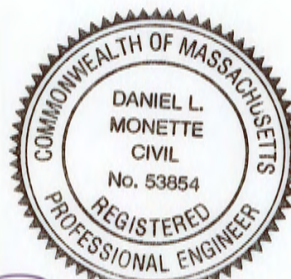
Daniel Monette
DANIEL MONETTE, PE



NOTCH SECTION
TYPICAL NATURE-LIKE FISHWAY WEIR AND RESTING POOL PROFILE
NOT TO SCALE

WEIR SECTION

PLAN BY: FUSS & O'NEILL
1550 MAIN STREET, SUITE 400
SPRINGFIELD, MA 01103
DATUM: NAVD88



Daniel Monette
3.31.2026

DETAIL
PLAN NO. 6
SHEET 17 OF 20
JANUARY 26, 2026

LICENSE PLAN NO. **W001-0000749**
Approved by Department of Environmental Protection
Date: **April 23, 2026**

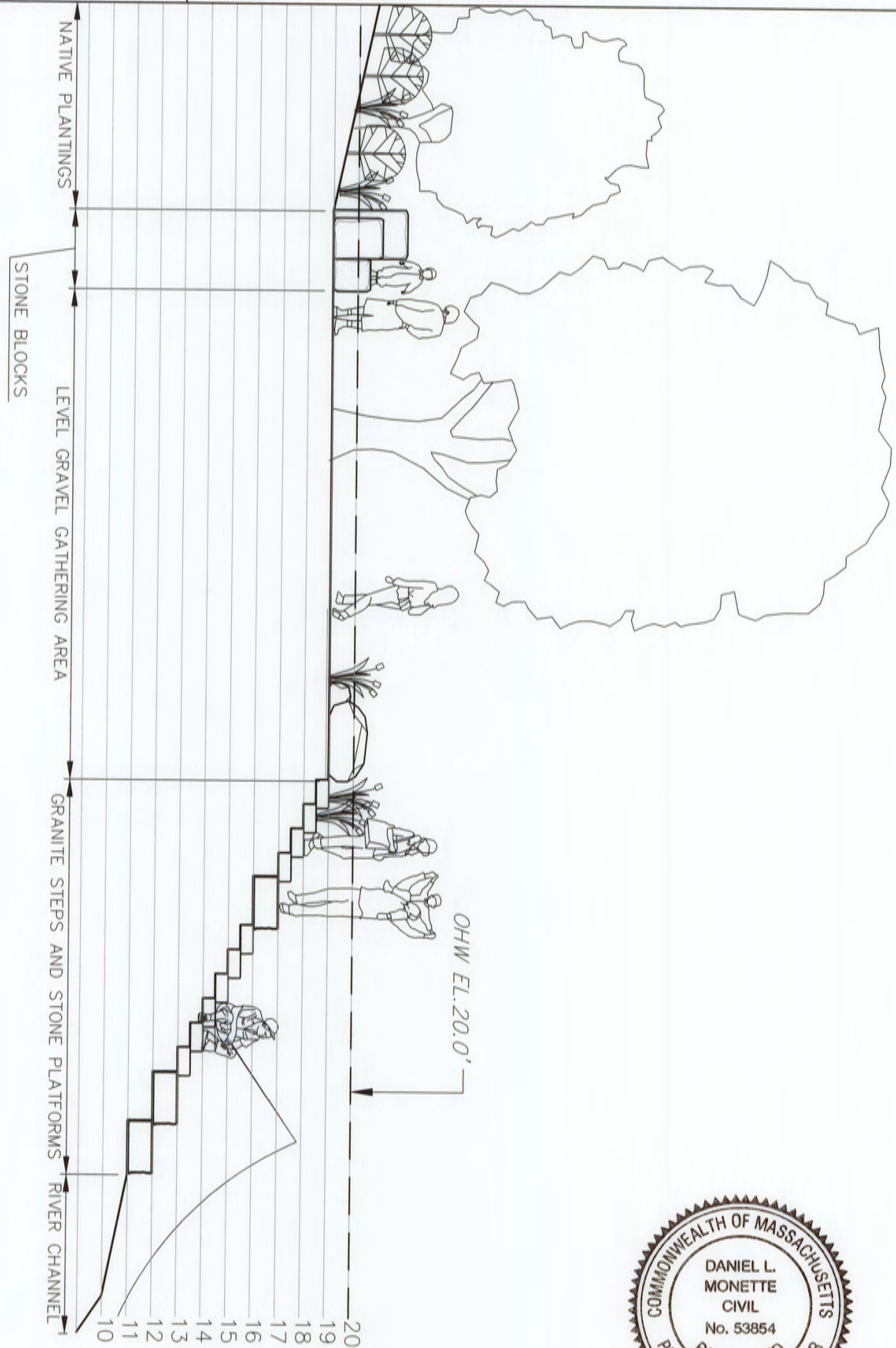
I CERTIFY THAT THIS PLAN WAS MADE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

3/31/2026

DATE

DANIEL MONETTE, PE

TYPICAL PROFILE OF CASHMAN'S PARK REINFORCED GRAVEL FISHING AREA, GRANITE STEPS, AND STONE PLATFORM
NOT TO SCALE



PLAN BY: FUSS & O'NEILL
1550 MAIN STREET, SUITE 400
SPRINGFIELD, MA 01103
DATUM: NAVD88

DETAIL
PLAN NO. 7
SHEET 18 OF 20
JANUARY 26, 2026



3-31-2026

LICENSE PLAN NO. **WMB-0000799**
Approved by Department of Environmental Protection
Date: **April 23, 2026**

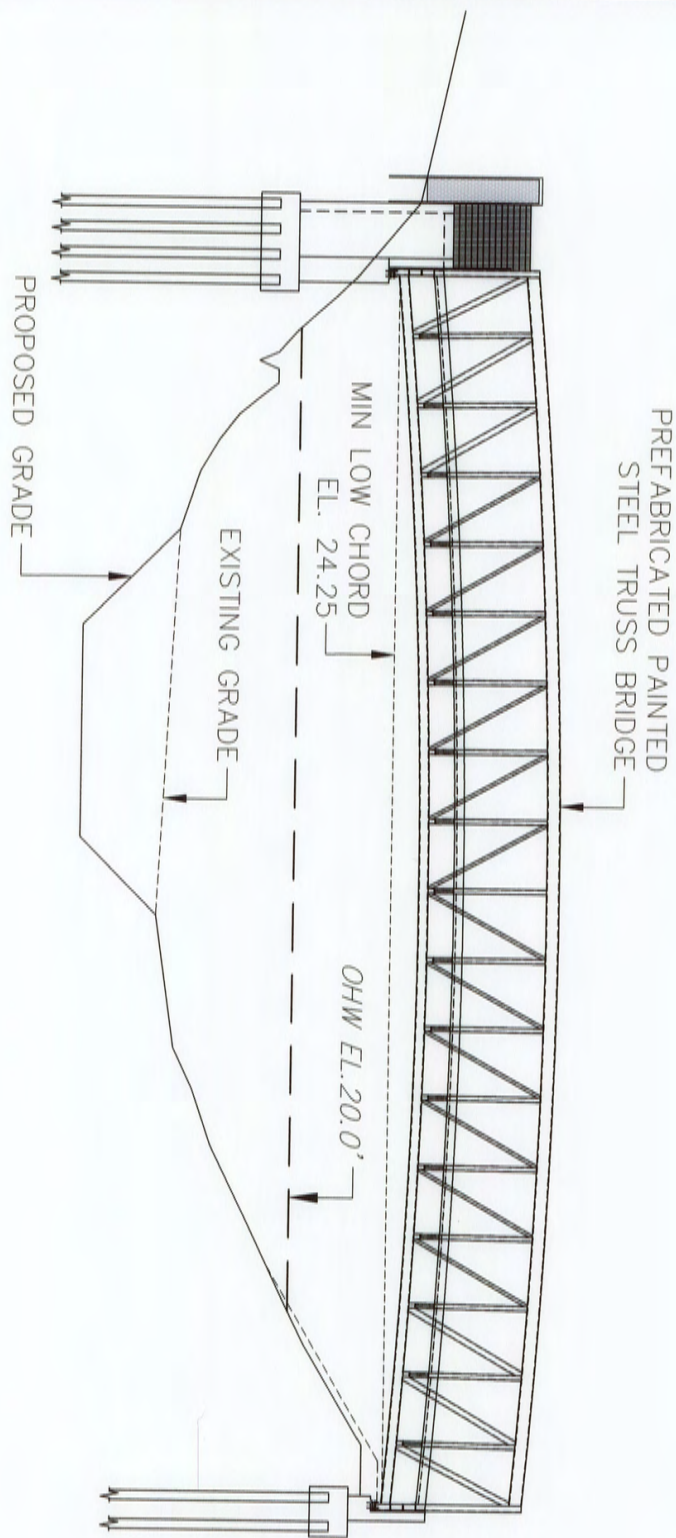
I CERTIFY THAT THIS PLAN WAS MADE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

3/31/2026

DATE



DANIEL MONETTE, PE




PEDESTRIAN BRIDGE SECTION
NOT TO SCALE

PLAN BY: FUSS & O'NEILL
1550 MAIN STREET, SUITE 400
SPRINGFIELD, MA 01103
DATUM: NAVD88

DETAIL
PLAN NO. 8
SHEET 19 OF 20
JANUARY 26, 2026




3-31-2026

LICENSE PLAN NO. **WW01-0000749**
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Date: **April 23, 2026**

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3/31/2026

DATE



DANIEL MONETTE, PE

PARCELS WITHIN PROJECT AREA BELOW ORDINARY HIGH WATER

<u>PARCEL ID</u>	<u>PROPERTY OWNER</u>	<u>DESCRIPTION</u>	<u>PROPOSED ACTIVITY</u>
523-326-1	CITY OF HAVERHILL	CASHMAN'S FIELD, 175 HILLDALE STREET	RECREATIONAL IMPROVEMENTS
LITTLE RIVER	N/A	LITTLE RIVER	DAM REMOVAL, RIVER RESTORATION
307-2-9	SHAIN REALTY TRUST	14 STEVENS STREET	DAM REMOVAL, RIVER RESTORATION
516-304-1	NEW ALPHA BRO PROPERTY, LLC	SAM'S FOOD STORES, 93 LAFAYETTE SQUARE	RETAINING WALL
307-2-10	G&C CONCRETE CONSTRUCTION INC.	30 STEVENS STREET	RIVER ACCESS PATH
307-2-4	G&C CONCRETE CONSTRUCTION INC.	0 STEVENS STREET	RIVER ACCESS PATH
600-452-1	MASSACHUSETTS BAY TRANSPORTATION AUTHORITY	0 HALE STREET	RIVER ACCESS PATH
600-453-1	MASSACHUSETTS BAY TRANSPORTATION AUTHORITY	0 HALE STREET	RIVER ACCESS PATH

NOTE: PARCEL INFORMATION OBTAINED OCTOBER 13, 2023 FROM THE CITY OF HAVERHILL ONLINE MAPGEO.

PLAN BY: FUSS & O'NEILL
1550 MAIN STREET, SUITE 400
SPRINGFIELD, MA 01103
DATUM: NAVD88



Daniel Monette
3.31.2026

PARCEL LIST
SHEET 20 OF 20
JANUARY 26, 2026

LICENSE PLAN NO. **WW01-0000799**
Approved by Department of Environmental Protection
Date: **April 23, 2026**