



**CITY OF HAVERHILL**  
**CITY COUNCIL AGENDA**  
**Tuesday, May 5, 2020 at 7:00 PM**  
**Virtual Meeting**

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Due to the ongoing COVID-19 Pandemic, Governor Baker issued an Emergency Order temporarily suspending certain provisions of the Open Meeting Law, G.L. c. 30A sec. 20. Public bodies otherwise governed by the OML are temporarily relieved from the requirement that meetings be held in public places, open and physically accessible to the public, so long as measures are taken to ensure public access to the bodies' deliberations "through adequate, alternative means."

1. **OPENING PRAYER**
2. **PLEDGE OF ALLEGIANCE**
3. **APPROVAL OF MINUTES OF PRIOR MEETING**
4. **ASSIGNMENT OF THE MINUTES REVIEW FOR THE NEXT MEETING**
5. **COMMUNICATIONS FROM THE MAYOR:**
  - 5.1. Communication from Mayor Fiorentini requesting to address the City Council to give an update on Haverhill's efforts regarding the Coronavirus (COVID-19) crisis
6. **COMMUNICATIONS FROM COUNCILLORS TO INTRODUCE AN INDIVIDUAL(S) TO ADDRESS THE COUNCIL:**
7. **PUBLIC PARTICIPATION- REQUESTS UNDER COUNCIL RULE 28**
8. **COMMUNICATIONS AND REPORTS FROM CITY OFFICERS AND EMPLOYEES:**
  - 8.1. Communication from Michael Pfifferling, Assistant Superintendent for Finance and Operations submitting the Massachusetts School Building Authority's (MSBA) Statement of Interest (SOI) for the *John G. Whittier School* and the Russo Barr HVAC, Plumbing and Structural Assessment Report. The SOI requires the approval of the School Committee and approval of the Order that is also submitted is required from the City Council
    - 8.1.1. Order – City Council has voted to authorize the Superintendent to submit to the Mass School Building Authority, the Statement of Interest Form dated April 29, 2020 for the *John Greenleaf Whittier School* located at 256 Concord st
9. **UTILITY HEARING(S) AND RELATED ORDER(S)**
10. **HEARINGS AND RELATED ORDERS:**
  - 10.1. Document 37; Petition from Attorney Robert Harb requesting for owner/applicant Lynn Garceau a Special Permit to convert a 3-family dwelling to a 4-family in the RH zone  
*Favorable recommendation from Planning Board and Planning Director*  
*Postponed from April 14 2020*
11. **APPOINTMENTS:**
  - 11.1. Confirming Appointments
  - 11.2. Non-Confirming Appointments



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**11.3. Resignations**

**12. PETITIONS:**

- 12.1. **Applications Handicap Parking Sign:**
- 12.2. **Amusement/Event Applications:**
- 12.3. **Tag Days:**
- 12.4. **One Day Liquor License**
- 12.5. **Annual License Renewals:**
  - 12.5.1. **Hawker Peddlers License 2020 - Fixed locations; renewals**
  - 12.5.2. **Coin-Op License Renewals for Weekly/Sunday 2020**
  - 12.5.3. **Drainlayer License for 2020; renewals**
  - 12.5.4. **Taxi Driver Licenses for 2020**
  - 12.5.5. **Taxi License:**
  - 12.5.6. **Junk Dealer License**
  - 12.5.7. **Pool Tables**
  - 12.5.8. **Sunday Pool**
  - 12.5.9. **Bowling**
  - 12.5.10. **Sunday Bowling**
  - 12.5.11. **Buy & Sell Second Hand Articles**
  - 12.5.12. **Buy & Sell Second Hand Clothing**
  - 12.5.13. **Pawnbroker license**
  - 12.5.14. **Fortune Teller**
  - 12.5.15. **Buy & Sell Old Gold**
  - 12.5.16. **Roller Skating Rink**
  - 12.5.17. **Sunday Skating**
  - 12.5.18. **Exterior Vending Machines**
  - 12.5.19. **Limousine/Livery License/Chair Cars**

**13. MOTIONS AND ORDERS:**

- 13.1. Order – Authorize payment of bills of the previous years & further authorize payment from current year departmental appropriations as listed:

<u>Vendor</u>	<u>Amount</u>	<u>Account</u>
Blatman, Bobrowski & Harvey, LLC	\$150.00	Law Department
Music Theatre International	5.00	School Department
School Electrician-reimb	79.83	School Department
J W Pepper (9)	220.93	School Department

13.2 Order – City Council of the City of Haverhill hereby recognizes and accepts the provisions of M.G.L. 110G regarding electronic signatures and that its members will henceforth execute documents either with electronic signatures and that its members will henceforth execute documents either with electronic signatures or with wet ink signatures and both will carry the same legal weight and effect

**14. ORDINANCES (FILE 10 DAYS)**



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**15. COMMUNICATIONS FROM COUNCILLORS:**

- 15.1. Communication from Councillor Colin LePage requesting a discussion regarding the communities' general mental health coping strategies and supports during the COVID-19 Pandemic
- 15.2. Communication from Councillor Joseph Bevilacqua proposing to establish a Reopening Haverhill Review Committee
- 15.3. Communication from Councillors Michitson and Jordan requesting to address the issue of many students in the Haverhill School System without Wi-Fi and stop-gap measures the City must take now
- 15.4. Communication from Councillor Jordan requesting to give an update on the Sacred Hearts food pantry and the need for additional donations

**16. UNFINISHED BUSINESS OF PRECEDING MEETING:**

- 16.1. Document 58-F; Communication from Councillors Jordan, McGonagle and Daly O'Brien requesting a discussion regarding the need to move forward now with the new animal shelter *postponed from April 21<sup>st</sup>*
- 16.2. Document 58-N; Communication from Councillor Colin LePage to discuss City's preparation for in-person and mail-in voting participation in Haverhill *postponed from April 21<sup>st</sup>*
- 16.3. Document 58-W; Communication from Councillors LePage and Daly O'Brien requesting a discussion on City adoption of the Families First Coronavirus Response Act concerning first responders and healthcare workers *postponed from April 28<sup>th</sup>*

**17. RESOLUTIONS and PROCLAMATIONS:**

- 17.1. PROCLAMATION - *Mental Health Matters Month, May*
- 17.2. PROCLAMATION - *Children's Mental Health Awareness Day, May 7th*
- 17.3. PROCLAMATION - *National Teacher Day, May 5<sup>th</sup>*

**18. COUNCIL COMMITTEE REPORTS AND ANNOUNCEMENTS:**

**19. DOCUMENTS REFERRED TO COMMITTEE STUDY**

**20. LONG TERM MATTERS STUDY LIST**

**21. ADJOURN**

JAMES J. FIORENTINI  
MAYOR



**CITY OF HAVERHILL  
MASSACHUSETTS**

511  
CITY HALL, ROOM 100  
FOUR SUMMER STREET  
HAVERHILL, MA 01830  
PHONE 978-374-2300  
FAX 978-373-7544  
MAYOR@CITYOFHAVERHILL.COM  
WWW.CI.HAVERHILL.MA.US

May 1, 2020

City Council President Melinda Barrett and Members of the Haverhill City Council

RE: Communication from the Mayor regarding Coronavirus

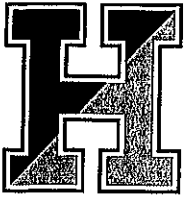
Dear Madame President and Members of the Haverhill City Council:

I am requesting to address the City Council at their meeting on Tuesday, May 5<sup>th</sup> to give an update on Haverhill's efforts regarding the Coronavirus (COVID-19) crisis.

Very truly yours,

*James J. Fiorentini (LYF)*  
**James J. Fiorentini**  
Mayor

JJF/lyf



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# Haverhill Public Schools

## Finance & Operations

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811

May 1, 2020

Dear Haverhill City Council,

Attached please find the Massachusetts School Building Authority's (MSBA) Statement of Interest (SOI) for the John G. Whittier Middle School and the Russo Barr HVAC, Plumbing and Structural Assessment Report. This SOI requires the approval of the Haverhill School Committee and the Haverhill City Council. The Haverhill School Committee voted 6-0-1 on April 30, 2020 to submit the SOI to the MSBA. The submission date must be on or before May 6, 2020 and must have the language below as the motion to approve.

***Resolved: Having convened in an open meeting on May 5, 2020, prior to the SOI submission closing date, the City Council of Haverhill, in accordance with its charter, by-laws, and ordinances, has voted to authorize the Superintendent to submit to the Massachusetts School Building Authority the Statement of Interest Form dated April 29, 2020 for the John Greenleaf Whittier School located at 256 Concord Street, Haverhill, MA 01830 which describes and explains the following deficiencies and the priority category(s) for which an application may be submitted to the Massachusetts School Building Authority in the future regarding replacement or renovation, eliminate existing severe overcrowding and allow district to provide for a full range of programs consistent with the state / local requirements; and hereby further specifically acknowledges that by submitting this Statement of Interest Form, the Massachusetts School Building Authority in no way guarantees the acceptance or the approval of an application, the awarding of a grant or any other funding commitment from the Massachusetts School Building Authority, or commits the City/Town/Regional School District to filing an application for funding with the Massachusetts School Building Authority.***

If City Council approves this submission, I will submit the required paperwork on Wednesday, May 6, 2020.

Respectfully submitted,

Michael Pfifferling  
Assistant Superintendent for Finance and Operations

CC: Margaret Marotta, Ed.D., Superintendent of Schools

*Attachment: John G. Whittier Statement of Interest*

## Massachusetts School Building Authority

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### Next Steps to Finalize Submission of your FY 2020 Statement of Interest

Thank you for submitting your FY 2020 Statement of Interest (SOI) to the MSBA electronically. **Please note, the District's submission is not yet complete.** The District is required to mail all required supporting documentation, which is described below.

**VOTES: Each SOI must be submitted with the proper vote documentation.** This means that (1) the required governing bodies have voted to submit each SOI, (2) the specific vote language required by the MSBA has been used, and (3) the District has submitted a record of the vote in the format required by the MSBA.

- **School Committee Vote:** Submittal of all SOIs must be approved by a vote of the School Committee.
  - For documentation of the vote of the School Committee, Minutes of the School Committee meeting at which the vote was taken must be submitted with the original signature of the Committee Chairperson. The Minutes must contain the actual text of the vote taken which should be substantially the same as the MSBA's SOI vote language.
- **Municipal Body Vote:** SOIs that are submitted by cities and towns must be approved by a vote of the appropriate municipal body (e.g., City Council/ Aldermen/Board of Selectmen) in addition to a vote of the School Committee.
  - Regional School Districts do not need to submit a vote of the municipal body.
  - For the vote of the municipal governing body, a copy of the text of the vote, which shall be substantially the same as the MSBA's SOI vote language, must be submitted with a certification of the City/Town Clerk that the vote was taken and duly recorded, and the date of the vote must be provided.

**ADDITIONAL DOCUMENTATION FOR SOI PRIORITIES #1 AND #3:** If a District selects Priority #1 and/or Priority #3, the District is required to submit additional documentation with its SOI.

- If a District selects Priority #1, Replacement or renovation of a building which is structurally unsound or otherwise in a condition seriously jeopardizing the health and safety of the school children, where no alternative exists, the MSBA requires a hard copy of the engineering or other report detailing the nature and severity of the problem and a written professional opinion of how imminent the system failure is likely to manifest itself. The District also must submit photographs of the problematic building area or system to the MSBA.
- If a District selects Priority #3, Prevention of a loss of accreditation, the SOI will not be considered complete unless and until a summary of the accreditation report focused on the deficiency as stated in this SOI is provided.

**ADDITIONAL INFORMATION:** In addition to the information required above, the District may also provide any reports, pictures, or other information they feel will give the MSBA a better understanding of the issues identified at a facility.

If you have any questions about the SOI process please contact the MSBA at 617-720-4466 or [SOI@massschoolbuildings.org](mailto:SOI@massschoolbuildings.org).

## Massachusetts School Building Authority

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School District Haverhill

District Contact Margaret A Marotta TEL: (978) 265-4033

Name of School John G Whittier

Submission Date 4/27/2020

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### SOI CERTIFICATION

To be eligible to submit a Statement of Interest (SOI), a district must certify the following:

- ☒ The district hereby acknowledges and agrees that this SOI is NOT an application for funding and that submission of this SOI in no way commits the MSBA to accept an application, approve an application, provide a grant or any other type of funding, or places any other obligation on the MSBA.
- ☒ The district hereby acknowledges that no district shall have any entitlement to funds from the MSBA, pursuant to M.G.L. c. 70B or the provisions of 963 CMR 2.00.
- ☒ The district hereby acknowledges that the provisions of 963 CMR 2.00 shall apply to the district and all projects for which the district is seeking and/or receiving funds for any portion of a municipally-owned or regionally-owned school facility from the MSBA pursuant to M.G.L. c. 70B.
- ☒ The district hereby acknowledges that this SOI is for one existing municipally-owned or regionally-owned public school facility in the district that is currently used or will be used to educate public PreK-12 students and that the facility for which the SOI is being submitted does not serve a solely early childhood or Pre-K student population.
- ☒ After the district completes and submits this SOI electronically, the district must mail hard copies of the required documentation described under the "Vote" tab, on or before the deadline.
- ☒ The district will schedule and hold a meeting at which the School Committee will vote, using the specific language contained in the "Vote" tab, to authorize the submission of this SOI. This is required for cities, towns, and regional school districts.
- ☒ Prior to the submission of the SOI, the district will schedule and hold a meeting at which the City Council/Board of Aldermen or Board of Selectmen/equivalent governing body will vote, using the specific language contained in the "Vote" tab, to authorize the submission of this SOI. This is not required for regional school districts.
- ☒ On or before the SOI deadline, the district will submit the minutes of the meeting at which the School Committee votes to authorize the Superintendent to submit this SOI. The District will use the MSBA's vote template and the vote will specifically reference the school and the priorities for which the SOI is being submitted. The minutes will be signed by the School Committee Chair. This is required for cities, towns, and regional school districts.
- ☒ The district has arranged with the City/Town Clerk to certify the vote of the City Council/Board of Aldermen or Board of Selectmen/equivalent governing body to authorize the Superintendent to submit this SOI. The district will use the MSBA's vote template and submit the full text of this vote, which will specifically reference the school and the priorities for which the SOI is being submitted, to the MSBA on or before the SOI deadline. This is not required for regional school districts.
- ☒ The district hereby acknowledges that this SOI submission will not be complete until the MSBA has received all of the required vote documentation in a format acceptable to the MSBA. If Priority 1 is selected, your SOI will not be considered complete unless and until you provide the required engineering (or other) report, a professional opinion regarding the problem, and photographs of the problematic area or system. If Priority 3 is selected, your SOI will not be considered complete unless and until you provide a summary of the accreditation report focused on the deficiency as stated in this SOI.

**LOCAL CHIEF EXECUTIVE OFFICER/DISTRICT SUPERINTENDENT/SCHOOL COMMITTEE CHAIR  
(E.g., Mayor, Town Manager, Board of Selectmen)**

<b>Chief Executive Officer *</b>	<b>School Committee Chair</b>	<b>Superintendent of Schools</b>
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(signature)	(signature)	(signature)
Date	Date	Date

\* Local chief executive officer: In a city or town with a manager form of government, the manager of the municipality; in other cities, the mayor; and in other towns, the board of selectmen unless, in a city or town, some other municipal office is designated to the chief executive office under the provisions of a local charter. Please note, in districts where the Superintendent is also the Local Chief Executive Officer, it is required for the same person to sign the Statement of Interest Certifications twice.



## Massachusetts School Building Authority

School District Haverhill

District Contact Margaret A Marotta TEL: (978) 265-4033

Name of School John G Whittier

Submission Date 4/27/2020

### Note

#### The following Priorities have been included in the Statement of Interest:

1. ☒ Replacement or renovation of a building which is structurally unsound or otherwise in a condition seriously jeopardizing the health and safety of school children, where no alternative exists.
2. ☒ Elimination of existing severe overcrowding.
3. ☐ Prevention of the loss of accreditation.
4. ☒ Prevention of severe overcrowding expected to result from increased enrollments.
5. ☐ Replacement, renovation or modernization of school facility systems, such as roofs, windows, boilers, heating and ventilation systems, to increase energy conservation and decrease energy related costs in a school facility.
6. ☐ Short term enrollment growth.
7. ☒ Replacement of or addition to obsolete buildings in order to provide for a full range of programs consistent with state and approved local requirements.
8. ☐ Transition from court-ordered and approved racial balance school districts to walk-to, so-called, or other school districts.

### SOI Vote Requirement

☒ I acknowledge that I have reviewed the MSBA's vote requirements for submitting an SOI which are set forth in the Vote Tab of this SOI. I understand that the MSBA requires votes from specific parties/governing bodies, in a specific format using the language provided by the MSBA. Further, I understand that the MSBA requires certified and signed vote documentation to be submitted with the SOI. I acknowledge that my SOI will not be considered complete and, therefore, will not be reviewed by the MSBA unless the required accompanying vote documentation is submitted to the satisfaction of the MSBA.

**SOI Program:** Core

**Potential Project Scope:** Potential New School

**Is this a Potential Consolidation?** Yes

**If "YES", Please describe Potential Consolidation that is anticipated at the school.**

Potentially Consolidate JG Whittier, Tilton Upper (St. James Leased property) and Nettle School.

**Is this SOI the District Priority SOI?** No

**School name of the District Priority SOI:** Haverhill High

**Is this part of a larger facilities plan?** No

**If "YES", please provide the following:**

**Facilities Plan Date:** 11/15/2017

**Planning Firm:**

**Please provide a brief summary of the plan including its goals and how the school facility that is the subject of this SOI fits into that plan:**

**Please provide the current student to teacher ratios at the school facility that is the subject of this SOI:** 27 students per teacher

**Please provide the originally planned student to teacher ratios at the school facility that is the subject of this SOI:** 20 students per teacher

**Does the District have a Master Educational Plan that includes facility goals for this building and all school buildings in District?** No

**Does the District have related report(s)/document(s) that detail its facilities, student configurations at each facility, and District operational budget information, both current and proposed?** No

**If "NO", please note that:**

**If, based on the SOI review process, a facility rises to the level of need and urgency and is invited into the Eligibility Period, the District will need to provide to the MSBA a detailed Educational Plan for not only that facility, but all facilities in the District in order to move forward in the MSBA's school building construction process.**

**Is there overcrowding at the school facility?** Yes

**If "YES", please describe in detail, including specific examples of the overcrowding.**

John G. Whittier is a middle school with 54,500 square feet. Currently, there are 103.42 sq feet per student at John G. Whittier Middle School. The optimal ratio is 154 square feet per student.  
([https://www.massschoolbuildings.org/sites/default/files/edit-contentfiles/Documents/Stats\\_Regs/MSBA\\_Regs\\_Program\\_April-10.pdf](https://www.massschoolbuildings.org/sites/default/files/edit-contentfiles/Documents/Stats_Regs/MSBA_Regs_Program_April-10.pdf))

**Average Class Size**

Grade 5 = 25.5

Grade 6 = 28.0

Grade 7 = 25.3

Grade 8 = 26.6

Currently, the JG Whittier does not have enough regular education classrooms to cover the growing enrollment rates. Our special education teachers do not have dedicated spaces to accommodate their students for testing purposes, as they often have to share with specialists and coordinate schedules in order to utilize certain spaces within the school building. Many times, these spaces are not ideal or adequate for optimal testing circumstances (ie: testing in cafeteria). JG Whittier has converted many spaces over the years to accommodate the growing population in order to best service its students. The school has converted a smaller program space into a general education classroom this past year due to lack of proper classroom space. This classroom accommodates between 25-30 students per class and is significantly smaller than the rest of the general education classrooms. Our ELL classroom was recently housed in a converted storage closet and would often accommodate between 12-14 students at a time. There was concern for health and ventilation, so a window was installed. We have since moved the classroom out of that space and utilize it now as an office. The health teacher travels throughout the building on a cart having to conduct her classes in 4 different classrooms each day.

Both technology labs in the school were dismantled and converted into different spaces (One is a program space for the Student Support Center and the other was turned into 2 separate spaces to function as small classroom/office spaces.) Band class is held in the cafeteria, hallways and closets are used to provide Special Education services such as PT, OT and Speech. The library media center cannot accommodate more than 25 students at any given time.

**Has the district had any recent teacher layoffs or reductions?** No

**If "YES", how many teaching positions were affected? 0**

**At which schools in the district?**

**Please describe the types of teacher positions that were eliminated (e.g., art, math, science, physical education, etc.).**

**Has the district had any recent staff layoffs or reductions?** No

**If "YES", how many staff positions were affected? 0**

**At which schools in the district?**

**Please describe the types of staff positions that were eliminated (e.g., guidance, administrative, maintenance, etc.).**

**Please provide a description of the program modifications as a consequence of these teacher and/or staff reductions, including the impact on district class sizes and curriculum.**

Does not apply

**Please provide a description of the local budget approval process for a potential capital project with the MSBA. Include schedule information (i.e. Town Meeting dates, city council/town council meetings dates, regional school committee meeting dates). Provide, if applicable, the District's most recent budget approval process that resulted in a budget reduction and the impact of the reduction to the school district (staff reductions, discontinued programs, consolidation of facilities).**

The School District Budget is created with input from the public and voted upon in an open session for the School Committee. The budget review process takes place over a number of months in open meetings. The budget has seen a modest increase over the past few years. No reductions to teaching staff have taken place as a result of the budget.

## General Description

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**BRIEF BUILDING HISTORY:** Please provide a detailed description of when the original building was built, and the date(s) and project scopes(s) of any additions and renovations (maximum of 5000 characters).

The JG Whittier Middle School was built in 1957 with no major renovations to the building other than windows, roof repairs and heating equipment repairs / replacement. The John G. Whittier school has recently and is currently going through several repairs to address structural and quality concerns in the school including asbestos abatement, roof repairs to address water/rain leaks and plumbing repairs to address steam leaks. Hallway lighting was recently converted to LED as part of a larger effort in several city-owned buildings. Other recent improvements include the parking lot and driveway, repairing the intercom system, and adding classroom telephones to all areas that previously did not have them.

**TOTAL BUILDING SQUARE FOOTAGE:** Please provide the original building square footage PLUS the square footage of any additions.

54500

**SITE DESCRIPTION:** Please provide a detailed description of the current site and any known existing conditions that would impact a potential project at the site. Please note whether there are any other buildings, public or private, that share this current site with the school facility. What is the use(s) of this building(s)? (maximum of 5000 characters).

The site topography of JG Whittier is mostly flat with mild wetlands around the school site.

**ADDRESS OF FACILITY:** Please type address, including number, street name and city/town, if available, or describe the location of the site. (Maximum of 300 characters)

256 Concord Street  
Haverhill, MA 01830

**BUILDING ENVELOPE:** Please provide a detailed description of the building envelope, types of construction materials used, and any known problems or existing conditions (maximum of 5000 characters).

Building is wooden frame with brick exterior and CMU interior. Windows were replaced in 2012. Roof was replaced in 2006.

**Has there been a Major Repair or Replacement of the EXTERIOR WALLS?** NO

**Year of Last Major Repair or Replacement:(YYYY)** 1957

**Description of Last Major Repair or Replacement:**

Original to building construction

**Roof Section** A

**Is the District seeking replacement of the Roof Section?** NO

**Area of Section (square feet)** 54500

**Type of ROOF (e.g., PVC, EPDM, Shingle, Slate, Tar & Gravel, Other (please describe)**

Modified Bitumen with gravel ballast

**Age of Section (number of years since the Roof was installed or replaced)** 14

**Description of repairs, if applicable, in the last three years. Include year of repair:**

In 2006, the roof of the JG Whittier School was replaced from the deck up including insulation.

**Window Section** A

**Is the District seeking replacement of the Windows Section?** NO

**Windows in Section (count)** 279

**Type of WINDOWS (e.g., Single Pane, Double Pane, Other (please describe))**

Double pane aluminum clad tilt in windows

**Age of Section (number of years since the Windows were installed or replaced)** 8**Description of repairs, if applicable, in the last three years. Include year of repair:**

There have been no repairs or replacement of building windows over the past 3 years.

**MECHANICAL and ELECTRICAL SYSTEMS: Please provide a detailed description of the current mechanical and electrical systems and any known problems or existing conditions (maximum of 5000 characters).**

Two HB Smith steam boilers were installed circa 2004. One is non-operational due to deteriorated sections. The second was replaced in the Fall of 2019 during an emergency project when the boiler experienced catastrophic failure during start-up. Steam lines throughout the crawlspaces and pipe chases were badly deteriorated and gradual repair/ replacement of very limited damaged sections has been ongoing for years. During the summer of 2019, asbestos-containing thermal systems insulation was removed throughout the crawlspaces, enabling more significant repairs to the extensively deteriorated steam lines. These lines remain uninsulated as repairs continue. Individual heating units in classrooms are original to the building and beyond their life expectancy; some are operating as designed while others have various mechanical issues.

The electrical systems at JG Whittier are also largely original to the building. Several small electrical panels were put in place to accommodate the installation of window air-conditioning units in the early 2010s. Most light fixtures are from the original construction, although LED upgrades were made throughout hallways during the summer of 2019 as part of an energy efficiency project completed in several buildings owned by the City of Haverhill. Most classroom areas have inadequate electrical capabilities for the use of current technology such as smart boards. Teaching staff still rely on dry erase boards or chalkboards in many classrooms. This inadequacy of electrical capabilities has impacted students in many ways. The ability to access better technology helps students to become better 21st-century learners.

**Boiler Section** 1**Is the District seeking replacement of the Boiler?** NO**Is there more than one boiler room in the School?** NO**What percentage of the School is heated by the Boiler?** 100**Type of heating fuel (e.g., Heating Oil, Natural Gas, Propane, Other)**

Natural Gas

**Age of Boiler (number of years since the Boiler was installed or replaced)** 1**Description of repairs, if applicable, in the last three years. Include year of repair:**

Boiler and large percentage of steam piping was replaced in 2019 as a result of deteriorating pipes and leaks. This required extensive abatement of asbestos containing thermal systems insulation.

**Has there been a Major Repair or Replacement of the HVAC SYSTEM?** NO**Year of Last Major Repair or Replacement:(YYYY)** 1957**Description of Last Major Repair or Replacement:**

The HV system is original the building. The district installed 30 window type AC units as part of the window project in 2012. They are controlled manually at the unit level.

**Has there been a Major Repair or Replacement of the ELECTRICAL SERVICES AND DISTRIBUTION SYSTEM?** NO**Year of Last Major Repair or Replacement:(YYYY)** 2012**Description of Last Major Repair or Replacement:**

The district installed a new electrical panel in 2012 to support the window type AC units. All other electrical components are original to the building.

**BUILDING INTERIOR: Please provide a detailed description of the current building interior including a description of the flooring systems, finishes, ceilings, lighting, etc. (maximum of 5000 characters).**

Classroom and hallway floors are a combination of 9" x 9" vinyl asbestos tile and 12" x 12" vinyl composite tile. Partition walls throughout the building are constructed of concrete masonry unit (CMU). Flooring in the gymnasium is hardwood in poor condition and experiences frequent buckling. Locker rooms are in poor condition and are currently not able to be used for any purpose. Ceilings are 12" x 12" spline tiles glued in place in fair condition in most areas, with hallways containing 2' x 4' suspended ceiling tiles which conceal mechanical equipment. Hallway lighting was upgraded to LED as part of an energy savings project in 2019. Classroom / office space lighting is original to the building. Student bathroom fixtures were original to the building; due to extensive damage/ wear and tear, they were fully renovated during the spring and summer of 2019. The remainder of fixtures are original to the building. The technology infrastructure is woefully inadequate. Security systems are not up to current standards.

**PROGRAMS and OPERATIONS: Please provide a detailed description of the current grade structure and programs offered and indicate whether there are program components that cannot be offered due to facility constraints, operational constraints, etc. (maximum of 5000 characters).**

JG Whittier was built in 1957 and houses more students than it was designed to hold, areas such as the lunchroom pose a supervisory challenge. We experience crowded hallways and a crowded cafeteria because students are larger and because it is the nature of adolescents and teens to travel and socialize in groups. The small hallways can pose a safety issue during fire drills when all classes are evacuating via the hallway. During these drills, we are vigilant about potential trampling, and other chaotic outcomes that can be harmful to students and staff. When looking at the cafeteria space, JGW lacks adequate lunchroom space (40'x81') to serve all the students, and with minimal space in which to transition students between four 25-minute lunch periods again, safety concerns are paramount. The JGW cafeteria is also used as an auditorium as well. The band teacher must provide classes on the stage as there is no available space for this class. JGW is also lacking in available office space, and it is not uncommon to see speech teachers, Occupational therapists and other specialized services being provided in the hallways.

The classrooms at John G Whittier Middle School, built in 1957 do not have the things necessary to complete science experiments. Many classrooms even lack proper electrical outlets, which only support 2 pronged plugs. Teaching science requires a different approach. Schools have to provide opportunities to their students to learn the various methods and processes. It is found that educational institutes that combine classroom or textbook teaching with science laboratory experiments are able to derive the best results for their students. Science lab experiments and science laboratory equipment aid in developing scientific learning amongst students, and in cultivating deeper and profound interest in the field.

The knowledge that one attains in classrooms and through books is ineffectual without understanding and learning the methods and processes behind the same. Science laboratory equipment allows students to utilize the data gathered from the books, as well from the material world, for developing pragmatic logic and rationale. Students are made to use the various tools and experiment with different techniques to improve their overall science literacy.

Besides offering the hands-on experience, science laboratory equipment teaches students how to make a scientific argument. Conducting experiments, reviewing them closely, developing logical reasoning, and responding to analytical comments, are some of the valuable skills that help in preparing the next generation of scientists, engineers, and medical professionals.

School science lab supplies play an important role in the advances and technologies being made in the world. Many of the world- famous scientists and researchers develop their life -long interest in science in their school science lab only where they conduct their first science lab experiments. Schools must therefore invest in up-to-date and highly advanced science laboratory equipment so as to give birth to highly skilled and competent scientific and technological labor force and to assure the country of a great future in the field of medical sciences and technological developments.

Due to lack of space at JGW students who reside in the district who require certain special programs must attend other district schools. An Activities of Daily Living classroom is a self-contained classroom with a minimum

staffing of one teacher and one paraprofessional. The students typically exhibit severe to profound cognitive delays. They may also exhibit varying degrees of physical disabilities and may require the administration of some medical procedures. The identification of students is accomplished through assessment, student support team processes and case reviews. As part of a Life Skills Program students need to learn and gain confidence in a variety of daily living skills that will support them in their everyday lives. Training in daily living skills such as self-care, personal hygiene, laundry, cooking, and cleaning takes place in our ADL (Activities of Daily Living) classroom which includes a fully functioning kitchen, laundry, and living area. Life Skills Programs must provide students the multiple opportunities to practice and gain confidence to face many of the daily challenges found in a home or apartment environment.

The library space at JGW is also inadequate for a library media center in 2020. Currently, the library is 24'x50' wide and cannot contain more than 1 classroom at a time. Even with that, the current class sizes are large and when one class of 29 is in the library the students are sitting almost on top of each other.

**EDUCATIONAL SPACES:** Please provide a detailed description of the Educational Spaces within the facility, a description of the number and sizes (in square feet) of classrooms, a description of science rooms/labs including ages and most recent updates, a description of the cafeteria, gym and/or auditorium and a description of the media center/library (maximum of 5000 characters).

The 20 classrooms are equal size of 29 x 32 (928 SF). The school library media center is 24 x 50 (1,200 SF) and is not capable of supporting a full classroom of students based on our class sizes and education space. There are no science labs in the JG Whittier. We need to serve lunch in 4 different sessions due to lack of serving lines and cafeteria seating space. The gymnasium is 64 x 95 (6,080 SF) and is of acceptable size for a middle school environment, however the seating, flooring and locker rooms are original to the building and in extremely poor condition. There is not space available in the JGW for Special Education pull-out services.

**CAPACITY and UTILIZATION:** Please provide the original design capacity and a detailed description of the current capacity and utilization of the school facility. If the school is overcrowded, please describe steps taken by the administration to address capacity issues. Please also describe in detail any spaces that have been converted from their intended use to be used as classroom space (maximum of 5000 characters).

JG Whittier has converted many spaces over the years to accommodate the growing population in order to best service it's students. A supply closet was converted into a classroom approximately 5 years ago at which time a window was installed. Since that time the classroom has been converted into the Student Adjustment Counselor's office.

The school has also converted a smaller program space into a general education classroom this past year due to lack of proper classroom space. Both technology labs in the school were dismantled and converted into different spaces (One is a program space for the Student Support Center and the other was turned into 2 separate spaces to function as small classroom/office spaces.)

**MAINTENANCE and CAPITAL REPAIR:** Please provide a detailed description of the district's current maintenance practices, its capital repair program, and the maintenance program in place at the facility that is the subject of this SOL. Please include specific examples of capital repair projects undertaken in the past, including any override or debt exclusion votes that were necessary (maximum of 5000 characters).

The Haverhill Public Schools uses a mix of in house trades people and contracted services. The HPS Facilities Department is under the direction of the Local Education Authority. Using a Computer Managed Maintenance System, all repairs are tracked and preventive maintenance is performed on a scheduled basis. Our repair request form is publicly available through the district web page and is available to staff, students, and the general public. The Haverhill Public Schools submits to the City of Haverhill requests for capital projects. In 2012, the City of Haverhill, with the assistance of the MSBA, replaced windows in two schools, boilers in two schools, and roof replacements in 2 schools. In June of 2014, the City of Haverhill passed a debt exclusion to replace the structurally unsound CD Hunking School in the Bradford section of the City. As of April, 2020, they Haverhill Public Schools has entered into the feasibility study phase of Consentino Middle School project with the MSBA.





## Priority 1

***Question 1: Please provide a detailed description of the perceived health and safety problem(s) below. Attach copies of orders or citations from state and/or local building and/or health officials.***

The investigation for this report consisted primarily of a review of the existing conditions and a review of the available existing architectural and structural drawings. Physical review of existing conditions in the field was made by observations of exposed areas, both the exterior and interior areas. Floor hatches made it possible to observe crawl space areas and view slab conditions on the underside. Information was gathered by removing ceiling tiles in the corridors and viewing conditions of exposed framing of laminated wood beams and connections. The classrooms have exposed laminated wood beams usually showing the bottom of the roof decking as well.

In a couple of areas of the structure, there was damage observed, reportedly due to a failure in the HVAC system. This appears to have occurred in a couple of locker rooms and, it was reported that the areas have been closed for quite a while. Steam was let out of the pipes and into the room and because of the exposed framing, the moisture caused deterioration and failure in the roof deck. It appears that the laminated wood beams affected may have also experienced moisture deterioration. Further investigation of the specific areas would be necessary to determine the extent of the deterioration present, however it is obvious that there has been failure of various roof deck members. Temporary shoring has been placed in these areas until repairs are made. Access to these areas should be restricted.

The chimney is another area of concern encountered during the investigation. A significant number of cracks were observed throughout the chimney from the base in the boiler room, to the top above the roof. Haverhill building staff noted that there has been a new flue liner that was installed within the past 15 years because the chimney would leak air flow through the brick facade before making it to the top. The new flue liner may have extended its life and improved the air flow, but further investigation is needed to determine if the chimney needs to be repainted or rebuilt. It is clear there is a significant crack in the structure of the chimney at the base in the CMU wall. It is not clear if the crack stops at the roofline, or if the crack above is just the brick veneer. Further investigation is necessary at this area to determine if complete rebuilding is necessary, or if the chimney will have to be repainted.

The CMU walls are for the most part non-bearing and are aligned with beams and columns both exterior and interior. These CMU walls are abutted to the wide flange columns. End conditions of these CMU walls at top, bottom, and ends were observed and appear to not have any type of moment connection where it would be able to transfer loads it experiences to the structural framing. We would suspect the CMU walls to be connected to the steel columns with shear studs that are welded to the steel. The CMU walls do experience some live loads such as wind, rain, seismic, and internal pressure, so it is necessary to have a sufficient structural connection to the structure. The structural drawings do not call out any type of tie-ins with the columns or the slab it sits on. There were areas where the wall abuts to the top flange of the steel column and there is a little daylight between the two. Through the gap there does not appear to be any connection to each other like the shear studs. There was no evidence of significant movement or problems within the CMU walls resulting in cracking, etc. A more thorough investigation involving test cuts would need to be conducted in order to perform a complete structural analysis of the CMU wall structure both exterior and interior.

Additional minor issues were observed such as the sealant expansion/control joints. Most sealant joints have failed and are in need of replacement. Masonry mortar joints on the CMU walls and brick facing need repainting in many areas. Also, there is a connection on the steel entrance canopy that is missing bolts and appears to have been damaged by impact from a vehicle.

Available existing architectural and structural drawings are mainly complete; showing most conditions and connections. The current investigation was not conceived as a definitive study, but as a preliminary effort to map out the probable

scope of problems and develop preliminary typical details and cost estimates for likely repairs. A more complete field investigation would be required in advance of any final repair design.

**Priority 1**

***Question 2: Please describe the measures the district has taken to mitigate the problem(s) described above.***

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Over the summer and fall of 2019, the district replaced the boiler and a large portion of the deteriorated steam piping. This involved abating large amounts of insulation containing asbestos. Between the fall of 2019 and the spring of 2020, the district replaced the roof decking and roof materials over the locker rooms. This also included abatement of asbestos containing materials as well as removing walls and framing containing mold / mildew in those areas. The district rebuilt the chimney systems in the fall of 2019.

**Priority 1**

***Question 3: Please provide a detailed explanation of the impact of the problem described in this priority on your district's educational program. Please include specific examples of how the problem prevents the district from delivering the educational program it is required to deliver and how students and/or teachers are directly affected by the problem identified.***

The HVAC system causes great issues with equity in temperature levels in different areas of the building and in each wing of the building. In addition, the deteriorated steam piping causes excess moisture in learning areas and causes premature failure of the boiler system as it is introducing new water to the system on a constant basis (steam / water never makes it back to the boiler). The locker rooms have been off limits to students / staff for several years.

**Please also provide the following:**

In the space below, please tell us about the report from an independent source that is not under the direct control of the school district or the city/town, stating that the facility is structurally unsound or jeopardizes the health and safety of the students. The entirety of this report should be submitted in hard copy.

Please note that the MSBA will accept an official report from a city or town department/employee, if the person preparing the report is a licensed building inspector, architect, or engineer. For example, a report from the district, city, or town maintenance or janitorial department would not meet this requirement.

**Name of Firm that performed the Study/Report (maximum of 50 characters).:**

Russo Barr Associates

**Date of Study/Report:****Synopsis of Study/Report (maximum of 1500 characters).:**

As stated above, it is the opinion of the authors of this report that the existing building overall, other than the specific issues noted, is in good structural condition. As the report indicates, the structural issues are the result of leaks (steam) in the mechanical systems, this moisture caused the laminated beams and wood plank roof plank to rot and deteriorate. Some of the issues highlighted in the mechanical/plumbing report should also be priority as the structural issues seem to have stemmed from mechanical issues.

The current exterior wall configuration does not meet current building codes and, based on current codes, could be hazardous in earthquake and high wind conditions. A more thorough investigation and subsequent design process should be anticipated if there are any expansion or significant upgrades anticipated at the school.

**Is the perceived Health and Safety problem related to asbestos?: YES**

**If "YES", please describe the location in the facility, if it is currently friable, and the mitigation efforts that the district has undertaken to date (maximum of 2000 characters).:**

The steam piping is wrapped in asbestos containing materials. This piping is original to the building and is abated as we work through the building repairs. Pipe insulation in the crawlspaces was removed in 2019, but insulation in some pipe chases and above suspended ceilings in hallways remain. The flooring in a significant portion of the building consists of 9" x 9" vinyl asbestos tiles, which need to be replaced as they become friable. The locker room areas included asbestos-containing ceiling panels which required abatement prior to structural repairs.

**Is the perceived Health and Safety problem related to an electrical condition?:** NO

**If "YES", please describe the electrical condition, any imminent threat, and the mitigation efforts that the district has undertaken to date (maximum of 2000 characters):**

**Is the perceived Health and Safety problem related to a structural condition?:** YES

**If "YES", please describe the structural condition, any imminent threat, and the mitigation efforts that the district has undertaken to date (maximum of 2000 characters):**

The locker rooms will need to be investigated further. It appears that the roof decking has been a problem in the past (possibly due to roof leaks) and has had replacement before. To avoid recurrence, moisture levels in the locker rooms need to be corrected and/or proper ventilation added if the areas will be used in the future. We have recommendations that, once the HVAC problem has been resolved, roofing above the deteriorated roof decking should be removed so that replacement of the decking can occur. The areas of roof will be replaced and new roof decking can be installed. The extent of rot on the laminated wood beams will be determined and treated with either repairs to the existing beams, or replacement, as required. Repair on the chimney will need to be investigated further to determine if the cracking in the CMU backup continues to the top where the brick facing is cracked. This will be investigated with test cuts in the brick. If there are significant cracks in the back-up, the chimney will need to be rebuilt, potentially from the base in the boiler room to the top, above the roof. Otherwise partial repairs to the cracks and repainting above the roof line may be warranted. Repair or reinforcing of the CMU walls, which are suspected by an outside consultant to be deficient under wind loads, has not yet been investigated further. Such investigation should be considered, especially if further study confirms the deficiency of the walls, or significant alterations to the building trigger the required code updates. The repair could involve cutting into walls at all end connections to the steel columns and adding shear studs or similar to provide a connection for the wall to transfer loads to the structure. Minor repainting of brick and CMU are needed throughout the building, along with sealant replacement at the expansion joints on wall elevations. Missing connection bolts and damage at front entrance canopy roof should be repaired to prevent further damage.

**Is the perceived Health and Safety problem related to the building envelope?:** NO

**If "YES", please describe the building envelope condition, any imminent threat, and the mitigation efforts that the district has undertaken to date (maximum of 2000 characters):**

**Is the perceived Health and Safety problem related to the roof?:** YES

**If "YES", please describe the roof condition, any imminent threat, and the mitigation efforts that the district has undertaken to date (maximum of 2000 characters):**

The issues in the locker rooms, including replacement of the roof decking and repairs to the laminated beams in the affected areas, will need to be investigated further. In areas, it appears that the roof decking has been a problem in the past (possibly due to roof leaks) and has had replacement before. Future moisture in this locker room needs to be corrected and/or proper ventilation will need to be added if this is to be used as a locker room in the future, in order for this issue to stop occurring. Once the HVAC problem has been resolved (if it has not already been completed), we recommend replacement of the affected deteriorated roof decking by tearing off the roof above. The areas of roof will be replaced and new roof decking can be installed. The extent of rot on the laminated wood beams will be determined and treated with either repairs to the existing beams, or replacement, as required.

Repair on the chimney will need to be investigated further to determine if the cracking in the CMU backup continues to the top where the brick facing is cracked. This will be investigated with test cuts in the brick. If there are significant cracks in the back-up, the chimney will need to be rebuilt from potentially the base in the boiler room to the top, above the roof. Otherwise partial repairs to the cracks, and repainting above the roof line may be warranted.

**Is the perceived Health and Safety problem related to accessibility?:** NO

**If "YES", please describe the areas that lack accessibility and the mitigation efforts that the district has undertaken to date. In addition, please submit to the MSBA copies of any federally-required ADA Self-**

**Evaluation Plan and Transition Plan (maximum of 2000 characters):**

**Priority 2*****Question 1: Please describe the existing conditions that constitute severe overcrowding.***

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As mentioned several times in this document, John G Whittier Middle School was built in 1957. JGW houses far more students than it was designed to hold, areas such as the lunchroom pose a supervisory challenge. Currently, we experience crowded hallways and a crowded cafeteria because students are larger and because it is the nature of adolescents and teens to travel and socialize in groups. The small hallways can pose a safety issue during safety drills when all classes are evacuating via the hallway. When looking at the cafeteria space, JGW lacks adequate lunchroom space (40'x81') to serve all the students, and with minimal space in which to transition students between four 25-minute lunch periods again, safety concerns are paramount. The JGW cafeteria is also used as an auditorium as well. The band teacher must provide classes on the stage as there is no available space for this class. JGW is also lacking in available office space, and it is not uncommon to see speech teachers, Occupational therapists and other specialized services being provided in the hallways.

**Priority 2**

***Question 2: Please describe the measures the School District has taken to mitigate the problem(s) described above.***

During safety drills, we are vigilant about potential trampling, and other chaotic outcomes that can be harmful to students and staff. The cafeteria is a multipurpose area used to house band classes as well as assemblies and classroom project areas. Special Education services are often conducted in closet spaces or hallways.



**Priority 2**

***Question 3: Please provide a detailed explanation of the impact of the problem described in this priority on your district's educational program. Please include specific examples of how the problem prevents the district from delivering the educational program it is required to deliver and how students and/or teachers are directly affected by the problem identified.***

The district is experiencing overcrowding at all levels - but particularly at the middle school level. Each year we tweak our school residency zone-lines in-attempt to control class size. Last year we underwent a larger scale "right sizing effort" moving many children, classrooms and school in order to keep our K class size under 21, early elementary class size under 25, and middle school class sizes under 29. We were largely able to meet these goals although when EL and special ed classrooms push-in for inclusive education the numbers do rise beyond 30 at the middle school level. Unfortunately this is not a budget issue - even if we had the money to hire teachers we do not have the space to add more classroom teachers and lower class size

Even at our target for middle school class size of 29 our classes are too large. As a school district with 60% of the students being determined to be "high needs" our students need the additional teacher attention that lower class sizes allow. Even beyond class size our buildings do not offer space for small groups of learners to receive tier two and three interventions. We do not have office space for related services personnel such as adjustment counselors, speech teachers or reading specialists.

Additionally high needs students have experienced higher incidence of trauma and require trauma related services and supports - including smaller school and class sizes, chill spaces in and out of the classrooms, private areas for counseling and social skill development.

Similarly, as our EL population grows and the severity of needs of our special education students increases we do not have space to add classrooms to meet the needs of these students.

Additionally, we continue to lease the St James school as an interim solution to overcrowding at our middle schools.

**Please also provide the following:**

**Cafeteria Seating Capacity:** 168

**Number of lunch seatings per day:** 4

**Are modular units currently present on-site and being used for classroom space?:** NO

**If "YES", indicate the number of years that the modular units have been in use:**

**Number of Modular Units:**

**Classroom count in Modular Units:**

**Seating Capacity of Modular classrooms:**

**What was the original anticipated useful life in years of the modular units when they were installed?:**

**Have non-traditional classroom spaces been converted to be used for classroom space?:** YES

**If "YES", indicate the number of non-traditional classroom spaces in use:** 2

**Please provide a description of each non-traditional classroom space, its originally-intended use and how it is currently used (maximum of 1000 characters).:**

While it is currently 2, in the past we have had up to 4 or 5 spaces utilized as non-traditional classroom spaces. Currently, Band class is held in the cafeteria, hallways and closets are used to provide Special Education services such as PT, OT and Speech. The library media center cannot accommodate more than 25 students at any given time. Classroom #31 was converted from a smaller program space into a general education

classroom. This classroom accommodates between 25-30 students per class and is significantly smaller than the rest of the general education classrooms. Our ELL classroom was recently housed in a converted storage closet and would often accommodate between 12-14 students at a time. There was concern for health and ventilation, so a window was installed. We have since moved the classroom out of that space and utilize it now as an office. The health teacher travels throughout the building on a cart having to conduct her classes in 4 different classrooms each day.

**Please explain any recent changes to the district's educational program, school assignment policies, grade configurations, class size policy, school closures, changes in administrative space, or any other changes that impact the district's enrollment capacity (maximum of 5000 characters):**

To better meet the needs of the diverse student population across our schools and to reduce overcrowding, the Haverhill Public Schools introduced a rightsizing model in SY 19-20. With these changes to student assignment, the school district will offer a cost effective, short-term solution that supports access and equity for all students.

#### Class Size Management Goals

- \*Cost-effective Short-term Answer with a Positive Impact
- \*Reduce Overcrowding
- \*Split TEACH and HALT and provide each program with a more appropriate space
- \*Better meet the needs of diverse student populations
- \*HPS Rightsizing Fact Sheet
- \*Why is the Haverhill Public Schools rightsizing?

An interim solution is needed for the middle school level overcrowding until a more permanent resolution is determined with either the rebuilding or renovating of Consentino School.

The repurposing of the St. James School School from a specialized facility educating 80 students to a middle school with the potential to educate over 300 students will reduce overcrowding.

The changes would occur at natural breaks in students' schooling to decrease the uprooting of children. Our kindergarten students would join their peers in the elementary school. Consentino School would navigate in the interim back to a grade 5-8 school, St. James School Grades 4-6, Whittier School Grades 5-8, Nettle School 5-8, with TEACH and HALT having their own individual space.

What benefits could be gained by the district rightsizing?

- \*Improve neighborhood schools (close to home) model
- \*Insure equitable access to educational resources across buildings
- \*Shorten student travel time by bus
- \*Provide services [English language learners (ELL) and special education) closer to student's home
- \*Maintain/increase socioeconomic balance across our schools
- \*Additional supports for kindergarten students
- \*Lower class size at the middle schools
- \*Provide TEACH/HALT Programs with independent space

**What are the district's current class size policies (maximum of 500 characters)?:**

Last year we underwent a larger scale "right sizing effort" moving many children, classrooms and school in order to keep our K class size under 21, early elementary class size under 25, and middle school class sizes under 29. We were largely able to meet these goals although when EL and special ed classrooms push-in for inclusive education the numbers do rise beyond 30 at the middle school level.

#### **Priority 4**

***Question 1: Please describe the conditions within the community and School District that are expected to result in increased enrollment.***

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The city's master plan is calling for reducing the amount of land required for building single family homes from the current 2 acre requirement to 1 acre. We anticipate this change will draw more families to Haverhill and increase our already high classroom enrollment numbers.

**Priority 4**

***Question 2: Please describe the measures the School District has taken or is planning to take in the immediate future to mitigate the problem(s) described above.***

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Annually, we are forced to redistrict our students to allow for balanced classrooms as there is no additional space within our school buildings to add classrooms to accommodate additional students within a specific area. We are also forced to transport students to schools outside of their local community school as a result of space issues.

**Priority 4**

**Question 3: Please provide a detailed explanation of the impact of the problem described in this priority on your district's educational program. Please include specific examples of how the problem prevents the district from delivering the educational program it is required to deliver and how students and/or teachers are directly affected by the problem identified.**

Students who are transported outside of their home districts are subject to the social and emotional issues that come with attending school with other students who are not neighborhood peers. The largest impact is to students and families who move into the district after rosters have been set and classroom space is full. Those students who are new to our community are now subject to attending school outside of their neighborhood.

**Please also provide the following:**

**Cafeteria Seating Capacity:** 168

**Number of lunch seatings per day:** 4

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If "YES", indicate the number of years that the modular units have been in use:

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**Please provide a description of each non-traditional classroom space, its originally-intended use and how it is currently used (maximum of 1000 characters):**

While it is currently 2, in the past we have had up to 4 or 5 spaces utilized as non-traditional classroom spaces. Currently, Band class is held in the cafeteria, hallways and closets are used to provide Special Education services such as PT, OT and Speech. The library media center cannot accommodate more than 25 students at any given time. Classroom #31 was converted from a smaller program space into a general education classroom. This classroom accommodates between 25-30 students per class and is significantly smaller than the rest of the general education classrooms. Our ELL classroom was recently housed in a converted storage closet and would often accommodate between 12-14 students at a time. There was concern for health and ventilation, so a window was installed. We have since moved the classroom out of that space and utilize it now as an office. The health teacher travels throughout the building on a cart having to conduct her classes in 4 different classrooms each day.

**Please explain any recent changes to the district's educational program, school assignment policies, grade configurations, class size policy, school closures, changes in administrative space, or any other changes that impact the district's enrollment capacity (maximum of 5000 characters). :**

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Class Size Management Goals

\*Cost-effective Short-term Answer with a Positive Impact

- \*Reduce Overcrowding
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What benefits could be gained by the district rightsizing?

- \*Improve neighborhood schools (close to home) model
- \*Insure equitable access to educational resources across buildings
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**Priority 7**

***Question 1: Please provide a detailed description of the programs not currently available due to facility constraints, the state or local requirement for such programs, and the facility limitations precluding the programs from being offered.***

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The classrooms at John G Whittier Middle School, built in 1957 do not have the things necessary to complete science experiments. Many classrooms even lack proper electrical outlets, which only support 2 pronged plugs. Teaching science requires a different approach. Schools have to provide opportunities to their students to learn the various methods and processes. It is found that educational institutes that combine classroom or textbook teaching with science laboratory experiments are able to derive the best results for their students. Science lab experiments and science laboratory equipment aid in developing scientific learning amongst students, and in cultivating deeper and profound interest in the field.

The knowledge that one attains in classrooms and through books is ineffectual without understanding and learning the methods and processes behind the same. Science laboratory equipment allows students to utilize the data gathered from the books, as well from the material world, for developing pragmatic logic and rationale. Students are made to use the various tools and experiment with different techniques to improve their overall science literacy.

Besides offering the hands-on experience, science laboratory equipment teaches students how to make a scientific argument. Conducting experiments, reviewing them closely, developing logical reasoning, and responding to analytical comments, are some of the valuable skills that help in preparing the next generation of scientists, engineers, and medical professionals.

School science lab supplies play an important role in the advances and technologies being made in the world. Many of the world- famous scientists and researchers develop their life -long interest in science in their school science lab only where they conduct their first science lab experiments. Schools must therefore invest in up-to-date and highly advanced science laboratory equipment so as to give birth to highly skilled and competent scientific and technological labor force and to assure the country of a great future in the field of medical sciences and technological developments.



**Priority 7**

***Question 2: Please describe the measures the district has taken or is planning to take in the immediate future to mitigate the problem(s) described above.***

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Science experiments are not conducted in our classrooms - rather, the use of textbooks and video simulations are utilized to show the experiments, however, students are not experiencing these experiments first hand.

The use of technology has assisted in some ways, however, the lack of power to recharge these devices produces several challenges for our students, instructional staff and technology staff.

**Priority 7**

***Question 3: Please provide a detailed explanation of the impact of the problem described in this priority on your district's educational program. Please include specific examples of how the problem prevents the district from delivering the educational program it is required to deliver and how students and/or teachers are directly affected by the problem identified.***

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Students who move on to Haverhill High School from JG Whittier School are at a severe disadvantage to their peers coming from other middle schools within the district as those students have been exposed to additional teaching methods with regards to the STEM content.

## Vote

## REQUIRED FORM OF VOTE TO SUBMIT AN SOI

### REQUIRED VOTES

If the SOI is being submitted by a City or Town, a vote in the following form is required from both the City Council/Board of Aldermen **OR** the Board of Selectmen/equivalent governing body **AND** the School Committee.

If the SOI is being submitted by a regional school district, a vote in the following form is required from the Regional School Committee only. FORM OF VOTE Please use the text below to prepare your City's, Town's or District's required vote(s).

## FORM OF VOTE

Please use the text below to prepare your City's, Town's or District's required vote(s).

Resolved: Having convened in an open meeting on \_\_\_\_\_, prior to the closing date, the

*/City Council Board of Aldermen.*

Board of Selectmen Equivalent Governing Body School Committee] of \_\_\_\_\_ [City/Town], in accordance

with its charter, by-laws, and ordinances, has voted to authorize the Superintendent to submit to the

Massachusetts School Building Authority the Statement of Interest dated \_\_\_\_\_ for the \_\_\_\_\_

[Name of School] located at \_\_\_\_\_

\_\_\_\_\_  
[Address] which

describes and explains the following deficiencies and the priority category(s) for which an application may be submitted to the Massachusetts School Building Authority in the future

*\* Insert a description of the priority(s) checked off on*

*the Statement of Interest Form and a brief description of the deficiency described therein for each priority*]; and hereby further specifically acknowledges that by submitting this Statement of Interest Form, the Massachusetts School Building Authority in no way guarantees the acceptance or the approval of an application, the awarding of a grant or any other funding commitment from the Massachusetts School Building Authority, or commits the City/Town/Regional School District to filing an application for funding with the Massachusetts School Building Authority.

**CERTIFICATIONS**

The undersigned hereby certifies that, to the best of his/her knowledge, information and belief, the statements and information contained in this statement of Interest and attached hereto are true and accurate and that this Statement of Interest has been prepared under the direction of the district school committee and the undersigned is duly authorized to submit this Statement of Interest to the Massachusetts School Building Authority. The undersigned also hereby acknowledges and agrees to provide the Massachusetts School Building Authority, upon request by the Authority, any additional information relating to this Statement of Interest that may be required by the Authority.

**Chief Executive Officer \*****School Committee Chair****Superintendent of Schools**

(signature)

(signature)

(signature)

Date

Date

Date

\* Local chief executive officer: In a city or town with a manager form of government, the manager of the municipality; in other cities, the mayor; and in other towns, the board of selectmen unless, in a city or town, some other municipal office is designated to the chief executive office under the provisions of a local charter. Please note, in districts where the Superintendent is also the Local Chief Executive Officer, it is required for the same person to sign the Statement of Interest Certifications twice.

9:30am  
W/MM

# **HVAC, PLUMBING AND STRUCTURAL** **ASSESSMENT REPORT**

**Haverhill Whittier Middle School**

**292 Concord Street  
Haverhill, MA**

**July 15, 2019**

**RBA Project No. 2019023**

**Prepared by:**



**55 Sixth Road, Suite 6  
Woburn, MA 01801  
tel: 781-273-1537  
fax: 781-273-1695**

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**Russo Barr Associates, Inc.**  
55 Sixth Road, Suite 6  
Woburn, MA 01801  
  
781-273-1537 tel  
781-273-1695 fax

July 12, 2019

Mr. Brian O'Connell, Business Manager  
Haverhill Public Schools  
4 Summer Street, Suite 104  
Haverhill, MA 01830

Re: School Building Needs Assessment  
Whittier Middle School  
Haverhill, Massachusetts  
RBA Project No. 2019023

Dear Mr. O'Connell:

As requested, a review of the HVAC and Plumbing Systems and Structural components have been conducted at the Whittier Middle School in Haverhill, MA in the months of April through June 2019. The intent of this report is to provide an overview of existing HVAC, plumbing and structural conditions taken with a view to keeping the school in sound order and operative condition until eventual replacement of the structure, or its major renovation, in five to ten years, the impact of those conditions, and to outline repair options and the resulting construction cost estimates. The information contained below has been obtained from site visits, review of available drawings, and site observations. This section of the report covers the structural assessment. The section of the report outlining the HVAC and Plumbing can be found following this section of the report.

### ***Overview***

Whittier Middle School is a one-story building with multiple roof heights composed of wood, masonry, concrete, and steel. The building is located in Haverhill, Massachusetts, built circa 1957. Architectural and structural drawings are available, on which documentation of the discussion in this report is largely based. Floor structure is mainly 4" concrete one-way slab that creates a small crawl space below; the slabs span to concrete girders which span to concrete columns which transfer loads to the ground. The floor structures for the gymnasium and auditorium/cafeteria are both a 4" concrete slab on grade, loads are transferred directly to the ground. The roof structure is made up of laminated wood beams, of various sizes, which pitch towards roof drains, 1/4" per foot. The beams span wall to wall to steel wide flange columns that are anchored to the footings below. The exterior walls are composed of concrete masonry units (CMU) block with brick facing. The interior partition walls are CMU block that are aligned with the steel columns and are abutted up to the columns. The roof is a built up roofing system with multiple plies and insulation that sits atop a 3" wide wood tongue and groove plank roof deck.

### ***Investigation***

The investigation for this report consisted primarily of a review of the existing conditions and a review of the available existing architectural and structural drawings. Physical review of existing conditions in the field was made by observations of exposed areas, both the exterior and interior areas. Floor hatches made it possible to observe crawl space areas and view slab conditions on

the underside. Information was gathered by removing ceiling tiles in the corridors and viewing conditions of exposed framing of laminated wood beams and connections. The classrooms have exposed laminated wood beams usually showing the bottom of the roof decking as well.

In a couple of areas of the structure, there was damage observed, reportedly due to a failure in the HVAC system. This appears to have occurred in a couple of locker rooms and, it was reported that the areas have been closed for quite a while. Steam was let out of the pipes and into the room and because of the exposed framing, the moisture caused deterioration and failure in the roof deck. It appears that the laminated wood beams affected may have also experienced moisture deterioration. Further investigation of the specific areas would be necessary to determine the extent of the deterioration present, however it is obvious that there has been failure of various roof deck members. Temporary shoring has been placed in these areas until repairs are made. Access to these areas should be restricted.

The chimney is another area of concern encountered during the investigation. A significant number of cracks were observed throughout the chimney from the base in the boiler room, to the top above the roof. Haverhill building staff noted that there has been a new flue liner that was installed within the past 15 years because the chimney would leak air flow through the brick façade before making it to the top. The new flue liner may have extended its life and improved the air flow, but further investigation is needed to determine if the chimney needs to be repointed or rebuilt. It is clear there is a significant crack in the structure of the chimney at the base in the CMU wall. It is not clear if the crack stops at the roofline, or if the crack above is just the brick veneer. Further investigation is necessary at this area to determine if complete rebuilding is necessary, or if the chimney will have to be repointed.

The CMU walls are for the most part non-bearing and are aligned with beams and columns both exterior and interior. These CMU walls are abutted to the wide flange columns. End conditions of these CMU walls at top, bottom, and ends were observed and appear to not have any type of moment connection where it would be able to transfer loads it experiences to the structural framing. We would suspect the CMU walls to be connected to the steel columns with shear studs that are welded to the steel. The CMU walls do experience some live loads such as wind, rain, seismic, and internal pressure, so it is necessary to have a sufficient structural connection to the structure. The structural drawings do not call out any type of tie-ins with the columns or the slab it sits on. There were areas where the wall abuts to the top flange of the steel column and there is a little daylight between the two. Through the gap there does not appear to be any connection to each other like the shear studs. There was no evidence of significant movement or problems within the CMU walls resulting in cracking, etc. A more thorough investigation involving test cuts would need to be conducted in order to perform a complete structural analysis of the CMU wall structure both exterior and interior.

Additional minor issues were observed such as the sealant expansion/control joints. Most sealant joints have failed and are in need of replacement. Masonry mortar joints on the CMU walls and brick facing need repointing in many areas. Also, there is a connection on the steel entrance canopy that is missing bolts and appears to have been damaged by impact from a vehicle.

Available existing architectural and structural drawings are mainly complete; showing most conditions and connections. The current investigation was not conceived as a definitive study, but as a preliminary effort to map out the probable scope of problems and develop preliminary typical details and cost estimates for likely repairs. A more complete field investigation would be required in advance of any final repair design.



### ***Building Code Review***

The first edition of the Massachusetts State Building Code was not enacted until January 1, 1975. Therefore, there was no official building code in effect when this building was constructed in 1957. There have been no additions to the building since the original construction, and no significant renovations that would have triggered building code upgrades.

If there are any significant renovations or additions performed at the building, the Massachusetts State Building Code current at the time of the renovations (current code is the 9<sup>th</sup> Edition) must be followed, and many of the existing conditions will be required to be brought into conformance with that code. This will also include full compliance with the applicable MAAB codes.

### ***Structural Concerns***

The main structural concern is the areas in which were damaged by failures within the steam heating system (Locker Rooms). The roof decking should be replaced, and damaged beams repaired or replaced, in the affected areas so the temporary shoring can be removed, and the locker rooms can be restored. To allow proper installation of new roof decking, the roofing above will need to be removed and replaced above. The laminated beams in the area that were affected should be investigated further to determine the extent of moisture related rot and deterioration, to determine if the beam(s) still have the required structural capacity. The beam(s) will need to be treated or replaced based on the findings and calculations.

The chimney is the second concern, it has major cracks in the CMU at the base and major cracks in the brick veneer at the top. Further investigation would be required to determine if the cracking in the CMU has continued the up the chimney. Cracks in the CMU or back-up wall towards the top of the chimney would require the chimney to be removed and be rebuilt or repaired. The chimney is a tall, slender structure that will only get worse over time if not treated. The new flue may have slowed down deterioration, but major cracks will lead to failure.

The CMU walls have not been a problem in the past and they appear to be in good condition with some cracks mostly on the high walls in the gymnasium and cafeteria and also at doorways. The doorways have lintels that are called out in the structural drawings as masonry lintels with rebar, it doesn't specify the size or number within the CMU block. No structural information has been called out associated with the CMU walls, and investigation of end connection will need to be conducted in order to run analysis of the component. Any significant renovation would possibly trigger the requirement for structural reinforcement of these walls, to meet current building code requirements.

Masonry and expansion sealant joints are a concern. The sealant joints along the walls have dried and are cracking. The cracking has led to separation in the joint and is allowing water to enter. This should be treated before it leads to leaks and deterioration. In addition, brick veneer and CMU interior walls need repointing in various areas.

The small issues of repointing, the sealant joints, and the missing bolts in the canopy are not of high priority and can be completed after the higher priority items noted above, or in conjunction with those items.

In the opinion of the authors of this report, the existing state of the building overall, other than the specific issues noted, is in good structural condition. The biggest concern would be the deteriorated roof decking and laminated beams; the beams will need to be examined further to

conclude proper restoration. All items will be covered in the 'Structural Repairs' section below and estimate.

### ***Structural Repairs***

The issues in the locker rooms, including replacement of the roof decking and repairs to the laminated beams in the affected areas, will need to be investigated further. In areas, it appears that the roof decking has been a problem in the past (possibly due to roof leaks) and has had replacement before. Future moisture in this locker room needs to be corrected and/or proper ventilation will need to be added if this is to be used as a locker room in the future, in order for this issue to stop occurring. Once the HVAC problem has been resolved (if it has not already been completed), we recommend replacement of the affected deteriorated roof decking by tearing off the roof above. The areas of roof will be replaced and new roof decking can be installed. The extent of rot on the laminated wood beams will be determined and treated with either repairs to the existing beams, or replacement, as required.

Repair on the chimney will need to be investigated further to determine if the cracking in the CMU backup continues to the top where the brick facing is cracked. This will be investigated with test cuts in the brick. If there are significant cracks in the back-up, the chimney will need to be rebuilt from potentially the base in the boiler room to the top, above the roof. Otherwise partial repairs to the cracks, and repointing above the roof line may be warranted.

Repair or reinforcing of the CMU walls, which are suspected to be deficient under wind loads, was not specifically investigated for this report. Such investigation should be considered, especially if further study confirms the deficiency of the walls, or significant alterations to the building trigger the required code updates. The repair could involve cutting into walls at all end connections to the steel columns and adding shear studs or similar to provide a connection for the wall to transfer loads to the structure.

Minor repointing of brick and CMU are needed throughout the building, along with sealant replacement at the expansion joints on wall elevations. Missing connection bolts and damage at front entrance canopy roof should be repaired to prevent further damage.

### ***Costs and Construction Phasing***

As requested, we have developed preliminary construction cost estimates for the repairs highlighted. Structural details will need to be developed and quantified in order to produce more accurate construction cost estimates. These estimates are based on our experience with previous jobs of similar scope of work.

Our estimated costs for the Structural items noted, with further detail included in the attached spreadsheet, is **\$250,000**.

As noted in the attached HVAC and Plumbing Report and Cost Estimate, the cost to bring the building up to current standards is very significant. The cost for this work would be approximately **\$2,900,000**.

The estimated construction cost found above do not include costs for further engineering investigation, design and project coordination. These costs will be dependent upon the phasing of the project and amount of additional investigation undertaken, and can be discussed further, if desired.

### ***Further Investigations***

In order to perform final design of any repairs, and to further refine construction cost estimates, further field investigations would be required.

Further investigations would include test cuts within the roof system and wood components, to determine the extent of the deterioration in the locker room areas, as well as further investigation as to the securement of the CMU infill wall areas. Also test cuts through the masonry at various locations at the chimney would be performed to determine the condition of the chimney structure.

### ***Summary***

As stated above, it is the opinion of the authors of this report that the existing building overall, other than the specific issues noted, is in good structural condition. As the report indicates, the structural issues are the result of leaks (steam) in the mechanical systems, this moisture caused the laminated beams and wood plank roof plank to rot and deteriorate. Some of the issues highlighted in the mechanical/plumbing report should also be priority as the structural issues seem to have stemmed from mechanical issues.

The current exterior wall configuration does not meet current building codes and, based on current codes, could be hazardous in earthquake and high wind conditions. A more thorough investigation and subsequent design process should be anticipated if there are any expansion or significant upgrades anticipated at the school.

Following your review of this report, a review meeting should be scheduled to discuss this report and to answer any questions you may have, and any work moving forward.

Sincerely,

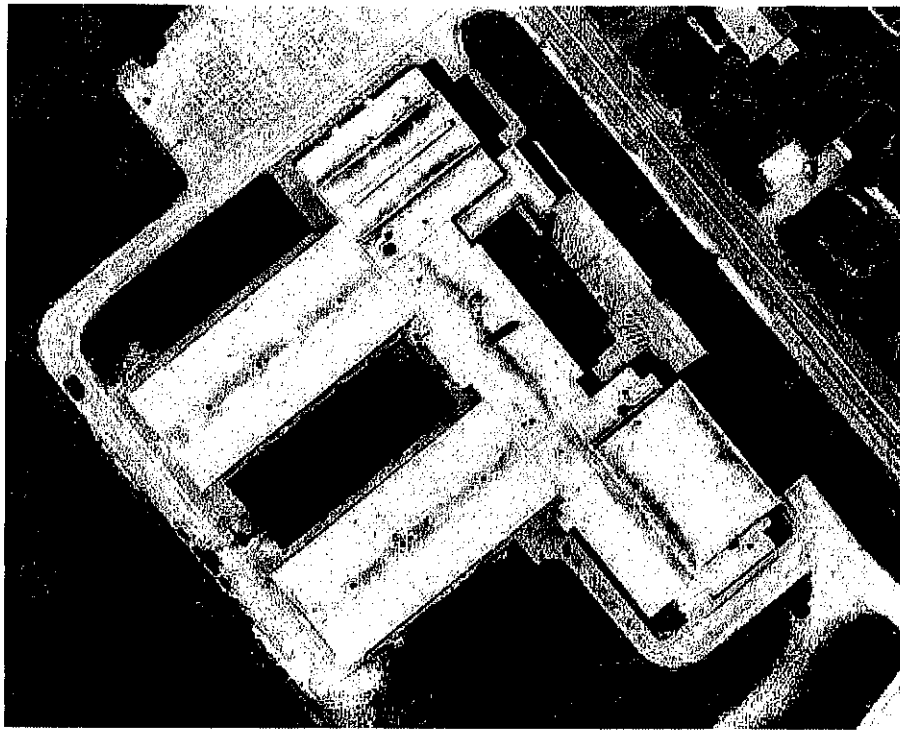


Andrew N. Barr, P.E.  
Principal

David J. Sacco, E.I.T.  
Assistant Project Engineer



HVAC and Structural Assessment Report  
Photo Sheets  
Whittier Middle School  
Haverhill, MA



**Photo No. 01**

**Location:**  
Haverhill Whittier  
Middle School

**Description:**  
Aerial view of  
Haverhill Whittier  
Middle School.



**Photo No. 02**

**Location:**  
Haverhill Whittier  
Middle School

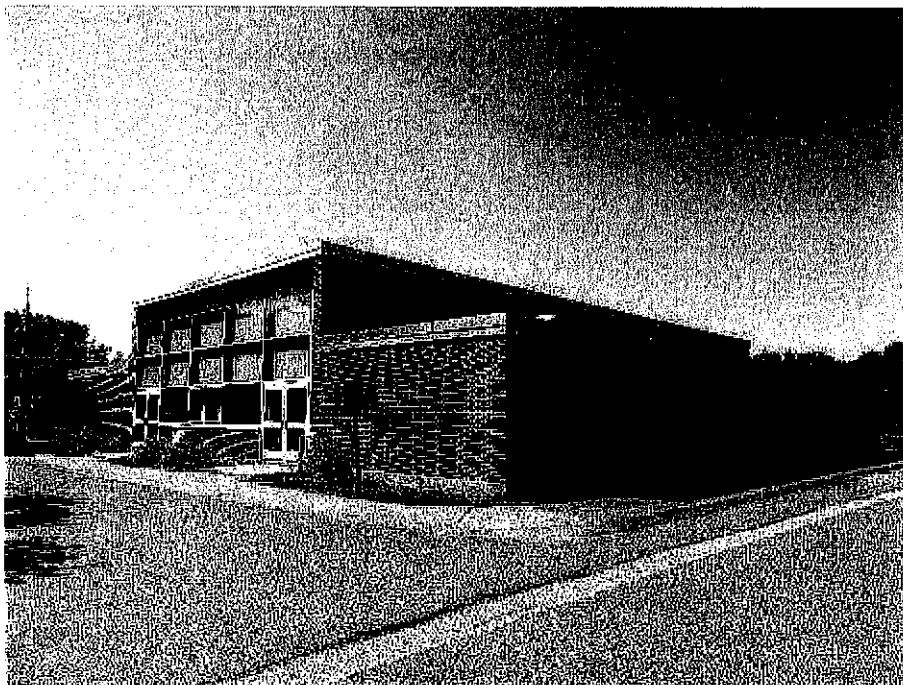
**Description:**  
Street view of  
building.



**Photo No. 03**

**Location:**  
Haverhill Whittier  
Middle School

**Description:**  
Main Entrance to  
the building.



**Photo No. 04**

**Location:**  
Haverhill Whittier  
Middle School

**Description:**  
View from parking  
lot of building  
(North).



**Photo No. 05**

**Location:**  
Haverhill Whittier  
Middle School

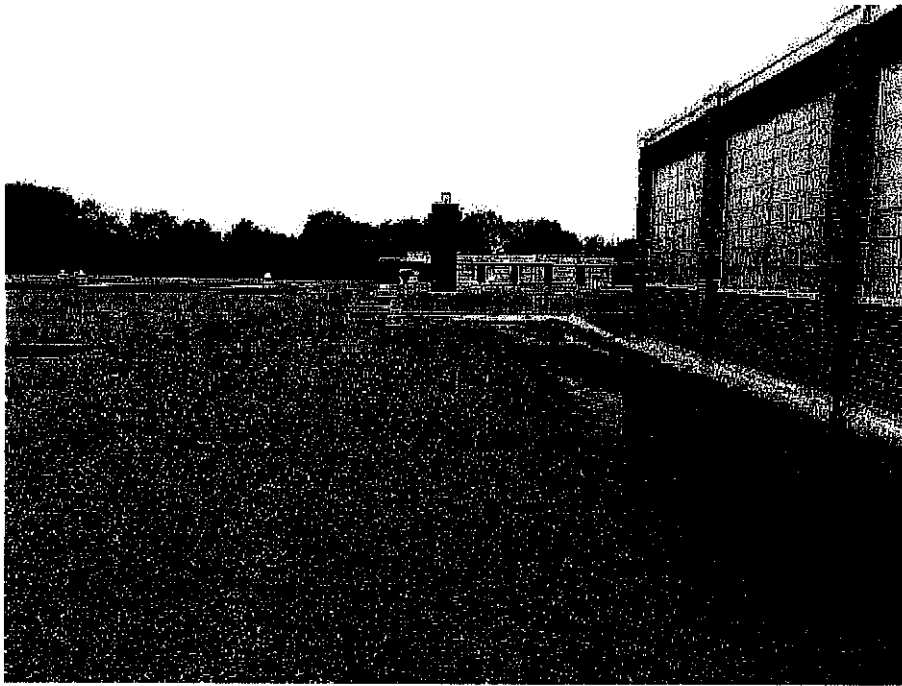
**Description:**  
Typical wall  
elevation with half  
wall of brick face  
and windows  
above.



**Photo No. 06**

**Location:**  
Haverhill Whittier  
Middle School

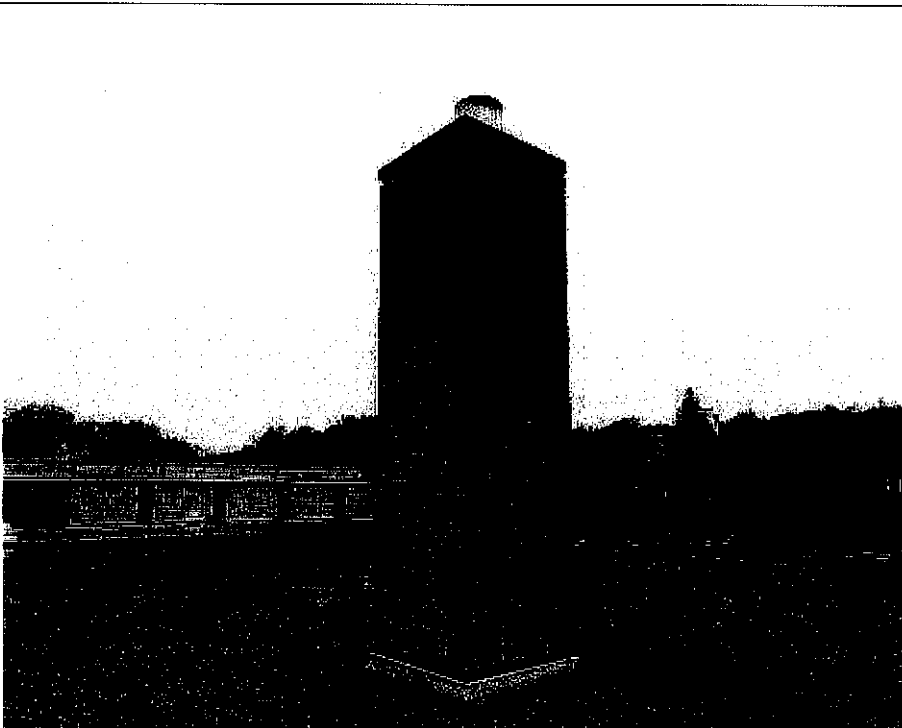
**Description:**  
Expansion/control  
joint in masonry  
wall is cracked and  
separating.



**Photo No. 07**

**Location:**  
Haverhill Whittier  
Middle School

**Description:**  
Photo of typical roof  
area.

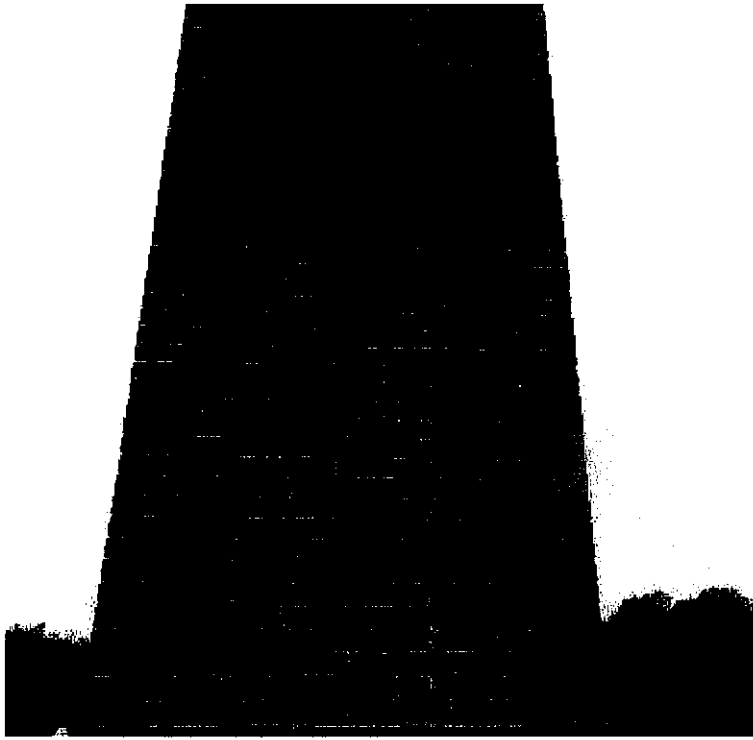
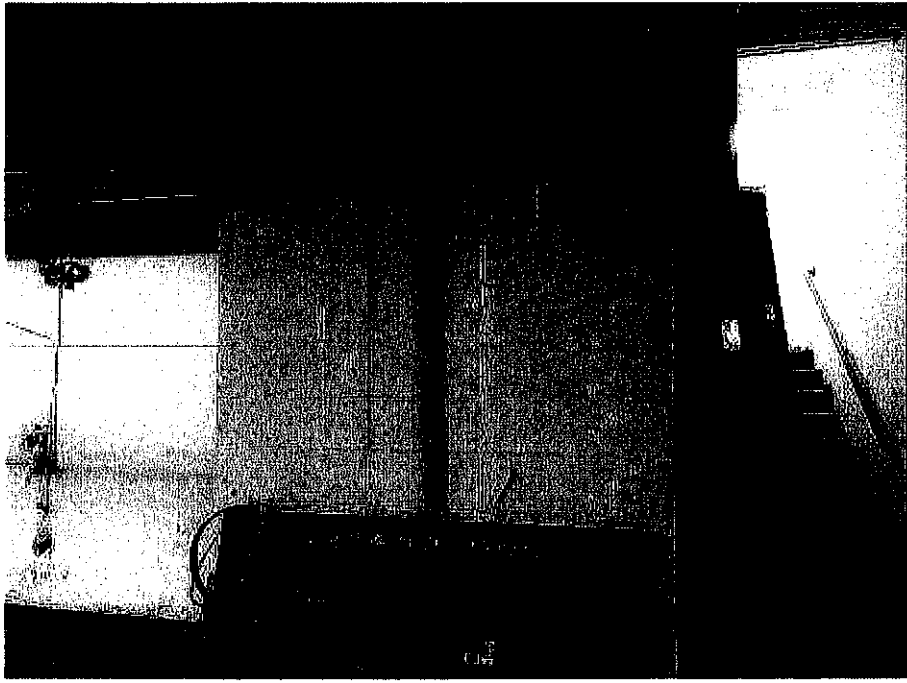


**Photo No. 08**

**Location:**  
Haverhill Whittier  
Middle School

**Description:**  
Photo of existing  
chimney that has  
major cracks in  
masonry.

HVAC and Structural Assessment Report  
Photo Sheets  
Whittier Middle School  
Haverhill, MA

 A black and white photograph showing a close-up of a brick chimney. The bricks are dark and show signs of wear and cracking. The chimney is set against a light background.	<p><b>Photo No. 09</b></p> <p><b>Location:</b> Haverhill Whittier Middle School</p> <p><b>Description:</b> Close up of cracks in masonry of chimney.</p>
 A black and white photograph showing the base of a chimney where it meets the ground. The masonry is dark and shows a significant crack. The ground is light and appears to be dirt or gravel.	<p><b>Photo No. 10</b></p> <p><b>Location:</b> Haverhill Whittier Middle School</p> <p><b>Description:</b> Crack at base of chimney masonry.</p>

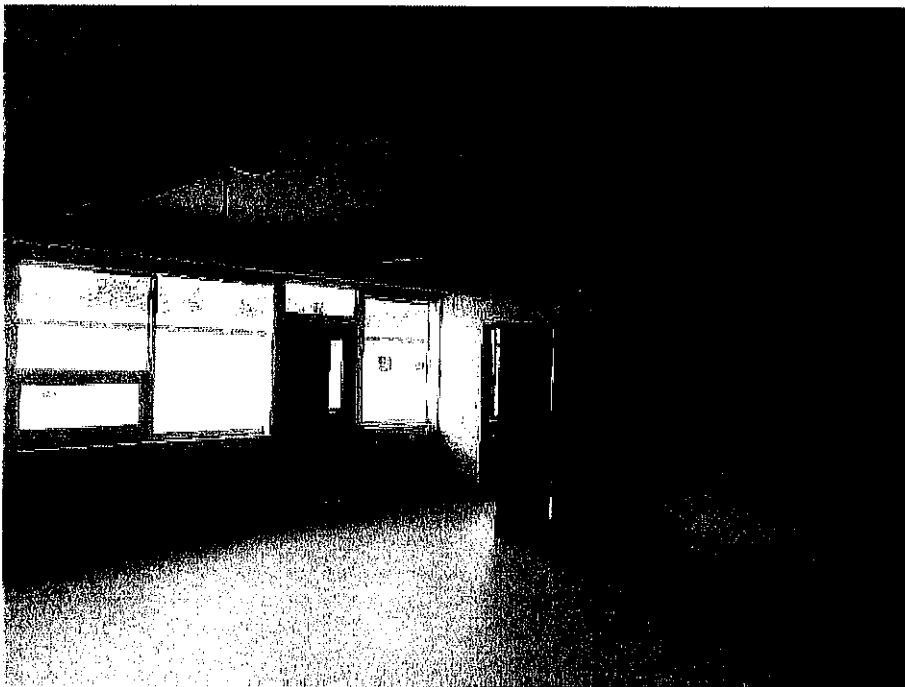




**Photo No. 11**

**Location:**  
Haverhill Whittier  
Middle School

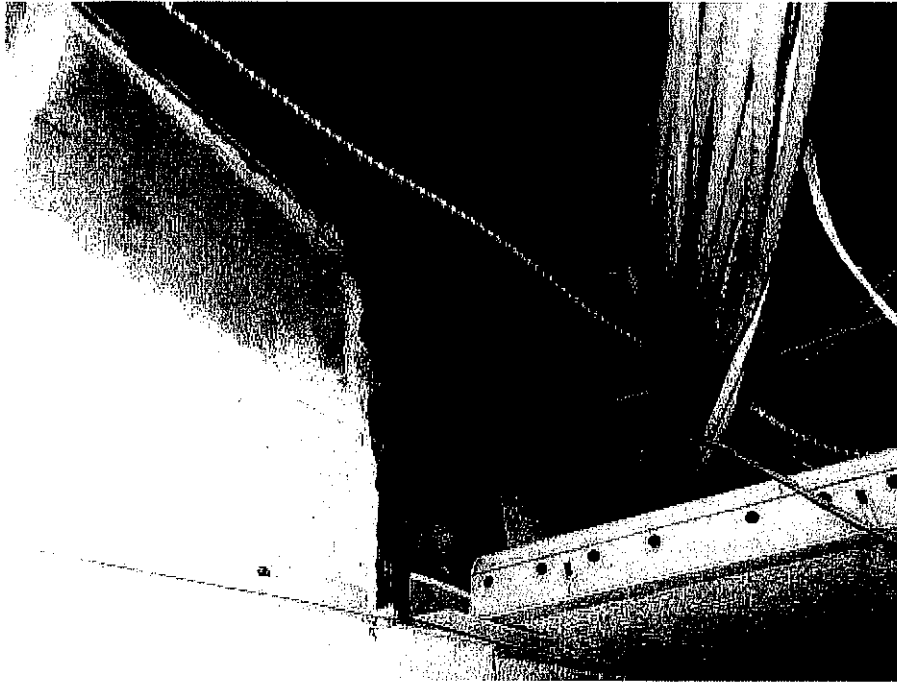
**Description:**  
Missing bolt in front  
canopy, can lead to  
further damage.



**Photo No. 12**

**Location:**  
Haverhill Whittier  
Middle School

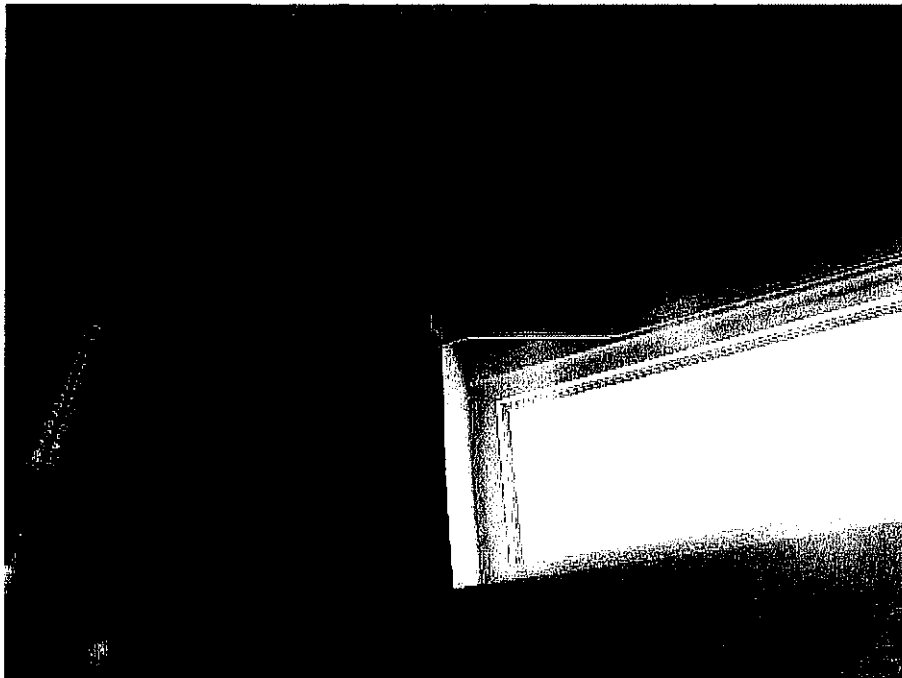
**Description:**  
Typical classroom  
which has exposed  
laminated wood  
beams and plank  
roof deck.



**Photo No. 13**

**Location:**  
Haverhill Whittier  
Middle School

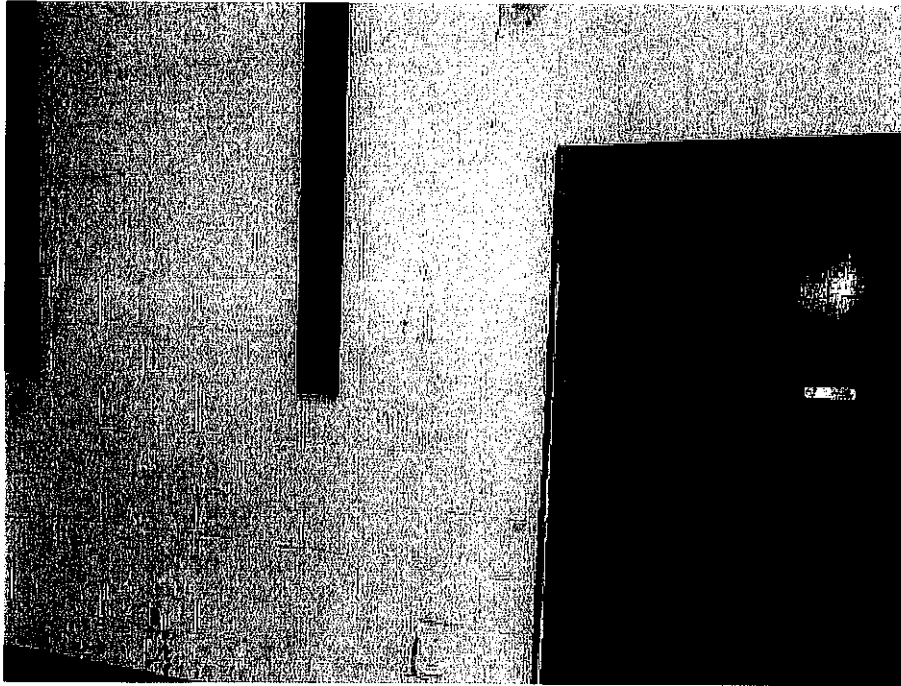
**Description:**  
Typical intersection  
of roof joists to  
column with seats  
in interior space.



**Photo No. 14**

**Location:**  
Haverhill Whittier  
Middle School

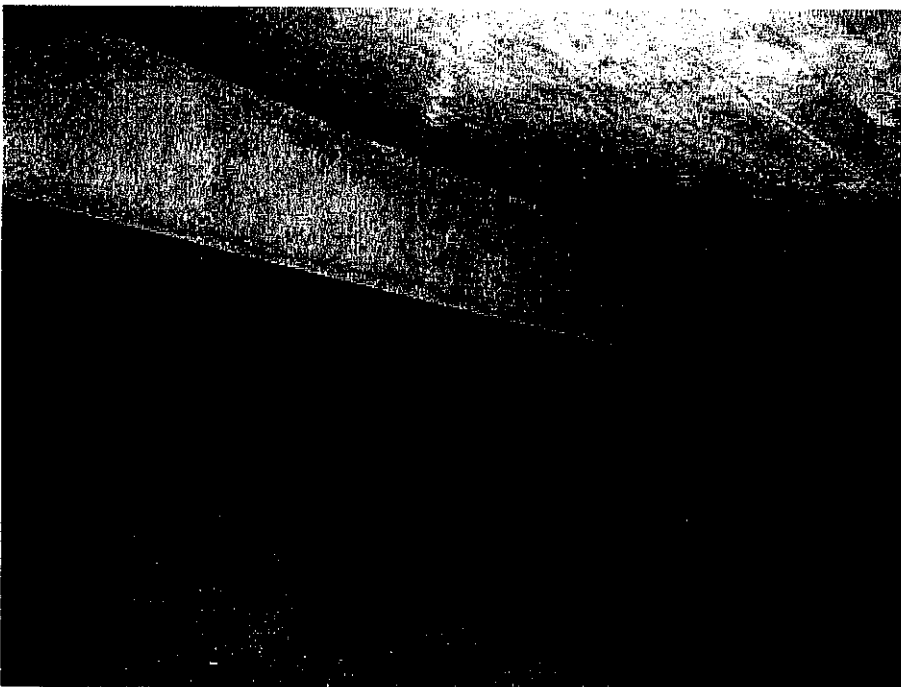
**Description:**  
Typical connection  
of laminated wood  
beams to steel  
columns on exterior  
wall.



**Photo No. 15**

**Location:**  
Haverhill Whittier  
Middle School

**Description:**  
Typical step cracks  
in CMU walls.



**Photo No. 16**

**Location:**  
Haverhill Whittier  
Middle School

**Description:**  
Typical crawl space  
area showing under  
side of concrete  
floor deck.



**Photo No. 17**

**Location:**  
Haverhill Whittier  
Middle School

**Description:**  
Girls locker room  
experienced steam  
leak causing  
deterioration and  
failure in roof  
decking. Temporary  
shoring has been  
installed.



**Photo No. 18**

**Location:**  
Haverhill Whittier  
Middle School

**Description:**  
Another photo  
showing extent of  
deterioration in roof  
decking due to  
steam leak.



**Whittier Middle School  
256 Concord Street  
Haverhill, MA 01830**

## **HVAC & Plumbing Evaluation**



***Prepared For:***

**Russo Barr Associates, Inc.  
55 Sixth Road, Suite 6  
Woburn, MA 01801**

**July 12, 2019**

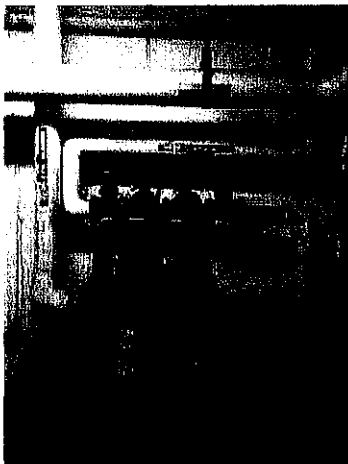


**PLUMBING*****Summary***

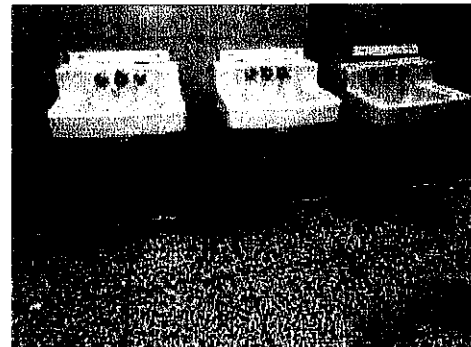
The existing building's construction, dates back to 1957. The building is a one story, 54,500 sq.ft. area. The building is housing grades 5 thru 8 and has current student occupant count of 477. The building has six, student dedicated bathroom groups, near the classrooms. Two bathroom groups are provided as a Teacher's bathrooms and two single occupant bathrooms are serving the main and the nurse's offices. The building has a gymnasium with two bathroom/shower rooms.

***Plumbing Existing Conditions***

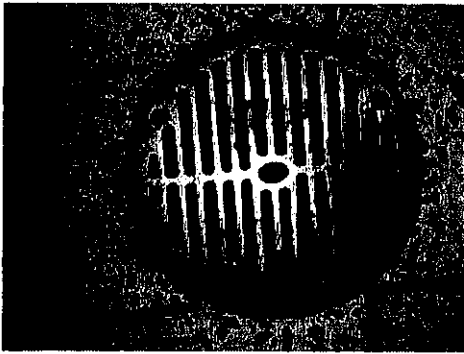
The building is currently provided with municipal domestic water and sanitary connections. The domestic water service is 4" in size with 4" compound water meter and 3" backflow preventer located at the basement level. Based on the existing drawings provided it appears that the building has multiple sanitary and storm drain connections to the street. There is a 5" sanitary connection located near the kitchen and dinig area where is also existing an 8" storm drain. There are also 8" sanitary and two 6" storm drain connections located at the opposite end of the building. The building has two gas service connections, one dedicated to the commercial kitchen and the other supplying the HVAC equipment as well as the domestic hot water equipment. All piping and the majority of the plumbing fixtures appeared original to the building construction. Currently an ongoing renovation has completed one of the bathrooms and all plumbing fixtures were updated. The bathrooms/showers next to the gymnasium are non functional and the plumaing fixtures are either removed or damaged. The domestic hot water system has been upgradet around 2003 and replaced the old heat exchanger and storage tank with 84% efficient gas fired boiler with small 60 gallon storage tank. The commercial kitchen appears to be partially functioning, and all equipment, fixtures and their connections require replacement and an upgrade. All roof drains appear obstructed and retainig water puddles around them. Some drains alaso show signs of corrosion and water damage of the rooms below.



***Domestic Water Service***



***Plumbing fixtures - Lavatories***



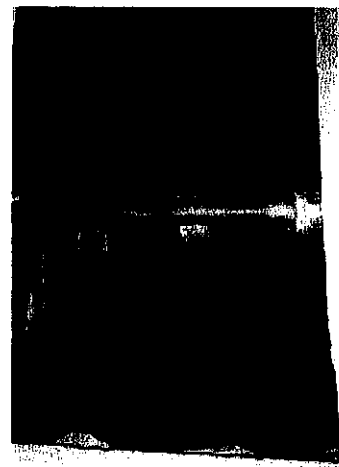
*Floor Drain*



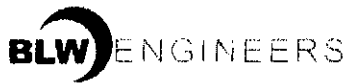
*Plumbing Fixtures - Water Closet*



*Plumbing Piping*



*Plumbing Piping*



### ***Plumbing Recommendations***

All sanitary, storm and domestic water piping shall be replaced. The current plumbing upgrade shall be postponed and complete bathroom renovation shall be considered in order to bring them up to code meeting the accessibility requirements as well as to repair the damaged bathrooms next to the gymnasium. The domestic hot water heating system is getting closer to the end of its life expectancy and shall be replaced with new, more efficient system. The water service accessories, such as meter and backflow preventer shall be replaced. The roof drains shall be replaced, during the roof replacement. All sanitary and storm drain connections shall be hydrojetted and video inspected for potential pipe damage. The commercial kitchen shall be provided with grease interceptor and all new sinks and floor drains, in compliance with Department of Health regulations. CO detection and notification shall be added to the area around the gas fired appliances.

***End of Plumbing Section***



***Summary***

The Whittier Middle School is a 54,500 square foot building construction circa 1957.

***Mechanical Existing Conditions***

The boiler room is located on a lower level of the building; it provides steam for heating to the building. The gas fired steam system consists of two Smith 28A-14 cast iron sectional boilers, a duplex boiler feed tank, boiler breeching system to an existing masonry chimney, combustion air ducted down to 12" above finished floors from a wall louvers, pneumatic controls and partial DDC automatic controls that were installed in energy performance service contract. The boilers are provided with a reduced pressure backflow preventor for protected water for boiler makeup water, a boiler blow down tank with water regulating valve to temper blowdown water into the sanitary system and emergency shutdown switches in accordance with applicable codes. The steam is transported from the boilers to building heating terminal equipment through insulated steam supply piping and returned to the boiler feed tank through an insulated low pressure condensate piping system; it should be noted that there was significant that significant water was being leaked on the boiler room floor from a pipe penetration in an existing wall indicating that the existing piping system has deteriorated. The older insulation appears to be asbestos containing materials.

Classrooms are provided with unit ventilators to provide classroom heating and ventilating; the unit ventilators are original construction. Each unit is controlled by a wall mounted pneumatic thermostat. Units are provided with a steam heating coils with 2-way control valves interconnected to the steam distribution piping system. Classroom exhaust is through an exhaust register at the floor level on the corridor wall into a horizontal exhaust duct distribution system and exhausted to the outdoors through a roof exhaust fan. The classrooms are provided with permanently mounted through window air conditioning units.

Administration areas have been provided with steam fin tube radiation for heating and through wall air conditioning units for exterior offices; ventilation is through operable windows and destratification fans.

The Library is heated, ventilated and air conditioned in the same manner as the classrooms.

The Gymnasium is provided with heating and ventilation from two (2) heating vertical air handling units at each end of the gym and utility exhaust fans located on adjacent roofs; air handling units are original construction. The space return/exhaust register is located at the floor level adjacent to each air handling unit and is either return to the air handling unit or exhausted to the outdoors through pneumatic dampers depending on the occupancy of the gym; outdoor is provided from a wall louver directly to each air handling unit and controlled by a pneumatic damper. The units are provided with steam heating interconnected to the steam distribution piping system and controlled by a pneumatic thermostat and a two-way steam control valve

Locker Rooms are provided with makeup air units and fin tube radiation to provide heating and ventilating; controlled by a wall mounted pneumatic thermostat and steam control valves. Each unit is interconnected to the steam distribution piping system. Locker Room exhaust is through an exhaust register into a horizontal exhaust duct distribution system and exhausted to the outdoors through a roof exhaust fan.

The Cafeteria is provided with heating and ventilation from a steam heating air handling unit located in a storage closet and utility exhaust fan located on adjacent roof and ducted in the ceiling space to supply air diffusers; the air handling

unit is original construction. Two space return/exhaust registers are located at the floor level on each side of the cafeteria and ducted under the platform back to the air handling unit/roof exhaust fan; air is either returned to the air handling unit or exhausted to the outdoors through pneumatic dampers depending on the occupancy of the cafeteria; outdoor air is provided from an outdoor air intake directly to each air handling unit and controlled by a pneumatic damper. The unit is provided with steam heating interconnected to the steam distribution piping system and controlled by a pneumatic thermostat and a two-way steam control valve.

The Kitchen/Servery has been provided with a heating/ventilating to provide space heating and ventilating and supplemental steam fin tube radiation; the unit is original construction. The unit and fin tube radiation are controlled by a wall mounted pneumatic thermostat and two way control valves. The heating/ventilating unit and fin tube radiation are interconnected to the steam distribution piping system. The kitchen hood is provided with a duct system to roof mounted exhaust fan.

The corridors are provided with heating by convectors or cabinet unit heaters interconnected to the steam distribution piping system. Entries and vestibules are heated by cabinet heaters or fin tube radiation interconnected to the steam distribution piping system; controlled by a wall mounted pneumatic thermostat and two-way control valve.

Each toilet is provided with exhaust through wall mounted exhaust register(s) to provide exhaust from the space by a roof mounted exhaust fans through a low pressure duct distribution system. Each exhaust fan operates continuously during occupied hours and be deenergized during unoccupied hours. Heating, where required, is provided by wall convectors or fin tube radiation interconnected to the steam distribution piping system; controlled by a wall mounted pneumatic thermostat and two-way control valve.

Each custodial is provided with exhaust through ceiling exhaust register(s) to provide exhaust from the space by a roof mounted exhaust fans through a low pressure duct distribution system. Each exhaust fan operates continuously during occupied hours/deenergized during unoccupied hours.

Miscellaneous spaces, such as storage rooms, are provided with hot water heating, where required, and an exhaust air system in accordance with applicable code requirements.

All automatic temperature controls, except new DDC controls installed in the boiler renovation project, are pneumatic.



***Existing Boiler Blow Down***



***Existing Steam Boiler***



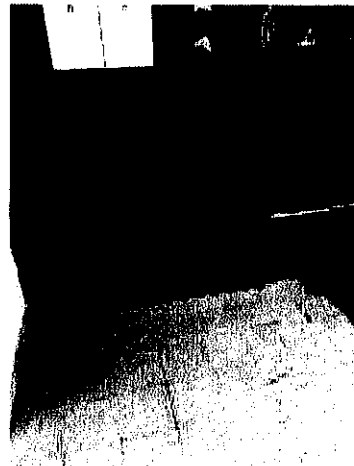
*Existing Combustion Air*



*Existing Boiler Feed Unit Existing*



*Existing Steam Convactor*



*Existing Café Return/Exhaust*



*Existing Kitchen Makeup Air Duct*



*Existing Café Overhead Supply*



*Existing Café Fintube Radiation*



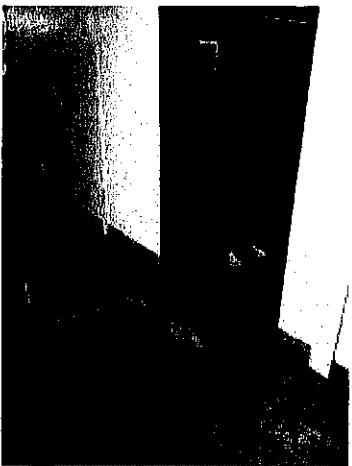
*Existing Kitchen Hood/Duct*



*Existing Bathroom Exhaust*



*Existing Entry Cabinet Heater*



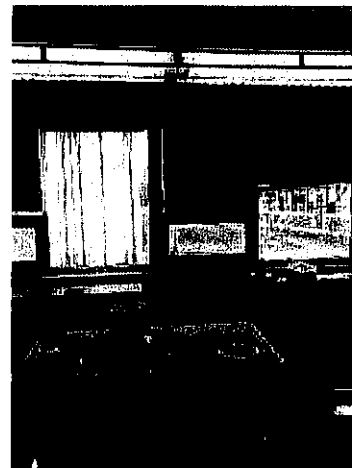
*Existing Classroom Exhaust*



*Existing Gym Unit*



***Existing Entry Fintube Radiation***



***Existing Classroom UV/AC***



***Existing Classroom AC Units***

### ***Mechanical Recommendations***

1. The existing steam heating system has long exceeded its expected life and will require replacement in its entirety including piping systems; a new hot water heating system is recommended.
2. Replace existing steam heating system with new hot water systems including three (3) 2,000 MBH gas fired condensing boilers, two (2) hot water circulating pumps with variable speed controls, water specialties, new insulated hot water distribution piping system to new hot water terminal equipment throughout the building; and new automatic temperature controls.
3. Replace all existing unit ventilators with new hot water unit ventilators with
4. hot water coils interconnected to the new hot water distribution piping systems and DDC controls.
5. Provide new hot water heating heating/DX cooling/ventilation air handling/rooftop units for Cafeteria, Gymnasium and Administration offices with hot water coils interconnected to the new hot water distribution piping systems, new insulated duct distribution systems, air outlets and DDC Controls.



6. Provide new hot water heating ventilation units interconnected to the new hot water heating system and new DDC Controls for the locker rooms.
7. Provide new grease duct, roof upblast and hot water heating makeup air system for Kitchen.
8. Replace all existing terminal heating equipment (CUH/UH/FTR) with new hot water heating equipment and DDC controls.
9. Replace all existing roof fans with new roof fans with new DDC Controls.
10. Clean all existing ductwork to be reused.
11. Balance and Commission all new systems.

***End of Mechanical Section***

RUSSO BARR ASSOCIATES, INC.

## CONDITION ASSESSMENT REPORT ESTIMATED CONSTRUCTION COST

<b>Project:</b>				<b>Structural Assessment Estimate Construction Cost</b>			<b>Sheet</b> 1 of 1	
				Whittier Middle School 292 Concord Street Haverhill, Massachusetts				
<b>Project Number:</b>				2019023			<b>Date</b> 7/12/2019	
<b>Description</b>				<b>Materials &amp; Labor</b>			<b>Total</b>	
				<b>Qty</b>	<b>Units</b>	<b>Unit Cost</b>		
<b>Condition Assessment Report Construction Cost Estimate</b>								
<b>CSI DIVISION</b>								
<b>1 General Requirments</b>								
Permits, Bonds & Insurance					2%		\$3,700	
General Conditions					10%		\$18,500	
Mobilization					9%		\$16,650	
Overhead & Profit					15%		\$27,750	
<b>Division 1 Sub Total</b>							<b>\$66,600</b>	
<b>2 Existing Conditions</b>								
024100 - Demolition				Bring chimney down to a structurally sound level in order to rebuild	1	LS	\$15,000.00	
							\$15,000	
<b>Division 2 Sub Total</b>							<b>\$15,000</b>	
<b>4 Masonry</b>								
045500 - Masonry Restoration				Repoint 50% masonry	1	LS	\$10,000.00	
				Rebuild chimney	1	LS	\$70,000.00	
				Cmu wall connection upgrade	1	LS	\$50,000.00	
<b>Division 4 Sub Total</b>							<b>\$130,000</b>	
<b>6 Carpentry</b>								
061063 - Rough Carpentry				Deteriorated Wood plank Deck Replacement	1	LS	\$25,000.00	
				Laminate beam treatment	1	LS	\$10,000.00	
<b>Division 6 Sub Total</b>							<b>\$35,000</b>	
<b>7 Thermal and Moisture Protection</b>								
075500 - Roofing				Built up roofing patches	1	LS	\$5,000.00	
							\$5,000	
<b>Division 7 Sub Total</b>							<b>\$5,000</b>	

BLW ENGINEERS, INC.

### CONDITION ASSESSMENT REPORT ESTIMATED CONSTRUCTION COST

[illegible]





DOCUMENT

## CITY OF HAVERHILL

In Municipal Council

8,1,1

**Resolved:** Having convened in an open meeting on May 5, 2020, prior to the SOI submission closing date, the City Council of Haverhill, in accordance with its charter, by-laws, and ordinances, has voted to authorize the Superintendent to submit to the Massachusetts School Building Authority the Statement of Interest Form dated April 29, 2020 for the John Greenleaf Whittier School located at 256 Concord Street, Haverhill, MA 01830 which describes and explains the following deficiencies and the priority category(s) for which an application may be submitted to the Massachusetts School Building Authority in the future regarding replacement or renovation, eliminate existing severe overcrowding and allow district to provide for a full range of programs consistent with the state / local requirements; and hereby further specifically acknowledges that by submitting this Statement of Interest Form, the Massachusetts School Building Authority in no way guarantees the acceptance or the approval of an application, the awarding of a grant or any other funding commitment from the Massachusetts School Building Authority, or commits the City/Town/Regional School District to filing an application for funding with the Massachusetts School Building Authority.

*Hearing April 7 2020 \$ 250.00*

*37  
Petition*

**ROBERT D. HARB**  
ATTORNEY AT LAW  
17 WEST STREET  
HAVERHILL, MASSACHUSETTS 01830

*10,1*

TEL: (978) 373-5611  
FAX: (978) 373-7441  
EMAIL: [bobharb@aol.com](mailto:bobharb@aol.com)

Of Counsel  
Alfred J. Cirome

February 10, 2020

City Council  
City of Haverhill  
4 Summer Street  
Haverhill, MA 01830

**Re: APPLICATION FOR A SPECIAL PERMIT  
FOR A FOUR FAMILY DWELLING IN AN RH ZONE**  
LYNN GARCEAU-OWNER/APPLICANT  
367 – 369 Hildale Avenue  
Haverhill Assessor's Map 528 Block 1 Lot 83

Lynn Garceau, Owner and Applicant, with a mailing address of 367 Hildale Avenue, Haverhill, MA 01832, hereby applies to the City Council for a Special Permit under the terms and provisions of the Haverhill Zoning Ordinance Chapter 255 for a Multifamily Dwelling to contain four (4) residential units for the property located at 367-369 Hildale Avenue.

A three-family dwelling and a large barn already exists at said premises. Applicant proposes to connect this three-family dwelling with the existing large barn; and to convert the existing barn to a residential unit. Plans showing the proposed connection and proposed renovations to the existing barn are attached. Photos of the existing large barn are also attached to this Application.

A four-family dwelling is allowed in this RH Zone with a Special Permit. Because there are exterior structural changes with the new connection of the main building to the barn, the City Council is the permitting authority for this Special Permit.

The lot, the dwelling and the barn are prior existing. The new connection is required to create one building because two separate residential buildings are not allowed on one lot.

Applicant has obtained all required variances from the Board of Appeals. See copy of recorded Decision approving the requested variances. There was not opposition to the Board of Appeals Petition. Neighbors have voiced their support of this Petition to the Applicant.

All required Parking Spaces for the four residential units are provided on site as can be seen on the Site Plan filed with this Application. See also City Interactive Map showing subject property and the neighborhood; and a letter from Applicant regarding the reason for his request.

39

Applicant meets all the following requirements for a Special Permit:

- A. The requested use is allowed in this District.
- B. The use is desirable to the public convenience or welfare.
- C. The use will not impair the integrity of the District or neighborhood where other residential uses are present, nor be detrimental to the health, morals or welfare and is in conformity with the Master Plan. Another four-family dwelling abuts the subject property.
- D. The requested use provides for convenience and safety of vehicular and pedestrian movement within the site and in relation to adjacent streets, properties and improvements.
- E. Property is on City sewer and will have adequate methods for drainage.
- F. The requested use has adequate off-street loading and unloading of service vehicles, if applicable. See Site Plan.
- G. There are no Special Permit Conditions for this Special Permit.

This Application is accompanied by:

- 30 sets of the Site Plan;
- 30 sets of the Architectural Floor Plans;
- A Legal Description of Premises;
- and the required filling fee.

Applicants would respectfully request the City Council grant this Application for a Special Permit for a four-family dwelling.

Applicant waives the 65-day hearing requirement.

Respectfully submitted,



Robert D. Harb, Attorney For Applicant-Lynn Garceau

IN CITY COUNCIL: February 25 2020  
 REFER TO PLANNING BOARD and  
 VOTED: that COUNCIL HEARING BE HELD APRIL 7 2020  
 Attest:

\_\_\_\_\_  
 City Clerk

IN CITY COUNCIL: April 7 2020  
 HEARING CONTINUED TO APRIL 14 2020  
 Attest:

\_\_\_\_\_  
 City Clerk

IN CITY COUNCIL: April 14 2020  
 HEARING POSTPONED TO MAY 5 2020  
 \_\_\_\_\_  
 City Clerk

LEGAL DESCRIPTION

the land with the buildings thereon situated in said Haverhill, bounded and described as follows:

Beginning at a point on Hilddale Avenue by land of the City of Haverhill used as a City Cemetery; thence running

NORTHEASTERLY	by said City Cemetery 100 feet; thence turning and running
NORTHWESTERLY	by land of owner unknown about 110 feet to a passageway; thence turning and running
SOUTHWESTERLY	on said passageway 100 feet to Hilddale Avenue; thence turning and running
EASTERLY	on said Hilddale Avenue 110.44 feet to the point of beginning.

**ROBERT D. HARB**

ATTORNEY AT LAW

17 WEST STREET

HAVERHILL, MASSACHUSETTS 01830

TEL: (978) 373-5611

FAX: (978) 373-7441

E-MAIL: bobharb@aol.com

OF COUNSEL

ALFRED J. CIROME

April 1, 2020

City Council  
City of Haverhill  
4 Summer Street  
Haverhill, MA 01830

Attn: Melinda E. Barrett, President

Re: Petition for Special Permit for a Four Family Dwelling  
Applicant/Owner: Lynn Garceau  
Property Location: 367-369 Hilldale Avenue

Original Scheduled Hearing Date: April 7, 2020

**REQUEST FOR CONTINUANCE TO APRIL 14, 2020**

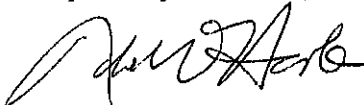
Dear President Barrett:

The hearing on the above Special Permit is scheduled for April 7, 2020.

In order to give more time to obtain any City Department comments, and to have all the Councilors present, I would respectfully request a one-week continuance on this hearing until April 14, 2020.

Thank you for your consideration of this request.

Respectfully submitted,



Robert D. Harb, Attorney for  
Applicant Lynn Garceau

L-city council-Garceau-continuance  
Sent By Email and First Class Mail  
Cc: City Council Clerk and City Clerk

Return Book 11  
Robert D. Harb, Esq.

8/5  
2



SO. ESSEX #130 Bk: 38223 Pg: 283  
01/25/2020 09:56 DCSN Pg 1/2

2-6-20  
Uploaded

CITY OF HAVERHILL  
BOARD OF APPEALS FOR ZONES  
CITY HALL - 4 SUMMER STREET

**NOTICE OF DECISION**

YOU ARE HEREBY NOTIFIED OF THE DECISION OF THE BOARD OF APPEALS ON THE APPLICATION OF:

Lynn Garceau

APPLICANT AND (OWNER IF DIFFERENT)

367 Hildale Avenue

528

1

83

SITE LOCATION

ASSESSOR'S MAP BLOCK PARCEL NUMBER

DEED OF PROPERTY RECORDED IN: SOUTHERN ESSEX BOOK: 37488 PAGE: 354

This was filed with the Board on 11-15-19 as signified by the City Clerk's date stamp.

The BOARD, as authorized by §15, Chapter 40A of the M.G.L. held a PUBLIC HEARING on:

December 18, 2019

DATE OF HEARING (CONTINUANCE IF APPLICABLE)

The BOARD'S DECISION by vote to GRANT/DENY said application is as follows:  
RECORD OF PROCEEDINGS: SEE BELOW MOTION\* Soraghan

STIPULATION (S):

SECOND: VATHALLY

VOTE ON MOTION WITH/WITHOUT STIPULATIONS:

BOARD	YES	NO	ABSTAIN	ABSENT	NOT SITTING
CHAIRPERSON MORIARTY	✓				
MEMBER SORAGHAN	✓				
MEMBER SULLIVAN				✓	
MEMBER VATHALLY	✓				
MEMBER LAPLUME	✓				
ASSOC. MEMBER BEVILACQUA					
ASSOC. MEMBER BROWN	✓				

THE BOARD CITES THE FOLLOWING AS REASON (S) FOR ITS DECISION:

Prior to application for a Special Permit to City Council, applicant seeks a variance for side yard setback; rear yard setback; area for a four family dwelling in an RM Zone, and a variance for parking design. Application includes conversion of existing barn to a residential unit that is proposed to be connected with existing three family dwelling. Lot and existing buildings have pre-existing non-conformities including but not limited to non-conforming frontage, depth and setbacks. (BCA-19-48)  
The Board noted that the variances are pre-existing and, therefore, should not prejudice the application. The Board also noted that the building, formerly a barn meets the requirements as a barn/detached construction. Converting the barn to a dwelling creates the need for a variance and also creates the need for the parking design. However, both changes improve the property and provide adequate justification for the approval.

An Appeal of this Decision shall be made pursuant to §17 of Chapter 40A and shall be filed with Superior or District Court within twenty (20) days after the date of filing of the above cited decision with the Office of the City Clerk. Procedural appeals shall be taken in accordance with §17 of Chapter 40A.

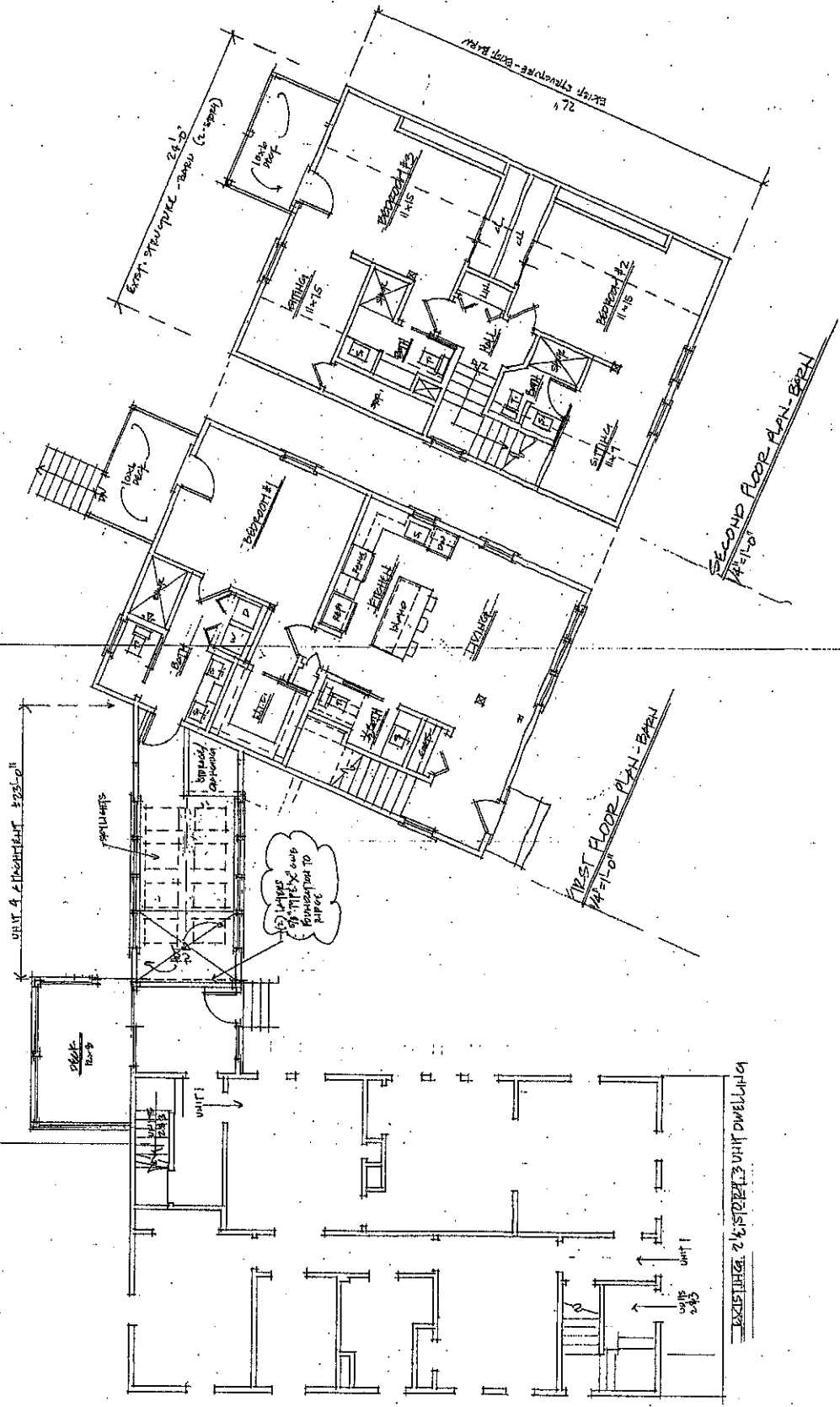
December 18, 2019

DATE

*[Signature]*  
*[Signature]*

CHAIRPERSON

*[Signature]*  
*[Signature]*



## Hilldale



MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT

City of Haverhill, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated February 5, 2019  
Data updated February 4, 2019



# Lynn E. Garceau

369 Hilldale Avenue  
Haverhill, MA 01832

November 8, 2019

City of Haverhill

RE: Permit to Build

To whom it may concern,

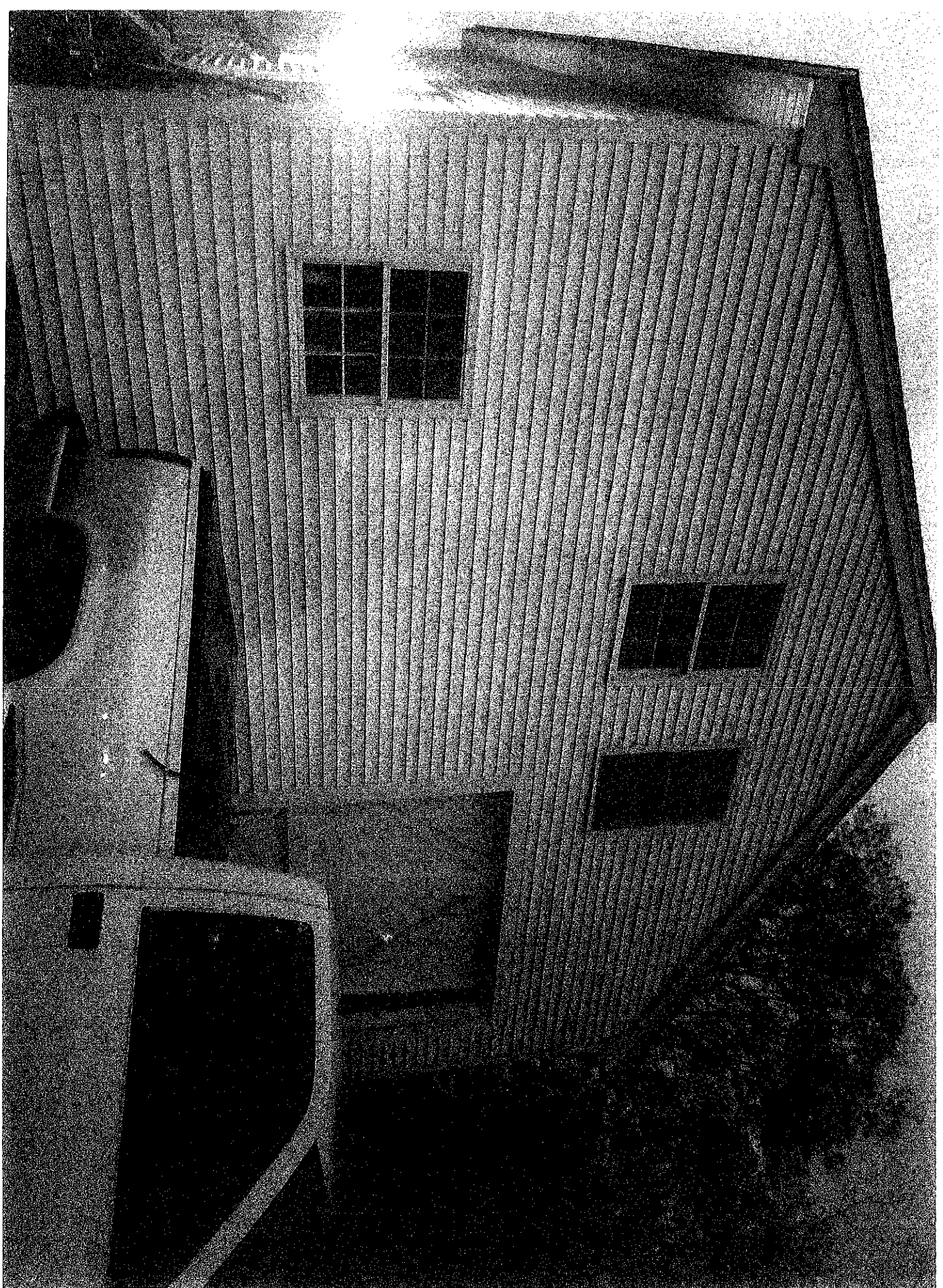
I would like to take you through my thought process when I was in search of buying my home. In my family we take care of our own, no one goes to a nursing home when they can't take care of themselves. My parents took care of my grandmother when she needed help, and I plan on doing the same when that day comes. I bought this house because the barn was recently re-built (2016) and has potential to be a beautiful place to live upon my retirement, while the 3 family brings in the income I need to maintain it and survive. I will be setting up the interior of the barn to be handicapped accessible so if or when it is needed, in my family, I am ready. Some of what I will include are walk in showers, raised toilets, pocket doors and wide door openings. Another added bonus is the entryway is at ground level.

As for the existing house it is not at ground level and being over 100 years old the doors and hallways are narrow, not handicap friendly. This is my first home, and I spent over a year looking for the right place. Please allow me to care for myself and my parents in the home of my creation and dreams.

Thank you for your consideration

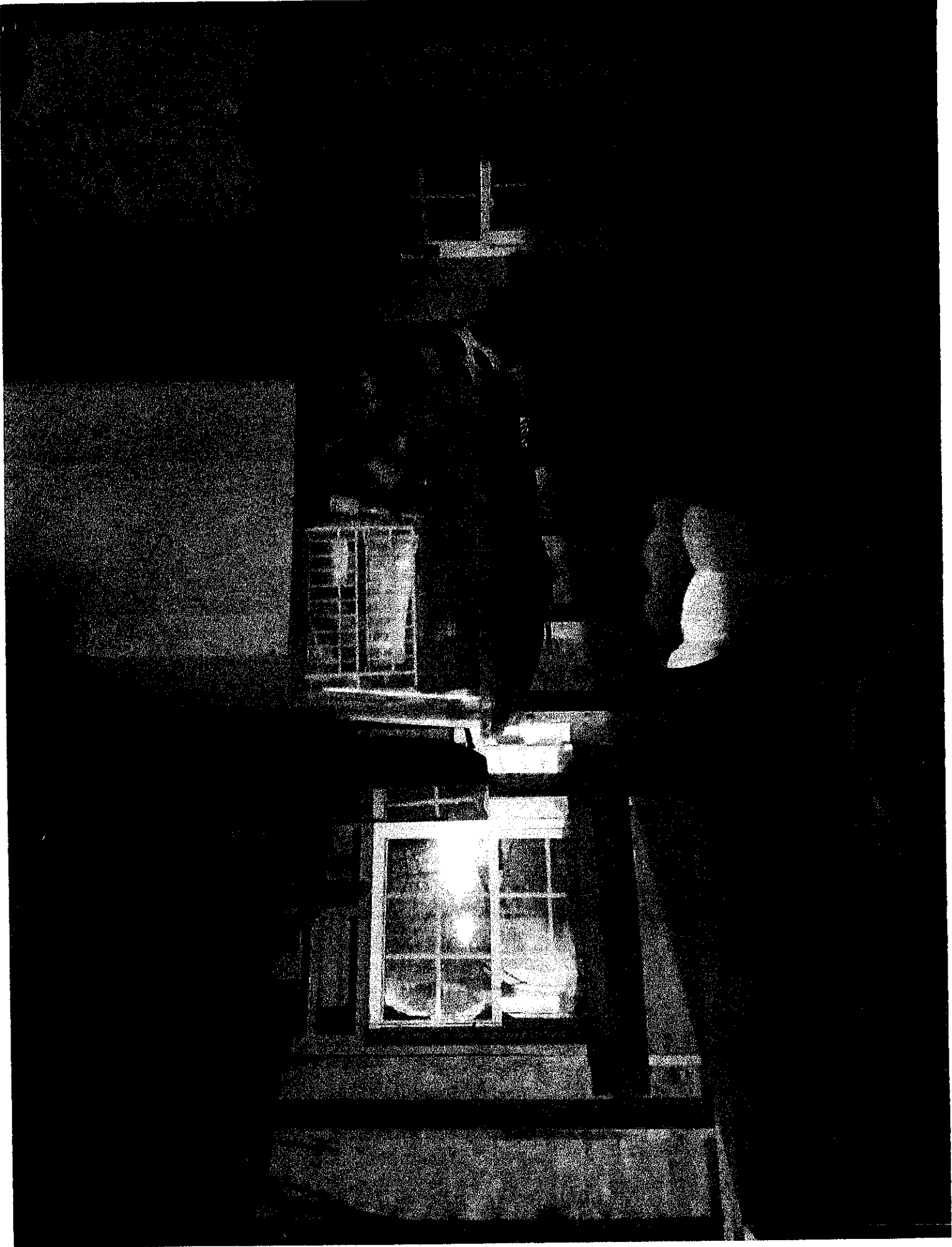
Sincerely,

Lynn Garceau











# Haverhill

Planning Board

Phone: 978-374-2330 Fax: 978-374-2315

March 17, 2020

City Council President Melinda Barrett  
& City Councilors  
City of Haverhill

**RE: Special Permit 367-369 Hilldale Avenue**

Members Present: Chairman Paul Howard  
Member Robert Driscoll  
Member Ismael Matias  
Member Karen Buckley  
Member Karen Peugh  
Member Nate Robertson  
Member April DerBoghosian, Esq.  
Member William Evans

Member Absent: Member Kenneth Cram

Also Present: William Pillsbury, Jr., Director of Economic Development &  
Planning  
Lori Robertson, Head Clerk

Please note at the March 11, 2020 Planning Board meeting held at 7:00 pm in the City Council Chambers the board considered the recommendation of the Planning Director, William Pillsbury, Jr., to forward a favorable recommendation.

Member Karen Peugh read the rules of public hearing into the record.

Attorney Robert Harb of 17 West Street addressed the board on behalf of the applicant. We are here tonight seeking a favorable recommendation for a four family special permit to go to City Council. If you looked at our plans you might ask why are we here and not before the Board of Appeals, as you may know the Board of Appeals can give up to a larger number as long as the building is in existence with no structural changes. After discussing this numerous times with our building inspector we all agree that the



barn is not connected to the main house. To build the walkway to go between them that was considered as special structural change. That mean that we couldn't go to the Board of Appeals to add the special permit to our variance request so we needed to go to City Council. We did go to the Board of Appeals for all of the other variances we need for dimensional variances and received them. I won't go into the details tonight because I know you have heard how we need more new housing. Mr. Garceau is going to live on this property. If you saw the barn, major money went into that barn. He wants to develop the barn into a fourth unit and then make it handicapped accessible so in the future his parents can utilize it while he is a live-in landlord. Behind us there is an already existing four-family. The requirements for a special permit through the City Council are as follows; is this a desirable use, does it fit in with the public convenience and welfare? I should mention nobody was in objection to this at the Board of Appeals meeting. One neighbor came in favor. I don't see anyone here tonight objecting to this. This is a convenience and use that would be desirable for the master plan, not only the old master plan but the new master plan. We are simply adding one unit on an existing property in a building that currently exist. We have City water, sewer. We did have comments from the Fire Department and the Water/Sewer that they may need some upgrades and may need some sprinklers. He will do whatever the city requires and follow the recommendations of the City Departments. We would ask again, a favorable recommendation for this four-family special permit.

Chairman Paul Howard: Is there anyone from the public who wishes to speak on this item? Hearing, none I will close the public portion of the hearing and open it up for comments from the Planning Director.

Mr. William Pillsbury: The review of the plan indicates a favorable recommendation.

Member Karen Buckley made a motion to make a favorable recommendation to the City Council as recommended by Planning Director, William Pillsbury, Jr. Seconded by Member Nate Robertson.

Chairman Paul Howard - yes  
Member Robert Driscoll - yes  
Member Ismael Matias- yes  
Member Kenneth Cram-absent  
Member Karen Buckley-yes  
Member Karen Peugh-yes  
Member Nate Robertson-yes  
Member Bill Evans- yes  
Member April DerBoghossian, Esq. – yes  
**Motion Passed.**

Signed:

  
Paul Howard  
Chairman

Attachments: City Department Letters

Cc: 367-369 Hilddale Avenue  
City Engineer-John Pettis-email  
City Departments





# Haverhill

Robert E. Ward, Deputy DPW Director  
Water/Wastewater Division  
Phone: 978-374-2382 Fax: 978-521-4083  
[rward@haverhillwater.com](mailto:rward@haverhillwater.com)

Date: February 19, 2020  
To: William Pillsbury  
Planning Director/ Grants Coordinator  
From: Robert E. Ward *REW*  
Deputy DPW Director  
Subject: 367 – 369 Hilldale Avenue Special Permit  
Map 528, Block 1, Lot 83

*Emailed AHY.  
2/20/20*

The Water and Wastewater Division have reviewed the Special Permit and have the following comments.

## Water Division

This Property is proposed for conversion of the barn and attachment of the converted dwelling unit to the existing multi-family dwelling. If this lot is approved, the Haverhill Water Department (HWD) will require the owner of the property, at their own expense:

1. In accordance with City of Haverhill Article V-1, Water Service §250-21, the new dwelling unit will require a separate water service.
2. A water service application for the new unit must be filed with the Haverhill Water Department to determine service size for Domestic and fire Sprinkler flows and backflow protection requirements, if applicable.
3. All fees for application, entrance, and impact will be payable at the time of filing for a water service application.
4. A new water service shall be tapped and run into the new unit foundations for the new unit.
5. The water service shall be run as a single piece of continuous service pipe from the curb stop to the cellar valve.
6. Water service pipe inside the building shall be 10 to 15 inches from the wall (floor) to the first fitting.
7. Water valves, water meters and backflow devices must be installed in a manor to all access for service and testing and to prevent freezing.
8. Schedule with the HWD for the installation of the new water service to be installed at the owners expense.
9. Water services shall be installed in accordance with the latest Water Department Regulations.

The Haverhill Water Department reserves the right to provide additional comments once a site plan is submitted.

**Wastewater Division**

If this lot is approved, the Wastewater Department will require the owner of the property, at their own expense:

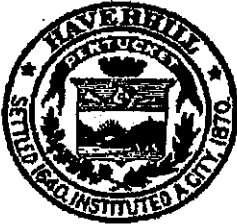
There is no sewer service connection shown for this new single family home. There shall be a new sewer service connection from this home into the City's infrastructure.

The Wastewater Division reserves the right to provide additional comments once a site plan is submitted.

If you have any questions please do not hesitate to call me at (978) 374-2382.

File#: 200043

cc: Lannie Patel, [lpatel@cityofhaverhill.com](mailto:lpatel@cityofhaverhill.com)  
Lori Robertson, [lrobertson@cityofhaverhill.com](mailto:lrobertson@cityofhaverhill.com)



James J. Florentini  
Mayor

William F. Laliberty  
Fire Chief

## Haverhill Fire Department

Fire Prevention / Investigation Unit

D/C Eric M. Tarpy  
Lieut. Michael H. Picard  
Insp. Johnathan W. Pramas  
Insp. Richard H. Wentworth  
Insp. Timothy Riley



4 Summer St, Room 113  
Tel: (978) 373-8460  
Fax: (978) 521-4441

*Emailed  
atty  
2/20/20*

February 13, 2020

William Pillsbury, Planning Director  
4 Summer Street, room 201  
Haverhill, MA 01830

Re: Special Permit 367-369 Hilldale Ave 4 family dwelling in an RH Zone

The planning, design and construction of new buildings, renovation of existing buildings and structures to provide egress facilities, fire protection and built-in fire protection equipment shall be in accordance with 780 CMR; and any alterations, additions or changes in buildings required by the provisions of 527 CMR which in the scope of 780 CMR, 9<sup>th</sup> edition, shall be made in accordance therewith. (527 CMR 1.04(4) and 780 CMR 101.2)

Plans approved by the fire department are approved with the intent they comply in all respects to 780 CMR 527 CMR 1.00, MGL Chapter 148 and any City of Haverhill ordinance. Any omissions or errors on the plans do not relieve the applicant of complying with applicable requirements.

I have reviewed the submitted plans for the address stated above and in the interest of public safety, have the following comments:

The addition of a 4<sup>th</sup> unit will require that the new unit and any work area be equipped with a NFPA 13 fire suppression system.

Respectfully,

Eric M. Tarpy  
Deputy Fire Chief  
Haverhill Fire Prevention Division



# Haverhill

Conservation Department

Phone: 978-374-2334 Fax: 978-374-2366

[rmoore@cityofhaverhill.com](mailto:rmoore@cityofhaverhill.com)

[conservation@cityofhaverhill.com](mailto:conservation@cityofhaverhill.com)

MEMO TO: William Pillsbury, Economic Development & Planning Director  
FROM: Robert E. Moore, Jr., Environmental Health Technician  
DATE: March 19, 2020  
RE: Special Permit – Four-family residential dwelling in RH Zone  
Lynn Garceau for #367-369 Hildale Avenue - Parcel ID: 528-1-83

The Conservation Commission reviewed the forwarded information at its March 5<sup>th</sup> meeting. The Commission offered no objection to the proposed project.

MELINDA E. BARRETT  
PRESIDENT  
COLIN F. LEPAGE  
VICE PRESIDENT  
JOSEPH J. BEVILACQUA  
JOHN A. MICHITSON  
THOMAS J. SULLIVAN  
TIMOTHY J. JORDAN  
MICHAEL S. MCGONAGLE  
MARY ELLEN DALY O'BRIEN  
WILLIAM J. MACEK



CITY OF HAVERHILL  
HAVERHILL, MASSACHUSETTS 01830-5843

CITY HALL, ROOM 204  
4 SUMMER STREET  
TELEPHONE: 978 374-2328  
FACSIMILE: 978 374-2329  
www.cityofhaverhill.com  
citycncl@cityofhaverhill.com

April 10, 2020

Robert D. Harb, Attorney At Law  
17 West Street  
Haverhill, MA 01830

**RE: Special permit 367-369 Hilldale Ave – Lynn Garceau**

Dear Attorney Harb:

Pursuant to Chapter 53 of the Acts of 2020, as Council President and in light of the ongoing pandemic, I am informing you that the hearing on your application for a special permit is hereby postponed to 7 PM on May 5, 2020 in the City Council Chamber, Room 202, 4 Summer Street.

For your information, we received this opinion from KPLaw:

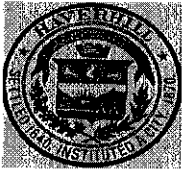
The Chair of a permit granting authority may schedule or reschedule on one or more occasions, a hearing or decision deadline on a permit application, whether or not a quorum of the body is present, to a date not more than 45 days after the termination of the State of Emergency or after a date otherwise prescribed by law, whichever is later. Notice of any rescheduled date shall be provided to the applicant at the applicant's address, and to the general public by posting electronically on the website of the city or town clerk.

Sincerely,

Melinda E. Barrett, President  
Haverhill City Council

MEB/bsa

c: Abutter list  
Various City Departments



Document  
CITY OF HAVERHILL  
In Municipal Council

13.1

Ordered:

That in accordance with General Laws, Chapter 44, Section 64, authorize the payment of bill(s) of the previous years and to further authorize the payment from current year departmental appropriations as listed below:

<u>Vendor</u>	<u>Amount</u>	<u>Account</u>
Blatman, Bobrowski & Harvey, LLC	\$ 150.00	Law Department
Music Theatre International	\$ 5.00	School Department
School Electrician-reimb	\$ 79.83	School Department
J W Pepper (9)	\$ 220.93	School Department

JAMES J. FIORENTINI  
MAYOR



**CITY OF HAVERHILL  
MASSACHUSETTS**

CITY HALL, ROOM 100  
FOUR SUMMER STREET  
HAVERHILL, MA 01830  
PHONE 978-374-2300  
FAX 978-373-7544  
MAYOR@CITYOFHAVERHILL.COM  
WWW.CI.HAVERHILL.MA.US

May 1, 2020

City Council President Barrett and Members of the Haverhill City Council

RE: FY2019 Bills

Dear Madame President and Members of the Haverhill City Council:

Attached, please find an order to pay bills from the previous fiscal year:

Vendor	Amount	Account
Blatman, Bobrowski & Harvey LLC	\$ 150.00	Law Department
Music Theatre International	\$ 5.00	School Department
School Electrician Reimbursement	\$ 79.83	School Department
J.W. Pepper (9)	\$ 220.93	School Department
<b>TOTAL</b>	<b>\$ 455.76</b>	

I recommend approval.

Very truly yours,

*James J. Fiorentini (LYF)*  
**James J. Fiorentini, Mayor**

JJF/lyf

**BLATMAN, BOBROWSKI & HAVERTY, LLC**

ATTORNEYS AT LAW

9 DAMONMILL SQUARE, SUITE 4A4

CONCORD, MA 01742

PHONE 978.371.2226

FAX 978.371.2296

**INVOICE****BILL TO**

City of Haverhill

William Pillsbury, Jr.

Director, Community Development

4 Summer Street

Haverhill, MA 01830

**INVOICE # 2495****DATE 06/30/2019****DUE DATE 06/30/2019****TERMS** Due on receipt**MATTER**~~RECEIVED~~

Make checks payable to: Blatman, Bobrowski &amp; Haverty, LLC

SERVICED	PROFESSIONAL SERVICES	HRS	RATE	ATTY	AMOUNT
04/22/2019	Recording Fee				150.00

Please make checks payable to: Blatman, Bobrowski &amp; Haverty, LLC

**BALANCE DUE****\$150.00**



**MUSIC THEATRE INTERNATIONAL**

**ACCOUNT STATEMENT**

423 W. 55th St. 2nd Floor, New York, NY 10019 • tel 212 - 541 - 4684 fax 212 - 397 - 4684 • licensing@mtishows.com • mtishows.com

**INVOICE**

**Show:** 999 PERUSALS

**Booking #:** 9468301 - 999

**Order Date:** 10/21/2017 - 10/21/2017

**Close Date:** 1/22/2018

**Cust #:** 19439

**Invoice #:** 832245

**P.O. #:**

CHARGE/DESCRIPTION	QTY	RATE	AMOUNT
MARY POPPINS			
Additional Material LIBRETTONOCAL BOOK	1		
Electronic Perusals	1	5.00	5.00
		Sub Total	5.00
		Payment	0.00
		Balance Due	5.00

## CITY OF HAVERHILL

## EXPENSE VOUCHER

MAKE CHECKS PAYABLE TO:

William Evans35 15th AveHaverhill MA 01830

Appropriation to be charged:

101 0000.4.4220.6341.74.185.00.10Electrician2/24/20

①	Journeyman electrician License - Renewal			79.83
TOTAL				\$ 79.83

I hereby certify under penalty of perjury that the above amounts as itemized are true and correct

Approved

Administrator

03.03.2020



Bill Evans <williamjevansjr@gmail.com>

## Receipt from nCourt

1 message

customerservice@ncourt.com <customerservice@ncourt.com>  
To: williamjevansjr@gmail.com

Thu, May 23, 2019 at 3:04 PM



Payments Made Easy

Your Receipt >>

Paid To

Address 1:  
Address 2: Suite 710  
City: Boston  
State: Massachusetts  
Zip: 02118

Description	Record Number	Amount
Journeyman Electrician License - Renewal	19TMP-077024	\$78.00

**Total Convenience Fee:** \$1.83

**Receipt Date:** 5/23/2019 3:04:04 PM EDT

**Invoice Number:** 9d9323df

**Total Amount Paid:** \$79.83

### Billing Information

Email  
Street  
City haverhill  
State/Territory MA  
Zip 01830

### Credit / Debit Card Information

Card Type Discover  
Card Number \*\*\*\*\*2372

### Important Information >>

Please verify the information shown above. Your payment has been submitted to the location listed above.

If this payment is to renew your license, you can expect to receive a new license within 3-5 weeks.

If you have a non-payment question regarding your license, please contact the agency at 617-727-3074 and ask to be connected to your licensing board.

Please note that although the system may show that your transaction was successful upon submission, your payment will be considered a pending transaction until proof of available funds in your account has been confirmed. Payments that are denied by EPAY will incur an additional \$23 fee to process.

For refund policies, contact the Division of Professional Licensure at 617-727-0124.



191 Sheree Blvd.  
Exton, PA 19341  
www.jwpepper.com

**Bill To:**

Haverhill High School  
Attn: Bookkeeper  
137 Monument St  
Haverhill, MA 01832

**Ship To:**

Haverhill High School  
137 Monument St  
Haverhill, MA 01832

Invoice Date

03/28/19

INVOICE #

01V23363

Terms

30 NET

Due: 04/27/19

Purchase Order #

190419

Ship Via

Sales Order #	Sales Order Date	Account #	Contact	Ship Date	Bill Date
		899205		03/28/19	

#	Description	Ordered	Quantity Billed	Unit Price	Extended Amount
1	Hip Hop Stand Blasters #5	1	1	\$ 5.00	\$ 5.00
2	Hip Hop Hooks	1	1	\$ 6.00	\$ 6.00
3	Zen And The Art Of Guitar	1	1	\$ 20.99	\$ 20.99

Please Make Checks In U.S.

Dollars Payable To:

J.W. Pepper &amp; Son, Inc.

P.O. Box 642

Exton, PA 19341

Phone: 1-800-345-6296

Fax: 1-800-260-1482

satisfaction@jwpepper.com

\*Standard shipping charges  
appear on the first invoice billed.  
You are not charged shipping for  
ePrint or digital items.

Additional charges may apply for  
premium and international  
shipments as well as shipments  
sent directly from the manufacturer.

**SUBTOTAL**

\$ 31.99

TAX

\$ 0.00

SHIPPING\*

\$ 0.00

HANDLING

\$ 0.00

**TOTAL**

\$ 31.99

PAYMENTS/CREDITS

\$ 0.00

**AMOUNT DUE****\$ 31.99**



191 Sheree Blvd.  
Exton, PA 19341  
www.jwpepper.com

Invoice Date

04/09/19

INVOICE #

3309294

Terms

30 NET

Due: 05/09/19

Purchase Order #

190419

Ship Via

48-Parcel-Standard

**Bill To:**

Haverhill High School  
Attn: Bookkeeper  
137 Monument St  
Haverhill, MA 01832

**Ship To:**

Haverhill High School  
137 Monument St  
Haverhill, MA 01832

**Sold to:** Haverhill High School

Sales Order #	Sales Order Date	Account #	Contact	Ship Whse	Ship Date	Bill Date
1026408	04/08/19	899205	Tsiropoulos, Dean	250 ATL	04/09/19	04/09/19

#	Description	Ordered	Quantity Billed	Unit Price	Extended Amount
1	10593605, Hall to the Chief SCORE P.O.D.-	1	1	\$ 5.00	\$ 5.00

**Please Make Checks In U.S.****Dollars Payable To:****J.W. Pepper & Son, Inc.**

P.O. Box 642

Exton, PA 19341

Phone: 1-800-345-6296

Fax: 1-800-260-1482

satisfaction@jwpepper.com

\*Standard shipping charges  
appear on the first invoice billed.  
You are not charged shipping for  
ePrint or digital items.

Additional charges may apply for  
premium and international  
shipments as well as shipments  
sent directly from the manufacturer.

<b>SUBTOTAL</b>	\$ 5.00
<b>TAX</b>	\$ 0.00
<b>SHIPPING*</b>	\$ 2.99
<b>HANDLING</b>	\$ 1.00
<b>TOTAL</b>	\$ 8.99
<b>PAYMENTS/CREDITS</b>	\$ 0.00
<b>AMOUNT DUE</b>	\$ 8.99



191 Sheree Blvd.  
Exton, PA 19341  
www.jwpepper.com

Invoice Date  
**04/11/19**

INVOICE #

**5939329**

Terms

**30 NET**

**Due: 05/11/19**

Purchase Order #

**190419**

Ship Via

**48-Parcel-Standard**

**Bill To:**

Haverhill High School  
Attn: Bookkeeper  
137 Monument St  
Haverhill, MA 01832

**Ship To:**

Haverhill High School  
137 Monument St  
Haverhill, MA 01832

**Sold to:** Haverhill High School

Sales Order #	Sales Order Date	Account #	Contact	Ship Whse	Ship Date	Bill Date
1026408	04/08/19	899205	Tsioropoulos, Dean	250 ATL	04/11/19	04/11/19

#	Description	Ordered	Quantity Billed	Unit Price	Extended Amount
1	10973097, Hail to the Chief SCORE P.O.D.-	1	1	\$ 5.00	\$ 5.00

**Please Make Checks In U.S.**

**Dollars Payable To:**

**J.W. Pepper & Son, Inc.**

P.O. Box 642

Exton, PA 19341

Phone: 1-800-345-6296

Fax: 1-800-260-1482

satisfaction@jwpepper.com

\*Standard shipping charges  
appear on the first invoice billed.  
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ePrint or digital items.

Additional charges may apply for  
premium and international  
shipments as well as shipments  
sent directly from the manufacturer.

<b>SUBTOTAL</b>	<b>\$ 5.00</b>
TAX	\$ 0.00
SHIPPING*	\$ 0.00
HANDLING	\$ 0.00
<b>TOTAL</b>	<b>\$ 5.00</b>
PAYMENTS/CREDITS	\$ 0.00
<b>AMOUNT DUE</b>	<b>\$ 5.00</b>



191 Sheree Blvd.  
Exton, PA 19341  
www.jwpepper.com

Invoice Date  
**05/06/19**

INVOICE #

**136260825**

Terms  
**30 NET**

**Due: 06/05/19**

Purchase Order #  
**190419**

Ship Via  
**20-FEDEX  
GROUND  
COMMERCIAL**

**Bill To:**

Haverhill High School  
Attn: Bookkeeper  
137 Monument St  
Haverhill, MA 01832

**Ship To:**

Haverhill High School  
137 Monument St  
Haverhill, MA 01832

**Sold to:** Haverhill High School

Sales Order #	Sales Order Date	Account #	Contact	Ship Whse	Ship Date	Bill Date
1085933	04/28/19	899205	Tsioropoulos, Dean	250 ATL	05/06/19	05/06/19

#	Description	Ordered	Quantity Billed	Unit Price	Extended Amount
1	10060365, CONCIERTO DE ARANJUEZ BK/CD- P.O.P.-	1	1	\$ 34.99	\$ 34.99
4	10992380, High Hopes Score-	1	1	\$ 5.00	\$ 5.00
5	10290512, Shredding Paganini Guitar Bk/CD-	1	1	\$ 17.99	\$ 17.99

**Please Make Checks In U.S.**

**Dollars Payable To:**

**J.W. Pepper & Son, Inc.**

P.O. Box 642

Exton, PA 19341

Phone: 1-800-345-6296

Fax: 1-800-260-1482

satisfaction@jwpepper.com

\*Standard shipping charges  
appear on the first invoice billed.  
You are not charged shipping for  
ePrint or digital items.

Additional charges may apply for  
premium and international  
shipments as well as shipments  
sent directly from the manufacturer.

<b>SUBTOTAL</b>	<b>\$ 57.98</b>
TAX	\$ 0.00
SHIPPING*	\$ 9.99
HANDLING	\$ 1.00
<b>TOTAL</b>	<b>\$ 68.97</b>
PAYMENTS/CREDITS	\$ 0.00
<b>AMOUNT DUE</b>	<b>\$ 68.97</b>



191 Sheree Blvd.  
Exton, PA 19341  
www.jwpepper.com

**Bill To:**

Haverhill High School  
Attn: Bookkeeper  
137 Monument St  
Haverhill, MA 01832

**Ship To:**

Haverhill High School  
137 Monument St  
Haverhill, MA 01832

Invoice Date

05/29/19

INVOICE #

154485191

Terms

30 NET

Due: 06/28/19

Purchase Order #

190419

Ship Via

20-FEDEX  
GROUND  
COMMERCIAL

**Sold to:** Haverhill High School

Sales Order #	Sales Order Date	Account #	Contact	Ship Whse	Ship Date	Bill Date
1112445	05/23/19	899205	Tsioropoulos, Dean	250 ATL	05/29/19	05/29/19

#	Description	Ordered	Quantity Billed	Unit Price	Extended Amount
1	5459136, DISNEY SPECTACULAR SCORE-	1	1	\$ 7.50	\$ 7.50
2	10305079, Christmas Parade Mash Up Score P.O.D.-	1	1	\$ 0.00	\$ 0.00
3	10453290, Christmas Eve / Sarajevo 12/24 Score-	1	1	\$ 10.00	\$ 10.00
4	10059124, NIGHTMARE BEFORE CHRISTMAS SELECTIONS SCORE-	1	1	\$ 7.50	\$ 7.50
5	2362390, CARRY ON WAYWARD SON SCORE-	1	1	\$ 5.00	\$ 5.00

**Please Make Checks In U.S.****Dollars Payable To:**

J.W. Pepper &amp; Son, Inc.

P.O. Box 642

Exton, PA 19341

Phone: 1-800-345-6296

Fax: 1-800-260-1482

satisfaction@jwpepper.com

\*Standard shipping charges

appear on the first invoice billed.

You are not charged shipping for  
ePrint or digital items.

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premium and international  
shipments as well as shipments  
sent directly from the manufacturer.

**SUBTOTAL**

\$ 30.00

**TAX**

\$ 0.00

**SHIPPING\***

\$ 0.00

**HANDLING**

\$ 0.00

**TOTAL**

\$ 30.00

**PAYMENTS/CREDITS**

\$ 0.00

**AMOUNT DUE**

\$ 30.00





191 Sheree Blvd.  
Exton, PA 19341  
www.jwpepper.com

**Bill To:**

Haverhill High School  
Attn: Bookkeeper  
137 Monument St  
Haverhill, MA 01832

**Ship To:**

Haverhill High School  
137 Monument St  
Haverhill, MA 01832

Invoice Date

06/10/19

INVOICE #

156533821

Terms

30 NET

Due: 07/10/19

Purchase Order #

190419

Ship Via

20-FEDEX

GROUND

COMMERCIAL

**Sold to:** Haverhill High School

Sales Order #	Sales Order Date	Account #	Contact	Ship Whse	Ship Date	Bill Date
1112445	05/23/19	899205	Tsioropoulos, Dean	250 ATL	06/10/19	06/10/19

#	Description	Ordered	Quantity Billed	Unit Price	Extended Amount
1	10511489, Captain America March Score-	1	1	\$ 5.00	\$ 5.00

**Please Make Checks In U.S.****Dollars Payable To:****J.W. Pepper & Son, Inc.**

P.O. Box 642

Exton, PA 19341

Phone: 1-800-345-6296

Fax: 1-800-260-1482

satisfaction@jwpepper.com

\*Standard shipping charges

appear on the first invoice billed.

You are not charged shipping for  
ePrint or digital items.

Additional charges may apply for  
premium and international  
shipments as well as shipments  
sent directly from the manufacturer.

**SUBTOTAL**

\$ 5.00

**TAX**

\$ 0.00

**SHIPPING\***

\$ 0.00

**HANDLING**

\$ 0.00

**TOTAL**

\$ 5.00

**PAYMENTS/CREDITS**

\$ 0.00

**AMOUNT DUE****\$ 5.00**



191 Sheree Blvd.  
Exton, PA 19341  
www.jwpepper.com

**Bill To:**

Haverhill High School  
Attn: Bookkeeper  
137 Monument St  
Haverhill, MA 01832

**Ship To:**

Haverhill High School  
137 Monument St  
Haverhill, MA 01832

Invoice Date

06/14/19

INVOICE #

157302011

Terms

30 NET

Due: 07/14/19

Purchase Order #

190419

Ship Via

20-FEDEX  
GROUND  
COMMERCIAL

**Sold to:** Haverhill High School

Sales Order #	Sales Order Date	Account #	Contact	Ship Whse	Ship Date	Bill Date
1112445	05/23/19	899205	Tsioropoulos, Dean	250 ATL	06/14/19	06/14/19

#	Description	Ordered	Quantity Billed	Unit Price	Extended Amount
1	5902416, HOW THE GRINCH STOLE CHRISTMAS- SCORE-	1	1	\$ 9.00	\$ 9.00
2	10433986, The Book of Six Strings BK/CD-	1	1	\$ 20.99	\$ 20.99
3	10509184, Rockin' Around the Christmas Tree Score-	1	1	\$ 7.00	\$ 7.00
4	10009180, BATMAN THEME TELEVISION SCORE-	1	1	\$ 8.00	\$ 8.00

**Please Make Checks In U.S.****Dollars Payable To:**

J.W. Pepper &amp; Son, Inc.

P.O. Box 642

Exton, PA 19341

Phone: 1-800-345-6296

Fax: 1-800-260-1482

satisfaction@jwpepper.com

\*Standard shipping charges  
appear on the first invoice billed.  
You are not charged shipping for  
ePrint or digital items.

Additional charges may apply for  
premium and international  
shipments as well as shipments  
sent directly from the manufacturer.

**SUBTOTAL**

\$ 44.99

TAX

\$ 0.00

SHIPPING\*

\$ 0.00

HANDLING

\$ 0.00

**TOTAL**

\$ 44.99

PAYMENTS/CREDITS

\$ 0.00

**AMOUNT DUE****\$ 44.99**



191 Sheree Blvd.  
Exton, PA 19341  
www.jwpepper.com

Invoice Date

06/17/19

INVOICE #

157880743

Terms

30 NET

Due: 07/17/19

Purchase Order #

190419

Ship Via

20-FEDEX

GROUND

COMMERCIAL

**Bill To:**

Haverhill High School  
Attn: Bookkeeper  
137 Monument St  
Haverhill, MA 01832

**Ship To:**

Haverhill High School  
137 Monument St  
Haverhill, MA 01832

**Sold to:** Haverhill High School

Sales Order #	Sales Order Date	Account #	Contact	Ship Whse	Ship Date	Bill Date
1112445	05/23/19	899205	Tsioropoulos, Dean	250 ATL	06/17/19	06/17/19

#	Description	Ordered	Quantity Billed	Unit Price	Extended Amount
1	10593808, Hard Rockin' Holiday Parade Score-	1	1	\$ 5.00	\$ 5.00

**Please Make Checks In U.S.**

**Dollars Payable To:**

**J.W. Pepper & Son, Inc.**

P.O. Box 642

Exton, PA 19341

Phone: 1-800-345-6296

Fax: 1-800-260-1482

satisfaction@jwpepper.com

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appear on the first invoice billed.  
You are not charged shipping for  
ePrint or digital items.

Additional charges may apply for  
premium and international  
shipments as well as shipments  
sent directly from the manufacturer.

<b>SUBTOTAL</b>	\$ 5.00
TAX	\$ 0.00
SHIPPING*	\$ 0.00
HANDLING	\$ 0.00
<b>TOTAL</b>	\$ 5.00
PAYMENTS/CREDITS	\$ 0.00
<b>AMOUNT DUE</b>	<b>\$ 5.00</b>



191 Sheree Blvd.  
Exton, PA 19341  
www.jwpepper.com

**Bill To:**

Haverhill High School  
Attn: Bookkeeper  
137 Monument St  
Haverhill, MA 01832

**Ship To:**

Haverhill High School  
137 Monument St  
Haverhill, MA 01832

Invoice Date

05/28/19

INVOICE #

154304837

Terms

30 NET

Due: 06/27/19

Purchase Order #

190419

Ship Via

20-FEDEX  
GROUND  
COMMERCIAL

**Sold to:** Haverhill High School

Sales Order #	Sales Order Date	Account #	Contact	Ship Whse	Ship Date	Bill Date
1112445	05/23/19	899205	Tsioropoulos, Dean	251 SLC	05/28/19	05/28/19

#	Description	Ordered	Quantity Billed	Unit Price	Extended Amount
1	5539184, DISNEY AT THE MOVIES FULL SCORE-	1	1	\$ 10.00	\$ 10.00

**Please Make Checks In U.S.****Dollars Payable To:**

J.W. Pepper &amp; Son, Inc.

P.O. Box 642

Exton, PA 19341

Phone: 1-800-345-6296

Fax: 1-800-260-1482

satisfaction@jwpepper.com

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appear on the first invoice billed.  
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ePrint or digital items.

Additional charges may apply for  
premium and international  
shipments as well as shipments  
sent directly from the manufacturer.

**SUBTOTAL**

\$ 10.00

TAX

\$ 0.00

SHIPPING\*

\$ 9.99

HANDLING

\$ 1.00

**TOTAL**

\$ 20.99

PAYMENTS/CREDITS

\$ 0.00

**AMOUNT DUE****\$ 20.99**



DOCUMENT

13.2

# CITY OF HAVERHILL

In Municipal Council

ORDERED:

**That the City Council of the City of Haverhill hereby recognizes and accepts the provisions of M.G.L. c.110G regarding electronic signatures and that its members will henceforth execute documents either with electronic signatures or with wet ink signatures and that both will carry the same legal weight and effect.**

**CITY COUNCIL**

**MELINDA E. BARRETT**

***PRESIDENT***

**COLIN F. LePAGE**

***VICE PRESIDENT***

**JOSEPH J. BEVILACQUA**

**JOHN A. MICHITSON**

**THOMAS J. SULLIVAN**

**TIMOTHY J. JORDAN**

**MICHAEL S. MCGONAGLE**

**MARY ELLEN DALY O'BRIEN**

**WILLIAM J. MACEK**



**CITY OF HAVERHILL**  
HAVERHILL, MASSACHUSETTS 01830-5843

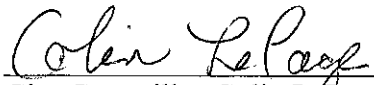
1511

CITY HALL, ROOM 204  
4 SUMMER STREET  
TELEPHONE: 978 374-2328  
FACSIMILE: 978 374-2329  
[www.cityofhaverhill.com](http://www.cityofhaverhill.com)  
[citycncl@cityofhaverhill.com](mailto:citycncl@cityofhaverhill.com)

April 28, 2020

TO: President and Members of the City Council:

Councillor Colin LePage requests a discussion regarding the communities' general mental health coping strategies and supports during the Covid-19 Pandemic.

  
City Councillor Colin LePage

**CITY COUNCIL**

**MELINDA E. BARRETT**

***PRESIDENT***

**COLIN F. LEPAGE**

***VICE PRESIDENT***

**JOSEPH J. BEVILACQUA**

**JOHN A. MICHITSON**

**THOMAS J. SULLIVAN**

**TIMOTHY J. JORDAN**

**MICHAEL S. MCGONAGLE**

**MARY ELLEN DALY O'BRIEN**

**WILLIAM J. MACEK**



**CITY OF HAVERHILL**

**HAVERHILL, MASSACHUSETTS 01830-5843**

15.2

CITY HALL, ROOM 204  
4 SUMMER STREET  
TELEPHONE: 978 374-2328  
FACSIMILE: 978 374-2329  
[www.cityofhaverhill.com](http://www.cityofhaverhill.com)  
[citycncl@cityofhaverhill.com](mailto:citycncl@cityofhaverhill.com)

April 28, 2020

TO: President and Members of the City Council:

Councillor Bevilacqua proposes establishing a Reopening Haverhill Review Committee.

  
City Councillor Joseph Bevilacqua

**CITY COUNCIL**

**MELINDA E. BARRETT**  
*PRESIDENT*  
**COLIN F. LEPAGE**  
*VICE PRESIDENT*  
**JOSEPH J. BEVILACQUA**  
**JOHN A. MICHITSON**  
**THOMAS J. SULLIVAN**  
**TIMOTHY J. JORDAN**  
**MICHAEL S. MCGONAGLE**  
**MARY ELLEN DALY O'BRIEN**  
**WILLIAM J. MACEK**



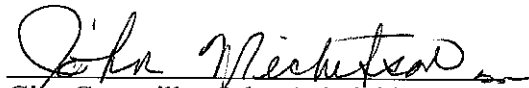
**CITY OF HAVERHILL**  
HAVERHILL, MASSACHUSETTS 01830-5843

1513  
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4 SUMMER STREET  
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[www.cityofhaverhill.com](http://www.cityofhaverhill.com)  
[citycncl@cityofhaverhill.com](mailto:citycncl@cityofhaverhill.com)

May 1, 2020

TO: President and Members of the City Council:

Councillors Michitson and Jordan wish to address issue of many students in Haverhill School system without Wi-Fi and stop-gap measures City must take now.

  
City Councillor John A. Michitson

  
City Councillor Timothy J. Jordan



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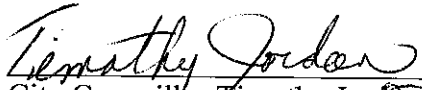
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May 1, 2020

TO: President and Members of the City Council:

Councillor Jordan requests to give an update on the Sacred Hearts food pantry and the need for additional donations.

  
City Councilor Timothy Jordan

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April 8, 2020

TO: Mr. President and Members of the City Council:

Councillors Jordan, McGonagle and Daly O'Brien request a discussion regarding the need to move forward now with the new animal shelter.

*Timothy Jordan*  
 City Councillor Timothy Jordan

*Michael McGonagle*  
 City Councillor Michael McGonagle

*Mary Ellen Daly O'Brien*  
 City Councillor Mary Ellen Daly O'Brien

IN CITY COUNCIL: April 14 2020  
 REFER TO MAYOR AND INSPECTIONAL SERVICES FOR UPDATE TO COME BACK  
 FOR APRIL 21 2020  
 Attest:

\_\_\_\_\_  
 City Clerk

IN CITY COUNCIL: April 21 2020  
 TABLED TO MAY 5 2020  
 Attest:

\_\_\_\_\_  
 City Clerk

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April 15, 2020

TO: President and Members of the City Council:

Councillor Colin LePage requests a discussion regarding the City's preparations for in-person and mail-in voting participation in Haverhill

  
 City Councillor Colin LePage

IN CITY COUNCIL: April 21 2020  
 TABLED TO MAY 5 2020  
 Attest:

\_\_\_\_\_  
 City Clerk

## CITY COUNCIL

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April 24, 2020

TO: President and Members of the City Council:

Councillors LePage and Daly O'Brien request a discussion on city adoption of the Families First Coronavirus Response Act concerning first responders and healthcare workers

*Colin LePage*  
 City Councillor Colin LePage

*Mary Ellen Daly O'Brien*  
 City Councillor Mary Ellen Daly O'Brien

IN CITY COUNCIL: April 28 2020  
 POSTPONED TO MAY 5 2020  
 Attest:

\_\_\_\_\_  
 City Clerk

# PROCLAMATION

12.11

## Mental Health Matters Month

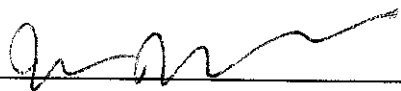
- WHEREAS Half of the population will experience some type of mental health challenge over the course of a lifetime; and
- WHEREAS Every day, millions of people face stigma related to mental health and may feel isolated and alone, going years before receiving any help; and
- WHEREAS Recovery can and does happen, and all Californians should know that support and help is available regardless of any individual's situation; and
- WHEREAS Creating a community where everyone feels comfortable reaching out for the support they deserve is crucial to ending the stigma around mental health; and
- WHEREAS Access to support and ending the stigma is of paramount importance; and
- WHEREAS The City of Haverhill wishes to enhance public awareness of mental health now, therefore, be it

NOW THEREFORE, I, JAMES J. FIORENTINI, MAYOR of the City of Haverhill do hereby proclaim May 2020 as

## Mental Health Matters Month

And urge all the citizens of the City of Haverhill to take cognizance of this event and participate fittingly in its observance.

IN WITNESS WHEREOF I have hereunto set my hand and caused the Seal of the City of Haverhill to be affixed this 5<sup>th</sup> day of May in the year of Our Lord two thousand and twenty.



MAYOR JAMES J. FIORENTINI



## PROCLAMATION

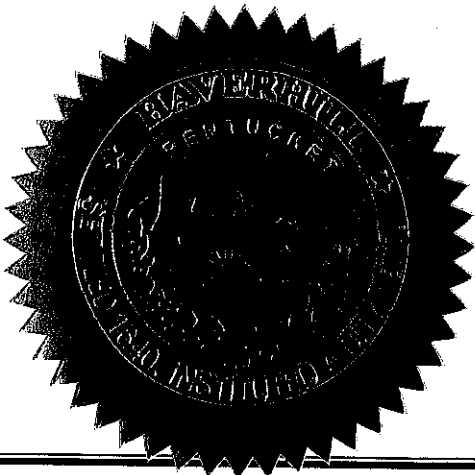
17.2

- Whereas** The citizens of Haverhill value their health and mental health and that of their families; therefore, they are proud to support observances such as Children's Mental Health Day; and
- Whereas** One in five children has a diagnosable mental health disorder and one-half of all lifetime instances of mental illness begin before age 14; and even some children and youth with the most intense needs and some who are insured may not receive services; and
- Whereas** Children and youth with mental health needs in elementary, middle and high school are more likely to be bullied, absent, suspended, expelled or fail to graduate; and
- Whereas** Learning to recognize the early warning signs of mental health needs and where to obtain the necessary support, assistance and treatment gives children and youth better opportunities to lead full and productive lives; and
- Whereas** The participation and partnership of family members in the assessment and treatment of children and youth is essential to positive outcomes; and
- Whereas** Our nation's future depends on the health and well-being of its families and their children; and
- Whereas** Children's Mental Health Day was developed by families of children with emotional, behavioral and mental health needs, to focus on the needs of their children and families; in celebrating this year's theme: "Healthy Families, Resilient Children: Mental Health is a Family Affair" it is fitting to increase public awareness among all Haverhill citizens of this important issue;

NOW, THEREFORE, I, JAMES J. FIORENTINI, DO HEREBY PROCLAIM  
MAY 7, 2020 as

### CHILDREN'S MENTAL HEALTH AWARENESS DAY

And urge all the citizens of the Commonwealth to take cognizance of this event and participate fittingly in its observance.



IN WITNESS WHEREOF I have hereunto set my hand and caused the Seal of the City of Haverhill to be affixed this 5<sup>th</sup> day of May in the year of our Lord two thousand and twenty.

  
JAMES J. FIORENTINI, MAYOR

17,3

## PROCLAMATION

### National Teacher Day

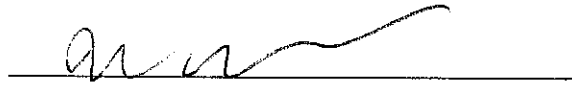
- WHEREAS Teachers make public schools great; and
- WHEREAS Teachers work to open students' minds to ideas, knowledge and dreams; and
- WHEREAS Teachers keep American democracy alive by laying the foundation for good citizenship; and
- WHEREAS Teachers fill many roles, as listeners, explorers, role models, motivators and mentors; and
- WHEREAS Teachers continue to influence us long after our school days are only memories;

NOW THEREFORE, I, JAMES J. FIORENTINI, MAYOR of the City of Haverhill do hereby proclaim May 5, 2020 as

### NATIONAL TEACHER DAY

And urge that we observe this day by taking time to recognize and acknowledge the impact of teachers on our lives.

IN WITNESS WHEREOF I have hereunto set my hand and caused the Seal of the City of Haverhill to be affixed this 5<sup>th</sup> day of May in the year of Our Lord two thousand and twenty.



MAYOR JAMES J. FIORENTINI



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## CITY OF HAVERHILL HAVERHILL, MASSACHUSETTS 01830-5843

### DOCUMENTS REFERRED TO COMMITTEE STUDY

38-W	Communication from Councillor Barrett requesting to give an update on response from MBTA/Keolis & US EPA about idling trains in Bradford	Citizen Outreach	4/5/16 1/31/17
10-B	Communication from President Michitson asking to request from Mayor status of facility improvements to public buildings and parks to comply with American w/ Disabilities Act (ADA)	Citizen Outreach	1/3/17 1/31/17, 8/15/17
10-U	Communication from President Michitson requesting discussion on next steps to provide comprehensive long range plan for Haverhill	Citizen Outreach	1/31/17 8/15/17, 4/23/18
38-D	Communication from Councillors Sullivan and Barrett requesting an update on City's emergency management plan and status of working generators in all public building in City	Public Safety	3/20/18 1/23/19
93-L	Communication from President Michitson requesting to introduce Dave Labrode to discuss street tree plantings	NRPP	8/7/18 2/28/19
38-I	Communication from Councillor Macek to refer City's Ch. 255 – Zoning, Article XVIII, Solar Energy Systems, Sec. 255-185 thru 255-194 to Administration & Finance Committee	A & F	3/12/19 4/3/19, 8/5/19
13-Y	Communication from Councillor LePage to discuss accounting of revenue funds received from Licensed Marijuana establishments & their allocation to mitigate costs and impacts to city	A&F	3/12/19 8/5/19
38-J	Communication from Councillor Macek requesting a discussion about reserve parking spaces at City Hall designated for Registry of Motor Vehicles	NRPP	3/19/19
79-F	Communication from Councillor Sullivan requesting to introduce Kathleen Fitts, Gale Park Assoc. to request the city replace the Gale Park Fountain in fiscal year 20	NRPP	6/25/19
79-T	Communication from Councillors Sullivan and Barrett re: discussion with VINFEN & Haverhill Police Dept. regarding incident in neighborhood of 20 Westland Ter. group home on 7/5 and steps being taken to better supervise residents and reduce police calls to residence	Public Safety	7/23/19
89-D	Communication from Councillors LePage, Michitson, Jordan requesting discussion on reducing exposure of persons under 21 yrs. of age to outdoor advertising (billboards) of marijuana products and zoning regulations pertaining to smoke and/or vapor stores in Haverhill	A & F	7/23/19 8/6/19
89-K	Communication from Councillor Macek requesting open discussion relative to the process for Establishing a Charter Commission to review the current City of Haverhill Charter	Citizen Outreach A & F	8/6/19
89-U	Communication from Councillor LePage re: applying for Community Compact Best Practices Program grant for benefit of city and its residents	Citizen Outreach A & F	9/17/19
89-V	Communication from Councillor McGonagle requesting a discussion about school bus safety	Public Safety	9/17/19



**DOCUMENTS REFERRED TO COMMITTEE STUDY**

11	Communication from Councilor Jordan requesting to introduce Steve Costa of Citizens for Haverhill Fire to discuss Mayor's CIP and occupational cancer	Public Safety	1/7/20
11-S	Communication from Councillor Sullivan requesting a discussion regarding a property owner's request to lease or purchase City land abutting their property at 256 Whittier Rd.	NRPP	2/4/20
34-P	Communication from Councillor Sullivan requesting a discussion regarding the disposal of cremated remains on public property	NRPP	3/17/20
34- O	Communication from Councillor McGonagle requesting to introduce Donald Jarvis to discuss tax reduction for veterans	A & F	4/7/20
58-M	Communication from Councillors LePage and Daly O'Brien re: the possible use of Hale Hospital Trust Funds for ongoing City health care programs and issues	A & F	4/21/20

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### **LONG TERM MATTERS STUDY LIST**

- 38-F Communication from Councillors Barrett and LePage requesting to discuss double poles in the City  
A & F 3/15/16, 9/6/16, 11/3/16, 1/17/17, 5/11/17, 10/24/17, 3/6/19
- 26E City of Haverhill – Mayor’s Recommendations, Capital Improvement Program – 2016-2020  
A & F 5/31/16, 11/3/16, 5/11/2017, 7/25/17, 2/15/18, 3/6/19, 4/17/19
- 82 Ordinance re: Vehicles & Traffic – Amend Ch. 240-108, Article XVI, Central Business District Parking  
– Fees, Rate and Terms  
A & F 7/10/18
- 82-B Ordinance re: Vehicles & Traffic – Amend Ch. 240-108, Article XVI, Central Business District Parking  
- Chart  
A & F 7/10/18