



**CITY OF HAVERHILL
CITY COUNCIL AGENDA**

Tuesday, October 7, 2025, at 7:00 PM

**Theodore A. Pelosi, Jr. Council Chambers, 4 Summer st, Room 202
In-Person/Remote Meeting**

This meeting of Haverhill City Council will be held in-person at the location provided on this notice as its official meeting location pursuant to the Open Meeting Law. As the meeting is held in person at a physical location that is open and accessible to the public, the City Council is not required to provide remote access to the meeting. Members of the public are welcome to attend this in-person meeting. Please note that a live stream of the meeting is being provided only as a courtesy to the public, and the meeting will not be suspended or terminated if technological problems interrupt the virtual broadcast, unless otherwise required by law. Members of the public with particular interest in any specific item on this agenda should make plans for in-person vs. virtual attendance accordingly. Those attending tonight's meeting should be aware that the meeting is being audio and video recorded by HCTV, The Eagle Tribune, and WHAV. Any audience members who wish to record any part of the meeting must inform the Council President who will announce the recording. This is to comply with the MA wiretap statute. Thank you.

- 1. OPENING PRAYER**
- 2. PLEDGE OF ALLEGIANCE**
- 3. APPROVAL OF MINUTES OF PRIOR MEETING**
- 4. ASSIGNMENT OF THE MINUTES REVIEW FOR THE NEXT MEETING:**
- 5. COMMUNICATIONS FROM THE MAYOR:**
- 6. COMMUNICATIONS FROM COUNCILORS TO INTRODUCE AN INDIVIDUAL(S) TO ADDRESS THE COUNCIL:**

OCT 3 AM 10:36
HAVERHILL CITY CLERK

- 6.1. Councilor McGonagle wishes to introduce Patrick Menzie who would like to invite the public to the November 2, 2025 pre- election Veteran's Fundraiser Breakfast, from 9 to 11 AM at the AMVETS on Primrose St**

- 7. PUBLIC PARTICIPATION- REQUESTS UNDER COUNCIL RULE 28**
- 8. COMMUNICATIONS AND REPORTS FROM CITY OFFICERS AND EMPLOYEES:**

- 8.1. Kaitlin M. Wright, City Clerk, request to announce Early Voting schedule and pertinent election-related deadlines for the upcoming election and submits Warrant for Municipal General Election to be held on Tuesday, the fourth day of November 2025 from 7 AM to 8 PM**



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CITY COUNCIL AGENDA

Tuesday, October 7, 2025, at 7:00 PM

Theodore A. Pelosi, Jr. Council Chambers, 4 Summer st, Room 202
In-Person/Remote Meeting

8.2. EROM-25-15; John H. Pettis, *City Engineer*, submits an order to open the following street:

8.2.1. Order-permission to excavate at 37 Brockton Ave to repair a grade 2 gas leak

8.3. EROM-25-16; John H. Pettis, *City Engineer*, submits an order to open the following street:

8.3.1. Order- permission to excavate 23 Crosby St to install a new gas service

8.4. EROM-25-17; John H. Pettis, *City Engineer*, submits an order to open the following street:

8.4.1. Order-permission to excavate at 16 Overlook Dr to cut gas off at the main

9. UTILITY HEARING(S) AND RELATED ORDER(S):

10. HEARINGS AND RELATED ORDERS:

10.1. Document 91 - CCSP 25-7; Attorney Paul Magliocchetti for client *233 Winter Street LLC* requests to construct a Mixed-Use Store and a 10-Unit Multifamily Dwelling at 233 Winter st; Map 306, Block 75, Lots 3

11.APPOINTMENTS:

- 11.1. Confirming Appointments:
- 11.2. Non-Confirming Appointments:
- 11.3. Constables
- 11.4. Resignations

12.PETITIONS:

- 12.1. Applications Handicap Parking Sign: *with Police approval*
- 12.2. Amusement/Event Application: *with Police approval*
- 12.3. Auctioneer License:
- 12.4. Tag Days: *with Police approval*
- 12.5. One Day Liquor License –with HPD approval
- 12.6. ANNUAL LICENSE RENEWALS:
 - 12.6.1. Hawker Peddlers License- Fixed location – w/Police approval
 - 12.6.2. Coin-Op License Renewals – with Police approval



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Tuesday, October 7, 2025, at 7:00 PM

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In-Person/Remote Meeting

-
- 12.6.3. **Christmas Tree Vendor** – *with Police approval*
 - 12.6.4. **Taxi Driver Licenses for 2024:** *with Police approval*
 - 12.6.5. **Taxi/Limousine License** *with Police approval*
 - 12.6.6. **Junk Dealer /Collector License** - *with Police approval*
 - 12.6.7. **Pool/Billiard**
 - 12.6.8. **Bowling**
 - 12.6.9. **Sunday Bowling**
 - 12.6.10. **Buy & Sell Second Hand Articles** *with Police approval*
 - 12.6.11. **Buy & Sell Second Hand Clothing** *with Police approval*
 - 12.6.12. **Pawnbroker license** - *with police approval*
 - 12.6.13. **Fortune Teller** *with - Police approval*
 - 12.6.14. **Buy & Sell Old Gold** – *with Police approval*
 - 12.6.15. **Roller Skating Rink**
 - 12.6.16. **Sunday Skating**
 - 12.6.17. **Exterior Vending Machines/Redbox Automated Retail, LLC**
 - 12.6.18. **Limousine/Livery License/Chair Cars** *with Police approval*

13.MOTIONS AND ORDER:

- 13.1. Order-Pay bills of previous years and authorize payment from current year departmental appropriations as listed:

VENDOR	AMOUNT	ACCOUNT
Chemrite	\$ 18,920.00	Wastewater

TOTAL- \$18,920.00

14.ORDINANCES (FILE 10 DAYS):

15.COMMUNICATIONS FROM COUNCILORS:

- 15.1. Councilors Michitson and Toohey wish to discuss Whittier Tech's new lottery admissions system
- 15.2. Councilor McGonagle wishes to announce the Public Health, Safety and Works Committee meeting on Wednesday, October 22, 2025 at 6 PM in Room 202, City Council Chambers, Haverhill City Hall



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In-Person/Remote Meeting**

16.UNFINISHED BUSINESS OF PRECEEDING MEETING:

17.RESOLUTIONS AND PROCLAMATIONS:

- 17.1. Mayor Barrett presents the following proclamation:
October 15, 2025 as *White Cane Awareness Day* in the City of
Haverhill

18.COUNCIL COMMITTEE REPORTS AND ANNOUNCEMENTS:

19.DOCUMENTS REFERRED TO COMMITTEE STUDY:

20.LONG TERM MATTERS STUDY LIST:

21. ADJOURN:

CITY COUNCIL

Thomas J. Sullivan, *President*
Timothy J. Jordan, *Vice President*
John A. Michitson
Colin F. LePage
Melissa J. Lewandowski
Catherine P. Rogers
Shaun P. Toohey
Michael S. McGonagle
Katrina Hobbs Everett
Devan Ferreira
Ralph T. Basiliere



6.1

CITY HALL, ROOM 204
4 SUMMER STREET
TELEPHONE: 978-374-2328
FACSIMILE: 978-374-2329
WWW.CITYOFHAVERHILL.COM
CITYCOUNCIL@HAVERHILLMA.GOV

CITY OF HAVERHILL

HAVERHILL, MASSACHUSETTS 01830-5843

October 1, 2025

OCT 2 AM 11:54
HAVCITYCLERK

To: President and Members of the City Council

Councilor McGonagle wishes to introduce Patrick Menzie who would like to invite the public to the November 2, 2025 pre-election Veteran's Fundraiser Breakfast, from 9AM to 11AM at the Amvets on Primrose Street.


Councilor Michael S. McGonagle

(Meeting: 10.7.25)



8.11

Haverhill

City Clerk's Office, Room 118

Phone: 978-374-2312 Fax: 978-373-8490

cityclerk@haverhillma.gov

October 1, 2025

To: President Sullivan and Members of the Haverhill City Council,

I wanted to share with you and the voters of Haverhill the pertinent election-related deadlines for our upcoming Municipal General Election.

We will hold early voting in the Early Voting Room (basement level of City Hall) on the following dates and times:

- Saturday, October 25, from 10 AM to 2 PM
- Monday, October 27, from 8 AM to 4 PM
- Tuesday, October 28, from 8 AM to 7 PM
- Wednesday, October 29, from 8 AM to 4 PM
- Thursday, October 30, from 8 AM to 4 PM
- Friday, October 31, from 8 AM to 4 PM

OCT 1 PM 4:24
HAVERHILL CITY CLERK

Voters who are unable to participate during these hours are encouraged to vote on Election Day, Tuesday, November 4th, from 7:00 AM to 8:00 PM, or to request a vote-by-mail ballot. Please note that vote-by-mail applications must be submitted no later than 5:00 PM on Tuesday, October 28. Vote-by-mail ballots will begin to be mailed to voters who have requested one this week.

The last day to register to vote or update your current registration for this election is Friday, October 24, at 5:00 PM.

Respectfully,

Kaitlin M. Wright, CMC

City Clerk



Haverhill

City Clerk's Office, Room 118
Phone: 978-374-2312 Fax: 978-373-8490
cityclerk@haverhillma.gov

WARRANT FOR 2025 MUNICIPAL GENERAL ELECTION

To the Constable of the City of Haverhill:

That in accordance with the provisions of Section 63, Chapter 54 of the General Laws, notice is hereby given that Meetings of citizens of the City qualified to vote for City Officers will be held in the several polling places (see attached list) designated for that purpose by the Mayor on TUESDAY, the FOURTH day of NOVEMBER 2025, and all such citizens will, on said date, in the several precincts in which they are entitled to vote, give in their votes on one ballot for not more than one candidate for the office of MAYOR for the term of two years, for not more than four candidates for the office of CITY COUNCILOR AT-LARGE for the term of two years, for not more than one candidate in each ward for the office of WARD CITY COUNCILOR FOR WARDS ONE THROUGH SEVEN for the term of two years, for not more than three candidates for the office of SCHOOL COMMITTEE AT-LARGE for the term of two years, and for not more than one candidate in each ward for the office of WARD SCHOOL COMMITTEE FOR WARDS ONE THROUGH SEVEN for the term of two years.

The polls at said meeting shall be opened at seven o'clock in the forenoon and be kept open until eight o'clock in the evening, and be it further

ORDERED: That notice of the above meetings shall be posted on the Municipal bulletin board and in the City Clerk's Office.

Polling Locations

OCT 2 AM 10:21
HAVERHILL CITY CLERK

Ward and Precinct	Location	Address
W1-P1	Somebody Cares	358 Washington St
W1-P2/2A	Citizen Center	10 Welcome St
W1-P3/3A	Haverhill High School – Gym	137 Monument St
W2-P1	Hunking School	480 South Main St
W2-P2	Bradford Elementary School	116 Montvale St
W2-P3	Moody School	59 Margin St
W3-P1	Citizen Center	10 Welcome St
W3-P2	Haverhill Public Library – Johnson Auditorium	99 Main St
W3-P3	Unitarian Universalist Church	16 Ashland St
W4-P1	Nettle Middle School	150 Boardman St
W4-P2	Northern Essex Community College - Tech Center	100 Elliott St



Haverhill

City Clerk's Office, Room 118
Phone: 978-374-2312 Fax: 978-373-8490
cityclerk@haverhillma.gov

W4-P3	Kennedy Circle Community Room	1 Kennedy Cir
W5-P1/1A	Julian Steele Community Room	772 Washington St
W5-P2	First Presbyterian Church	346 Broadway
W5-P3/3A	West Congregational Church	767 Washington St
W6-P1	Haverhill High School -Gym	137 Monument St
W6-P2	JG Whittier School	256 Concord St
W6-P2A	JG Whittier School	256 Concord St
W6-P3	Pentucket Lake School	252 Concord St
W7-P1	Presidential Gardens Community Room	140 Evergreen Dr
W7-P2	Hunking School	480 South Main St
W7-P2A	Julian Steele Community Room	772 Washington St
W7-P3/3A	Bradford Elementary School	116 Montvale St

Hereof fail not and make return of this warrant with your doings thereon at the time and place of said voting. Given under our hands this 7th day of October, 2025.

Thomas J. Sullivan, Council President

Kaitlin M. Wright, City Clerk

Kevin Dorr, Constable

_____, 2025

Warrant must be posted by **October 28, 2025** (at least *seven days prior* to the November 4th, 2025 municipal general election).



4.2

Haverhill

Engineering Department, Room 300
978-374-2335

John H. Pettis III, P.E.
Deputy DPW Director/City Engineer
JPettis@HaverhillMA.gov

September 29, 2025

**MEMO TO: CITY COUNCIL PRESIDENT THOMAS J. SULLIVAN AND
MEMBERS OF THE CITY COUNCIL**

Subject: *Road Opening, 37 Brockton Ave , EROM-25-15*

As the subject street was paved within the last 5 years, Council approval is required to open the roadway to repair a grade 2 gas leak. I am supportive of this request, and The Engineering Office will require proper trench compaction and either infrared treatment or proper repaving over the limits of new trenching.

Please contact me if you have any questions.

Sincerely,

John H. Pettis III, P.E.
City Engineer

C: Mayor Barrett, Ward, Mead

SEP 30 AM 10:46
HAVCITYCLERK

8.21



DOCUMENT

CITY OF HAVERHILL

In Municipal Council

ORDERED:

That the City Council approve the requests to excavate at the following location for the repair of a grade 2 gas leak:
Brockton Ave #37

The roadway has been paved in the last 5 years and in accordance with Chapter 222, Section 11, Restrictions on future paving of the Municipal Ordinances, Council approval is necessary.



83

Haverhill

Engineering Department, Room 300
978-374-2335

John H. Pettis III, P.E.
Deputy DPW Director/City Engineer
JPettis@HaverhillMA.gov

September 29, 2025

**MEMO TO: CITY COUNCIL PRESIDENT THOMAS J. SULLIVAN AND
MEMBERS OF THE CITY COUNCIL**

Subject: *Road Opening, 23 Crosby St, EROM-25-16*

As the subject street was paved within the last 5 years, Council approval is required to open the roadway to install new gas service. I am supportive of this request, and The Engineering Office will require proper trench compaction and either infrared treatment or proper repaving over the limits of new trenching.

Please contact me if you have any questions.

Sincerely,

John H. Pettis III, P.E.
City Engineer

C: Mayor Barrett, Ward, Mead

SEP 30 AM 10:46
HAVCITYCLERK

8.3.1



DOCUMENT

CITY OF HAVERHILL

In Municipal Council

ORDERED:

That the City Council approve the requests to excavate at the following location for the install of a new gas service:
Crosby Street #23

The roadway has been paved in the last 5 years and in accordance with Chapter 222, Section 11, Restrictions on future paving of the Municipal Ordinances, Council approval is necessary.



84

Haverhill

Engineering Department, Room 300
978-374-2335

John H. Pettis III, P.E.
Deputy DPW Director/City Engineer
JPettis@HaverhillMA.gov

September 29, 2025

**MEMO TO: CITY COUNCIL PRESIDENT THOMAS J. SULLIVAN AND
MEMBERS OF THE CITY COUNCIL**

Subject: Road Opening, 16 Outlook Drive, EROM-25-17

As the subject street was paved within the last 5 years, Council approval is required to open the roadway to cut off gas at the main. I am supportive of this request, and The Engineering Office will require proper trench compaction and either infrared treatment or proper repaving over the limits of new trenching.

Please contact me if you have any questions.

Sincerely,

John H. Pettis III, P.E.
City Engineer

C: Mayor Barrett, Ward, Mead

SEP 30 AM 10:46
HAVERHILL CITY CLERK



DOCUMENT

CITY OF HAVERHILL

In Municipal Council

8.4.1

ORDERED:

That the City Council approve the requests to excavate at the following location to cut gas off at the main:
Outlook Drive #16

The roadway has been paved in the last 5 years and in accordance with Chapter 222, Section 11, Restrictions on future paving of the Municipal Ordinances, Council approval is necessary.

City Council Special Permit**CCSP-25-7**

Submitted On: Jun 4, 2025

Applicant

👤 Paul Magliocchetti
☎ 978-373-9161
@ pmagliocchetti@ssjmattorneys.com

Primary Location

233 WINTER ST
Haverhill, MA 01830

Important: Please Read Before Starting Your Application**Applicant Information****What is Your Role in This Process?**

Attorney/Agent

Applicant Business/Firm Name

Paul A. Magliocchetti

Applicant Business/Firm Phone

978-373-9161

Applicant Business/Firm Address

70 Bailey Boulevard

Applicant Business/Firm City

Haverhill

Applicant Business/Firm State

MA

Applicant Business/Firm Zip

01830

Client Name

233 Winter Street LLC

Client Business Name

233 Winter Street LLC

Client Phone

978-373-9161

Client Email

pmagliocchetti@ssjmattorneys.com

Client Address

10 Temple Street

Client City

Methuen

Client State

MA

Client Zip

01830

Client County

Essex

Client Business Structure

Limited Liability Corporation (LLC)

New Field

--

OCT 3 AM 9:37
HAVCITYCLERK

Property Information**Proposed Housing Plan Name**

233 Winter Street

Proposed Street Name(s)

Winter

How Long Owned by Current Owner?

3 years

Type of Dwelling(s) Planned in Project

Apartments

Lot Dimension(s)

85 +/- x 140 +/-

Registry Plat Number, Block & Lot

Map 306, Block 75, Lots 3

Zoning District Where Property Located

CC - Commercial Central

Deed Recorded in Essex South Registry: Block Number

34928

Deed Recorded in Essex South Registry: Page

336

Does the Property Have Multiple Lots?

Yes

IF YES, How Many Lots?

2

IF YES, What Is/Are the Map, Block Lot (MBL) Number(s)?

304-61-8,9,10

IF YES, Provide Additional Addresses if Different Than "Location" (or Enter NONE)

236 Winter Street

Thoroughly Describe the Reason(s) for thre Special Permit

See attached Brief in Support

Property Description

See attached plan

Current Property Use

Other

IF OTHER USE, Please Describe

Commercial

TOTAL Number of Units Planned

10

TOTAL Number of Parking Spaces Planned

47

Planned Lot Use

Lot Number

Lot 1

Lot Plat Number, Bock, Lot

306-75-3

Lot Dimensions

85 +/- x 140 +/-

Number of Existing Buildings on Lot

1

Size of Existing Building(s) on Lot

79.5 x 62.86 +/- GFA 5,325

Number of Buildings Planned for Lot

1

Size of Proposed Building(s)

79.5 x 62.86 +/- GFA 5,325

Number of Families to be Accommodated

10

Extent of Proposed Alterations

Other

IF OTHER ALTERATIONS, Please Describe

Mixed Use

Types of Units Planned on Lot

Rental

Number of Units Planned on Lot

11

Lot Number

Lot 2

Lot Plat Number, Bock, Lot

304-61-8,9,10

Lot Dimensions

100.38 +/- x 159 +/-

Number of Existing Buildings on Lot

2

Size of Existing Building(s) on Lot

0

Number of Buildings Planned for Lot

0

Size of Proposed Building(s)

0

Number of Families to be Accommodated

0

Extent of Proposed Alterations

Renovation

IF OTHER ALTERATIONS, Please Describe

None

Types of Units Planned on Lot

Rental

Number of Units Planned on Lot

30

Special Circumstances

Building Coverage

--

Dimensional Variance

--

Front Yard Setback

--

Side Yard Setback

--

Rear Yard Setback

--

Lot Depth

--

Building Height

--

Open Space

--

Sign Size

--

Other

--

Lot Frontage

--

Lot Area

--

Floor Area Ratio

--

Parking

--

Use

--

Hearing Waiver

Agrees

No

Agreement & Signature

Agrees

true

PLEASE READ



Conservation Department Review

Record No. CCSP-25-7

Status Completed

Became Active July 9, 2025

Assignee Robert Moore

Due Date None

Primary Location

233 WINTER ST
Haverhill, MA 01830

Owner

233 WINTER STREET, LLC
TEMPLE DRIVE 10 METHUEN, MA 01844

Applicant

 Paul Magliocchetti
 978-373-9161
 pmagliocchetti@ssjmattoorneys.com
 70 Bailey Boulevard
Haverhill, MA 01830

Step Activity

OpenGov system activated this step	07/09/2025 at 9:33 am
OpenGov system assigned this step to Robert Moore	07/09/2025 at 9:33 am
Robert Moore approved this step	07/09/2025 at 10:26 am

DPW Review

Record No. CCSP-25-7

Status Active

Became Active July 9, 2025

Assignee Robert Ward

Due Date None

Primary Location

233 WINTER ST
Haverhill, MA 01830

Owner

233 WINTER STREET, LLC
TEMPLE DRIVE 10 METHUEN, MA 01844

Applicant

 Paul Magliocchetti
 978-373-9161
 pmagliocchetti@ssjmatorneys.com
 70 Bailey Boulevard
Haverhill, MA 01830

Messages

No comments yet.

Step Activity

OpenGov system activated this step 07/09/2025 at 9:33 am

OpenGov system assigned this step to Robert Ward 07/09/2025 at 9:33 am

Engineering Department Review

Record No. CCSP-25-7

Status Active

Became Active July 9, 2025

Assignee John Pettis

Due Date None

Primary Location

233 WINTER ST
Haverhill, MA 01830

Owner

233 WINTER STREET, LLC
TEMPLE DRIVE 10 METHUEN, MA 01844

Applicant

 Paul Magliocchetti
 978-373-9161
 pmagliocchetti@ssjmatorneys.com
 70 Bailey Boulevard
Haverhill, MA 01830

Step Activity

OpenGov system activated this step 07/09/2025 at 9:33 am

OpenGov system assigned this step to John Pettis 07/09/2025 at 9:33 am

Fire1 Department Review

Record No. CCSP-25-7

Status Skipped

Became Active July 9, 2025

Assignee Eric Tarpy

Due Date None

Primary Location

233 WINTER ST
Haverhill, MA 01830

Owner

233 WINTER STREET, LLC
TEMPLE DRIVE 10 METHUEN, MA 01844

Applicant

 Paul Magliocchetti
 978-373-9161
 pmagliocchetti@ssjmattoorneys.com
 70 Bailey Boulevard
Haverhill, MA 01830

Step Activity

OpenGov system activated this step	07/09/2025 at 9:33 am
OpenGov system assigned this step to Eric Tarpy	07/09/2025 at 9:33 am
Robert Irvine waived this step	07/10/2025 at 2:18 pm

Fire2 Department Review

Record No. CCSP-25-7

Status Completed

Became Active July 9, 2025

Assignee Robert Irvine

Due Date None

Primary Location

233 WINTER ST
Haverhill, MA 01830

Owner

233 WINTER STREET, LLC
TEMPLE DRIVE 10 METHUEN, MA 01844

Applicant

 Paul Magliocchetti
 978-373-9161
 pmagliocchetti@ssjmtorneys.com
 70 Bailey Boulevard
Haverhill, MA 01830

Step Activity

OpenGov system activated this step	07/09/2025 at 9:33 am
OpenGov system assigned this step to Robert Irvine	07/09/2025 at 9:33 am
Robert Irvine approved this step	07/10/2025 at 2:18 pm

Health Department Review

Record No. CCSP-25-7

Status Completed

Became Active July 9, 2025

Assignee Bonnie Dufresne

Due Date None

Primary Location

233 WINTER ST
Haverhill, MA 01830

Owner

233 WINTER STREET, LLC
TEMPLE DRIVE 10 METHUEN, MA 01844

Applicant

 Paul Magliocchetti
 978-373-9161
 pmagliocchetti@ssjmattoorneys.com
 70 Bailey Boulevard
Haverhill, MA 01830

Step Activity

OpenGov system activated this step	07/09/2025 at 9:33 am
OpenGov system assigned this step to Bonnie Dufresne	07/09/2025 at 9:33 am
Bonnie Dufresne approved this step	07/09/2025 at 9:56 am

Police Department Review

Record No. CCSP-25-7

Status Active

Became Active July 9, 2025

Assignee Kevin Lynch

Due Date None

Primary Location

233 WINTER ST
Haverhill, MA 01830

Owner

233 WINTER STREET, LLC
TEMPLE DRIVE 10 METHUEN, MA 01844

Applicant

 Paul Magliocchetti
 978-373-9161
 pmagliocchetti@ssjmattoorneys.com
 70 Bailey Boulevard
Haverhill, MA 01830

Messages

Kevin Lynch

July 17, 2025 at 11:16 am

Plans submitted for crosswalk do not show a Rapid Flashing Beacons (RRFBs) as advised in the meeting. Additionally, the crosswalk shown cannot lead to a driveway it must lead to a sidewalk.

Step Activity

OpenGov system activated this step

07/09/2025 at 9:33 am

OpenGov system assigned this step to Kevin Lynch

07/09/2025 at 9:33 am

School Department Review

Record No. CCSP-25-7

Status Completed

Became Active July 9, 2025

Assignee Margaret Marotta

Due Date None

Primary Location

233 WINTER ST
Haverhill, MA 01830

Owner

233 WINTER STREET, LLC
TEMPLE DRIVE 10 METHUEN, MA 01844

Applicant

 Paul Magliocchetti
 978-373-9161
 pmagliocchetti@ssjmattoorneys.com
 70 Bailey Boulevard
Haverhill, MA 01830

Step Activity

OpenGov system activated this step	07/09/2025 at 9:33 am
OpenGov system assigned this step to Margaret Marotta	07/09/2025 at 9:33 am
Margaret Marotta approved this step	07/09/2025 at 10:17 am

Storm Water Review

Record No. CCSP-25-7

Status Active

Became Active July 9, 2025

Assignee John Pettis

Due Date None

Primary Location

233 WINTER ST
Haverhill, MA 01830

Owner

233 WINTER STREET, LLC
TEMPLE DRIVE 10 METHUEN, MA 01844

Applicant

 Paul Magliocchetti
 978-373-9161
 pmagliocchetti@ssjmattoorneys.com
 70 Bailey Boulevard
Haverhill, MA 01830

Messages

Robert Moore

July 9, 2025 at 10:27 am

c. 219 n/a

Step Activity

OpenGov system activated this step

07/09/2025 at 9:33 am

OpenGov system assigned this step to Robert Moore

07/09/2025 at 9:33 am

Robert Moore reassigned this step from Robert Moore to John Pettis

07/09/2025 at 10:27 am

Water/Wastewater Review

Record No. CCSP-25-7

Status Active

Became Active July 9, 2025

Assignee Robert Ward

Due Date None

Primary Location

233 WINTER ST
Haverhill, MA 01830

Owner

233 WINTER STREET, LLC
TEMPLE DRIVE 10 METHUEN, MA 01844

Applicant

 Paul Magliocchetti
 978-373-9161
 pmagliocchetti@ssjmattoorneys.com
 70 Bailey Boulevard
Haverhill, MA 01830

Messages

No comments yet.

Step Activity

OpenGov system activated this step 07/09/2025 at 9:33 am

OpenGov system assigned this step to Robert Ward 07/09/2025 at 9:33 am

Water Supply Review

Record No. CCSP-25-7

Status Completed

Became Active July 9, 2025

Assignee Robert Ward

Due Date None

Primary Location

233 WINTER ST
Haverhill, MA 01830

Owner

233 WINTER STREET, LLC
TEMPLE DRIVE 10 METHUEN, MA 01844

Applicant

 Paul Magliocchetti
 978-373-9161
 pmagliocchetti@ssjmattorneys.com
 70 Bailey Boulevard
Haverhill, MA 01830

Messages

Robert Ward

September 30, 2025 at 10:26 am

The project is not located within the water supply protection district.

Step Activity

OpenGov system activated this step

07/09/2025 at 9:33 am

OpenGov system assigned this step to Robert Ward

07/09/2025 at 9:33 am

Robert Ward approved this step

09/30/2025 at 10:26 am

Building Inspector Review

Record No. CCSP-25-7

Status Completed

Became Active July 9, 2025

Assignee Tom Bridgewater

Due Date None

Primary Location

233 WINTER ST
Haverhill, MA 01830

Owner

233 WINTER STREET, LLC
TEMPLE DRIVE 10 METHUEN, MA 01844

Applicant

 Paul Magliocchetti
 978-373-9161
 pmagliocchetti@ssjmattoorneys.com
 70 Bailey Boulevard
Haverhill, MA 01830

Messages

Tom Bridgewater

July 18, 2025 at 9:50 am

A building permit was issued for the first-floor Commercial use and then was revised for second and third floor "Shell Only" however, the contractor chose to go beyond the permit, without authorization, and began roughing in for apartments. Inspectional Services has issued a stop work order until the decision by Council.

Step Activity

OpenGov system activated this step

07/09/2025 at 9:33 am

OpenGov system assigned this step to Tom Bridgewater

07/09/2025 at 9:33 am

Tom Bridgewater approved this step

08/03/2025 at 7:23 pm

MEMORANDUM

93 Stiles Road, Suite 201, Salem, New Hampshire 03079 USA
800 Turnpike Street, Suite 300, North Andover, Massachusetts 01845 USA
Phone (603) 212-9133 and Fax (603) 226-4108
Email tepp@teppllc.com and Web www.teppllc.com

Ref: 1769
Subject: Potential Pedestrian Crossing
233 Winter Street
Haverhill, Massachusetts
From: Kim Eric Hazarvartian, Ph.D., P.E., PTOE
Principal
Date: October 1, 2025

**INTRODUCTION**

TEPP LLC has prepared this memorandum regarding a potential pedestrian crossing near 233 Winter Street in the City of Haverhill, Massachusetts. The potential crossing would align with the eastern door of the building that is under construction.

TEPP LLC does not recommend a pedestrian refuge island at this location because:

- a pedestrian refuge island is not necessary
- the available curb-to-curb street width is not adequate for the recommended island width
- reducing the island width is not appropriate
- nearby pedestrian crossings along Winter Street do not include a refuge island
- an island might negatively affect turning movements for nearby driveways

FIELD ASSESSMENTS

TEPP LLC conducted three field assessments on:

- Friday, September 26, 2025, during daylight
- Sunday, September 28, 2025, during darkness with street illumination
- Tuesday, September 30, 2025, during daylight

TEPP LLC observed adequate sight distances for the potential crossing.

Winter Street includes:

- two motor-vehicle travel lanes, each about 11-feet (ft) wide
- two lanes, intended for bicycles, each about 5-ft wide

- two variable-width parking lanes
- a minor eastbound upgrade
- a legal speed limit of 30 miles per hour
- illumination
- an urban environment with the expectation of pedestrian traffic

The curb-to-curb width of Winter Street is about:

- 54 ft at the potential crossing location
- 51 ft near the western limit of the building that is under construction

WIDTH ANALYSIS

This analysis is predicated on pavement markings along Winter Street modified to provide:

- two motor-vehicle travel lanes, each about 11-ft wide
- two lanes, intended for bicycles, each about 5-ft-wide
- two parking lanes, each about 9-ft-wide

This leaves about 4-ft of width, which is less than the recommended width for pedestrian refuge island near the center of the street. The Massachusetts Department of Transportation (MassDOT) states “The pedestrian refuge island should be at least 6 feet wide from the face of the curb to the face of the curb; however, narrower widths may be acceptable in constrained locations.”¹

COMPARISON WITH AN EXISTING PEDESTRIAN CROSSING

A pedestrian refuge island exists near 790 River Street in the City of Haverhill. TEPP LLC conducted a field assessment on Tuesday, September 30, 2025, during daylight. The raised island is about 6-ft wide and has marked separations, each about 1-ft wide, from the motor-vehicle travel lanes.

CONCLUSION

TEPP LLC does not recommend a pedestrian refuge island at this location because:

- a pedestrian refuge island is not necessary
- the available curb-to-curb street width is not adequate for the recommended island width

¹ MassDOT, *Project Development and Design Guide* (Boston, Massachusetts, October 4, 2023), Chapter 16-6.

- reducing the island width is not appropriate
- nearby pedestrian crossings along Winter Street do not include a refuge island
- an island might negatively affect turning movements for nearby driveways

MEMO TO: City Council President Thomas Sullivan and members of the Haverhil City Council

FROM: William Pillsbury, Economic Development and Planning Director

DATE: September 30, 2025

RE: CCSP 25-7 Special Permit for 233 Winter Street

The applicant has applied for a mixed-use special permit consisting of a ground floor commercial space and 10 residential units above. The project is allowed by zoning in this zone pursuant to the mixed-use ordinance passed by the Council recently.

Additionally, the project is required to file detailed documentation pursuant to the recently approved rules for special permits detailed in Document 92-B. This documentation has been filed in the open gov portal and is contained in your package of information.

The project has been reviewed by the city departments in the form of a preliminary project review also contained in your packages and no major issues were identified.

Since the city council must affirmatively make several findings in order to approve the special permit based on the rules for a special permit, I have reviewed the submissions by the applicant and I find them to be sufficiently complete in order to make such findings.

My review of the project and the required submissions indicates that the filings provide sufficient justification to make the required findings and approve the special permit.

I believe the city solicitors office will craft a "findings and decision" document for the council to approve documenting the reasons for decision by each councilor.

Based on my review of the project I recommend approval of the special permit with any conditions that the council may deem necessary.



Haverhill

City Clerk's Office, Room 118
Phone: 978-374-2312 Fax: 978-373-8490
cityclerk@haverhillma.gov

July 31, 2025

PUBLIC HEARING

City Council Chambers, City Hall, Room 202, 4 Summer st

Notice is hereby given that a hearing will be held for all parties interested, in a hybrid meeting (in person/virtual), on Tuesday October 7, 2025 at 7:00 PM on a request from Attorney Paul A. Magliochetti for 233 Winter Street LLC, to construct a Mixed-Use development with a store and a 10-unit residential dwelling at 233 Winter St.

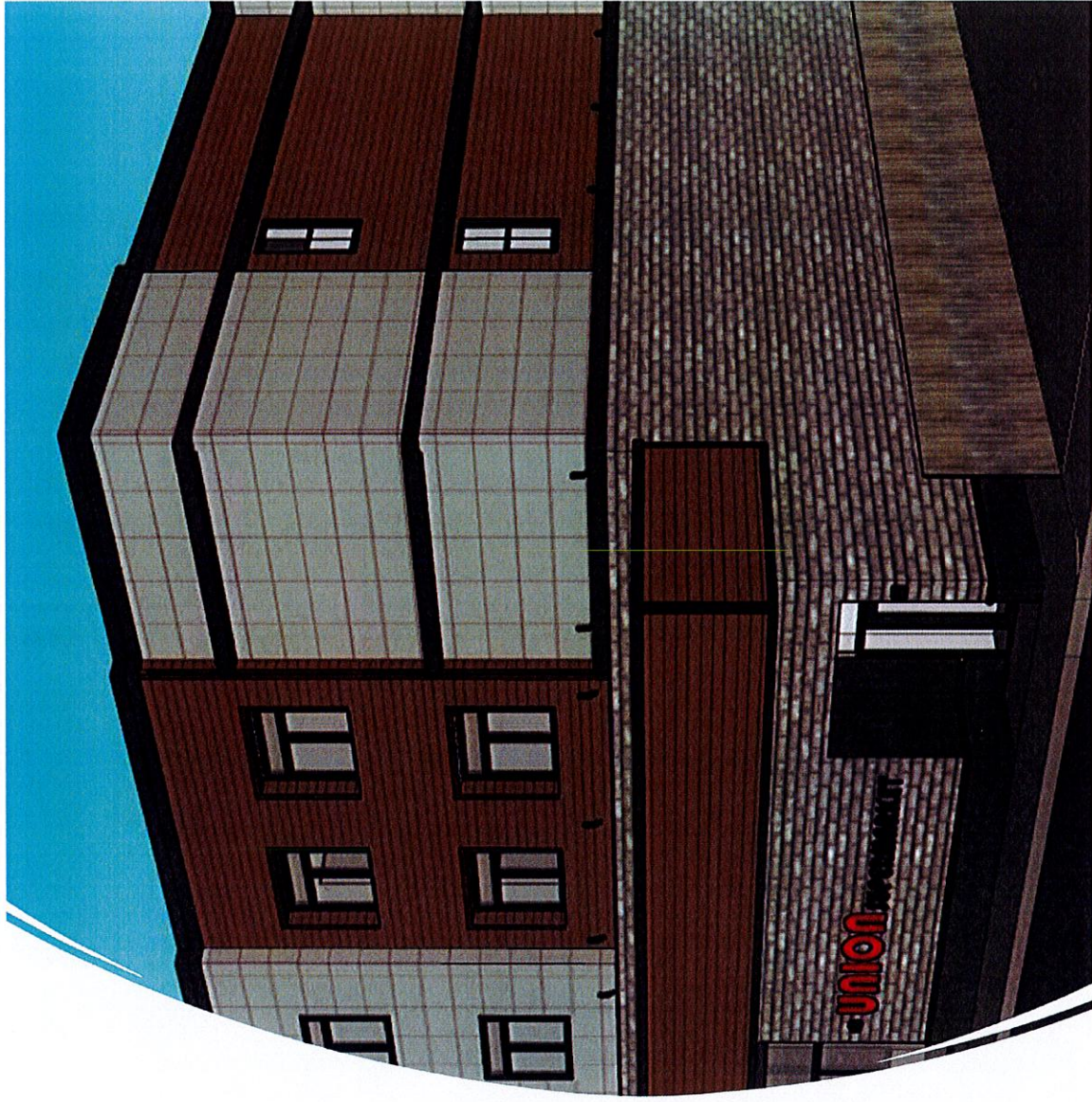
(Residents who are interested in commenting on this item can either (1) Attend in person (Council Chambers, Room 202) or (2) Attend remotely using the link provided on the public meeting calendar on the City's website.)

Description of area, maps and plans are on file in the City Clerk's Office.

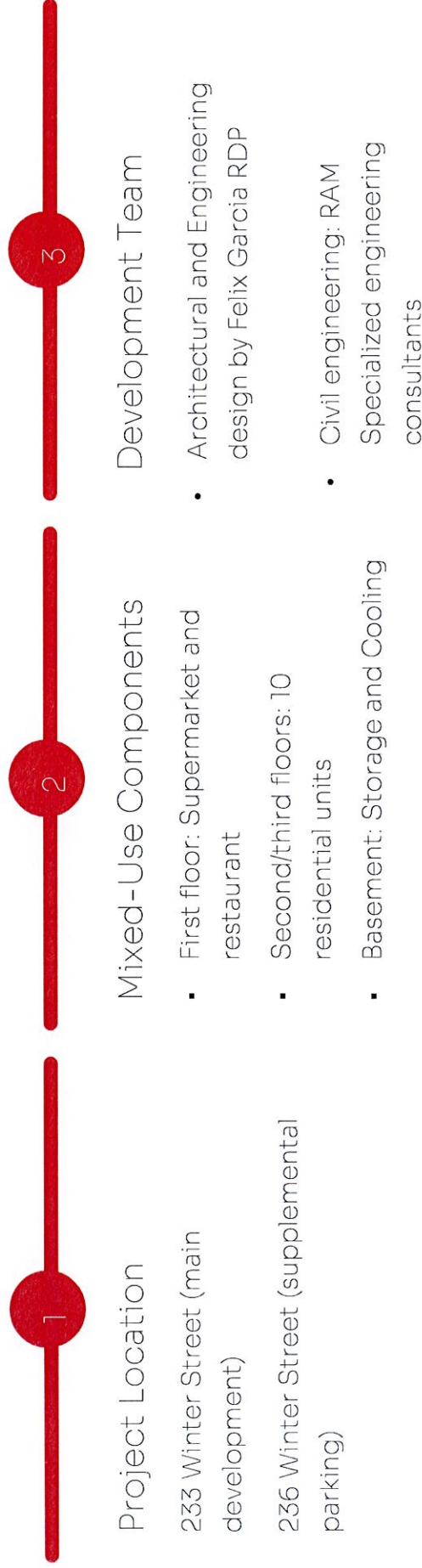
Advertise: September 18 & September 25, 2025
Haverhill Gazette

Kaitlin M. Wright, CMC
City Clerk

233 Winter Street Mixed-Use Development



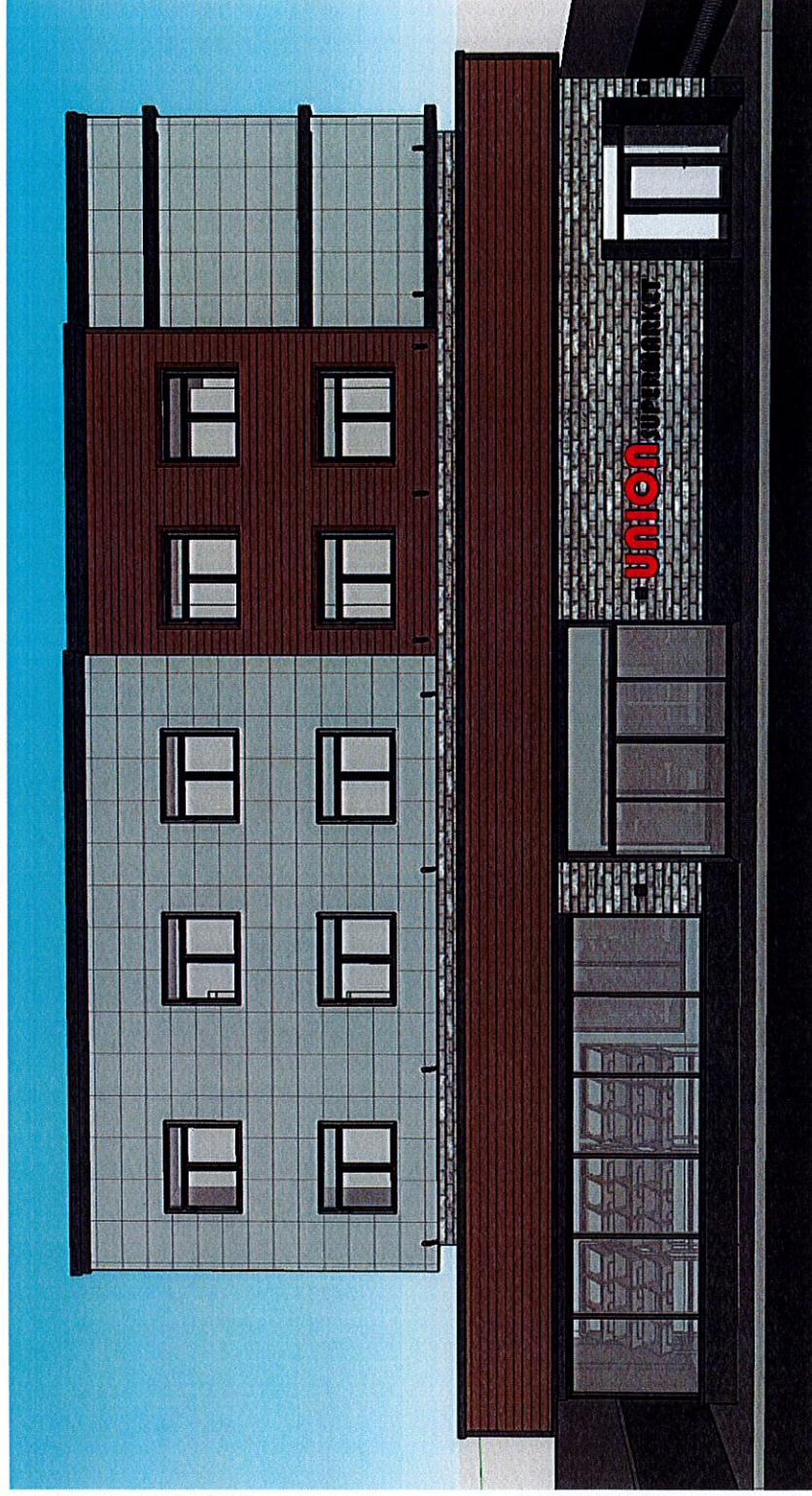
Project Overview



This comprehensive mixed-use development addresses multiple community needs while ensuring compliance with Haverhill's zoning requirements and development goals.

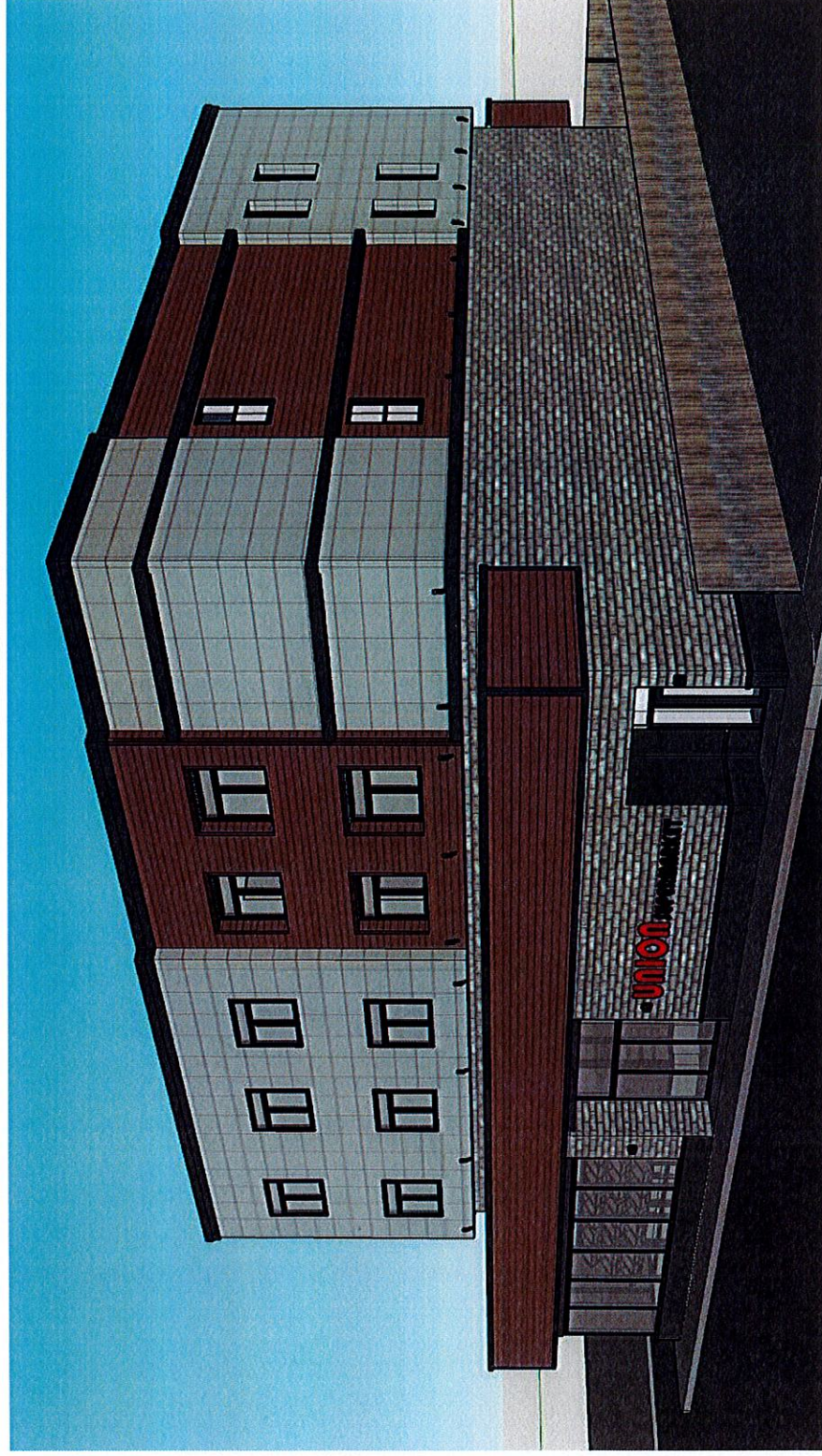
Elevations

Front



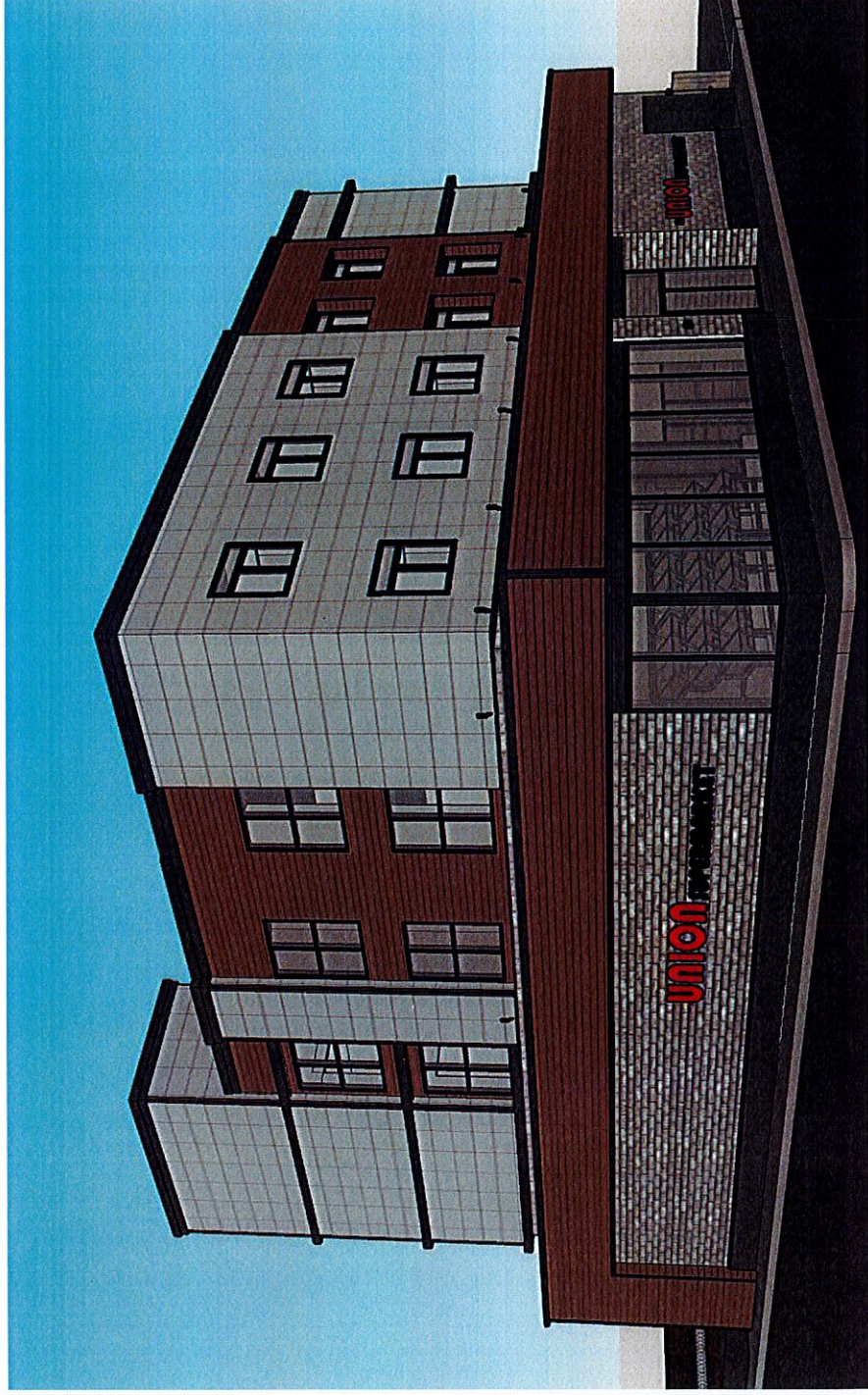
Elevations

Front Right



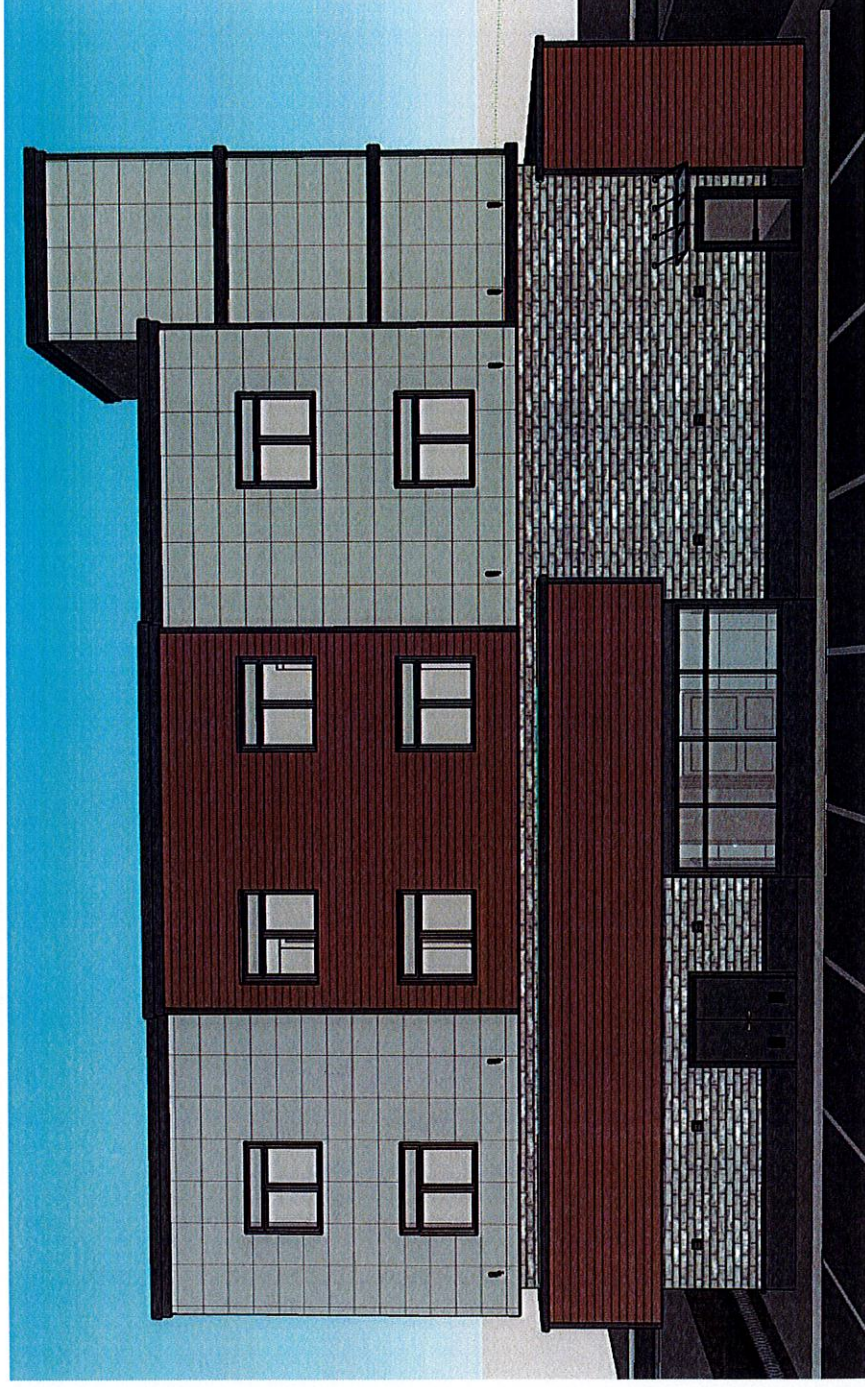
Elevations

Front Left



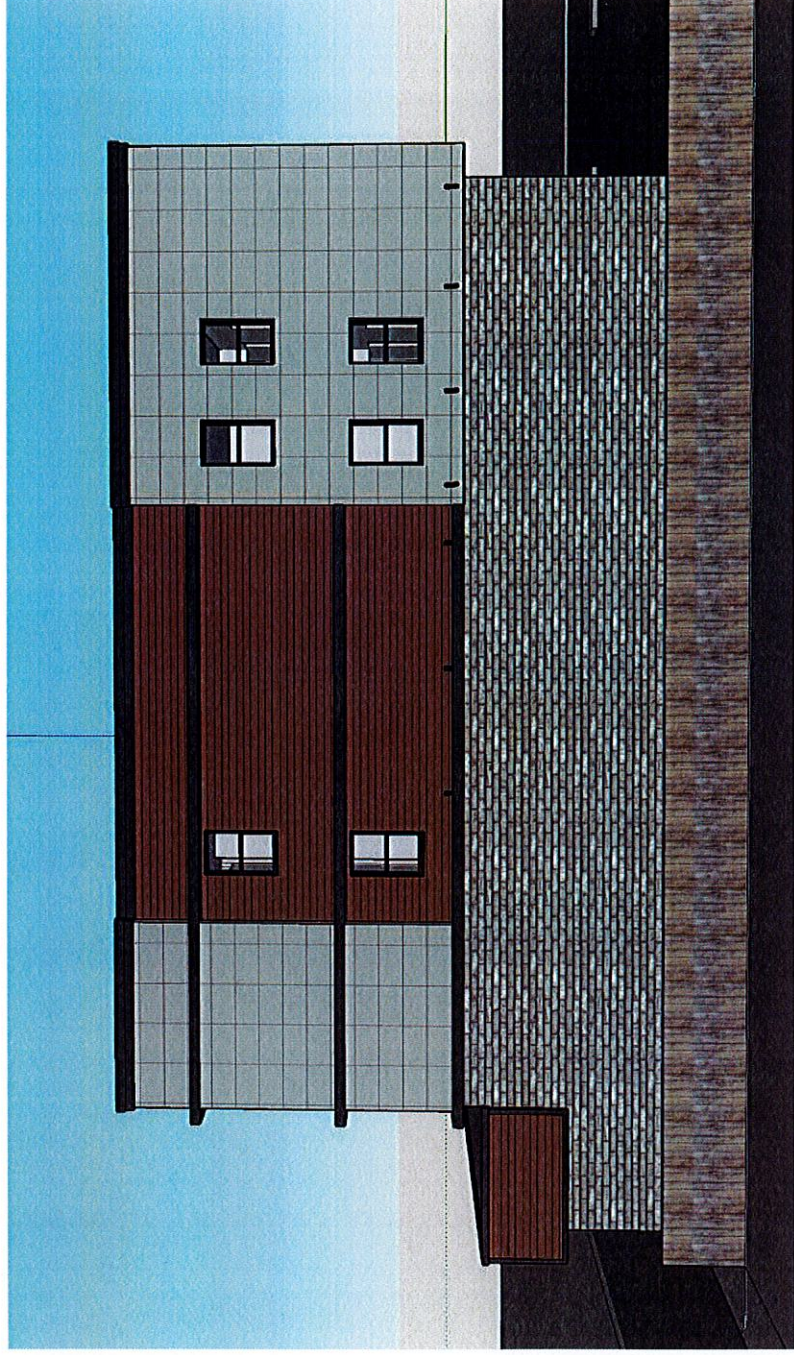
Elevations

Back



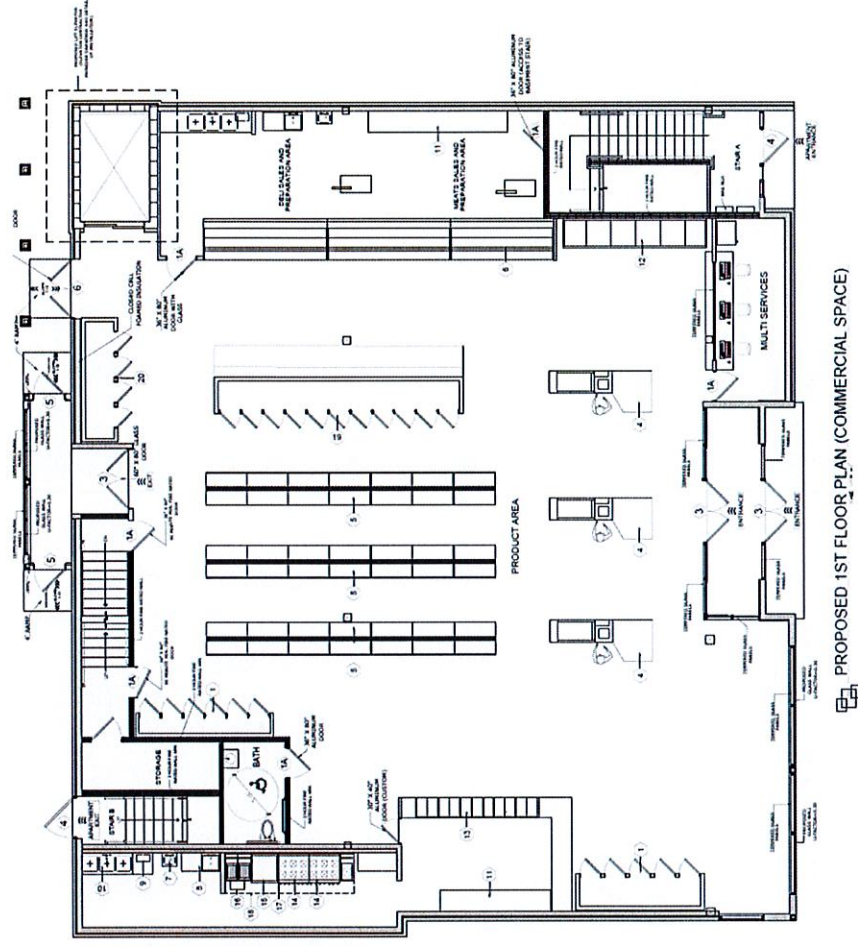
Elevations

Side



Floor Plans

First Floor Super Market



[illegible]

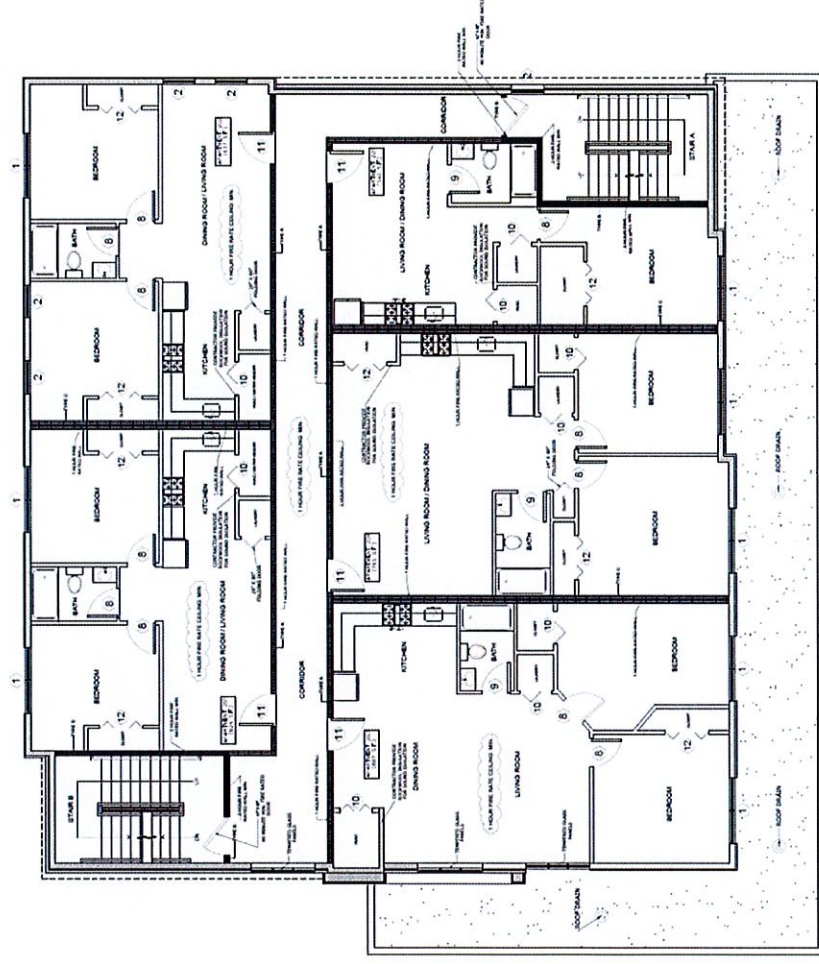
Figure 1



PROPOSED MEZZANINE FLOOR PLAN

Floor Plans

Second Floor 5 Residential Units

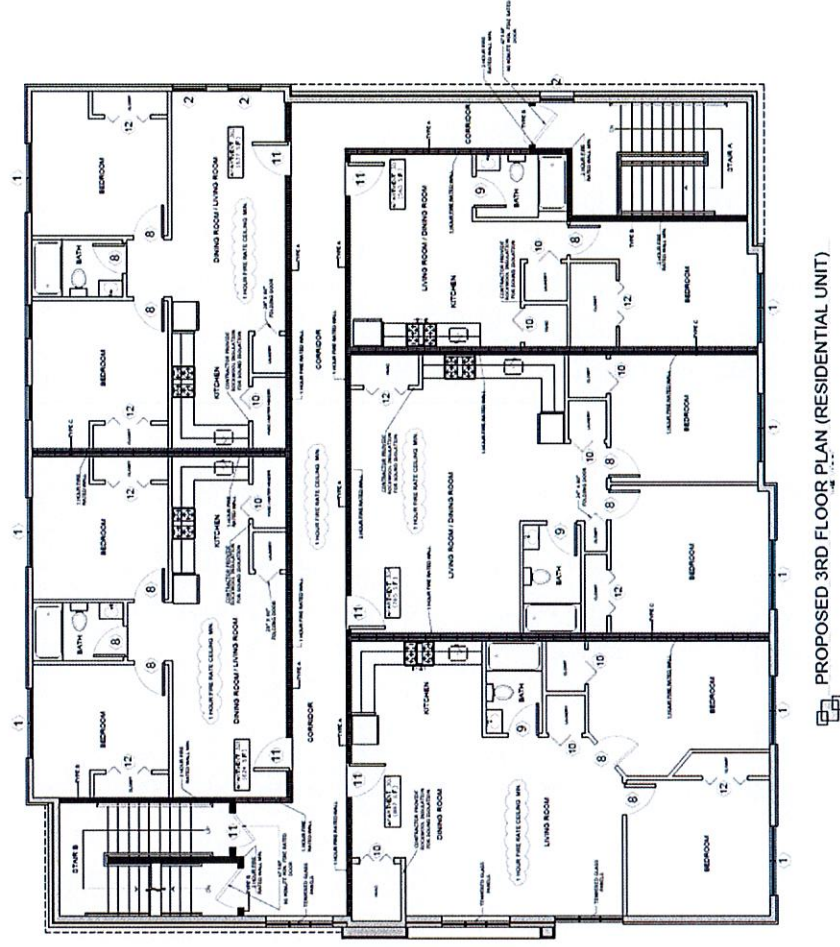


PROPOSED 2ND FLOOR PLAN (RESIDENTIAL UNIT)

Third Floor
5 Residential Units

Third Floor

5 Residential Units



Site Plan

Title: Proposed Site Plan - 233 & 236 Winter Street, Haverhill, MA

Key Details:

- **Owner/Applicant:** 233 Winter Street, LLC
 - **Location:** 233 & 236 Winter Street, Haverhill, MA
 - **Zoning:** CC, RU
 - **Lot Area:** 12,283 sq. ft.
 - **Frontage:** Required: 50 ft | Proposed: 85.85 ft, 142.18 ft
 - **Depth:** Required: 100 ft | Proposed: 140.30 ft
 - **Width:** Required: 37.5 ft | Proposed: 85.85 ft
 - **Building Coverage:** Proposed: 41.6%
 - **Open Space:** None
- Parking Details:**
- **Residential Units:** 15
 - **Parking Spaces:** Total: 47 (Residential: 21, Commercial: 10, Visitor: 15)
- General Notes:**
- Boundary information based on Plan Book 193.
 - Contractor responsibilities include verifying utilities, contacting DIGSAFE, and coordinating with utility companies.
 - Compliance with OSHA and local safety regulations required.
 - Construction standards per Massachusetts Highway and Bridge specifications.
 - Disturbed areas to be loamed and seeded; sidewalks replaced in kind.

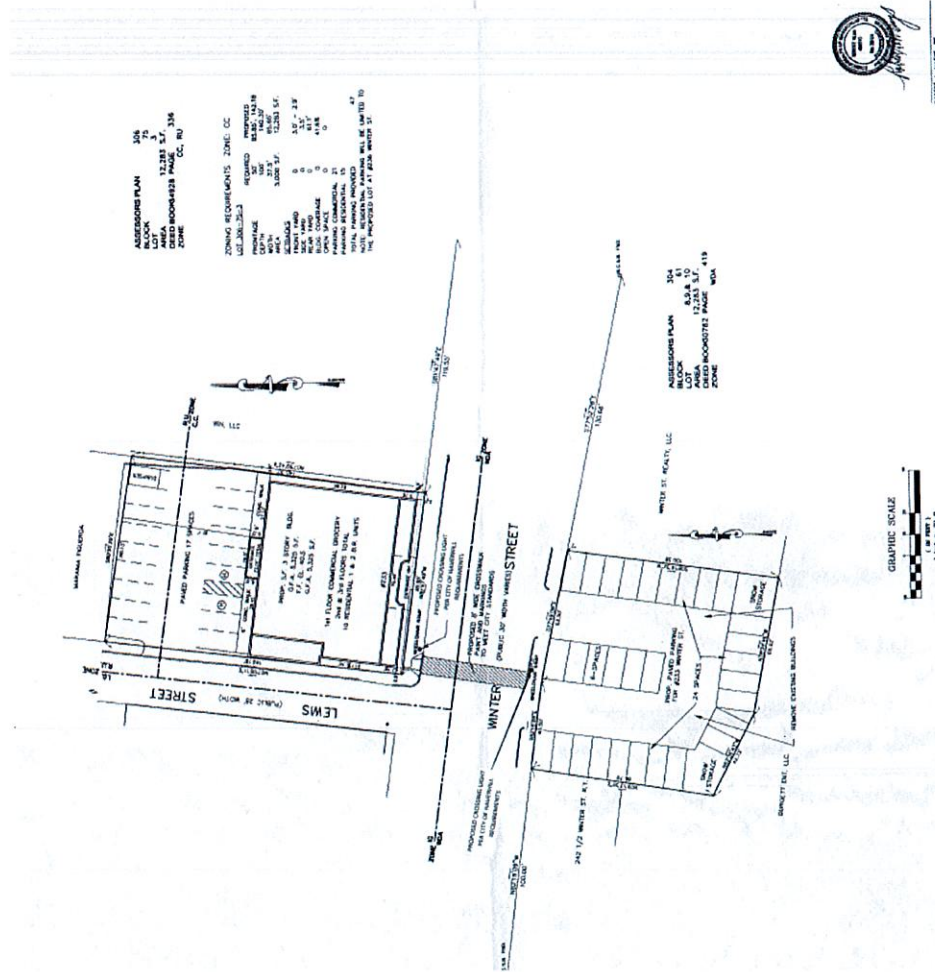
Engineering Contact:

- **RAM Engineering**
- **Address:** 160 Main Street, Haverhill, MA
- **Phone:** (978) 372-0449

Visuals:

- Include locus plan and graphic scale (1 inch = 20 ft).

This slide provides a clear summary of the site plan for presentation purposes.



Key Benefits

Enhanced Safety Infrastructure

The new pedestrian-friendly crosswalk with lighting improves visibility and safety for all Winter Street users, addressing a critical community need.

Strategic Parking Solutions

Dedicated residential parking at 236 Winter St. and additional overflow parking for the supermarket prevents street congestion and neighborhood disruption.

Critical Food Access

The full-service supermarket addresses the neighborhood's limited grocery options, providing essential fresh food access to residents of all income levels.

The 233 Winter Street Mixed-Use Development represents a thoughtful, comprehensive approach to community enhancement that delivers multiple benefits while addressing critical needs.

Special Permit Application-233 Winter Street, Haverhill, MA
City Council Rules and Regulations for Special Permits Information Required
Pursuant to City Ordinance 92B

General Criteria: General Special Permit Criteria

1. As required by the Special Permit criteria section of the Zoning Ordinance (Section 10.4.2), in order to grant a Special Permit, a Special Permit Granting Authority must make a written determination "that the proposed use or structure(s) shall not cause substantial detriment to the neighborhood or the City, taking into account the characteristics of the site and of the proposal in relation to that site." Under Section 10.4.2, "[i]n addition to any specific factors that may be set forth in th[e] [zoning] chapter, such determination shall include consideration of each of the following:
2. Community needs served by the proposal;
3. Traffic and pedestrian flow and safety, including parking and loading;
4. Adequacy of utilities and other public services;
5. Neighborhood character and social structures;
6. Impacts on the natural environment; and
7. Potential fiscal impact, including impact on City services, tax base, and employment.

Specific Findings Under Zoning Ordinance Section 10.4.2

1. Community needs served by the proposal: Haverhill has a large and growing Latino community and the commercial use on the site will be a Latino store and market. Additionally, countless articles and reports have emphasized the need for additional housing, including affordable opportunities for low to moderate income households. Haverhill is no exception to this demand and has recently adopted new ordinances intended to address the local housing shortage, including but not limited to the MBTA zone, and ADU's. The applicant has agreed to comply with the city's ordinance and designate one of the 10 residential units as an affordable unit.
2. Traffic and pedestrian flow and Safety, including parking and loading: Careful attention has been given to traffic flow and pedestrian safety in this development plan. As part of the additional housing in the development the Applicant has agreed to purchase the lot across the street for additional parking for the store and the residents. The entrance for the store parking at to the rear of the property has access off of Lewis Street, where

the entrance to the store is also located. Locating the parking lot to the rear will prevent the hazards of cars entering and exiting onto Winter Street traffic throughout the day. There is also an entrance in the front of the building to allow for additional pedestrian and emergency access to the building directly from Winter Street. The parking lots are large for the neighborhood and provide more than the required number of spaces for the development. These details are outlined in the provided site plans filed with this Application.

3. Adequacy of utilities and other public services: The existing building is already connected to domestic water, emergency systems, and city sanitary systems, so no major utility extensions are required for this project. The proposed site plan as well as the building plans have been reviewed by all departments and complies with Section 6.3.3(8) concerning utilities, security, and emergency systems, ensuring all new connections meet city standards without the need for special approvals. City departments have raised no concerns about utility availability at this time, and the parcel's location within the neighborhood provides ample utility access. This favorable positioning as a corner lot, and proximity to the additional parking allow for seamless integration of the mixed-use building into existing infrastructure, minimizing disruptions, and ensuring efficient service delivery. The project team will continue to collaborate closely with the city's development team to confirm that all utility connections align with the city's expectations and requirements.
4. Neighborhood character and social structures: The proposed mixed-use development is consonant with neighborhood character and social structures, and the addition of the 10 residential units represents a substantive change in the current use of the lot. The new building will only marginally decrease the percentage of open space on the site and will greatly improve the aesthetics of the site. Unsightly elements such as dumpsters and trash receptacles will be shielded to the rear corner of the site away from public view.
5. Impact on natural environment: There are no expected impacts to the natural environment as a consequence of this project. The new addition will only marginally decrease the percentage of open space on the site, and the building has been designed to blend in with its surroundings in size and mass.
6. Potential fiscal impact, including impact on City services, tax base, and employment: This project will have minimal or no impact on city services. It is believed that this project will increase the tax base and due to the residential units size, have minimal or no impact on schools. This development will create as many as 20 new jobs, desperately needed housing opportunities, and significantly increase the city's tax revenues over what the current tax revenues are.

Specific Findings Under Zoning Ordinance Section 6.3.3

Lighting: The proposed lighting for this project will comply with city standard 6.3.3(1): The existing lot lighting will remain largely unchanged, with the addition of lights directed at the crosswalk for pedestrians, at the request of Haverhill Police Department. The exterior building and parking lot lights are designed to ensure no light is directed outward beyond the property, minimizing glare and maintaining a focused, compliant lighting environment where required on the site. Reference is made to the building plans submitted with this application.

Noise: The project will comply with city standard 6.3.3(2) as it pertains to noise: Construction will abide by the restrictions set forth in Chapter 1 82 of the Haverhill Code and 310 CMR 7.10 of the Department of Environmental Protection's regulations. A dumpster and trash receptacles will be located at the rear corner of the periphery of the site which should reduce noise at times of refuse collection.

Landscaping: 6.3.3 (3): The lot is located in the city's urban center and has minimal lot space for landscaping. The limited landscaping will be minimal and consistent with neighboring properties.

Stormwater Management: The proposed development will comply with city standard 6.3.3(4), and the Applicant will provide details on a plan as required by the city's development team. All necessary Erosion Prevention and Sediment Control (EPSC) measures will be implemented if required during construction to minimize sediment displacement, and maintain compliance with city regulations.

Site development Standards: The proposed development plan complies with all site development standards outlined in Section 6.3.3(5). The area of disturbance has been carefully minimized to accommodate the new building, ensuring the best and most efficient use of the limited land area. This thoughtful approach preserves the functionality of the site while reducing disturbance and improving accessibility for residents and visitors.

Pedestrian and Vehicular Access/Traffic Management: Careful attention has been given to traffic flow and pedestrian safety in this development plan ensuring adherence to Section 6.3.3(6). The relocation of the building to the front of the site and the removal of the parking entrance on winter street are intended to reduce issues related to traffic management, vehicular access, and pedestrian access. Pedestrian traffic and parking will be located at the rear of the building and across the street, while there will also be customer, tenant and visitor access in the front and rear of the building. The customer parking is designated at the rear of the building during operating hours, and residents will have assigned parking across the street at 236 Winter Street, (as shown on the plans) which maintains separation of these traffic elements. The site complies with code requirements related to parking. Detailed parking requirements are outlined in the Site Plans. The Applicant has agreed to work with the city to install pedestrian lights and other agreed to safety measures. A traffic study has not been requested by city departments.

Aesthetics: The proposed design of the building complies with the neighborhood compatibility requirement outlined in Section 6.3.3(7). Prior to construction the developer worked closely with the building inspector and all plans were reviewed by city departments. The new building, while modern in design, fits in with other newer buildings nearby, closely matches the mass and density of surrounding buildings.

Utilities/Security/Emergency Systems: The existing building is already connected to domestic water, fire, and city sanitary systems, so no major Utility extensions are required for this project. Sewer, fire, and sanitary connections have been established for the new building, all of which will be detailed on plans and will be further coordinated with city's development team. The proposed development fully complies with Section 6.3.3(8) concerning utilities, security, and emergency systems, ensuring all new connections meet city standards without the need for special approvals. The city's development team has raised no concerns about utility availability at this time, and the parcel's central location within the city provides ample utility access. This favorable positioning allows for seamless integration of the expansion into existing infrastructure, minimizing disruptions and ensuring efficient service delivery. The project team will continue to collaborate closely with the city's development team to confirm that all utility connections align with the city's expectations and requirements.

Other General Standards: The proposed development will cause no substantive change in the current parcel's compliance with Section 6.3.3(9). The new building will not be conducted in a manner as to emit any dangerous, noxious, injurious or otherwise objectionable fire, explosion, radioactive or other hazard; noise or vibration, smoke, dust, odor or other form of environmental pollution; electrical or other disturbance; glare; liquid or solid, refuse or wastes; conditions conducive to the breeding of insects, rodents or other substance, conditions or element in an amount as to affect adversely the surrounding environment. All operations shall be conducted in such a manner so as to comply with the laws of the Commonwealth of Massachusetts regulating air pollution.

Based upon all of the above as well as all the plans and other documents filed with this Application, the Applicant believes this Petition meets all the requirements under Chapter 255 Section 10.4.2 for a Special Permit:

1. Community needs for additional housing are served by the proposal which adds needed housing in the City and the proposal also creates a new Latino grocery store and market;
2. Traffic and pedestrian flow and safety have been addressed and required parking for the proposed number of units is being provided. (See Site Plans filed with this Application). The property was previously used as a sandwich shop and as a parking lot, and the development, which includes ample parking, will not be detrimental to traffic, pedestrian flow, and safety, including parking and loading;
3. The neighborhood has adequate infrastructure for utilities, emergency services, and other public services, including public water and sewer;

4. The neighborhood character and structures have been addressed in the plans and architectural designs of this project. The new building fits this lot and will fit in with the neighborhood, and there is no impact on the natural environment;
5. There are no obvious impacts to the natural environment since the multi-use building will be situated in a densely populated neighborhood and it is similar in size and mass to neighboring properties. Additionally, the new housing in the neighborhood will be attractive to residents that fit in with the neighborhood character and social structures; and
6. The development of this mixed-use development with a store and 10 residential units will have a positive fiscal impact on the City's tax base which will contribute to supporting City services.

Respectfully submitted,

Paul A. Magliocchetti

Paul A. Magliocchetti, Esquire
pmagliocchetti@ssjmattorneys.com

SHEEHAN, SCHIAVONI, JUTRAS & MAGLIOCCHETTI, LLP
ATTORNEYS AT LAW



RICHARD J. SHEEHAN, JR.
TIMOTHY J. SCHIAVONI
ROBERT A. JUTRAS
PAUL A. MAGLIOCCHETTI
SONJA STARINS
THOMAS C. TRETTER
WILLIAM D. CHASE
STEPHEN R. AGNATOVECH

OF COUNSEL
KRISTIN M. YASENKA
JOSHUA S. ENGLAND, LL.M.

VIA UPLOAD

June 4, 2025

City Council
City of Haverhill
4 Summer Street
Haverhill, MA 01830

**RE: Application for a Special Permit
To Construct a Mixed Use
Store and 10-Unit Multi Family Dwelling
Allowed in the CC Zone by SP
Owner/Applicant is 233 Winter Street, LLC
Property: 233 Winter Street (Map 306, Block 75, Lots 3)**

The Owner and Applicant 233 Winter Street, LLC, a Massachusetts Limited Liability Company with an address at 10 Temple Drive, Methuen, MA 01844, submits this application to the City Council for a Special Permit pursuant to the City of Haverhill Zoning Ordinance Chapter 255. The Applicant wishes to construct a Mixed-Use development with a Store and a 10-unit residential dwelling on property it owns at 233 Winter Street, as shown on Site Plan and Floor Plans filed herewith.

A mixed-use development is allowed in the CC zone with a Special Permit from the City Council (see attached Table of Use and Parking Regulations). There are no variances required for this development from the Haverhill Zoning Board of Appeals. The proposed mixed-use development with a Store and a 10-unit residential dwelling is the best use for the property and the neighborhood where it is situated, with other similar buildings in the area and on Winter Street.

The neighborhood is densely populated with other mixed-use multifamily dwellings, and this development will not affect the character of the neighborhood, has ample onsite parking, and will bring added tax revenue to the City. The property, once built out, will greatly improve the parcel and add value to the surrounding properties. The granting of the relief sought may be given without nullifying or substantially derogating from the intent or purpose of the zoning

SHEEHAN, SCHIAVONI, JUTRAS & MAGLIOCCHETTI, LLP
ATTORNEYS AT LAW

ordinance. Furthermore, the proposed mixed-use development will not cause substantial detriment to the neighborhood or the city taking into account the characteristics of the site (its size, location, and existing structure) and the proposal in regard to this site. The Site has an existing commercial structure/use, and the additional 10 residential units will not be detrimental to the neighborhood. All concerns of departments during pre-development review are being addressed.

The Applicant meets all the requirements under City of Haverhill Zoning Ordinance Ch. 255, Sec. 10.4.2 for a Special Permit:

1. Community needs for additional housing are served by the proposal which adds needed housing in the City and the proposal also creates a new Latino grocery store and market; Traffic and pedestrian flow and safety have been addressed and required parking for the proposed number of units is being provided. (See Site Plans filed with this Application). The property was previously used as a sandwich shop and as a parking lot, and the development, which includes ample parking, will not be detrimental to traffic, pedestrian flow, and safety, including parking and loading;
2. The neighborhood has adequate infrastructure for utilities and other public services, including public water and sewer;
3. The neighborhood has adequate infrastructure for utilities, emergency services, and other public services, including public water and sewer.
4. The neighborhood character and structures have been addressed in the plans and architectural designs of this project. The new building fits this lot and will fit in with the neighborhood, and there is no impact on the natural environment;
5. There are no obvious impacts to the natural environment since the multi-use building will be situated in a densely populated neighborhood and it is similar in size and mass to neighboring properties. Additionally, the new housing in the neighborhood will be attractive to residents that fit in with the neighborhood character and social structures; and
6. The development of this mixed-use development with a store and 10 residential units will have a positive fiscal impact on the City's tax base which will contribute to supporting City services.

In addition, the applicant has appeared before the City's Developmental Review Board for pre-development review and all issues and concerns have been addressed. For more specific details regarding compliance with Sec. 10.4.2, Sec. 6.3.3 (1-9), and City Council Ordinance 92B, reference is made to the site plans and building plans, and the Information Required Pursuant to City Council Ordinance 92B attached to the application. Furthermore, the Applicant meets the requirements under applicable City of Haverhill Zoning Ordinances including but not limited to Ch. 255, Sec. 6.1 regarding parking, and Ch. 255, Sec. 8.3.2 regarding affordability.

SHEEHAN, SCHIAVONI, JUTRAS & MAGLIOCCHETTI, LLP
ATTORNEYS AT LAW

The Applicant respectfully requests that the City Council approve this Application for a Special Permit for the Mixed-Use development with a Store and a 10-unit residential dwelling on property it owns at 233 Winter Street.

Respectfully submitted,

Paul A. Magliocchetti

Paul A. Magliocchetti, Esquire

pmagliocchetti@ssjmattorneys.com



SO.ESSEX #395 Bk:41098 Pg:482
07/29/2022 01:05 PM DEED Pg 1/3
eRecorded

MASSACHUSETTS EXCISE TAX
Southern Essex District ROD
Date: 07/29/2022 01:05 PM
ID: 1539836 Doc# 20220729003950
Fee: \$4,104.00 Cons: \$900,000.00

Quitclaim Deed

KARM Realty LLC, a Massachusetts Limited Liability Company with a business address of 42 Stillman Road, Lynnfield, MA 01940, in consideration Paid and in full consideration of Nine Hundred Thousand Dollars and 00/100 (\$900,000.00) **GRANT TO 233 Winter Street, LLC**, a Massachusetts Limited Liability Company with a business address of 10 Temple Drive, Methuen, MA 01844

With ***QUITCLAIM COVENANTS***

PARCEL 1

The land in Haverhill, Essex County, Massachusetts, with the buildings thereon with an address of 233 Winter Street, Haverhill, Massachusetts, shown as occupied by an existing building on a plan entitled "Plan of Land in Haverhill, Massachusetts Owned by Gerald A. Berube" dated December 16, 1983, by William G. Troy & Associates bounded and described as follows:

Southerly by Winter Street, eighty-five and 85/100 (85.85) feet;
Westerly by Lewis Street, ninety-nine and 18/100 (99.18) feet;
Northerly by land shown on said plan as now for formerly of Leon J. Blanchet,
Easterly by land shown on said plan as now or formerly of George and Helen Siodis, ninety-seven and 30/100 (97.30) feet;

Containing 8,150 square feet according to said plan.

PARCEL 2

The land in Haverhill, Essex County, Massachusetts, with the buildings thereon with an address of 3-5 Lewis Street, Haverhill, Massachusetts, bounded and described as follows:

Beginning at the Southwesterly corner thereof bu land now or formerly of H.K Snow and by said Lewis Street; and thence running Northerly by said Lewis Street forty-three (43) feet to land now or formerly of Mary A. McCarty; thence running Easterly by said McCarty land about ninety-three (93) feet to land of heirs of R. Regan; thence running Southerly by said Regan land and land now of formerly of F. Donahue about forty-three (43) feet to land of Snow; and thence

running Westerly by said land now for formerly of Snow about ninety-two (92) feet to the pint begun at.

The grantor herein release any and all rights of homestead they may have acquired in and to the subject property by statute or otherwise and further states under the pains and penalties of perjury, no other person has the right to claim homestead benefits in said property.

For Grantor's Title, see deed dated May 17, 2016 and recorded with the Southern Essex at Book 34928, Page 336.

Executed as a sealed instrument this 27th day of July, 2022

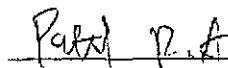
s

KARM REALTY LLC



By: Mahavir Patel

Its: Manager




By: Ramila A. Patel

Its: Manager

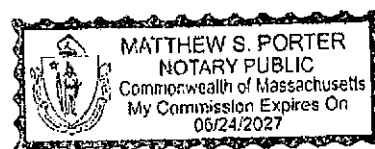
Commonwealth of Massachusetts

Bristol, ss.

On this 27th day of July, 2022 before me, the undersigned notary public, personally appeared **Mahavir Patel and Ramila A. Patel, Managers of KARM REALTY LLC**, the above-named and proved to me through satisfactory evidence of identification, to be the person whose name is signed on this document, and acknowledged to me that he/she/they signed it voluntarily for its stated purpose and that the foregoing instrument is his/her/their free act and deed on behalf of KARM REALTY LLC.

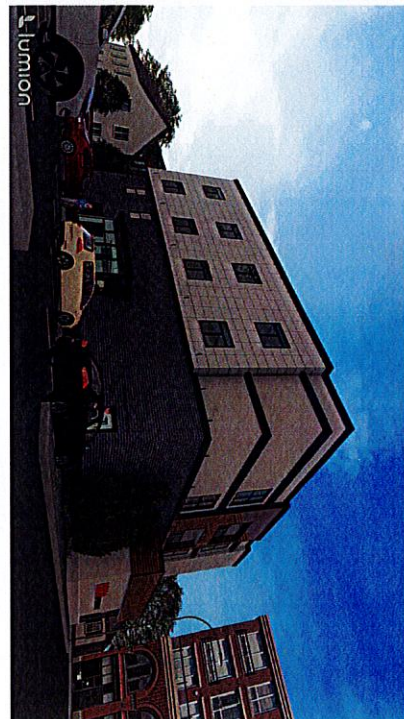
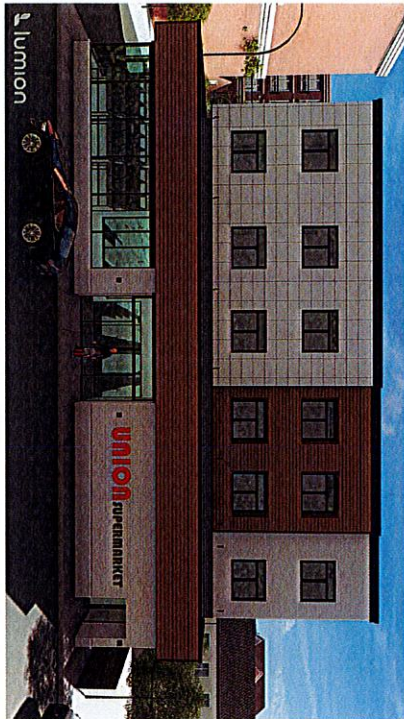

Notary Public: Matthew S. Porter

My Commission Expires: 6/24/27



PROPOSED MIX-USED BUILDING

ADDRESS: 233 WINTER ST,HAVERHILL,MA 01830
OWNER: UNION SUPERMARKET



233 WINTER ST,



LOCATION

GENERAL NOTES :

- 1- ALL WORK SHALL COMPLY WITH STATE AND LOCAL BUILDING CODES AND REGULATIONS.
- 2- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, AND PROCEDURES.
- 3- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS DURING BUILDING CONSTRUCTION AND SHALL PROVIDE ADEQUATE SHORING AND BRACING TO ENSURE SUCH SAFETY.
- 4- ALL DIMENSIONS AND SITE CONDITIONS SHALL BE FIELD VERIFIED AND SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. NOTIFY THE OWNER OR DESIGNER OF ANY DISCREPANCY PRIOR TO COMMENCEMENT OF WORK.
- 5- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, AND TO PROTECT THEM FROM DAMAGE.
- 6- ALL DETAILS, SECTIONS, NOTES, OR REFERENCE TO OTHER DRAWINGS ARE INTENDED TO BE TYPICAL.
- 7- DURING CONSTRUCTION, AND PRIOR TO THE INCORPORATION OF ANY CHANGES, REVISIONS, MODIFICATIONS OR DEVIATION FROM THE CONSTRUCTION DOCUMENT, CONTRACTOR SHALL BRING TO THE ATTENTION OF THE OWNER OR DESIGNER AND OBTAIN APPROVAL FROM THE BUILDING INSPECTOR BEFORE PROCEEDING WITH THE WORK.
- 8- SPECIFIC NOTES AND DETAILS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS, WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.
- 9- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO STARTING CONSTRUCTION.
- 10- CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (2015 IBC AND THE COMMONWEALTH OF MASSACHUSETTS (2015 IBC AND THE COMMONWEALTH OF MASSACHUSETTS (2015 IBC AND THE COMMONWEALTH OF MASSACHUSETTS (2015 IBC AND THE COMMONWEALTH OF MASSACHUSETTS (2015 IBC AND THE CITY OF HAVERHILL ORDINANCES.

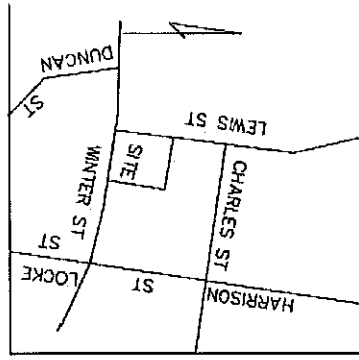


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ARCHITECTS, P.A. 01830
WWW.GARCIAENGINEERING.COM

PROPOSED MIX-USED BUILDING
ADDRESS: 233 WINTER ST,HAVERHILL,MA 01830
OWNER: UNION SUPERMARKET | DESIGNED BY: CALCOL DESIGN STUDIO

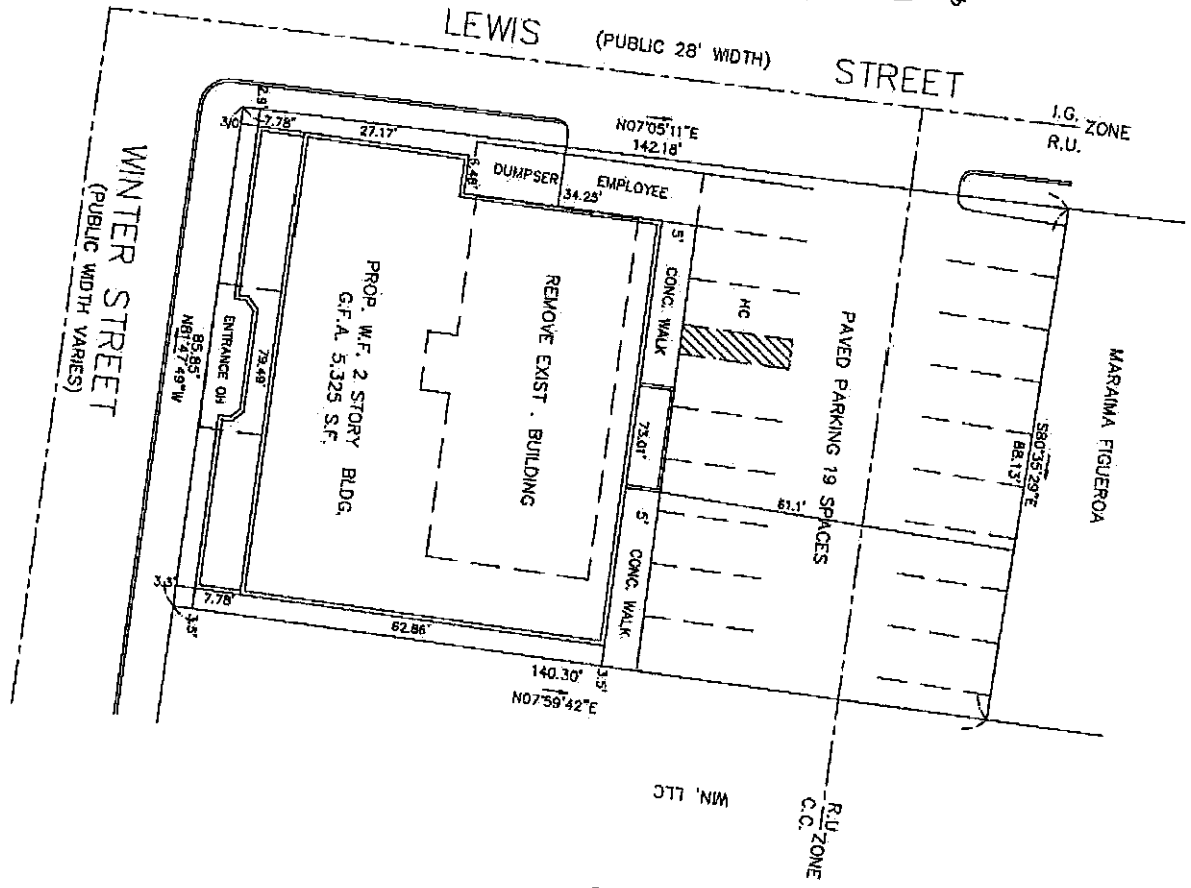
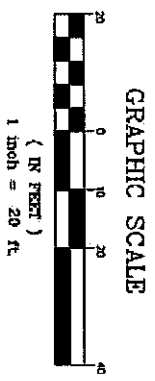
SCALE: 1/4" = 1'-0"
DATE: 10-08-2024

A-100.00



ZONING REQUIREMENTS ZONE: CC

LOT	REQUIRED	PROPOSED
FRONTAGE	50'	85.85', 142.18'
DEPTH	100'	140.30'
WIDTH	37.5'	85.85'
AREA	5,000 S.F.	12,283 S.F.
SETBACKS		
FRONT YARD	0	3.0' - 2.9'
SIDE YARD	0	3.5'
REAR YARD	0	61.1'
PARKING	21	19
BLDG. COVERAGE	0	41.6%
OPEN SPACE	0	0



PROPOSED SITE PLAN OF LAND AT

**233 WINTER STREET
HAVERHILL, MASSACHUSETTS**

**MARCH 8, 2023
OWNER/APPLICANT:
23 WINTER STREET, LLC
10 TEMPLE DR.
METHUEN, MA. 01844**

APPLICANT:

HAVERHILL BOARD OF APPEALS

DATE: _____

ASSESSORS PLAN 306
LOT 75
AREA 3 & 4
DEED BOOK 4928 **PAGE** 336
ZONE CC & RU



ROBERT A. MASYS, PE

R.A.M. ENGINEERING
160 Main Street
Haverhill, Massachusetts 01830
TEL: (978) 372-0449 FAX: (978) 372-7183



13 LOWELL TERRACE LAWRENCE, MA 01840
PHONE: (978) 686-8055
FAX: (978) 686-8055
EMAIL: C.A.L.C.O.L.13@earthlink.net
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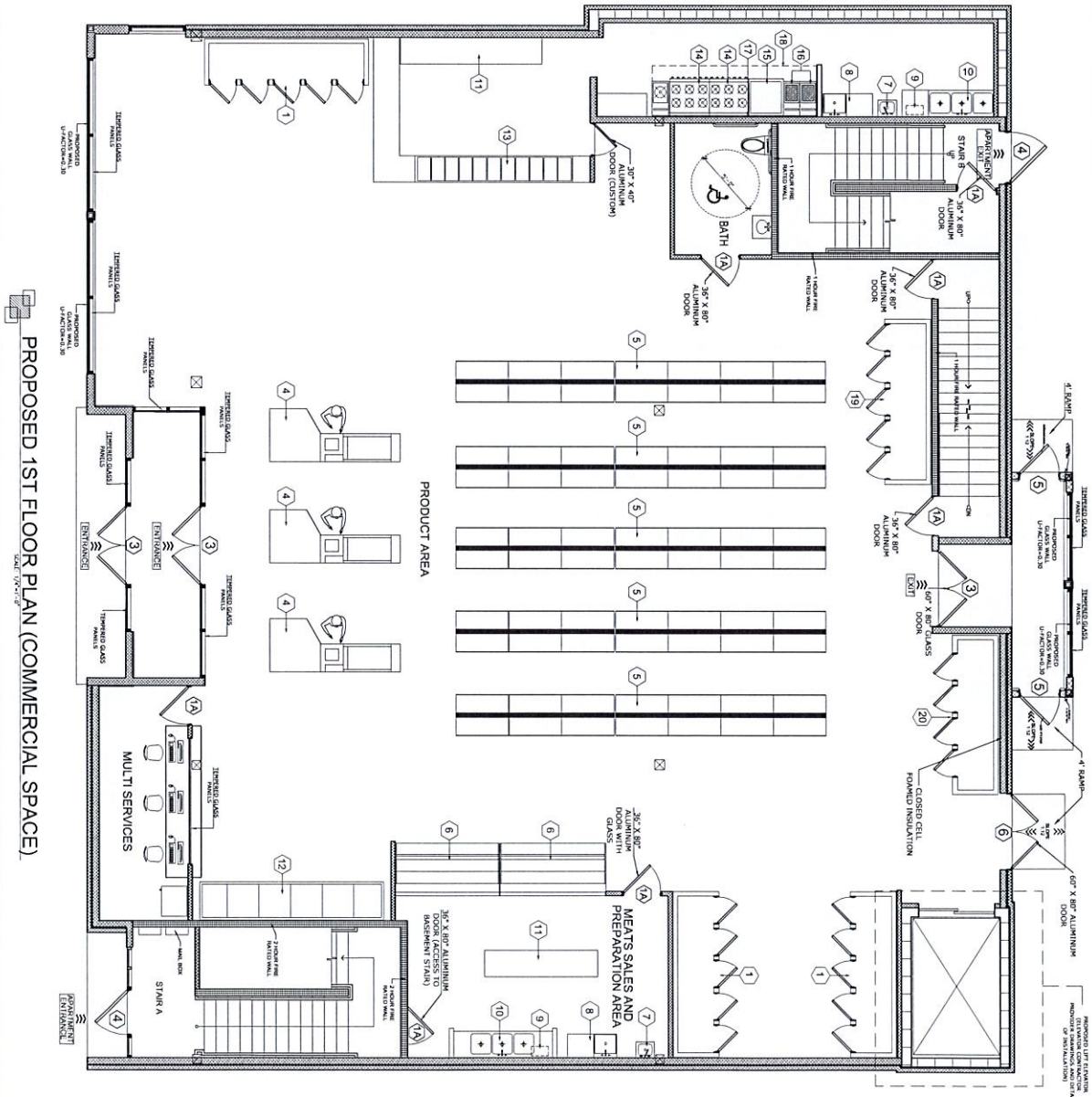
PROPOSED MIX-USED BUILDING
ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830
OWNER: UNION SUPERMARKET | DESIGNED BY: DAVID DESIGN GROUP

SCALE: 1/4" = 1'-0"
DATE: 07-16-2024

NOTE:
CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (8TH EDITION OF THE MSCC 789 OAR 51.00), 2015 IRC AND THE COMMONWEALTH OF MASSACHUSETTS AMENDMENT TO THE INTERNATIONAL BUILDING CODE 2015) AND THE CITY OF HAVERHILL ORDINANCES.

LEGEND
PROPOSED FIRE RATE WALL
PROPOSED NEW WALL

- LEGEND
- 1 FRIDGES
 - 2 FRIDGE FOR FROZEN FOOD
 - 3 FRIDGE FOR VEGETABLES
 - 4 CASHIERS STATIONS
 - 5 SHELVING & DISPLAYS
 - 6 MEATS SALES FREEZER
 - 7 HAND SINK
 - 8 PREP SINK
 - 9 BIG DIPPER GREASE INTERCEPTOR
 - 10 3 BOWL SINK
 - 11 STAINLESS STEEL WORK TABLE
 - 12 14' LONG FRIDGE FOR MEAT
 - 13 HOT & COLD GLASS ENCLOSED FOOD DISPLAY UNIT
 - 14 6 BURNER STOVE OVEN 36"
 - 15 CHARBROILER GRILL 36"
 - 16 FRYER 15"x31"x48" S. STEEL
 - 17 11" METAL STUD WITH 1/2" NON COMBUSTIBLE BOARD 3 M ZERO CLEARANCE
 - 18 HOOD 4'-0" - 8'-6" FIRE SUPPRESSION SYSTEM
 - 19 FREEZER FOR BEERS
 - 20 FREEZER FOR WINE





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10 CORNELIUS TERRACE, HAVERHILL, MA 01830
TEL: 978.376.1111
WWW.GARCIAENGINEERING.COM

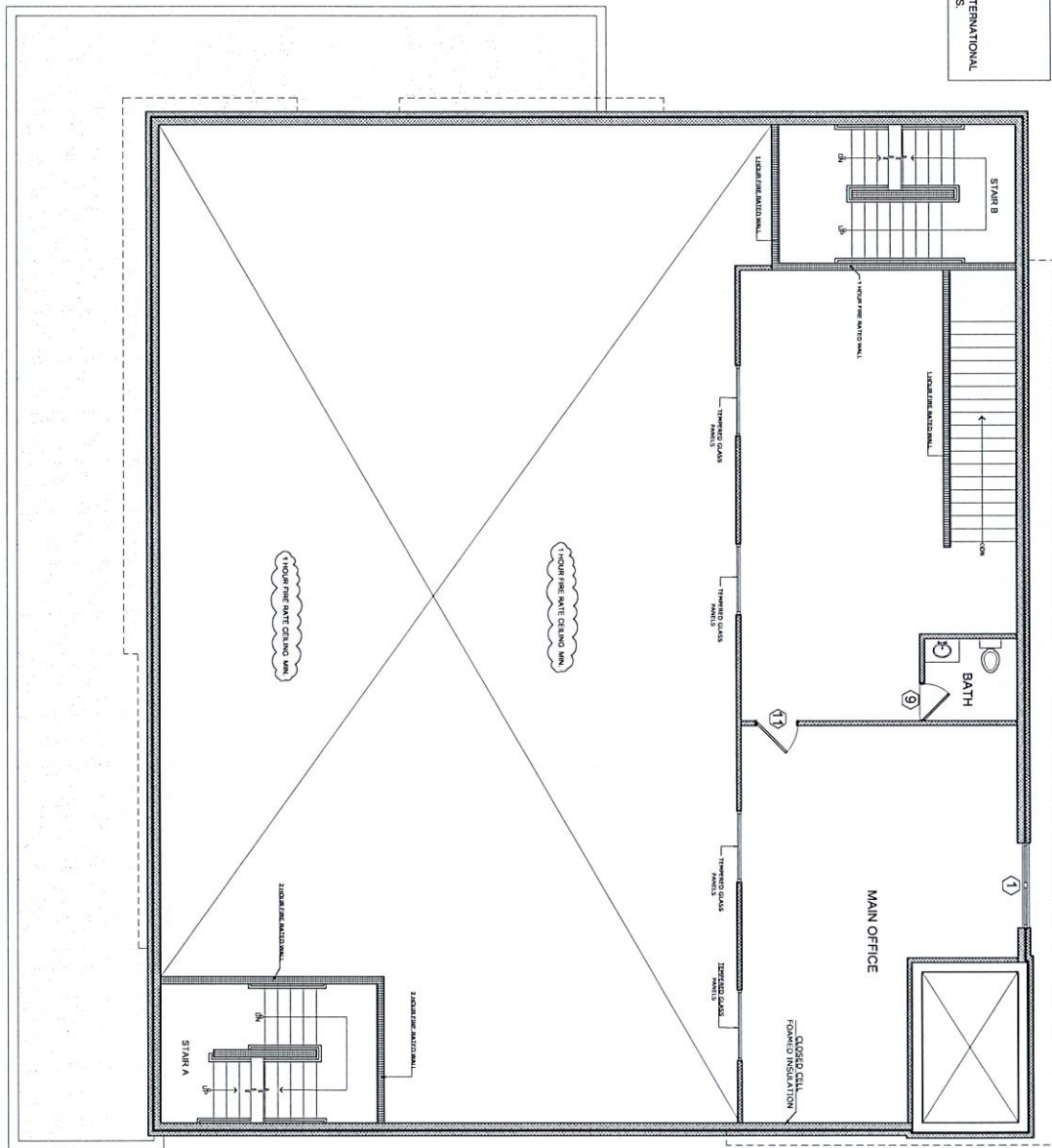
PROPOSED MIX-USED BUILDING
ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830
OWNER: UNION SUPERMARKET | DESIGNED BY: CALCOL DESIGN STUDIO

SCALE: 1/4" = 1'-0"
DATE: 10-08-2024

A-101.00

NOTE:
CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (9TH EDITION OF THE MBS, 780 CMR 9.00), 2015 IBC AND THE COMMONWEALTH OF MASSACHUSETTS AMENDMENT TO THE INTERNATIONAL BUILDING CODE 2015) AND THE CITY OF HAVERHILL ORDINANCES.

LEGEND
 PROPOSED FIRE RATE WALL
 PROPOSED NEW WALL



PROPOSED MEZZANINE FLOOR PLAN
SCALE: 1/4" = 1'-0"



13 LOWELL TERRACE, LAWRENCE, MA 01841
PHONE: 948-686-6055
EMAIL: Calcoldesignnetwork@gmail.com
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PROPOSED MIX-USED BUILDING
ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830
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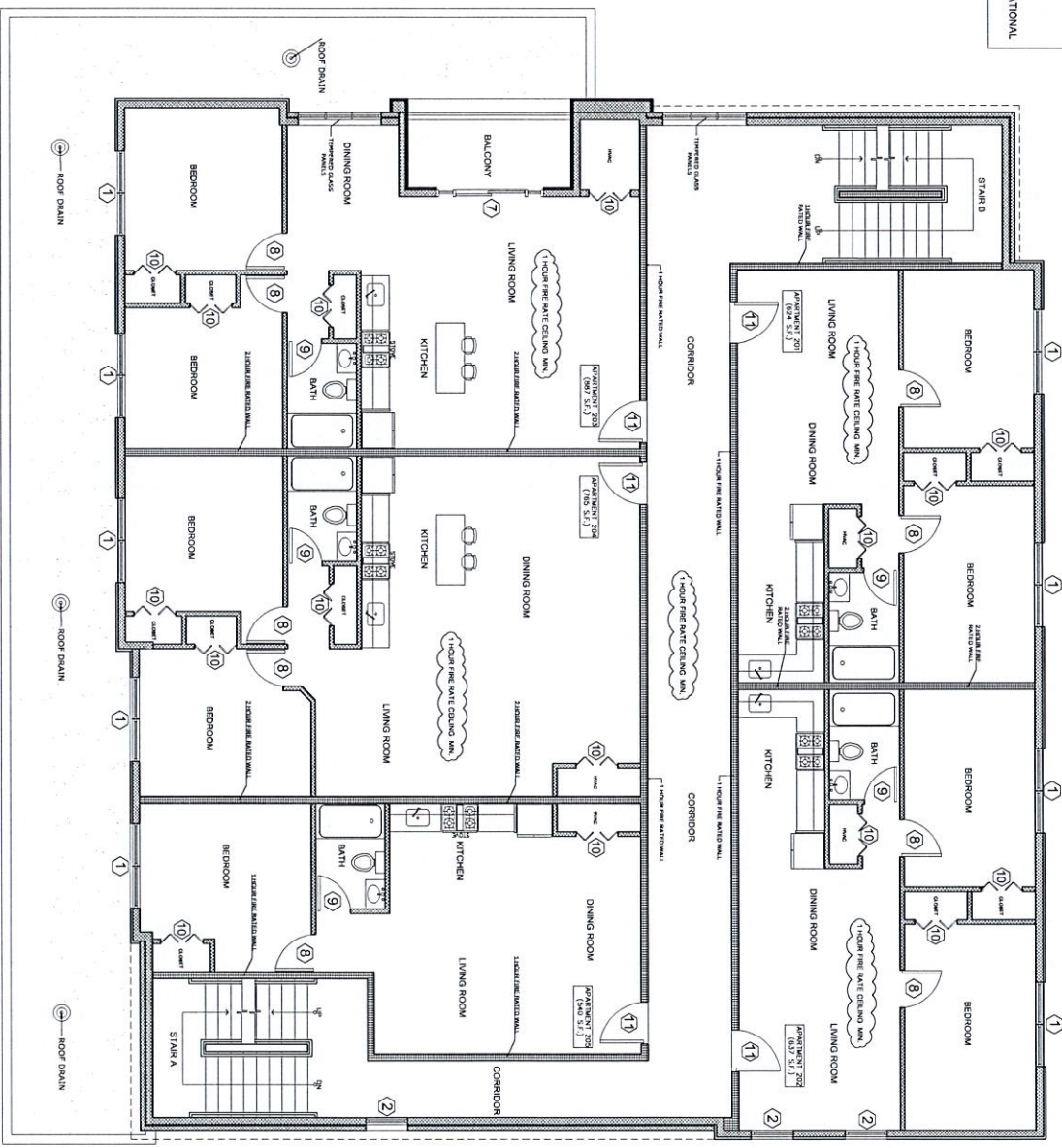
SCALE: 1/4" = 1'-0"
DATE: 07-16-2024

A-111.00

NOTE:
CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (WITH EDITION OF THE MASSACHUSETTS CMR 5.00) (2015) AND THE BUILDING CODE OF MASSACHUSETTS (2015) AND THE INTERNATIONAL BUILDING CODE (2015) AND THE CITY OF HAVERHILL ORDINANCES.

LEGEND

PROPOSED FIRE RATE WALL



PROPOSED 2ND FLOOR PLAN (RESIDENTIAL UNIT)



CALCOL
ARCHITECTS

13 LOWELL TERRACE, LAWRENCE, MA 01841
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EMAIL: CalcolDesignNetwork@gmail.com
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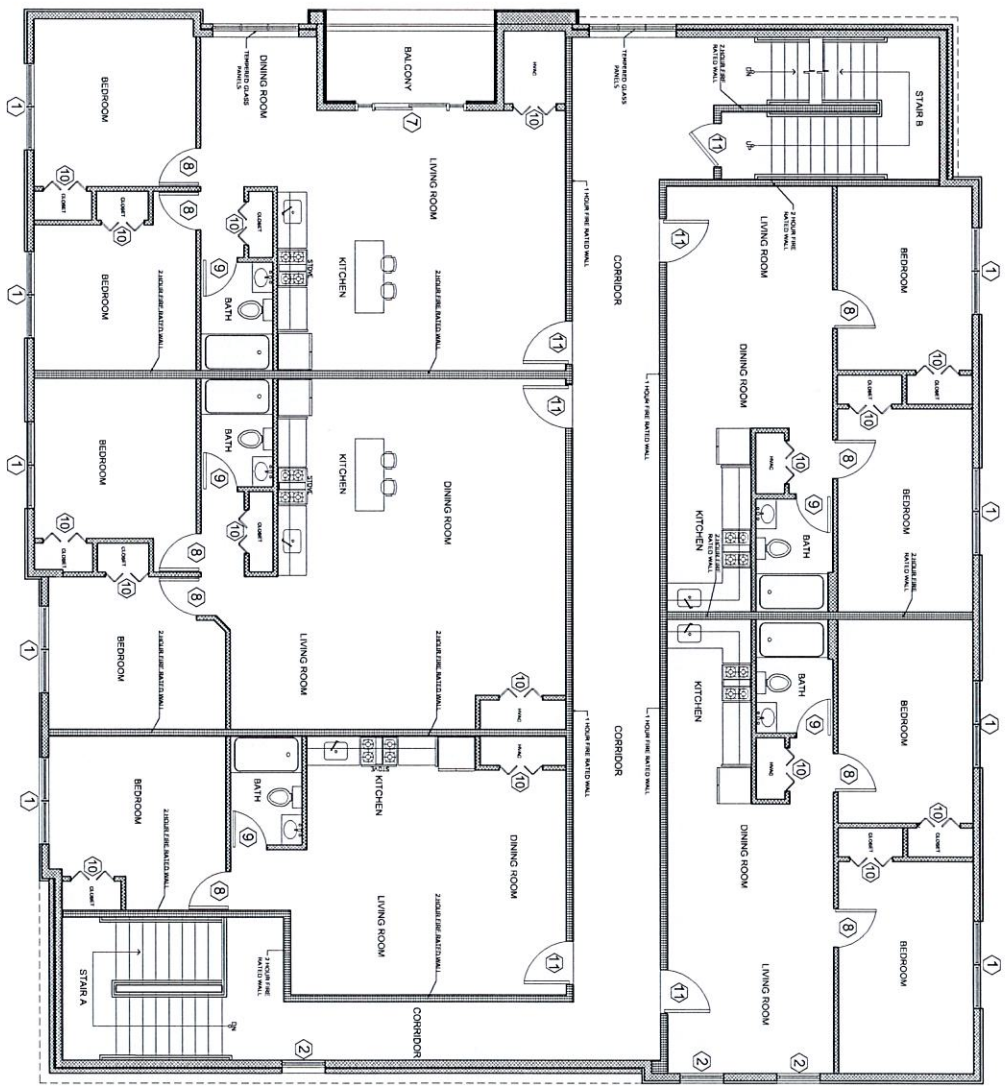
SCALE: 1/4" = 1'-0"
DATE: 07-16-2024

NOTE:
 CONTRACTOR SHALL PERFORM ALL WORK IN COMPLIANCE
 WITH THE MASSACHUSETTS BUILDING DEPARTMENT'S
 (9TH EDITION OF THE ABCS 780 CAR 51.00) (2015 IBC AND THE
 COMMONWEALTH OF MASSACHUSETTS' AMENDMENT TO THE INTERNATIONAL
 BUILDING CODE 2015) AND THE CITY OF HAVERHILL ORDINANCES.

LEGEND

 PROPOSED FIRE RATE WALL

 PROPOSED NEW WALL



PROPOSED 3RD FLOOR PLAN (RESIDENTIAL UNIT)






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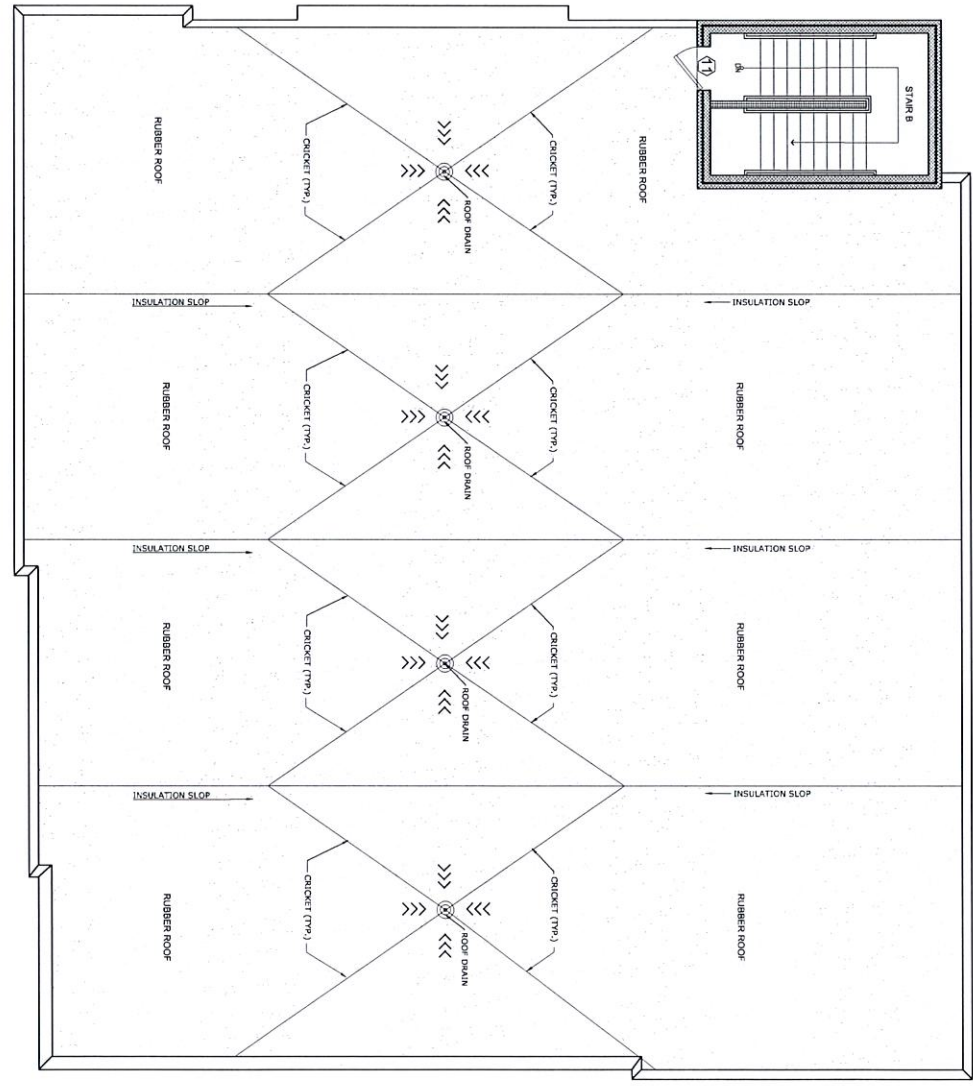
13 LOWELL TERRACE, LAWRENCE, MA 01841
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 EMAIL: calcoldesignstudio@gmail.com
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 OWNER: UNION SUPERMARKET | DESIGNED BY: CALCOL DESIGN STUDIO

SCALE: 1/4" = 1'-0"
 DATE: 07-16-2024

NOTE:
 CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE
 WITH THE COMMONWEALTH OF MASSACHUSETTS
 (914 EDITION OF THE MASS. REG. CODE 51.00) (2015 IBC AND THE
 COMMONWEALTH OF MASSACHUSETTS AMENDMENT TO THE INTERNATIONAL
 BUILDING CODE 2015) AND THE CITY OF HAVERHILL ORDINANCES.

	LEGEND
	PROPOSED FIRE RATE WALL
	PROPOSED NEW WALL



 **PROPOSED ROOF PLAN**
 Scale: 1/4" = 1'-0"



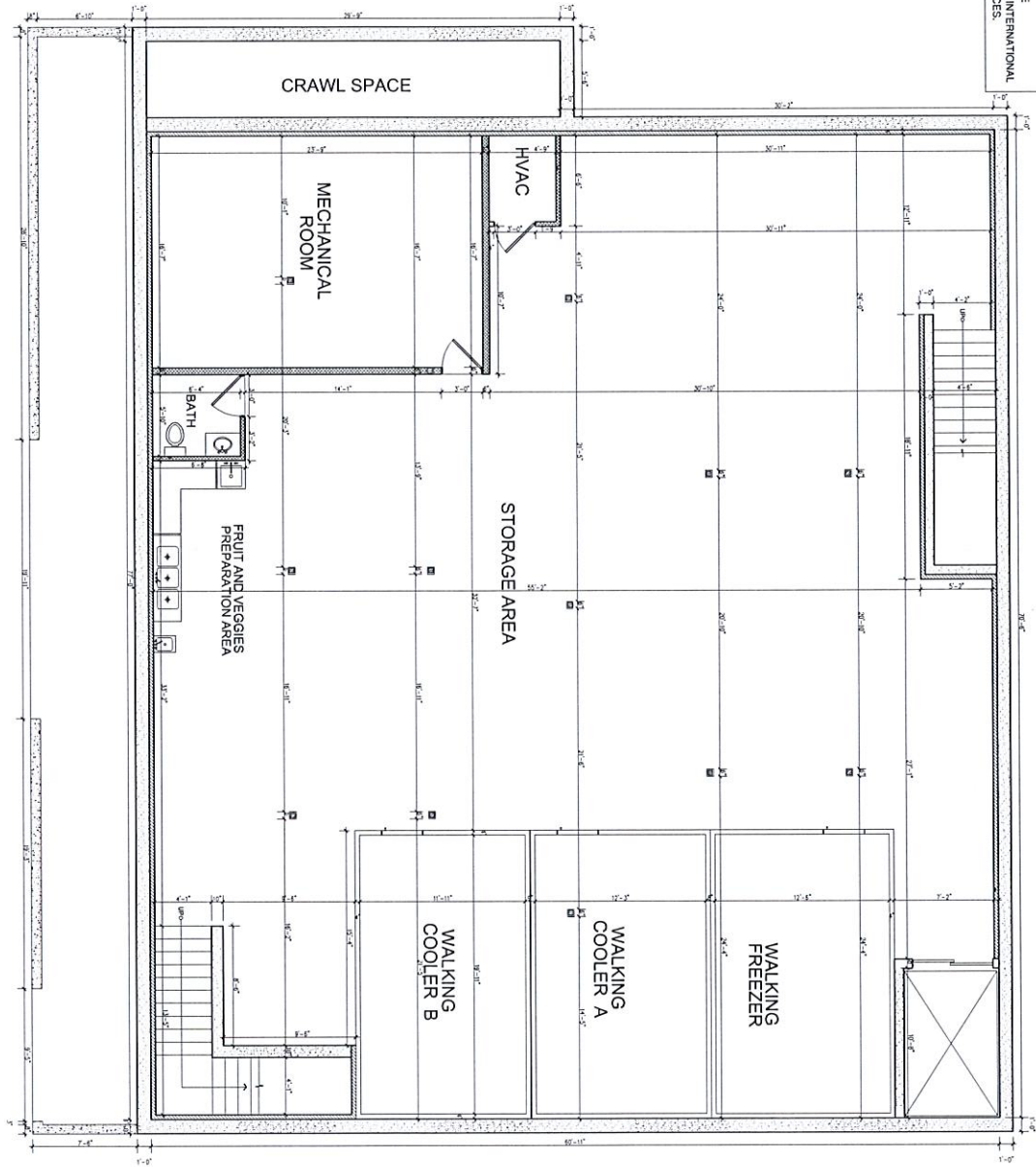
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 EMAIL: calcoldesignstudio@gmail.com
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 OWNER: UNION SUPERMARKET | DESIGNED BY: CALCOL DESIGN STUDIO

SCALE: 1/4" = 1'-0"
 DATE: 07-16-2024

NOTE:
CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE
WITH THE COMMONWEALTH OF MASSACHUSETTS
(9TH EDITION OF THE MASS. GEN. CHARTER 51.00) (2013 BC) AND THE
COMMONWEALTH OF MASSACHUSETTS AMENDMENT TO THE INTERNATIONAL
BUILDING CODE (2015) AND THE CITY OF HAVERHILL ORDINANCES.

NOTE:
CONTRACTOR SHALL BEGINS START WORK
VERIFY EVERY DIMENSION AND HEIGHT



(DIMENSION PLAN)
PROPOSED BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"



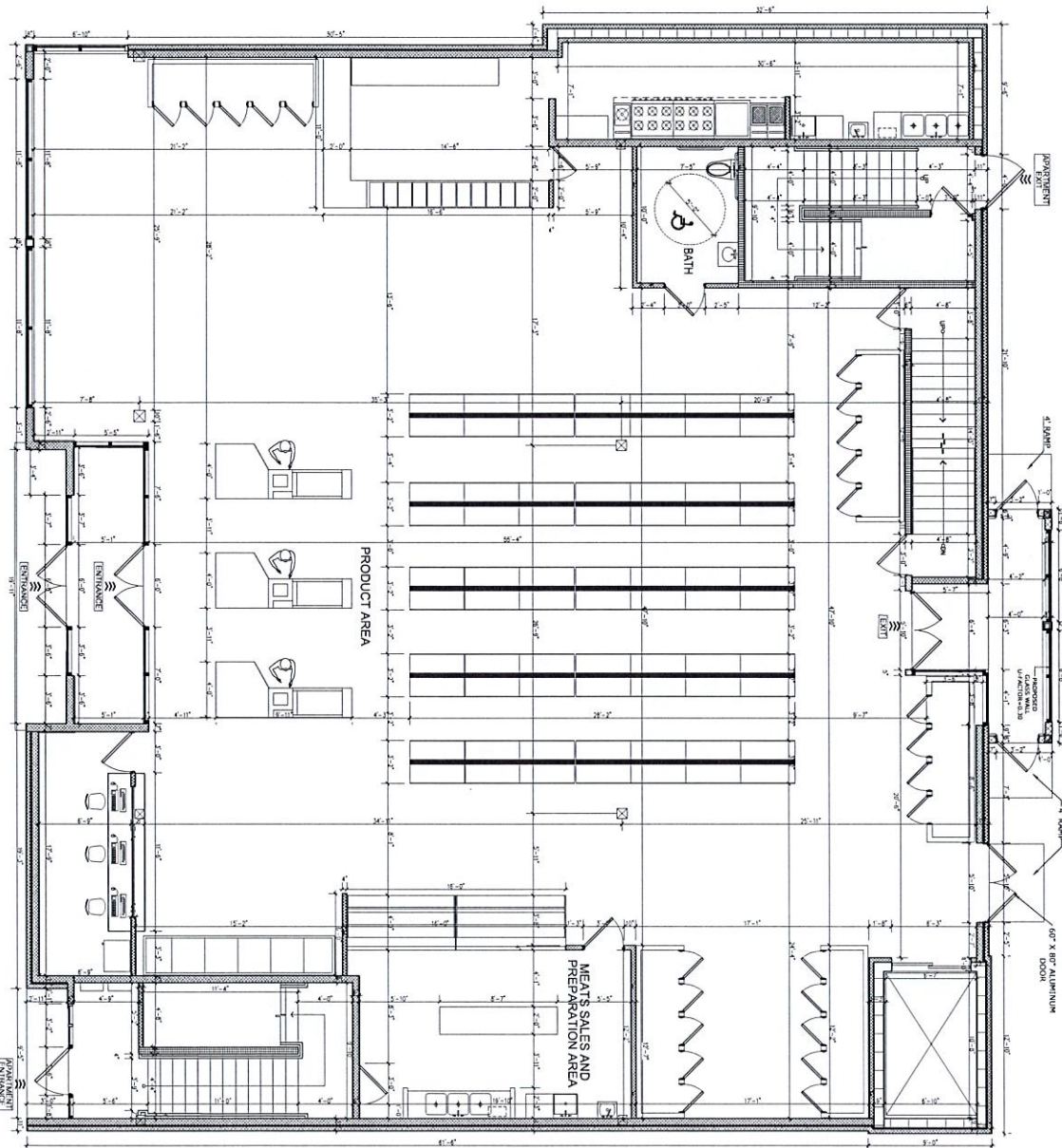
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OWNER: UNION SUPERMARKET | DESIGNED BY: CALCOL DESIGN STUDIO

SCALE: 1/4" = 1'-0"
DATE: 07-16-2024

A-115.00

NOTE:
CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS 9101 EDITION OF THE MASS. REG. SAN. 81.001 (2015) B.C. AND THE CITY OF HAVERHILL, MASS. ORDINANCES.
NOTE:
CONTRACTOR SHALL BEFORE START WORK, VERIFY EVERY DIMENSION AND HEIGHT.



(DIMENSION IN INCHES)
PROPOSED 1ST FLOOR PLAN (COMMERCIAL SPACE)



CALCOL
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10 CORNEL TERRACE LAVERGNE MA 01830
PHONE: 978-366-8888
FAX: 978-366-8889
WWW.CALCOLARCHITECTS.COM

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ENGINEERING
INCORPORATED
LAVERGNE, MA 01830
WWW.GARCIAENGINEERINGINC.COM

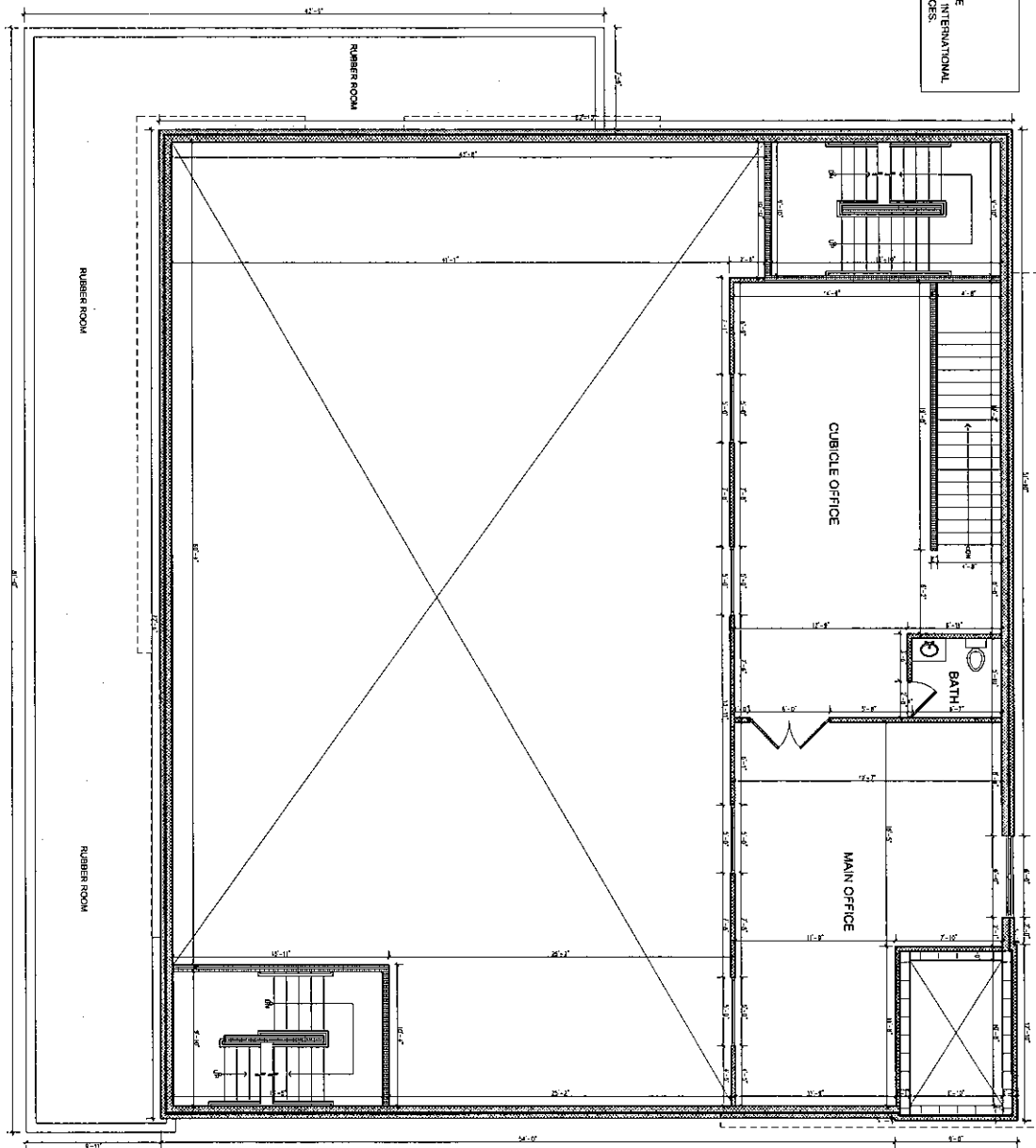
PROPOSED MIX-USED BUILDING
ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830
OWNER: UNION SUPERMARKET | DESIGNED BY: CALCOL DESIGN STUDIO

SCALE: 1/4" = 1'-0"
DATE: 10-08-2024

A-102.00

NOTE:
CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE WITH THE COMMONWEALTH OF MASSACHUSETTS (8TH EDITION OF THE MBSC, 780 CMR 51.00) (2015 IBC AND THE COMMONWEALTH OF MASSACHUSETTS' AMENDMENT TO THE INTERNATIONAL BUILDING CODE 2015) AND THE CITY OF HAVERHILL ORDINANCES.

NOTE:
CONTRACTOR SHALL BEFORE START WORK, VERIFY EXIST. DIMENSION AND HEIGHT.



PROPOSED MEZZANINE FLOOR PLAN
(DIMENSION PLAN)
SCALE: 1/4" = 1'-0"



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ARCHITECTS
233 WINTER ST., HAVERHILL, MA 01830
TEL: 978.376.1117

13 LOWELL TERRACE LAWRENCE, MA 01841
PHONE: 978.686.9155
EMAIL: CALCOLDESIGN@GMAIL.COM
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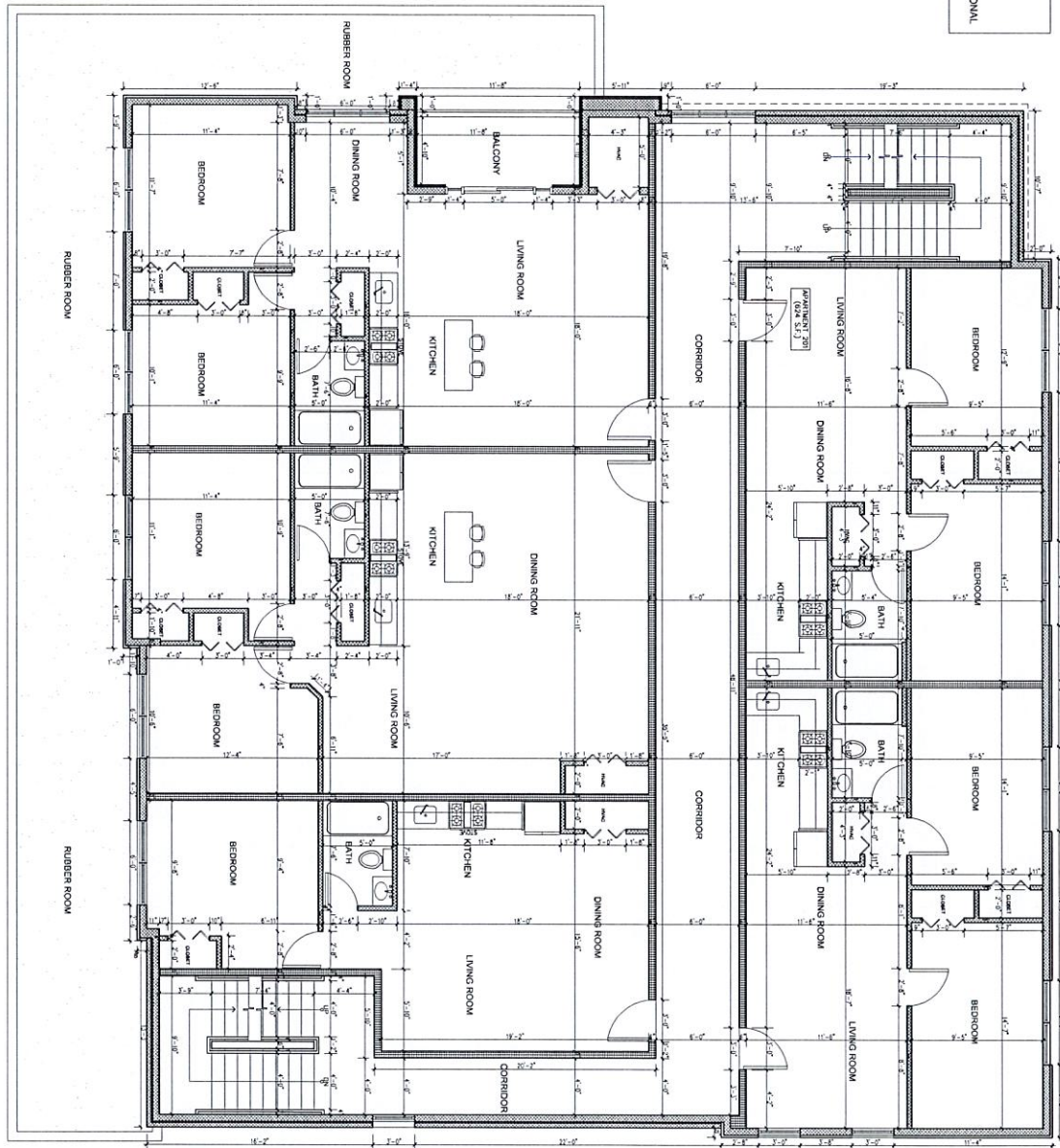
PROPOSED MIX-USED BUILDING
ADDRESS: 233 WINTER ST., HAVERHILL, MA 01830
OWNER: UNION SUPERMARKET | DESIGNED BY: CALCOL DESIGN STUDIO

SCALE: 1/4" = 1'-0"
DATE: 07-16-2024

A-117.00

NOTE:
CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE
WITH THE COMMONWEALTH OF MASSACHUSETTS
(9TH EDITION OF THE MBOC, 780 CMR 51.00) 2015 IBC AND THE
COMMONWEALTH OF MASSACHUSETTS AMENDMENT TO THE INTERNATIONAL
BUILDING CODE 2015) AND THE CITY OF HAVERHILL ORDINANCES.

NOTE:
CONTRACTOR SHALL BEFORE START WORK
VERIFY EVERY DIMENSION AND HEIGHT



(DIMENSION PLAN)
PROPOSED 2ND FLOOR PLAN (RESIDENTIAL UNIT)
Scale: 1/4" = 1'-0"



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ARCHITECTS, LLC
13 LOWELL TERRACE LAWRENCE, MA 01841
PHONE: 978-686-8055
EMAIL: Calcolarchitects@gmail.com

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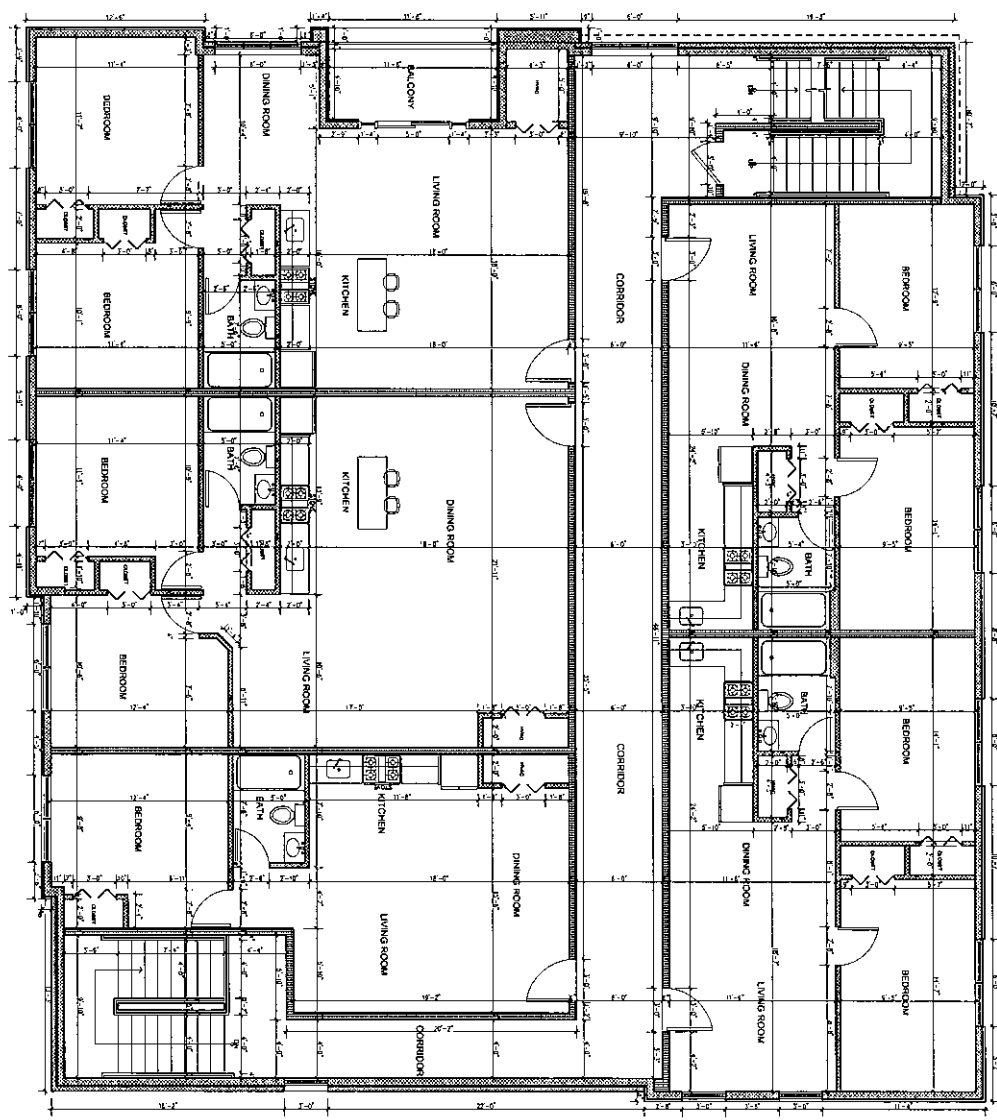
PROPOSED MIX-USED BUILDING
ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830
OWNER: UNION SUPERMARKET | DESIGNED BY: CALCOL DESIGN STUDIO

SCALE: 1/4" = 1'-0"
DATE: 07-16-2024

A-118.00

NOTE:
 CONTRACTOR SHALL PERFORM ALL WORKS IN COMPLIANCE
 WITH THE MASSACHUSETTS BUILDING CODE, AS AMENDED BY
 THE 7TH EDITION OF THE MASS. REGS. 780 CMR 5.00 (2015) BIC AND THE
 COMMONWEALTH OF MASSACHUSETTS AMENDMENT TO THE INTERNATIONAL
 BUILDING CODE 2015 AND THE CITY OF HAVERHILL ORDINANCES.

NOTE:
 CONTRACTOR SHALL BEFORE START WORK
 VERIFY EVERY DIMENSION AND HEIGHT



(DIMENSION PLAN)
 PROPOSED 3RD FLOOR PLAN (RESIDENTIAL UNIT)



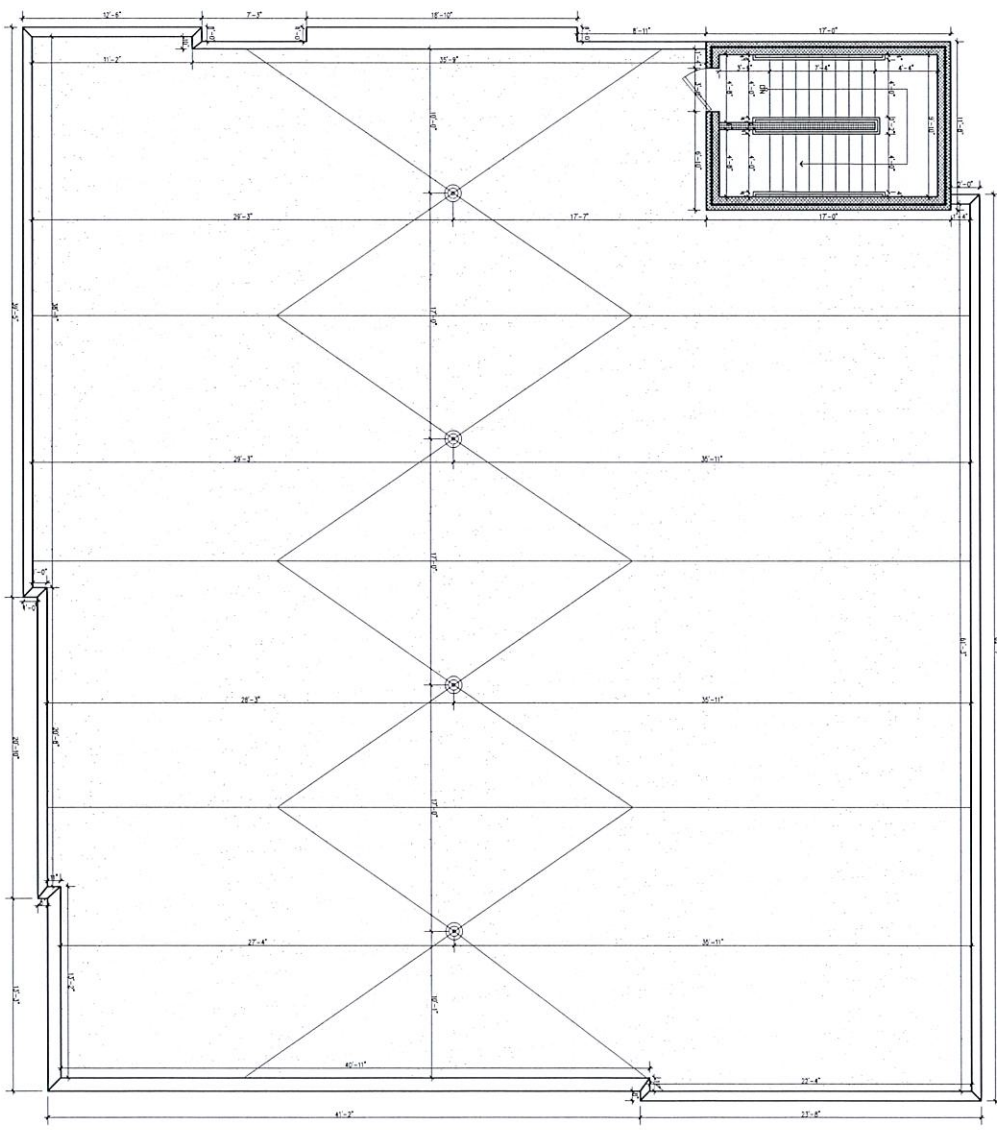
13 O'NEILL TERRACE, LAWRENCE, MA 01841
 PHONE: 978-686-8888
 EMAIL: carol@calcol.com
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 OWNER: UNION SUPERMARKET | DESIGNED BY: CAROL DESIGN STUDIO

SCALE: 1/4" = 1'-0"
 DATE: 07-16-2024

NOTE:
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NOTE:
CONTRACTOR SHALL BEFORE START WORK, VERIFY ALL DIMENSION AND HEIGHT.



PROPOSED ROOF PLAN
(DIMENSION PLAN)



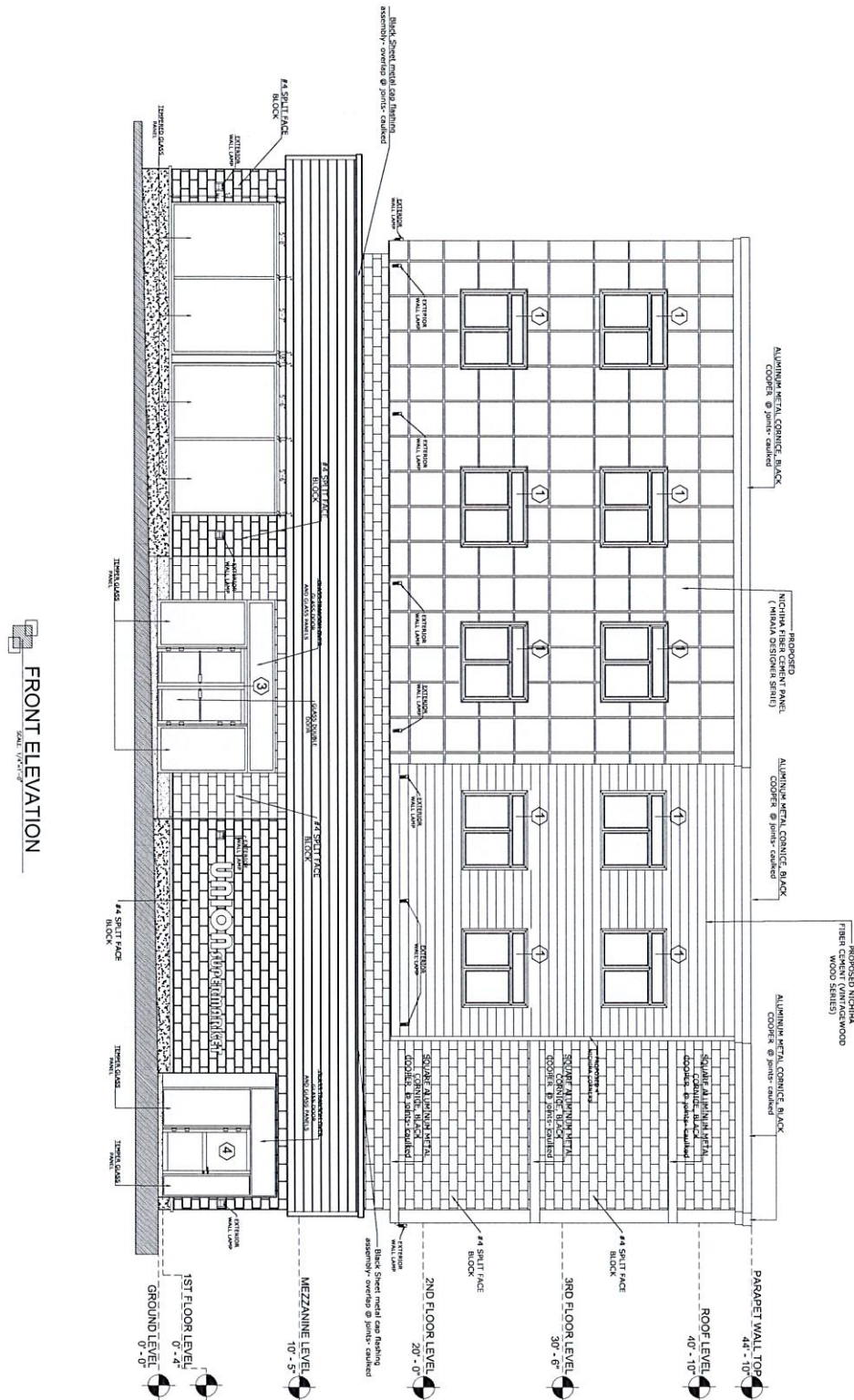
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PHONE: 948-606-9055
EMAIL: calcoldesignstudio@gmail.com
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SCALE: 1/4" = 1'-0"
DATE: 07-16-2024

A-120.00

NOTE:
CONTRACTOR SHALL BEFORE START WORK,
VERIFY EVERY DIMENTION AND HEIGHT



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PHONE: 646-806-9055
EMAIL: Calcoldesignstudio@gmail.com

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PROPOSED MIX-USED BUILDING
ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830

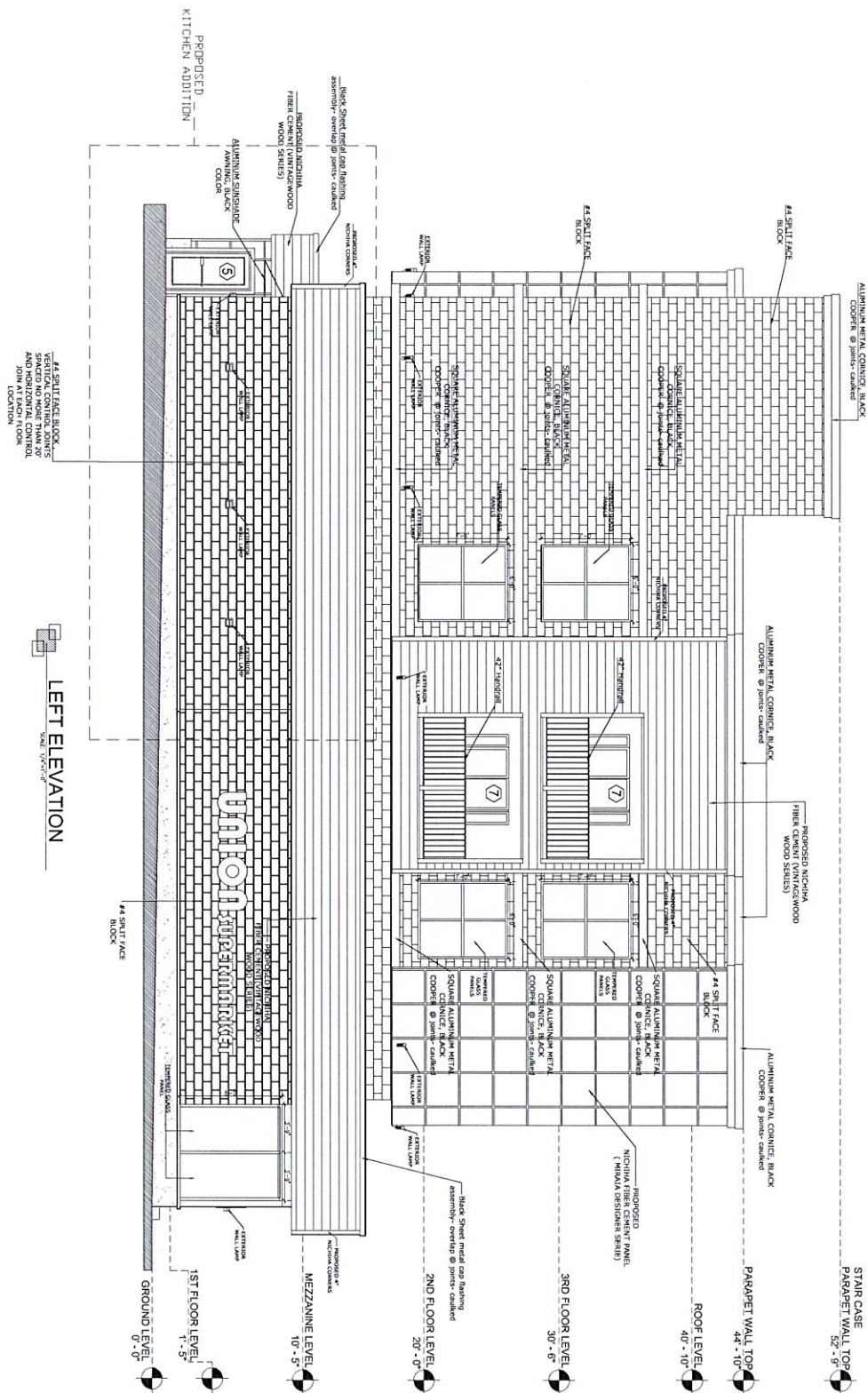
OWNER: UNION SUPERMARKET | DESIGNED BY: CALCOL DESIGN STUDIO

SCALE: 1/4" = 1'-0"

DATE:07-16-2024

A-121.00

NOTE:
CONTRACTOR SHALL BEFORE START WORK,
VERIFY EVERY DIMENTION AND HEIGHT



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LA WILLOW, MA 01841
WWW.GARCIAENGINEERING.COM

PROPOSED MIX-USED BUILDING
ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830
OWNER: UNION SUPERMARKET | DESIGNED BY: CALCOL DESIGN STUDIO

SCALE: 1/4" = 1'-0"

DATE: 10-08-2024

A-105.00

NOTE:
CONTRACTOR SHALL BEFORE START WORK,
VERIFY EVERY DIMENTION AND HEIGHT



13 LOWELL TERRACE, LAWRENCE, MA 01841
PHONE: 948-906-9033
EMAIL: Calderongr1210@yahoo.com

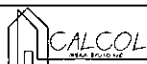
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OWNER: UNION SUPERMARKET | DESIGNED BY: CALOOL DESIGN STUDIO

SCALE: 1/4" = 1'-0"

DATE:07-16-2024

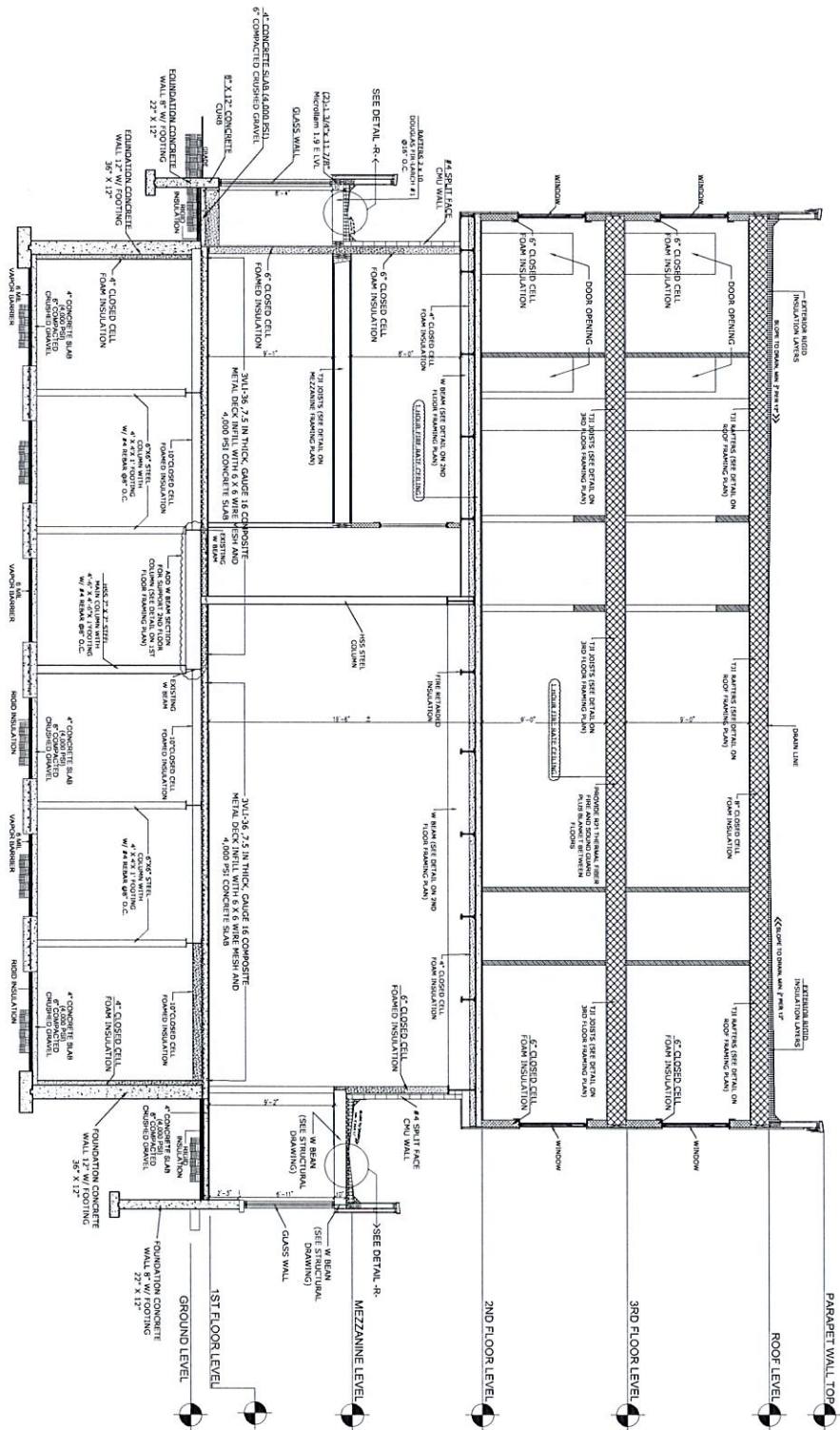
A-123.00

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PROPOSED MIX-USED BUILDING
ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830
 OWNER: UNION SUPERMARKET / DESIGNED BY: CALDER DESIGN STUDIO

A-124.00

NOTE:
CONTRACTOR SHALL BEFORE START WORK,
VERIFY EVERY DIMENSION AND HEIGHT.



GENERAL SECTION

SCALE: 1/4" = 1'-0"



CALCOL
ARCHITECTS, INC.

13 LOVELL TERRACE LAWRENCE, MA 01841
PHONE: 948-686-9635
EMAIL: calcol@calcolarchitects.com
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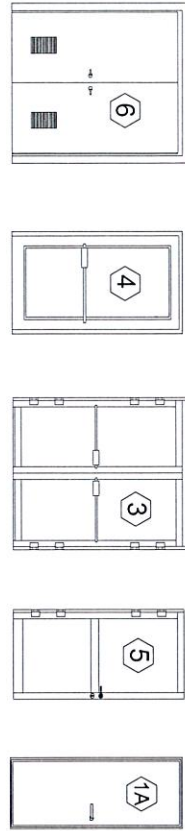
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ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830
OWNER: UNION SUPERMARKET | DESIGNED BY: CALCOL DESIGN STUDIO

SCALE: 1/4" = 1'-0"
DATE: 07-16-2024

A-125.00

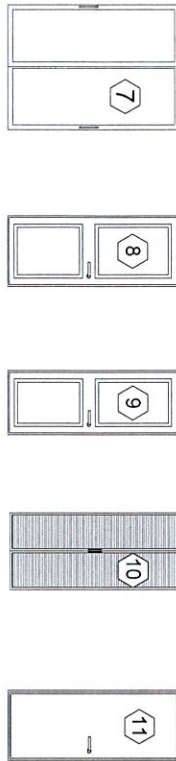
COMMERCIAL SPACE

SYMBOL	DOOR SIZE	FLOOR	QUANTITY	LOCATION	REMARK
1A	36" x 80" TYPICAL	BASEMENT MEZZANINE	13	COMPLETE FLOOR	INTERIOR ALUMINUM DOOR
3	60" x 80"	1ST FLOOR	3	COMPLETE FLOOR	TEMPERED GLASS DOOR
4	42" x 80"	1ST FLOOR	2	ENTRANCE DOOR	TEMPERED GLASS EXTENSION DOOR
5	36" x 80"	1ST FLOOR	2	ENTRANCE DOOR	TEMPERED GLASS EXTENSION DOOR
6	60" x 80"	1ST FLOOR	1	ENTRANCE DOOR	EXTENSION ALUMINUM DOOR



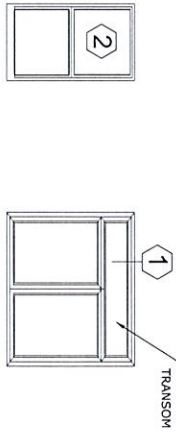
RESIDENTIAL AREA

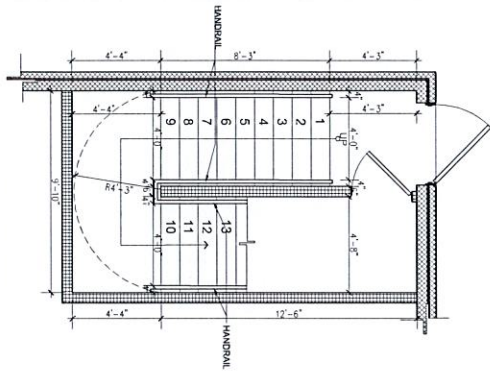
SYMBOL	DOOR SIZE	FLOOR	QUANTITY	LOCATION	REMARK
7	60" x 80" TYPICAL	2ND FLOOR	2	BALCONY	TEMPERED GLASS SLIDING DOOR
8	32" x 80" TYPICAL	2ND FLOOR	16	COMPLETE FLOOR	TYPICAL INTERIOR DOOR
9	32" x 80" TYPICAL	2ND FLOOR	10	COMPLETE FLOOR	TYPICAL INTERIOR DOOR
10	32" x 80"	2ND FLOOR	32	COMPLETE FLOOR	TYPICAL ROUND DOOR
11	32" x 80"	2ND FLOOR ROOF STAIR CASE	12	COMPLETE FLOOR	ALUMINUM DOOR 1 HOUR FIRE RATED MIN.



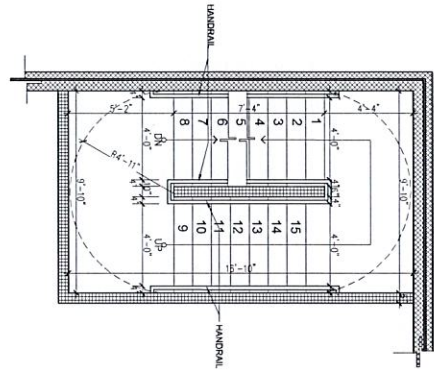
RESIDENTIAL AREA

SYMBOL	WINDOWS SIZE	FLOOR	QUANTITY	LOCATION	REMARK
1	60" x 12"	2ND FLOOR	16	COMPLETE FLOOR	BLACK WINDOW FRAME
2	36" x 80" TYPICAL	2ND FLOOR	6	COMPLETE FLOOR	BLACK WINDOW FRAME

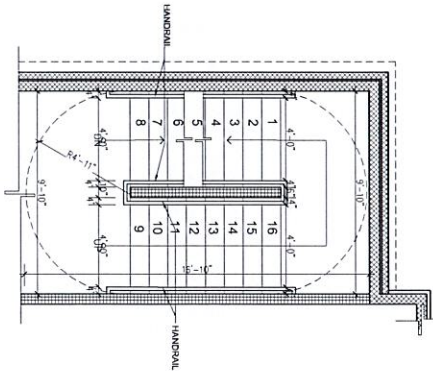




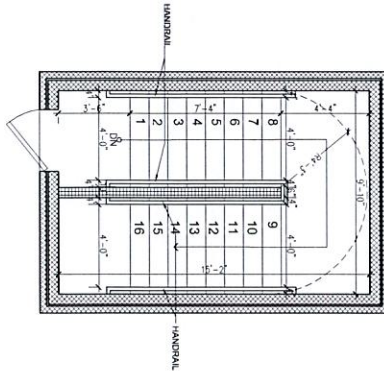
STAIR B - 1ST FLOOR LEVEL



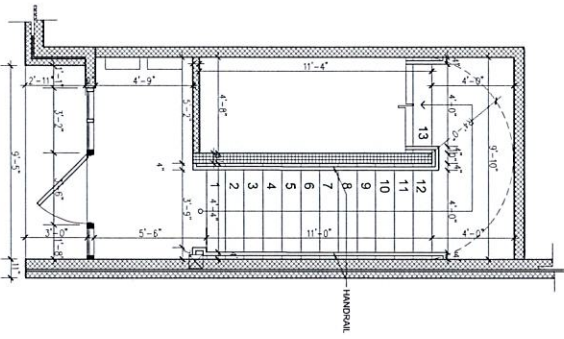
STAIR B - MEZZANINE LEVEL



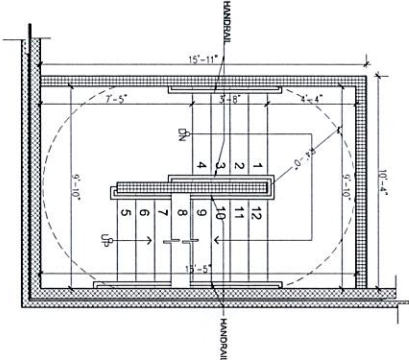
STAIR B - 2ND, 3RD FLOOR LEVEL



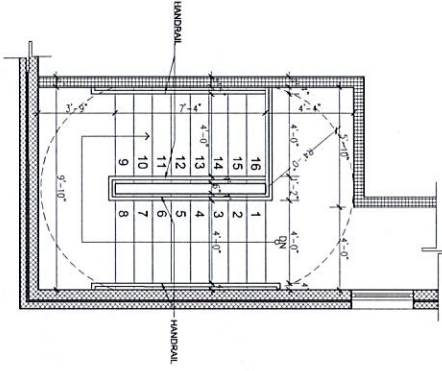
STAIR B - ROOF LEVEL



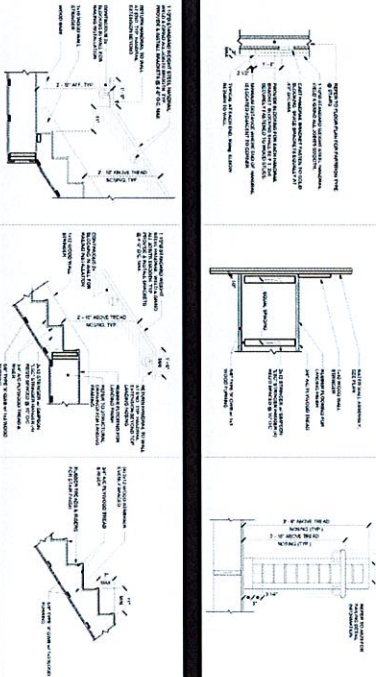
STAIR A - 1ST FLOOR LEVEL



STAIR A - MEZZANINE LEVEL



STAIR A - 2ND, 3RD FLOOR LEVEL



GENERAL STAIR DETAILS

N.T.S.

NOTE: BEFORE CONSTRUCTION, STAIRS, VERTICAL CURTAIN WALLS, AND WINDOW HEADS OF EXISTING BUILDING SHALL BE REMOVED.

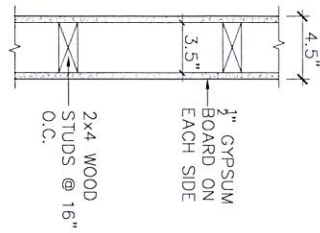


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PHONE: 945-606-9035
KAL, CALCOL@CALCOLDESIGN.COM
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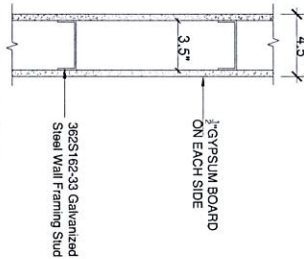
PROPOSED MIX-USED BUILDING
ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830
OWNER: UNION SUPERMARKET | DESIGNED BY: CALCOL DESIGN STUDIO

SCALE: 1/4" = 1'-0"
DATE: 07-16-2024

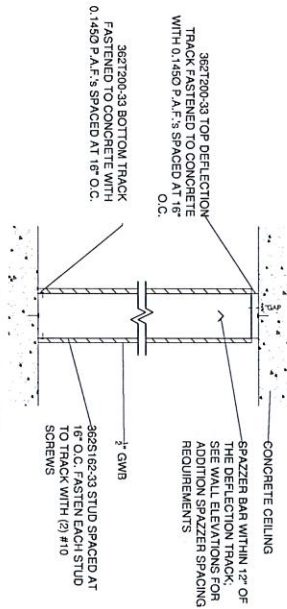
A-127.00



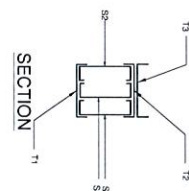
INTERIOR WALL WOOD STUD
N.T.S.



INTERIOR WALL STEEL STUD
N.T.S.



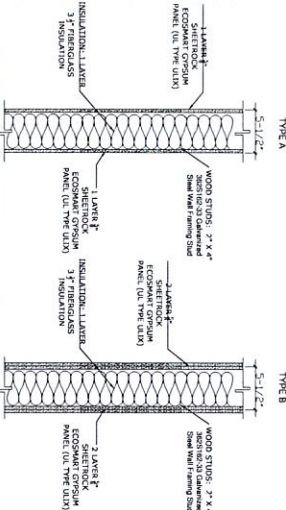
INTERIOR WALL METAL STUD CONNECTION
N.T.S.



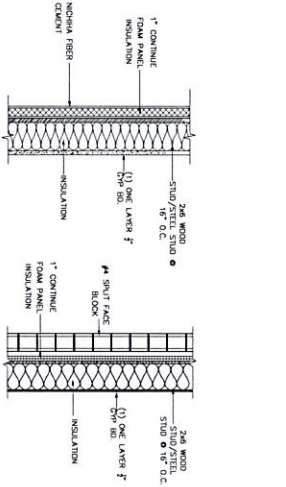
METAL STUD TYPICAL HEADER
N.T.S.

HEADER TYPE	S1	S2	S3	T1	T2	T3
HEIGHT	362S162-43	362S162-43	N/A	362T162-43	N/A	362T162-43

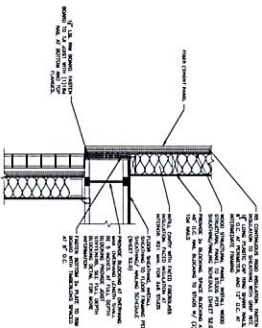
- NOTES:
1. ALL LIGHT GAUGE METAL FRAMING MEMBER GREATER THAN 18 GAUGE SHALL HAVE A YIELD STRENGTH OF $F_y = 50$ KSI.
 2. IF 18 GAUGE OR GREATER, THE STUDS SHALL BE SPACED AT 16" O.C.
 3. IF 18 IS NOT PRESENT, CONNECT 12 TO 15 MEMBERS SIMILAR TO AS DESCRIBED IN FIG. 2 OF THESE NOTES.
 4. STUDS SHALL BE SPACED AT 16" O.C. AT 7' TO 5' AND 5' TO 7' P. JUNCTIONS WITH 16" O.C. SPACING AND CONNECT TO ALL S. MEMBERS WITH #10S SPACED AT 12" O.C.
 5. ALL S AND T DESIGNATIONS ARE PER ISMA.



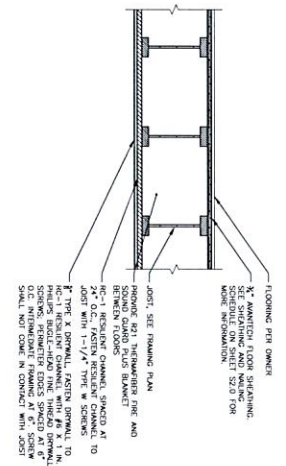
INTERIOR WALL FIRE SEPARATION
N.T.S.



EXTERIOR WALLS
N.T.S.



CONNECTION DETAIL
N.T.S.



1HR-RATED CEILING ASSEMBLY
N.T.S.

ACCORDING WITH IBC 2015 SECTION 703.4 CONSTRUCTION
DO NOT PROVIDE DOORS OR OTHER PENETRATIONS IN THIS WALL
UNLESS SPECIFICALLY NOTED OTHERWISE
REQUIRED FOR ANY CONNECTING INTERIOR EXIT STAIRWAY OR RAMP



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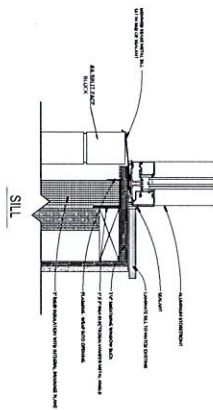


CMU REBAR DETAIL

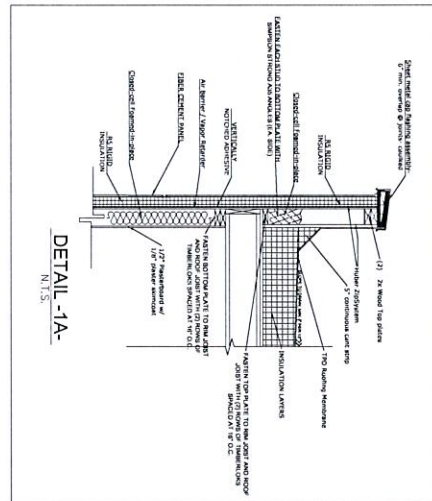
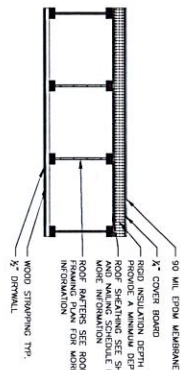


EXPANSION JOINT DETAIL

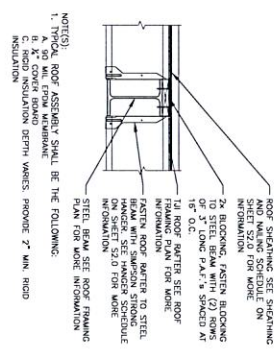
MAXIMUM OPENING	4" THICK CMU WALL	6" THICK CMU WALL	8" THICK CMU WALL	12" THICK CMU WALL
4'-0"	2, 302 1/4	2, 302 1/2 INCH	2, 3 1/2 INCH 1/2 INCH	3, 11 3 1/2 INCH 1/2 INCH
5'-0"	2, 302 1/4	2, 3 1/2 INCH 1/2 INCH	2, 4 1/4 INCH 1/2 INCH	3, 11 4/8 INCH 1/2 INCH
6'-0"	2, 302 1/4	2, 3 1/2 INCH 1/2 INCH	2, 4 1/4 INCH 1/2 INCH	3, 11 4/8 INCH 1/2 INCH
8'-0"	2, 302 1/2	2, 3 1/2 INCH 1/2 INCH	2, 4 1/4 INCH 1/2 INCH	3, 11 4/8 INCH 1/2 INCH
10'-0"	NA	2, 3 1/2 INCH 1/2 INCH	2, 4 1/4 INCH 1/2 INCH	3, 11 4/8 INCH 1/2 INCH
12'-0"	NA	2, 3 1/2 INCH 1/2 INCH	2, 4 1/4 INCH 1/2 INCH	3, 11 4/8 INCH 1/2 INCH

[illegible]

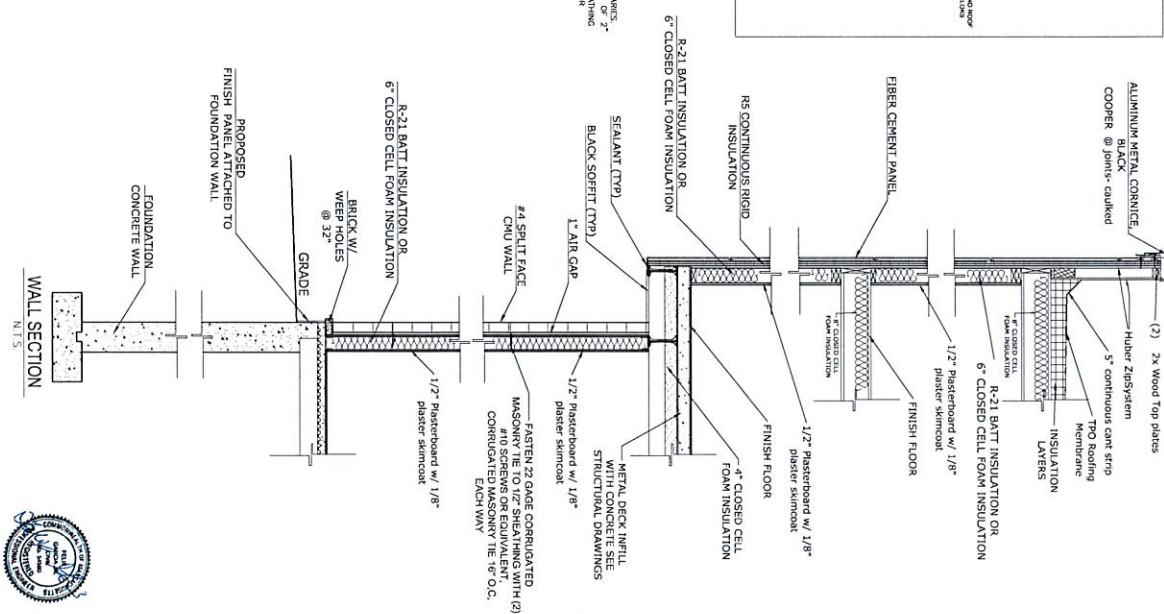
TYPICAL WINDOW DETAILS

DETAILED - 1A-
N.T.S.

ROOF ASSEMBLY
N.T.S.



TJI JOIST TO STEEL BEAM CONNECTION

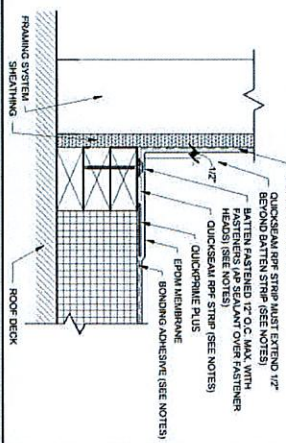


WALL SECTION

ROOF DRAIN INSTALLATION

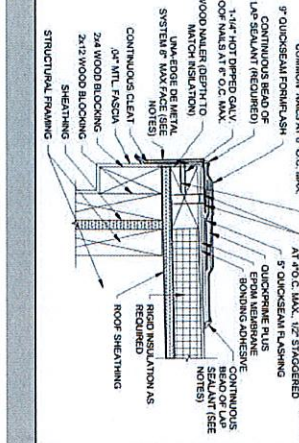
NOTES:

1. MAXIMUM 6" LONG FASTENERS. NOTE: WOOD BLOCKING MAY BE SUBSTITUTED FOR INSULATION TO REDUCE FASTENER LENGTH.
2. BONDING ADHESIVE REQUIRED BETWEEN MEMBRANE AND INSULATION FOR FULLY ADHERED SYSTEMS.



NOTES:

1. INSTALL METAL WORK TO MANUFACTURER INSTALLATION INSTRUCTIONS.
2. 9\"/>



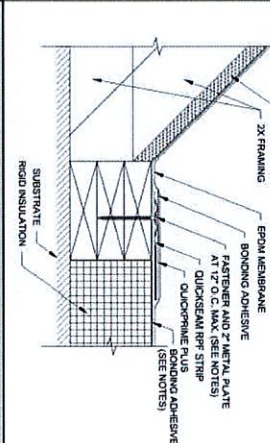
ROOF DRAIN INSTALLATION

N.T.S.

ROOF DRAIN INSTALLATION

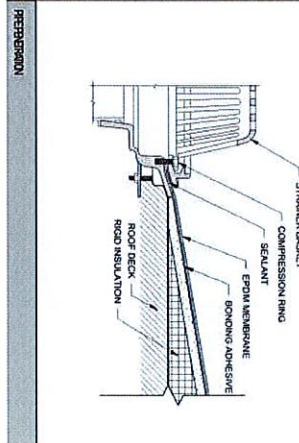
NOTES:

1. MAXIMUM 6" LONG FASTENERS. NOTE: WOOD BLOCKING MAY BE SUBSTITUTED FOR INSULATION TO REDUCE FASTENER LENGTH.
2. BONDING ADHESIVE REQUIRED BETWEEN MEMBRANE AND INSULATION FOR FULLY ADHERED SYSTEMS.



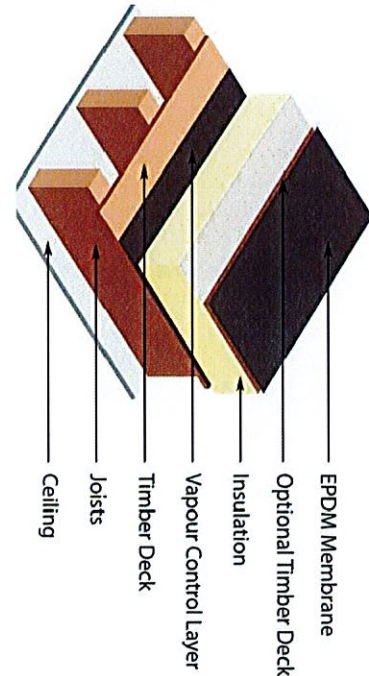
NOTES:

1. MAXIMUM 6" LONG FASTENERS. NOTE: WOOD BLOCKING MAY BE SUBSTITUTED FOR INSULATION TO REDUCE FASTENER LENGTH.
2. BONDING ADHESIVE REQUIRED BETWEEN MEMBRANE AND INSULATION FOR FULLY ADHERED SYSTEMS.



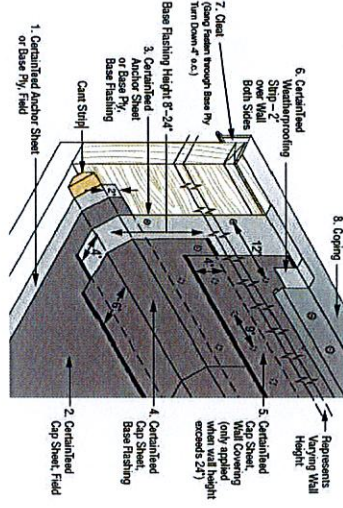
ROOF DRAIN INSTALLATION

N.T.S.



RUBBER ROOF CLASS (A)

N.T.S.



COPING INSTALLATION

N.T.S.

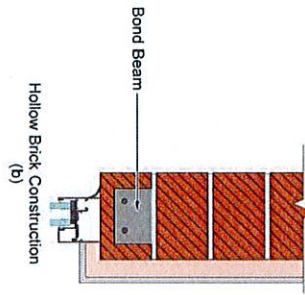


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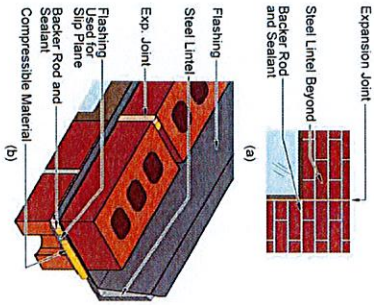
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EMAIL: calcol@calcoldesignstudio.com
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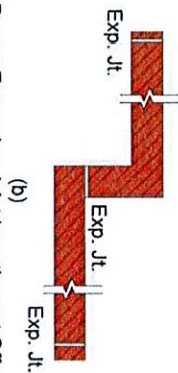
SCALE: 1/4" = 1'-0"
DATE: 07-16-2024



BOND BEAM BRICK /BLOCK INSTALLATION
N.T.S.

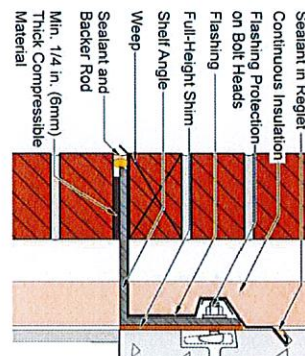


BRICK /BLOCK LINTEL INSTALLATION
N.T.S.

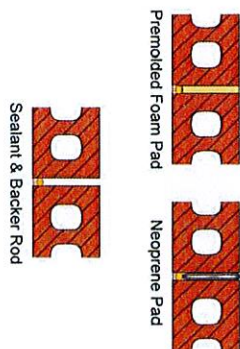


Proper Expansion Joint Locations at Offset
N.T.S.

VERTICAL EXPANSION JOINTS OFFSET
N.T.S.



BRICK /BLOCK HORIZONTAL EXPANSION JOINT
N.T.S.



VERTICAL EXPANSION JOINTS TYPE
N.T.S.

NOTES:
1. DETAILS PRESENTED HERE ARE FOR BRICK WALL.
2. SEALS AND WALS TO BE SMOOTHNESS WHEN EXPOSED TO WEATHER.

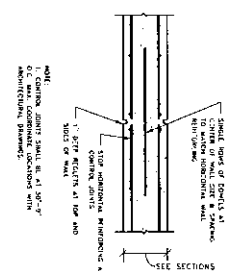


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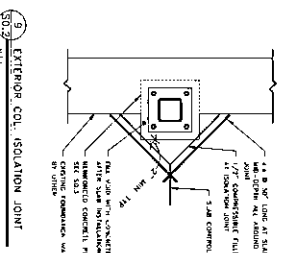
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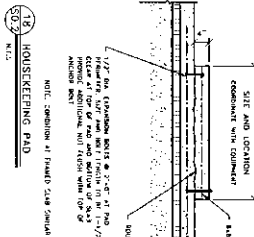
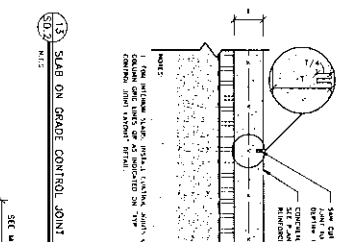
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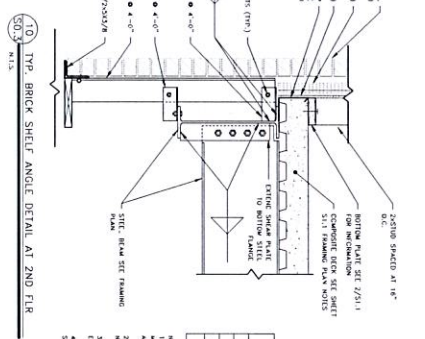
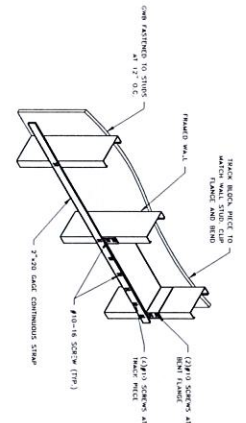
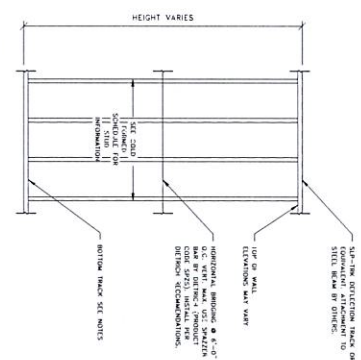
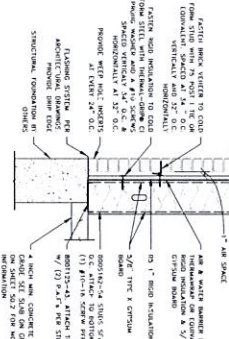
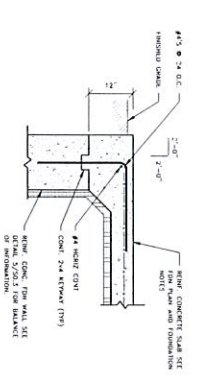
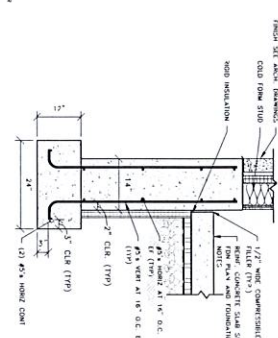
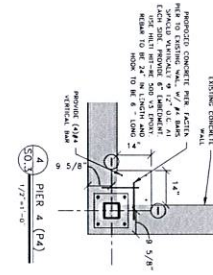
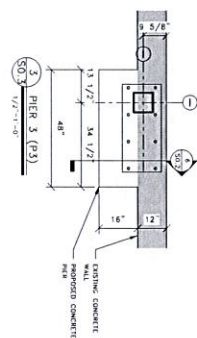
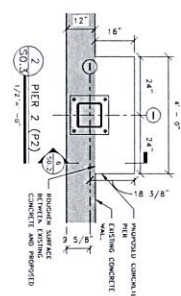
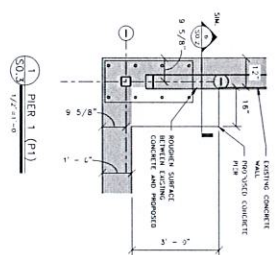
5
50.2
CONC. WALL CONTROL JOINT
#1's



9
50.2
EXTERIOR COL. ISOLATION JOINT
N.I.



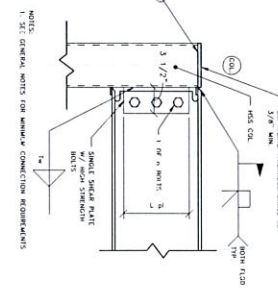
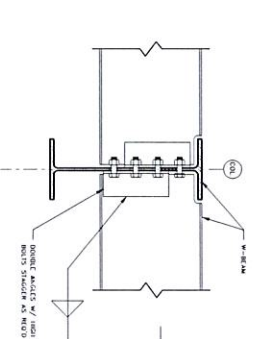
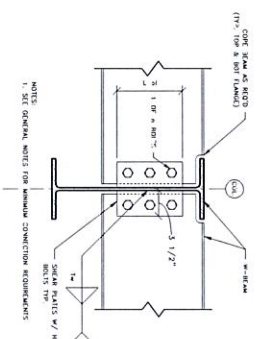
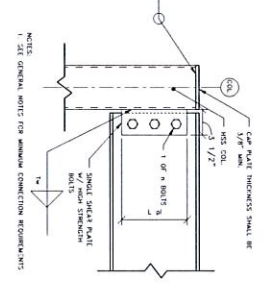
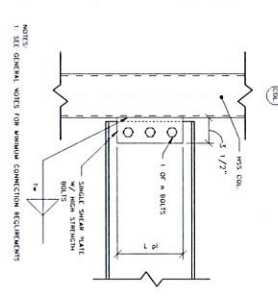
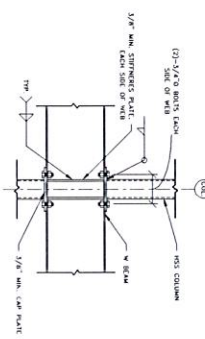
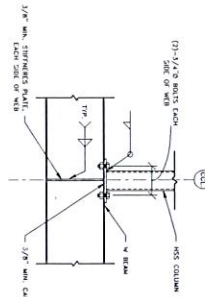
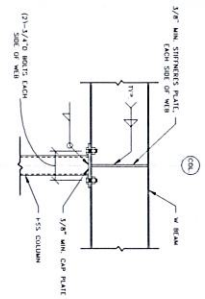
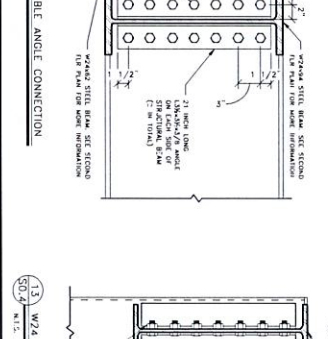
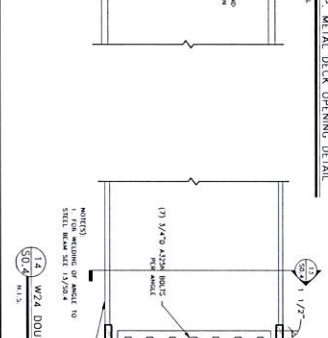
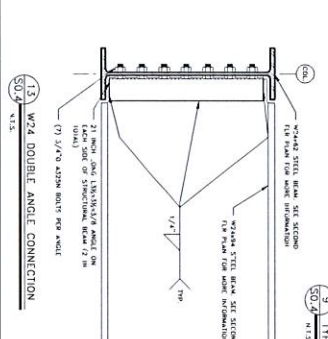
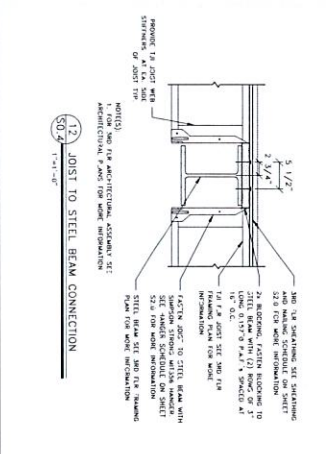
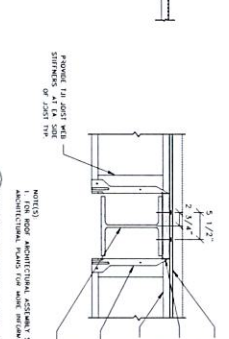
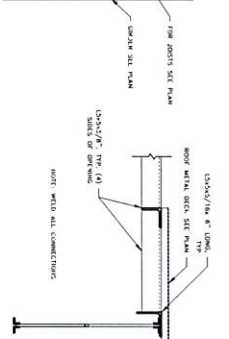
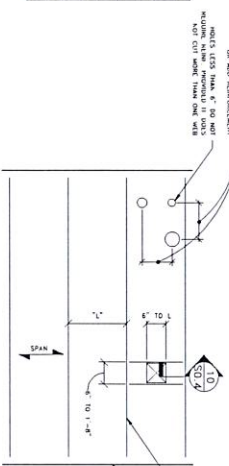
18 HOUSEKEEPING PAD
50.2 N.T.

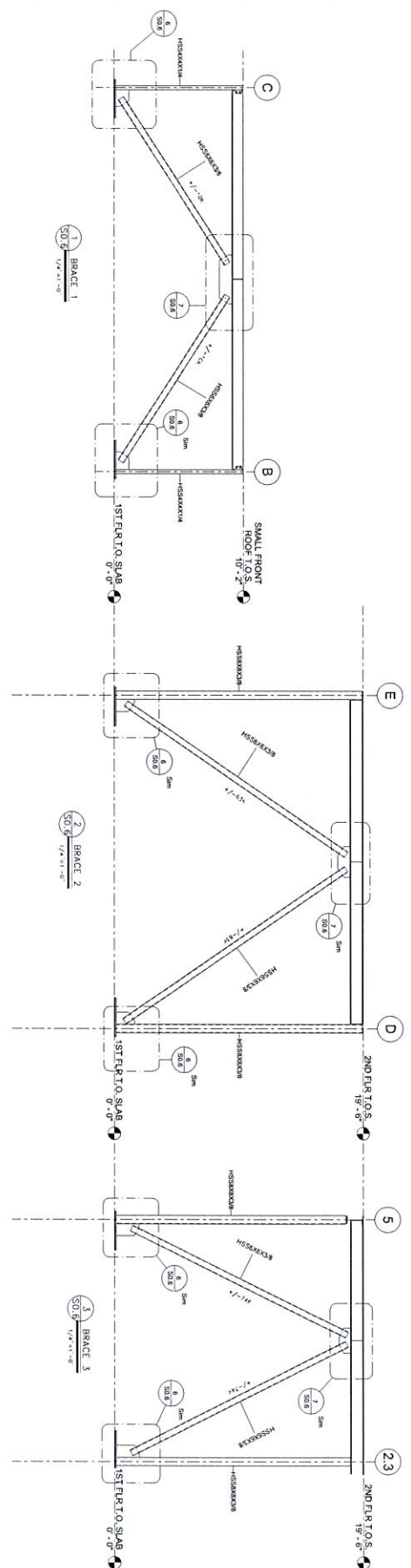
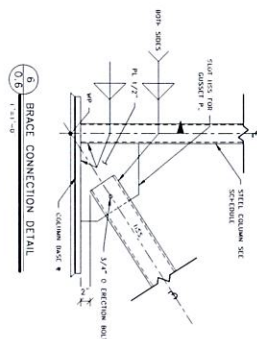
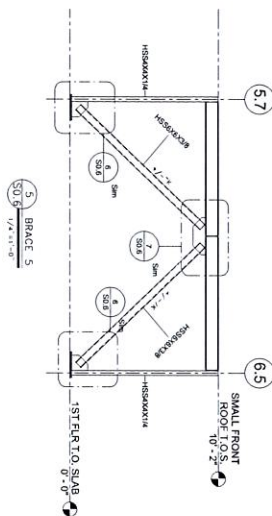
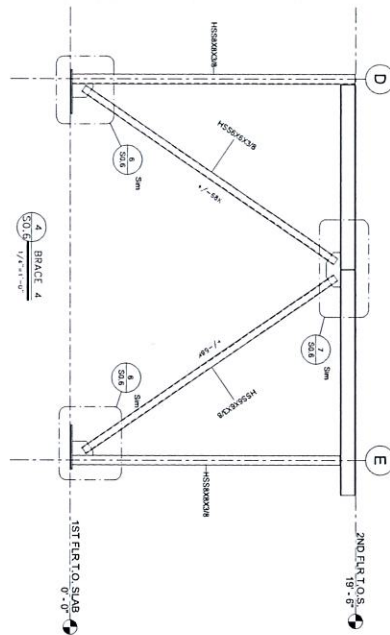
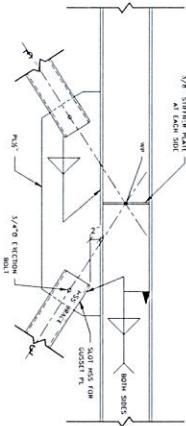


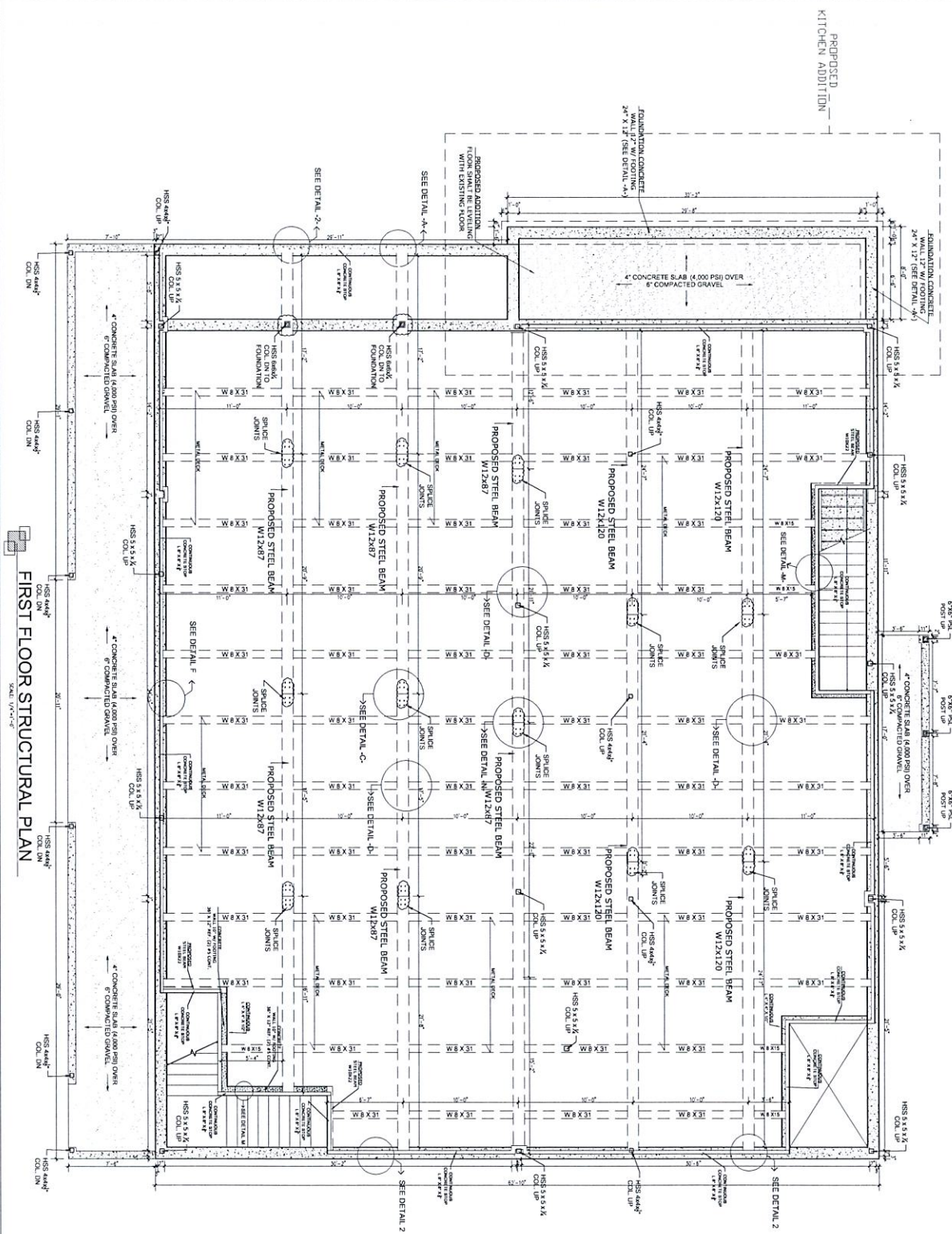
SECTION	DETAIL
1-1	1'-0" x 1'-0"
2-2	1'-0" x 1'-0"
3-3	1'-0" x 1'-0"

SECTION	DETAIL	DESCRIPTION	REMARKS
1-1	1'-0" x 1'-0"	WALL STUD	WALL STUD
2-2	1'-0" x 1'-0"	WALL STUD	WALL STUD
3-3	1'-0" x 1'-0"	WALL STUD	WALL STUD
4-4	1'-0" x 1'-0"	WALL STUD	WALL STUD
5-5	1'-0" x 1'-0"	WALL STUD	WALL STUD

SECTION	DETAIL	DESCRIPTION	REMARKS
1-1	1'-0" x 1'-0"	WALL STUD	WALL STUD
2-2	1'-0" x 1'-0"	WALL STUD	WALL STUD
3-3	1'-0" x 1'-0"	WALL STUD	WALL STUD
4-4	1'-0" x 1'-0"	WALL STUD	WALL STUD
5-5	1'-0" x 1'-0"	WALL STUD	WALL STUD

[illegible]

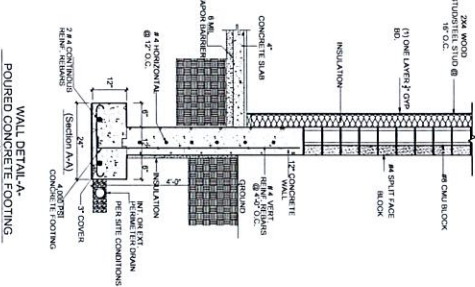




FIRST FLOOR STRUCTURAL PLAN

SCALE: 1/4" = 1'-0"

NOTE:
STRUCTORS SHALL BEFORE START WORK,
VERIFY EVERY DIMENSION AND HEIGHT



CALCOL
DESIGN STUDIO

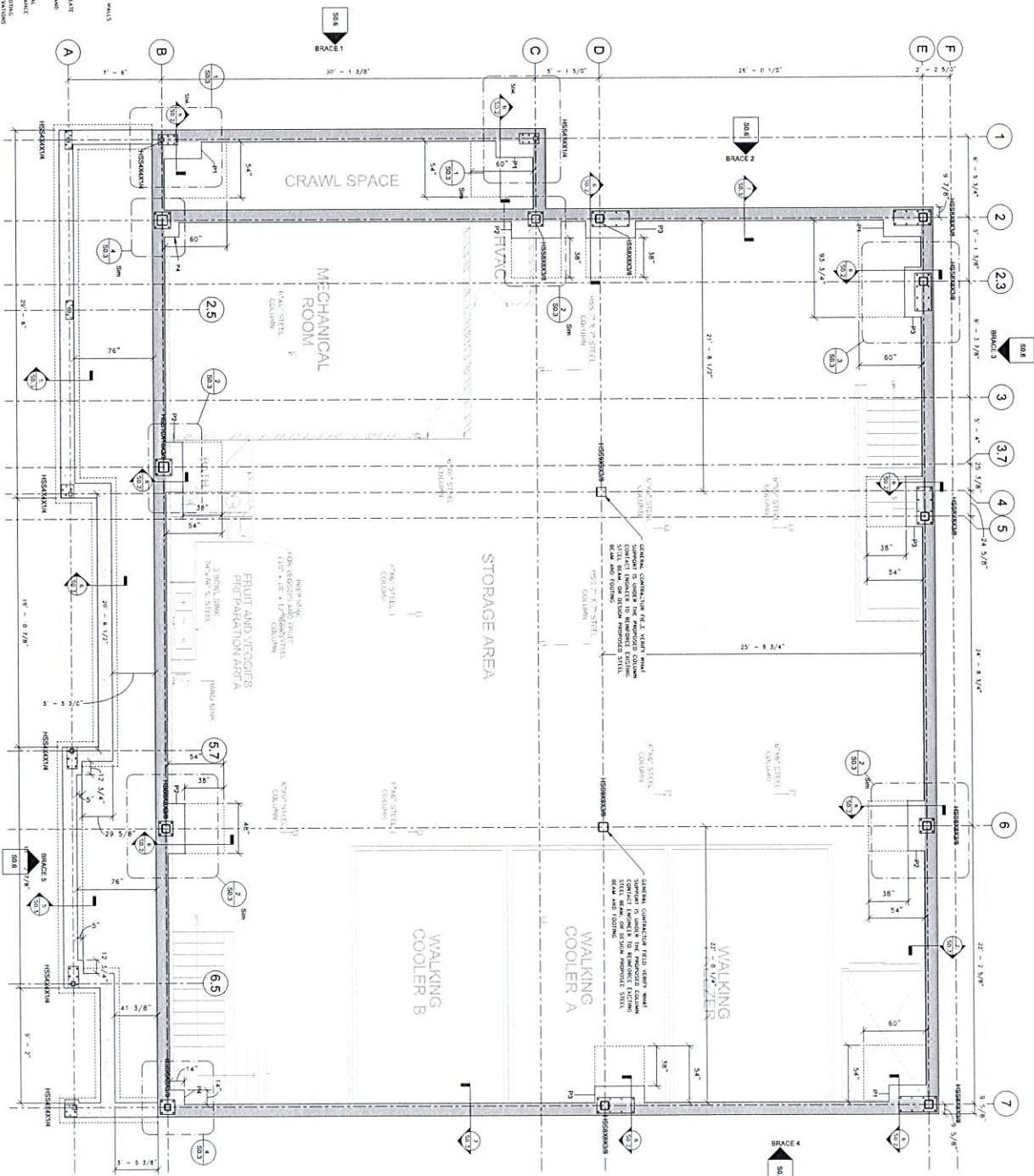
GARCIA
ENGINEERING
ARCHITECTS
233 WINTER ST., SUITE 200
HAVERHILL, MA 01830
WWW.GARCIAENGINEERING.COM

PROPOSED MIX-USED BUILDING
ADDRESS: 233 WINTER ST., HAVERHILL, MA 01830
OWNER: UNION SUPERMARKET | DESIGNED BY: CALCOL DESIGN STUDIO

SCALE: 1/4" = 1'-0"
DATE: 10-08-2024

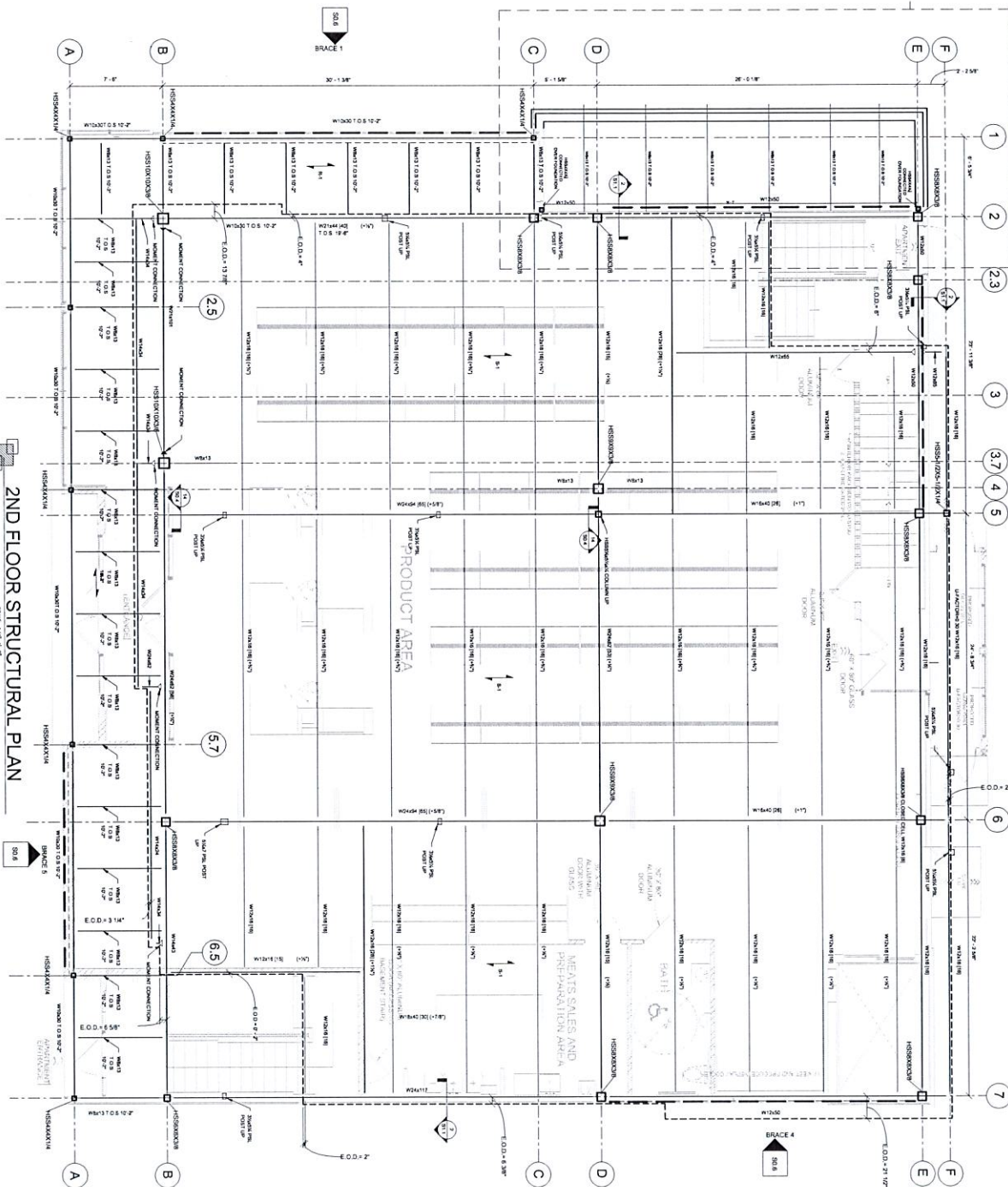
A-103.00

FOUNDATION DATA NOTES:
 1. THE FOUNDATION SHALL BE CONSTRUCTED TO SUPPORT THE FOUNDATION FOR ALL EXISTING WALLS AND EXISTING WALLS TO BE REMOVED OR MODIFIED.
 2. THE FOUNDATION SHALL BE CONSTRUCTED TO SUPPORT THE FOUNDATION FOR ALL EXISTING WALLS AND EXISTING WALLS TO BE REMOVED OR MODIFIED.
 3. THE FOUNDATION SHALL BE CONSTRUCTED TO SUPPORT THE FOUNDATION FOR ALL EXISTING WALLS AND EXISTING WALLS TO BE REMOVED OR MODIFIED.
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 7. THE FOUNDATION SHALL BE CONSTRUCTED TO SUPPORT THE FOUNDATION FOR ALL EXISTING WALLS AND EXISTING WALLS TO BE REMOVED OR MODIFIED.
 8. THE FOUNDATION SHALL BE CONSTRUCTED TO SUPPORT THE FOUNDATION FOR ALL EXISTING WALLS AND EXISTING WALLS TO BE REMOVED OR MODIFIED.
 9. THE FOUNDATION SHALL BE CONSTRUCTED TO SUPPORT THE FOUNDATION FOR ALL EXISTING WALLS AND EXISTING WALLS TO BE REMOVED OR MODIFIED.
 10. THE FOUNDATION SHALL BE CONSTRUCTED TO SUPPORT THE FOUNDATION FOR ALL EXISTING WALLS AND EXISTING WALLS TO BE REMOVED OR MODIFIED.



NOTE:
CONTRACTOR SHALL BEFORE START WORK,
VERIFY EXISTING DIMENSION AND HEIGHT

PROPOSED
KITCHEN ADDITION



2ND FLOOR STRUCTURAL PLAN

SCALE: 1/4" = 1'-0"



GARCIA
ENGINEERING
INC.
1155 WINTER ST., SUITE 200
HAVERHILL, MA 01830
WWW.GARCIAENGINEERING.COM

PROPOSED MIX-USED BUILDING
ADDRESS: 233 WINTER ST, HAVERHILL, MA 01830
OWNER: UNION SUPERMARKET | DESIGNED BY: CALCOL DESIGN STUDIO

SCALE: 1/4" = 1'-0"
DATE: 10-08-2024

A-104.00

SPAN ARROW INDICATES DIRECTION OF SPAN



DWG NO
S1.1

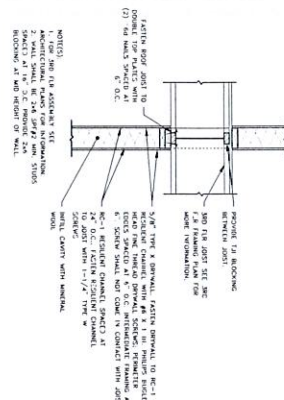
Project Number 240613
7/16/2024

Drawn by FGJ	Checked FGJ
--------------	-------------

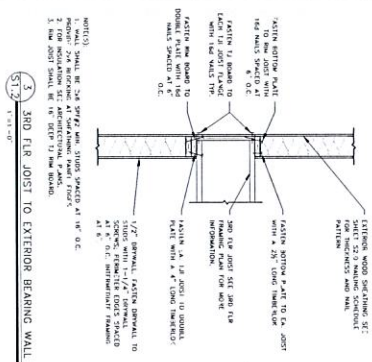
115 South Pleasant Street
Haverhill, MA 01835
(978)390-9306
fgarcia.engineering@gmail.com



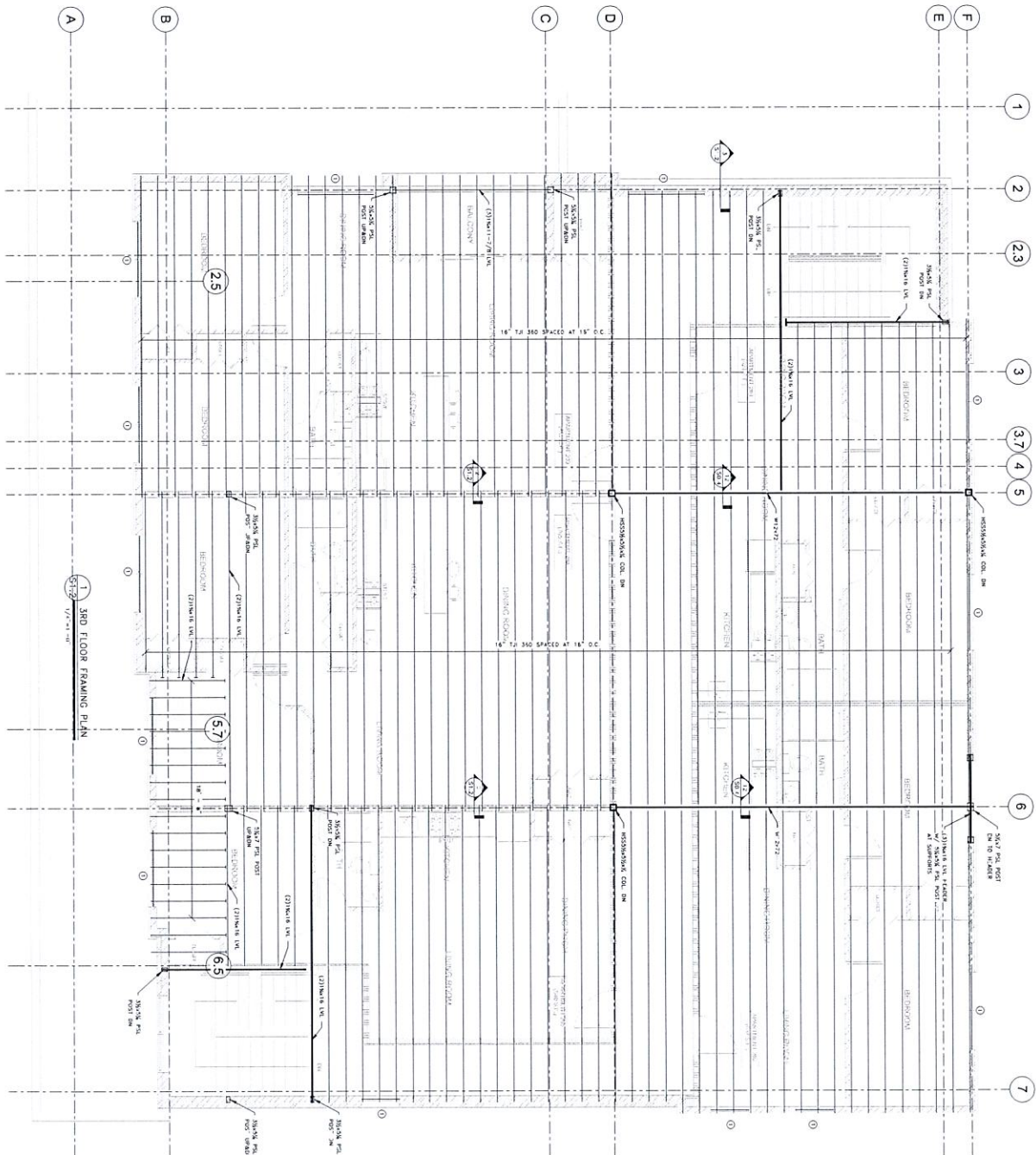
No.	Date	Revision	By



2
51.2 3RD FLR JOIST TO INTERIOR BEARING WALL
1" = 8'



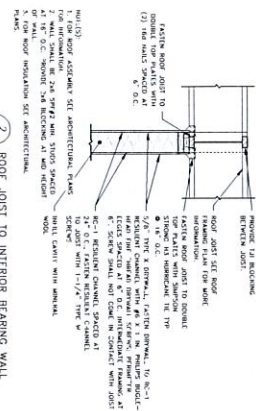
3RD FLR JOIST TO EXTERIOR BEARING WALL
 $\Delta = 0$

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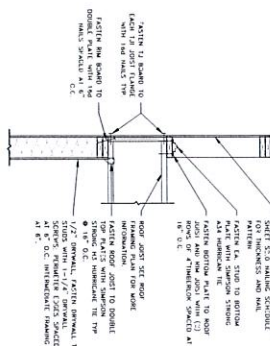
1
51-2 3RD FLOOR FRAMING PLAN
1/8" = 1'-0"



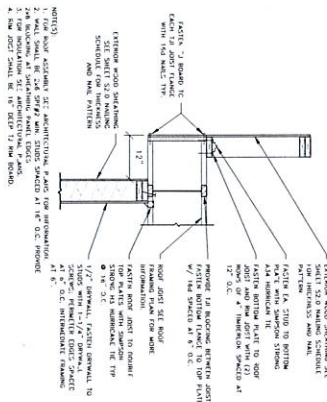
No.	Date	Revision	By



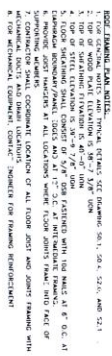
2
51.3
1'-6 1/4" ROOF JOIST TO INTERIOR BEARING WALL



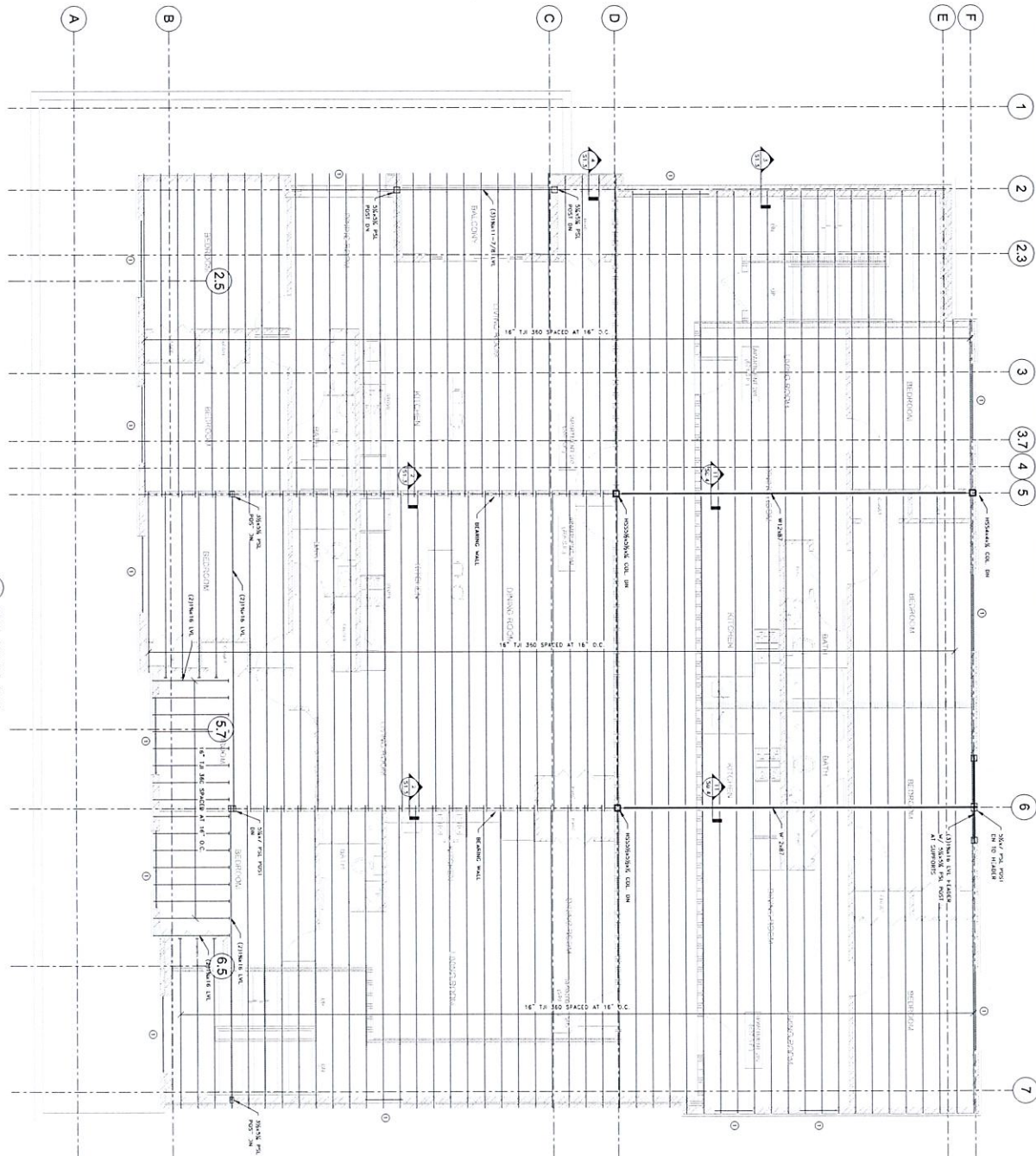
3 ROOF JOIST TO EXTERIOR BEARING WALL.



4 ROOF JOIST TO EXTERIOR BEARING WALL
S1.3 1'-0" x 1'-0"



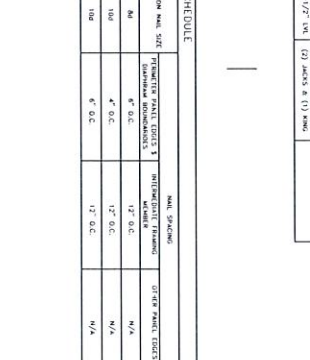
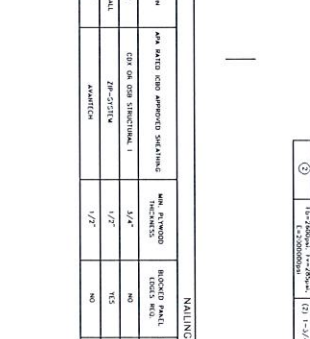
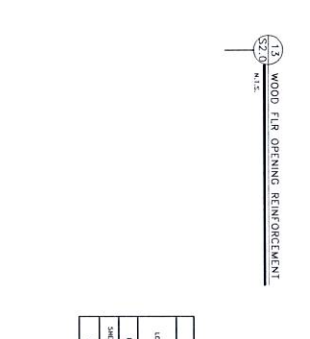
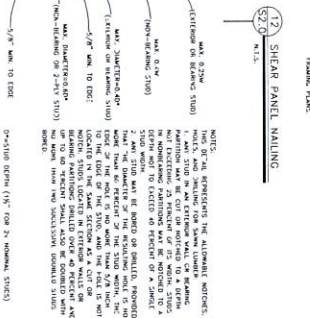
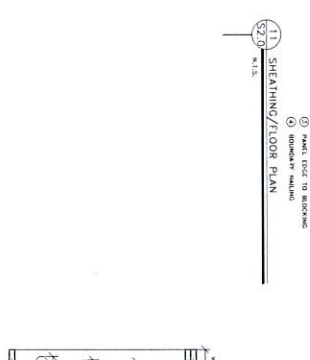
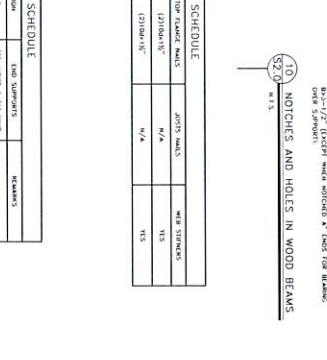
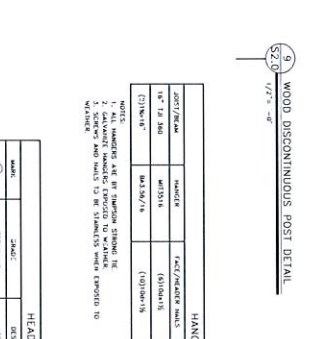
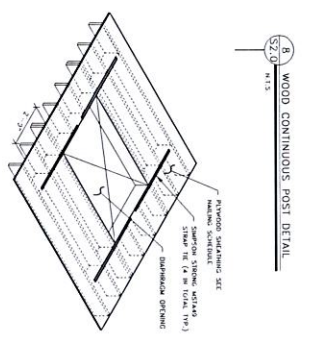
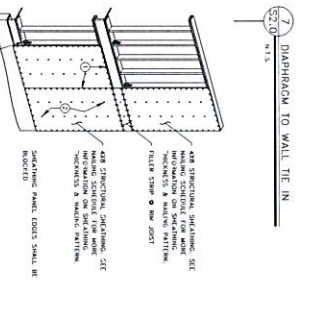
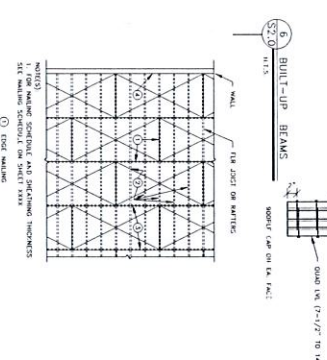
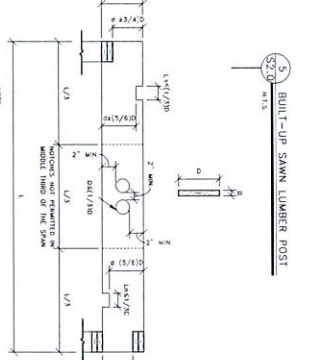
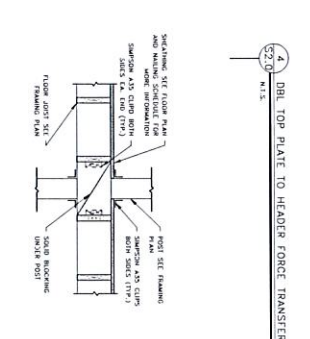
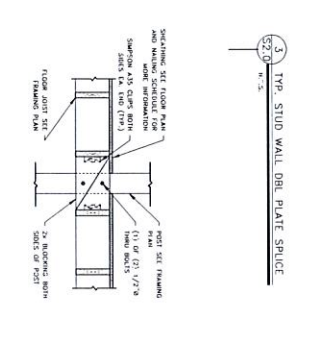
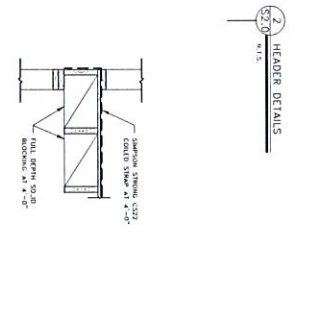
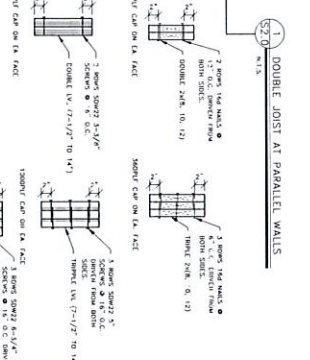
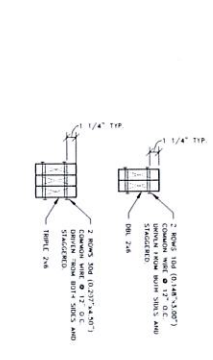
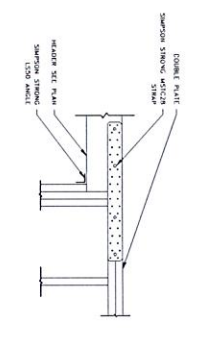
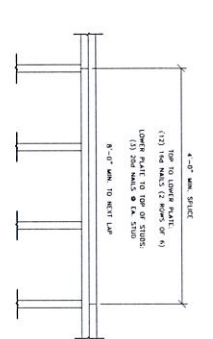
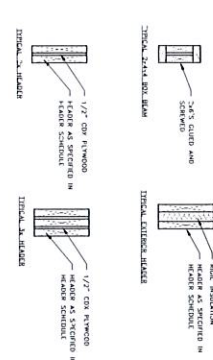
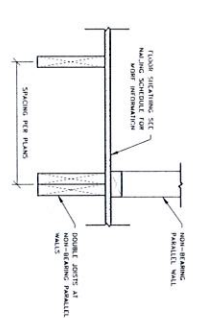
COORDINATE LOCATION OF ALL FLOOR JOIST AND JOINTS &
HALL LOCATIONS
MENT, CONTACT" ENGINEER FOR FRAMING REINFORCEMENT



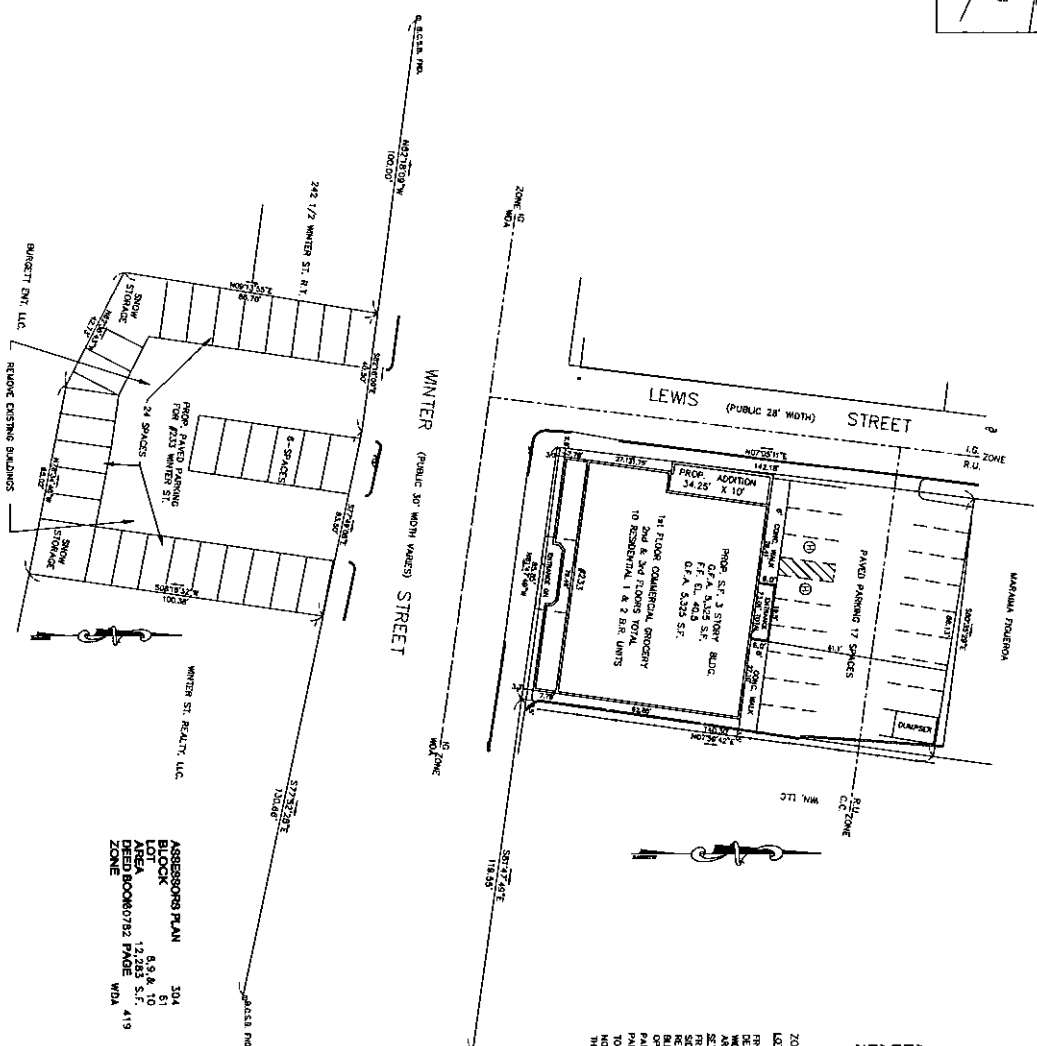
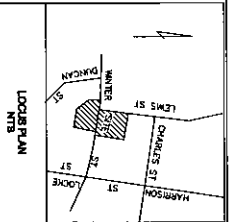
1
 51.3
 ROOF FRAMING PLAN
 1/4" = 1'-0"



No.	Date	Revision	By



NOTES:
1. ALL DIMENSIONS ARE IN INCHES UNLESS OTHERWISE NOTED.
2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO OUTSIDE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO INSIDE UNLESS OTHERWISE NOTED.
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11. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
12. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
13. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
14. ALL DIMENSIONS ARE TO OUTSIDE UNLESS OTHERWISE NOTED.
15. ALL DIMENSIONS ARE TO INSIDE UNLESS OTHERWISE NOTED.
16. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
17. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
18. ALL DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
19. ALL DIMENSIONS ARE TO OUTSIDE UNLESS OTHERWISE NOTED.
20. ALL DIMENSIONS ARE TO INSIDE UNLESS OTHERWISE NOTED.



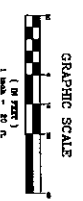
ASSESSORS PLAN
BLOCK 75
LOT 3
AREA 12,283 S.F.
DEED BOOK 0782 PAGE 338
ZONE C-2, R-1

ZONING REQUIREMENTS ZONE: C-2

REQUIREMENTS	PROPOSED
LOT AREA	12,283 S.F.
FRONTAGE	100.00'
WIDTH	37.25'
AREA	5,000 S.F.
SETBACKS	12.283 S.F.
MINIMUM FRONT SETBACK	0
MINIMUM SIDE SETBACK	0
MINIMUM REAR SETBACK	0
MINIMUM OPEN SPACE	0
PARKING REQUIREMENTS	15
PROPOSED PARKING	15

NOTE: RESIDENTIAL PARKING WILL BE LIMITED TO THE PROPOSED LOT AT 238 WINTER ST.

ASSESSORS PLAN
BLOCK 304
LOT 61
AREA 5.8 & 10
DEED BOOK 0782 PAGE 419
ZONE WDA



PROPOSED SITE PLAN OF LAND AT 233 & 238 WINTER STREET HAVERHILL, MASSACHUSETTS

MAY 22, 2025

OWNER/APPLICANT:
233 WINTER STREET, LLC
10 TEMPLE DR.
METHUEN, MA 01844

GENERAL NOTES:

1. Boundary information based upon deed book 152, page 1, C.S.B.3, topographic and address information was supplied from data survey performed by R.A.M. Engineering, Haverhill, MA.
2. The Contractor shall be responsible for verifying the location, size and condition of all existing structures, utilities, and other features shown on the site plan and for obtaining all necessary permits and approvals from the appropriate authorities.
3. The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
4. The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
5. The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
6. The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
7. All detailed notes and dimensions shown on the plan shall be followed and applied to a copy of the plan.
8. The contractor shall coordinate any necessary building line removal with the City of Haverhill Engineering Department and the Haverhill Police Department.
9. Contractor shall protect and maintain existing landmarks and features. All landmarks and features shall be clearly marked and protected throughout the project.
10. All utility lines shall be clearly marked and protected throughout the project.
11. All proposed grades and elevations shall be clearly marked and protected throughout the project.
12. All proposed structures shall be clearly marked and protected throughout the project.
13. Detailed dimensions shall be applied to the plan.

R.A.M. ENGINEERING
160 Main Street
Haverhill, Massachusetts 01830
TEL: (978) 372-0449 FAX: (978) 372-7183



13.1

MELINDA E. BARRETT
MAYOR

CITY OF HAVERHILL
MASSACHUSETTS

CITY HALL, ROOM 100
FOUR SUMMER STREET
HAVERHILL, MA 01830
PHONE 978-374-2300
FAX 978-373-7544
MAYOR@HAVERHILLMA.GOV
WWW.HAVERHILLMA.GOV

October 2, 2025

To: City Council President Thomas J. Sullivan and Members of the Haverhill City Council

From: Mayor Melinda E. Barrett

OCT 3 AM 8:31
HAVERHILL CITY CLERK

RE: FY25 Bills

Dear Mr. President and Members of the Haverhill City Council:

Attached, please find an order to pay bills from the previous fiscal year:

Vendor	Amount	Account
Chemrite	\$ 18,920.00	Wastewater

Total: \$ 18,920.00

I recommend approval.

Sincerely,

Melinda E. Barrett
Mayor

MEB/em



Document

CITY OF HAVERHILL

In Municipal Council

Ordered:

That in accordance with General Laws, Chapter 44, Section 64, authorize the payment of bill(s) of the previous years and to further authorize the payment from current year departmental appropriations as listed below:

<u>Vendor</u>	<u>Amount</u>	<u>Account</u>
Chemrite	\$18,920.00	Wastewater Dept

04/08/20
CITY CLERK



5202 Belle Wood Court · Suite 104 · Buford, GA 30518
877.248.0017 ph · 770.271.4068 fax
www.chemrite.com

Invoice**317540****Bill**

City of Haverhill Water
Attn: Accounts Payable
40 S. Porter Street
Haverhill, MA. 01835

Ship

City of Haverhill WWTP
40 S. Porter Street
Haverhill, MA 01835

Date

9/28/2023

Purchase Order

2400161

Bill of Lading

9938254

Ship Date

9/28/2023

Terms

Net 30

Account**Information**

Central

For water/wastewater

Item	Product Description	Container	Qty/Weight	Unit Price	Total
Sodium Silica	Sodium Silicafluoride NSF Certified 220 x 50 lb Bags	50 lb Bag	11,000	1.72	18,920.00

Remit to:
Chemrite Incorporated
5202 Belle Wood Court Suite 104 Buford, Georgia 30518
ph. 770.271.5576
fax 770.271.4068
sales@chemrite.com

Subtotal \$18,920.00**Sales Tax (0.0%)** \$0.00**Total** **\$18,920.00**

15.1

CITY COUNCIL

Thomas J. Sullivan, *President*
Timothy J. Jordan, *Vice President*
John A. Michitson
Colin F. LePage
Melissa J. Lewandowski
Catherine P. Rogers
Shaun P. Toohey
Michael S. McGonagle
Katrina Hobbs Everett
Devan Ferreira
Ralph T. Basiliere



CITY HALL, ROOM 204
4 SUMMER STREET
TELEPHONE: 978-374-2328
FACSIMILE: 978-374-2329

WWW.CITYOFHAVERHILL.COM
CITYCOUNCIL@HAVERHILLMA.GOV

CITY OF HAVERHILL

HAVERHILL, MASSACHUSETTS 01830-5843


October 2, 2025

OCT 2 AM 11:54
HVCITYCLERK

To: President and Members of the City Council

Councilors Michitson and Toohey wish to discuss Whittier Tech's new lottery admissions system.

John A. Michitson
Councilor John A. Michitson 

Shaun P. Toohey
Councilor Shaun P. Toohey 

CITY COUNCIL

Thomas J. Sullivan, *President*
Timothy J. Jordan, *Vice President*
John A. Michitson
Colin F. LePage
Melissa J. Lewandowski
Catherine P. Rogers
Shaun P. Toohey
Michael S. McGonagle
Katrina Hobbs Everett
Devan Ferreira
Ralph T. Basiliere



15.2

CITY HALL, ROOM 204
4 SUMMER STREET
TELEPHONE: 978-374-2328
FACSIMILE: 978-374-2329
WWW.CITYOFHAVERHILL.COM
CITYCOUNCIL@HAVERHILLMA.GOV

CITY OF HAVERHILL

HAVERHILL, MASSACHUSETTS 01830-5843

OCT 2 AM 11:54
HAVCITYCLERK

October 1, 2025

To: President and Members of the City Council

Councilor McGonagle wishes to announce the Public Health, Safety and Works Committee meeting on Wednesday, October 22, 2025 at 6PM in Room 202, City Council Chambers, Haverhill City Hall.

Michael S. McGonagle
Councilor Michael S. McGonagle
(LAN)

(Meeting: 10.7.25)

CITY COUNCIL

Thomas J. Sullivan, *President*
Timothy J. Jordan, *Vice President*
John A. Michitson
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Catherine P. Rogers
Shaun P. Toohey
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CITY OF HAVERHILL

HAVERHILL, MASSACHUSETTS 01830-5843

PUBLIC MEETING NOTICE

September 29, 2025

To: Kaitlin M. Wright, City Clerk
Re: Public Health, Safety and Works Committee Meeting
Wednesday, October 22, 2025, at 6:00 PM

Dear Ms. Wright:

Please be advised I have scheduled a Public Health, Safety and Works Committee Meeting for Wednesday, October 22, 2025, at 6:00 PM in the City Council Chambers, Room 202, City Hall, 4 Summer Street.

The purpose of the meeting is to discuss the following:

Doc. 33-F Motion by Councilor Basiliere to send resident winter parking concerns and offer suggestions for improvement.

Doc. 33-P Motion by Councilor Ferreira to send for review as to what our local strategies are for traffic and safety as well as looking into these intersections for public safety (Amesbury Line Road/Merrimac Road)

You can also join the meeting remotely by using the link: <https://meet.google.com/rro-gmri-ydg>

Sincerely,
Michael S. McGonagle
Michael S. McGonagle, Chairperson
Public Safety Committee
Haverhill City Council

MM/lar

c: Public Safety Committee Members, City Council, Mayor Melinda E. Barrett, Christine Lindberg, John Pettis, Chief Robert Pistone, Sgt. Lynch, DPW

CITY COUNCIL

Thomas J. Sullivan, President
Timothy J. Jordan, Vice President
John A. Michitson
Colin F. LePage
Melissa J. Lewandowski
Catherine P. Rogers
Shaun P. Toohey
Michael S. McGonagle
Katrina Hobbs Everett
Devan Ferreira
Ralph T. Basiliere



CITY OF HAVERHILL

HAVERHILL, MASSACHUSETTS 01830-5843

6.3

CITY HALL, ROOM 204
4 SUMMER STREET
TELEPHONE: 978-374-2328
FACSIMILE: 978-374-2329
WWW.CITYOFHAVERHILL.COM
CITYCOUNCIL@HAVERHILLMA.GOV

MAR 7 AM 3:20
HVCITYCLERK

March 4, 2025

To: President and Members of the City Council

Councilor Basiliere wishes to introduce: Mary Ann Barry, Charlie Eugerio, and, Robert Hakesly to discuss winter parking concerns in their neighborhood and offer suggestions for improvement.

Ralph T. Basiliere
Councilor Ralph T. Basiliere

(Meeting: 3.11.25)

**Proposed Changes To City Chapter 240-24 AKA Winter
Parking Rules Nov. 15-Apr. 1
Addition Of Weather Driven Grace Periods From
Ticketing**

Goal of changes proposed:

The goal of grace periods is to give residents, parking overnight, announced, periodic and much needed relief from the threat of ticketing and a temporary resumption of 2-sided parking, when feasible, without sacrificing public safety or impeding emergency vehicle access, when weather and ground conditions are favorable.

Roles & Tasks:

Weather Warden(s) (DPW Director?)

- Provide 7 day coverage of weather conditions predicted and current ground conditions communicating actionable results regarding enforcement versus grace periods to Haverhill PD Dispatch and City Communication Personnel (be the on/off switch)

City Communication Personnel

- Initiate robo calls, update city website postings and other media contacts as needed to communicate the status of enforcement versus grace periods (be the beacon of the on/off switch)
- Add phone numbers of residents wanting robo calls to keep them informed of status of enforcement/grace periods
- Provide coverage Mon-Fri (Sat & Sun?) excluding holidays

HPD Dispatch

- Relay updates provided by DPW regarding enforcement/grace status to night shift supervisor

HPD Night Shift Supervisor

- Ensure night patrol is aware of status each night and follows the guidance

Process Timeline:

Nov 15

- HPD distributes revised white sheet notices (Spanish on reverse) to overnight parked car windshields
- City Comm. Personnel update City website with the revised 240-24 info and status of grace period "in effect", initiate robo calls and use

other media tools to announce the beginning of the winter overnight parking rules period as needed

Nov 15 - forward

- DPW monitors weather for 7-10 day outlook as well as ground conditions as they have always done
- Should DPW note an incoming snow event requiring plowing due in 72 hrs or less. HPD Dispatch and the City Comm. Contact are to be notified by phone that grace period ceases and ticket enforcement should begin
- Once a storm(s) clear out and streets are cleaned up, and favorable ground conditions may or may not exist, but snow is still in the forecast (storms every 3-5 days or so predicted) DPW informs HPD and City Comm. that ticketing enforcement remains in effect
- Once a storm(s) clear out and streets are cleaned up with favorable ground conditions and no snow expected for 7 or more days per DPW, HPD Dispatch and the City Comm. Contact are to be notified by phone that the grace period is in effect and code 36 ticket enforcement should pause until notified otherwise by DPW
- City Comm. continue to add phone numbers to robo call list as they come in

Apr 1

- Winter overnight parking rules end

General rule of thumb guidance:

- Plowable snow due in 3 days or less (beginning of ban) = Enforcement commences
- no snow in forecast 7-10+ days out, good to excellent ground conditions = Grace period opportunity (especially at beginning and end of the winter ban)
- no snow in forecast 7-10+ days out, rough ground conditions = Enforcement continues
- Once periodic and weekly snow events arrive = Enforcement continues

Exceptions to the process:

240-24 F.

Whenever the Director of Public Works and the Chief of Police determine that a special emergency involving the health and/or safety of the people and/or their property exists within the City of Haverhill as a result of higher-than-normal snowfalls, the schedule may be temporarily altered at the discretion of the Director of Public Works and the Chief of Police.

[Added 2-1-2011 by Doc. 23]

Benefits:**City**

- Should improve compliance to the ordinance
- Frees up HPD night patrol, during grace periods, to be able to respond to emergencies promptly
- Does not impede emergency vehicle access, nor does it sacrifice public safety
- Easy to implement and run a trial to measure effectiveness (BTW, ticket data shows it has already been done albeit unofficially, unannounced and in a slightly different manner)
- Can be implemented at virtually no cost to the budget
- Utilizes existing personnel and communication modes as well as growing the robo call data list improving communication and response/compliance
- Nothing physical to purchase
- Should reduce number of complaints for ticketing and possibly neighbor calling on neighbor complaints related to enforcement
- Provides City leaders an opportunity to demonstrate a little openness, fairness and compassion for constituents which could carry some weight for incumbent *elected* officials

Residents

- Bases ticketing on storm plowing, planning, ground conditions and clean up only
- Removes the common perception that ticketing is done solely to generate revenue
- Potentially accommodates the goal of some ticketing relief and increased use of much needed parking (mostly at beginning and waning days of the ban)
- Provides residents a reliable way of staying informed about when enforcement of odd/even parking will actually be in effect with ticketing enforcement, and park accordingly, thus reducing the chances of being caught off-guard (Gotcha moments) and unaware of weather related ticketing and plowing

Concerns:

- May, or may not address "Emergency Routes"
- No City Comm. person available Saturdays, Sundays and Holidays

Wording of white sheets handed out at beginning of ban on windshields (building in grace periods):

Suggested wording added to the existing version would go something like;

"The ordinance may also allow for grace periods from ticketing based on current ground conditions and weather forecasts. Grace periods may be granted when there is a 7-10 day break in snow and ground conditions are favorable as determined by the Director of Public Works. The ban period (11/15 to 4/1) will start with the grace period set to active until the first predicted storm requiring plowing is noted and communicated by the DPW. Once that happens, vehicles must be moved to odd/even sides before the storm(s) physically arrives in order to ready the opposite side for impending plowing. Your Cooperation is ESSENTIAL in making the grace periods work for all. To avoid ticketing, it is highly recommended that residents sign on to the City robo call database to receive status updates. To add your phone number to the list, please provide your name, address and phone number to the City Communications contact at ...website or phone 978-..... The more residents that add their numbers to the list, or check the status on the City website, the smoother the process should work for us all. Failure to cooperate could lead to the grace period process being removed/canceled. The goal of the grace periods is to give residents, parking overnight, announced, periodic and much needed relief from the threat of ticketing and a temporary resumption of 2-sided parking, when feasible, without sacrificing public safety or impeding emergency vehicle access when weather and ground conditions are favorable.

**PLEASE COOPERATE AND HELP US KEEP
HAVERHILL ROADS OPEN AND SAFE FOR ALL"**

Wording of 240-24 (building in grace periods):

Suggested revision wording would go something like; "Ticketing grace periods during the ban may occur depending on current and predicted weather and ground conditions and are at the discretion of Director of Public

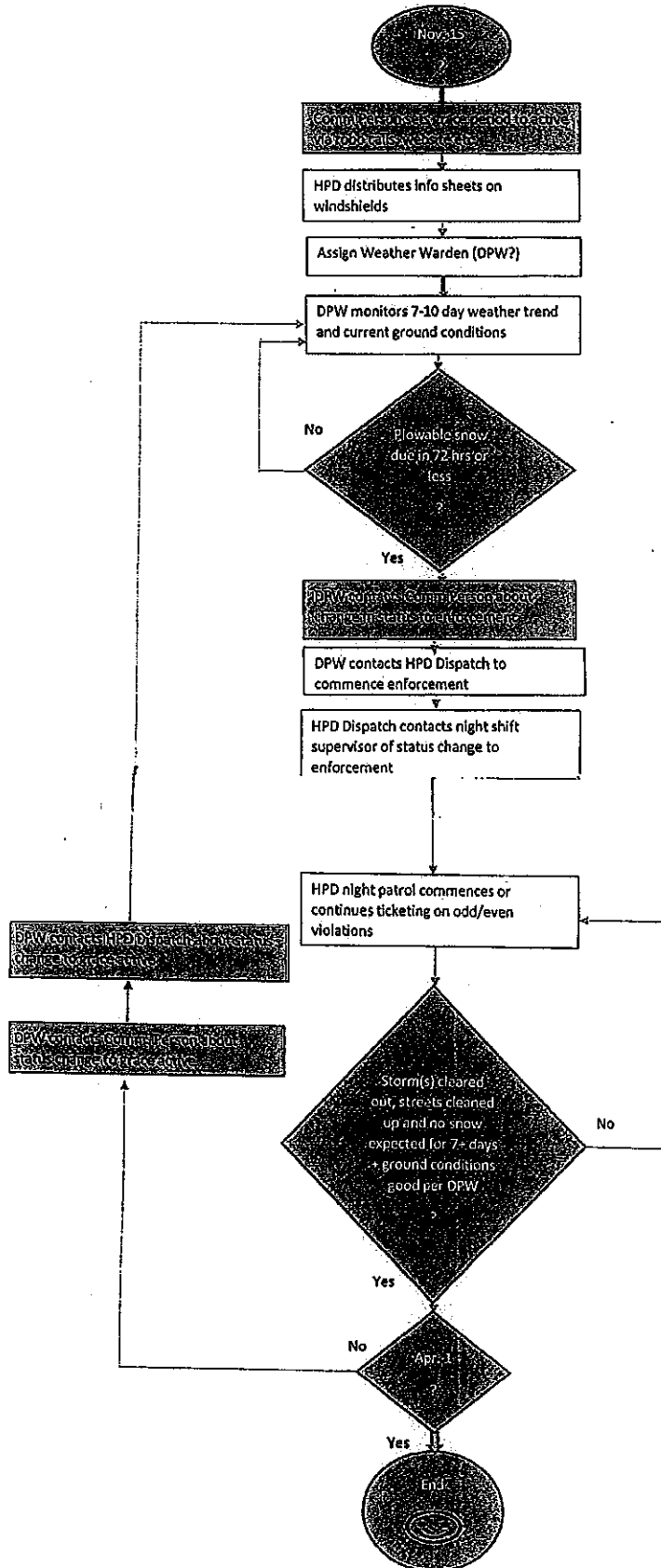
Works, City Police, Fire and the Mayor and will be announced via robo calls, city website, *WHAV*, *311*, *FB*, *etc.* as to when they are in affect."

Ticketing Data Analysis/Observations (including weather) 11/15/24 to 4/25 and 11/15/24 to 2/11/25:

- Ticketing from last year's ban showed that in Nov. occurred just on the 16th and 30th, in Dec. occurred on the 3rd, 18th and 22nd, in Jan. occurred all but on the 7th, in Feb. occurred the 1st until the 14th and additionally the 21st, 23rd and 26th, in Mar. ticketing was sporadic occurring on the 1st, 2nd, 4th, 6th, 7th, 14th, 18th and 20th
- Roughly 4043 tickets were issued during last year's ban for approximately \$101,075 in revenue to be collected
- Last year's (2024) snow/ice budget was \$710,000 and this year's budget is \$1,210,000 with a ticket revenue versus snow/ice budget ratio of 1:7 for 2024 and on track to be approximately 1:12 for the current year
- 2800 tickets issued 11/15/24 to 1/10/25 for roughly \$70,000 in potential revenue (before any real snowfall fowled the roads that required plowing)
- Between 1/11/25 to 2/11/25 an additional 596 tickets were issued for roughly \$14,900 in potential revenue
- Between 11/15/24 to 1/10/25 we had 2 small snow events that only required 1 to be treated with sand/salt and no plowing
- First plowable storm was on 1/19/25
- It would probably be a very conservative estimate that it takes 30 + minutes to process each ticket (issuing, reporting, data entry, collection of fines and bookkeeping) with hourly pay rates combined making it an expensive process
- Ticketing was wide spread over roughly 305+ (44%) of the roads so far this period
- No tickets were issued from 11/15 to 12/2, 12/25 and 1/1/25 to 1/2/25 (for data covering 11/15/24 to 1/10/25)
- Most tickets were issued between 10 pm and 5 am

**Proposed Changes To City Chapter 240-24 AKA Winter Parking Rules
Nov. 15 to Apr. 1**

**Addition Of Weather Driven Grace Periods For Code 36 Ticketing –
Process Flow (Not inclusive of emergency routes)**





**CITY OF HAVERHILL
CITY COUNCIL MINUTES
Tuesday, March 11, 2025 at 7:00 PM**

**Theodore A. Pelosi, Jr. Council Chambers, 4 Summer st, Room 202
In-Person/Remote Meeting**

with fixed incomes. Morales urged the council to consider adjustments to the senior abatement program, including reducing the residency requirement from 10 years to 5 years. Lowering the age requirement from 70 to 65. Doubling the \$4,000 exemption and raising income and asset limits. Increasing the \$700 tax exemption to provide more significant relief. He called on the council to implement these changes to help ease the financial burdens on seniors.

5.2 Mayor Barrett submits Ordinance to amend the Code of the City:

**5.1.1. Ordinance Relating to Commission on Disability Issues; Amend Chapter 11
Boards and Commissions, Article IV**

File 10 days 43

Related communication from Lisa Mead and Michael Reilly, City Solicitors

MOTION BY COUNCILOR MCGONAGLE TO PLACE ON FILE, SECOND BY VICE PRESIDENT JORDAN
PASSED YEAS 10, NAYS 0, ABSENT 1 (MICHITSON)

**6. COMMUNICATIONS FROM COUNCILLORS TO INTRODUCE AN INDIVIDUAL(S) TO ADDRESS
THE COUNCIL:**

6.1. Moved to beginning of agenda 33-D

6.2. Moved to beginning of agenda 33-E

6.3. Councillor Basiliere requests to introduce Mary Ann Barry, Charlie Eugerio and
Robert Hakesly to discuss winter parking concerns in their neighborhood and offer
suggestions for improvement 33-F

Councilor Basiliere highlighted parking issues in Wards 1, 2, and 3, noting an increase in cars on the streets that haven't changed. He mentioned that after hearing from residents, he would motion to send the issue to a sub-committee for further discussion. Mary Ann Barry, a resident of 3 Altamont Street, shared her concerns about parking. She explained that people from Broadway often take the parking spots on her street, even after she shovels them, citing that they claim it's public parking. She also mentioned concerns about speeding on her street and expressed uncertainty about the solution. Councilor Basiliere and Ms. Barry discussed possible residents only parking.

Terri Lemieux, speaking on behalf of Charlie Eugerio, who was unable to attend due to illness, discussed parking issues at 9 Norfolk Street. She explained that her son and her neighbor's son both have plow trucks and plow from 1 Norfolk Street to the dead end. She mentioned two tenants on Primrose Street who park wherever, causing congestion. Terri requested an exemption from the even-odd parking regulations for her property, noting that she has 100 feet of frontage where she has always parked in front of the telephone poles.

Robert Hakesly, 13 Tremont Street, expressed concerns about parking ticketing practices. He stated that in his 38 years of residence, he has received only two tickets. He criticized the high number of tickets issued before the first snowstorm, citing that \$70,000 worth of tickets were issued up until January 11th, before any plowable snow had fallen. He also proposed introducing grace periods for parking, particularly in the spring and at the beginning of winter, to offer relief when weather conditions are favorable, without compromising public safety or access for emergency vehicles. He suggested this change could be implemented by January 1st. President Sullivan encouraged Mr. Hakesly to present his full proposal at a subcommittee meeting.

Councilor McGonagle suggested sending to subcommittee and include representatives from the Police Department, DPW, and Engineering to discuss the matter fully.



CITY OF HAVERHILL
CITY COUNCIL MINUTES
Tuesday, March 11, 2025 at 7:00 PM

Theodore A. Pelosi, Jr. Council Chambers, 4 Summer st, Room 202
In-Person/Remote Meeting

Councilor Basiliere asked about the total number of streets and miles in Haverhill. He also highlighted the cost of having a police officer tie up for 30-45 minutes to handle a vehicle issue, suggesting that the cost of a \$25 parking ticket is less expensive than the cost to the city for police time.

Sgt. Lynch provided details, stating that there are 1,400 streets and 298 miles of paved roadway in the area. He also mentioned personally towing 7 out of the 75 cars over a two-day period, which were unregistered, uninsured, and included stolen vehicles.

MOTION BY COUNCILOR BASILIERE TO REFER TO PUBLIC SAFETY SUBCOMMITTEE, SECOND BY COUNCILOR MCGONAGLE
PASSED YEAS 10, NAYS 0, ABSENT 1 (MICHITSON)

6.4. Moved to the beginning of the agenda

33-G

7. PUBLIC PARTICIPATION- REQUESTS UNDER COUNCIL RULE 28

8. COMMUNICATIONS AND REPORTS FROM CITY OFFICERS AND EMPLOYEES:

9. UTILITY HEARING(S) AND RELATED ORDER(S):

9.1. Petition from Mass Electric dba National Grid requesting underground electric conduits at Kenoza av - Work #31047617
Hearing April 1

44

MOTION BY COUNCILOR ROGERS TO HEAR ON APRIL 1ST, SECOND BY COUNCILOR MCGONAGLE
PASSED YEAS 10, NAYS 0, ABSENT 1 (MICHITSON)

10. HEARINGS AND RELATED ORDERS:

10.1. SPFL 25-1; Hearing Application from Robert Coluccio for the *Merrimack Valley Regional Transit Authority* requesting an amendment to their original flammable licenses granted in 1925 and 1926, to store 22,000 gallons of diesel fuel aboveground and 22,000 gallons of gasoline underground at 123 Railroad av 25

President Sullivan opened the special permit hearing.

Robert Coluccio from Web Engineering Associates addressed the council regarding the replacement of an old underground diesel tank with an above-ground tank. He explained that the current diesel tank is aging and located near the river, prompting concerns about safety and environmental impact. He emphasized that above-ground tanks are more environmentally friendly and safer. Coluccio also discussed the need to update licenses for both the gasoline and diesel tanks, as the current licenses are outdated.

Ed Nutter, Facilities Manager for MEVA, stated that he had been at the site for 20 years and acknowledged that the diesel tank was outdated. He expressed support for replacing the underground tank with an above-ground one, citing safety and environmental benefits.

President Sullivan asked if anyone would like to speak in favor? No one spoke
President Sullivan asked if anyone would like to speak in opposition?

Donna MaCaron, 11 Verndale Street questioned whether the tanks were related to the buses or trains and raised concerns about the safety of storing fuel near residential areas. She asked how safety would be ensured.

CITY COUNCIL

Thomas J. Sullivan, President
Timothy J. Jordan, Vice President
John A. Michitson
Colin F. LePage
Melissa J. Lewandowski
Catherine P. Rogers
Shaun P. Toohey
Michael S. McGonagle
Katrina Hobbs Everett
Devan Ferreira
Ralph T. Basiliere



15.1

CITY HALL, ROOM 204
4 SUMMER STREET
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FACSIMILE: 978-374-2329
WWW.CITYOFHAVERHILL.COM
CITYCOUNCIL@HAVERHILLMA.GOV

AUG 8 AM 11:35
HACITYCLERK

CITY OF HAVERHILL

HAVERHILL, MASSACHUSETTS 01830-5843

August 8, 2025

To: Members of the City Council

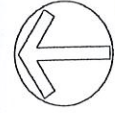
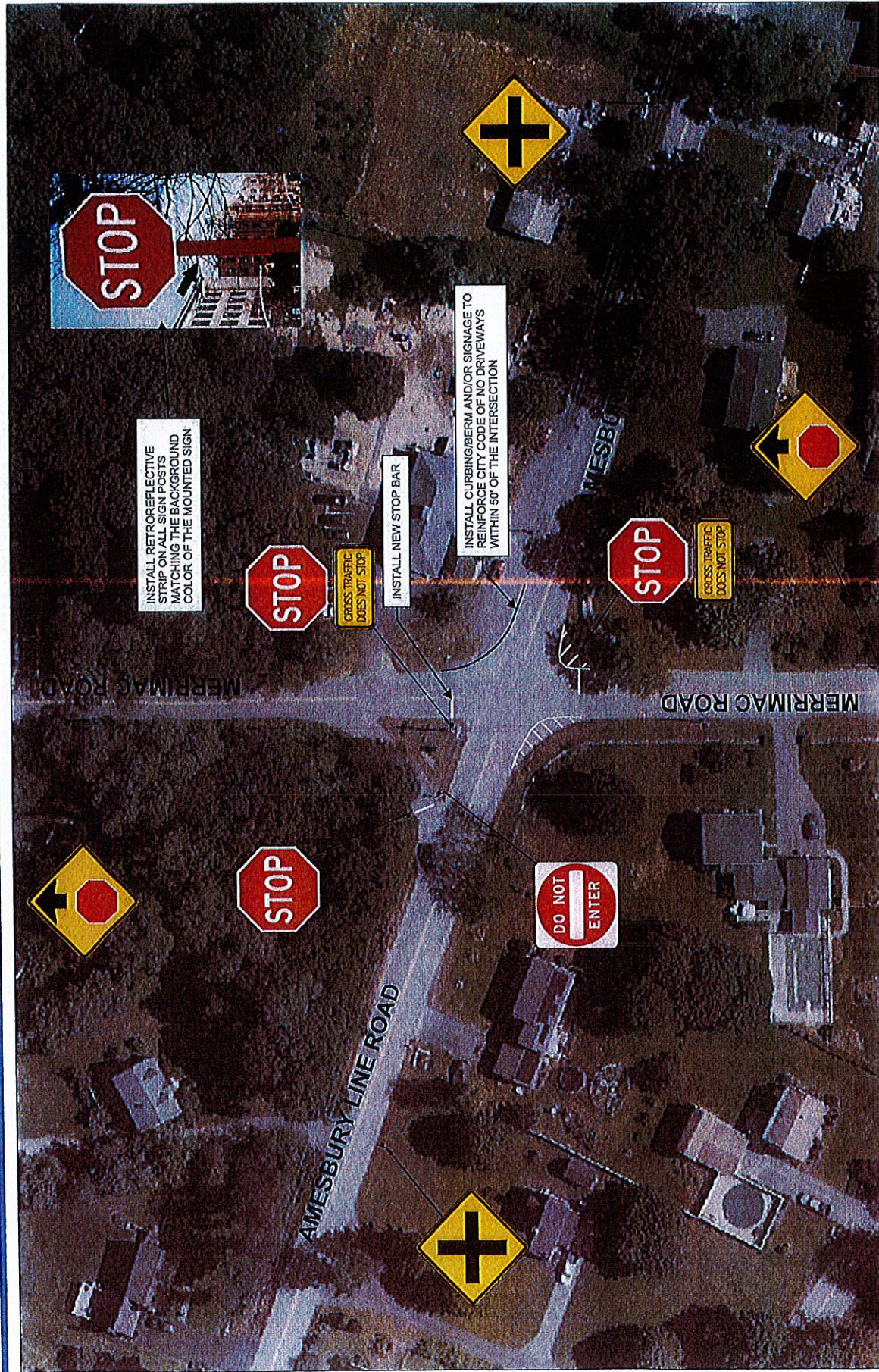
President Sullivan and Councilor Lewandowski to request update from City Engineer regarding Amesbury Line Road and Merrimac Road intersection improvements. Also for Sergeant Lynch to present the most recent accident and speeding stats and offer his thoughts on the conceptual plan.

Thomas J. Sullivan
President Thomas J. Sullivan *(LPS)*

Melissa J. Lewandowski
Councilor Melissa J. Lewandowski *(LPS)*

(Meeting: 8.19.25)

item 15.1



McCLURE
ENGINEERING Co.

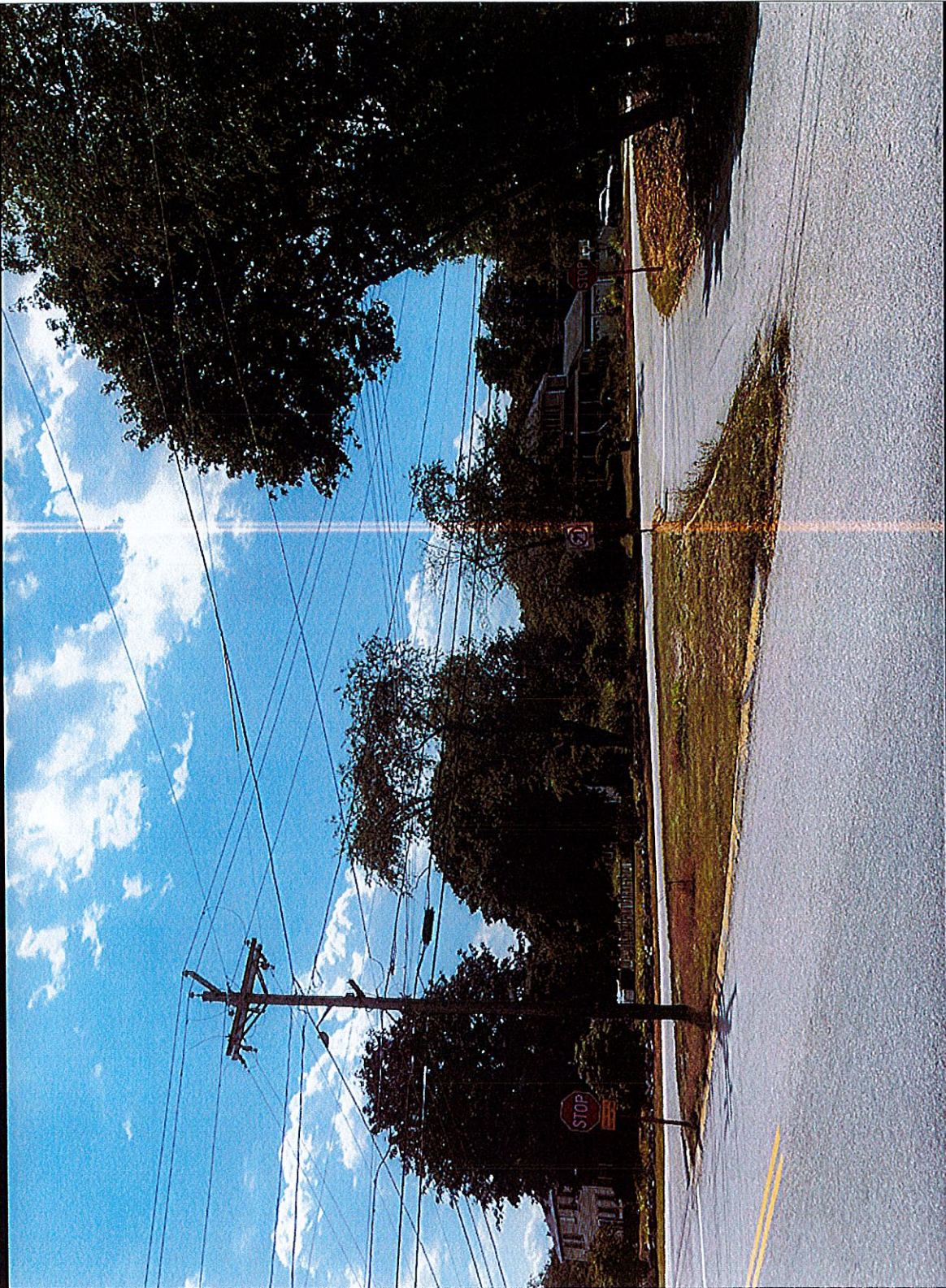
CONCEPTUAL IMPROVEMENT PLAN
AMESBURY LINE ROAD @ MERRIMAC ROAD

03/07/2025

item 15.1



item 15.1



item
15.1



Item
15.1



item 15.1



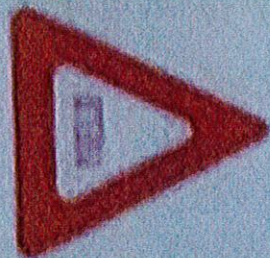
item 15.1



item
15.1



STATE
LAW



TO



WITHIN
CROSSWALK

CITY OF
BIRMINGHAM





**CITY OF HAVERHILL
CITY COUNCIL MINUTES**

Tuesday, August 19, 2025, at 7:00 PM

Theodore A. Pelosi, Jr. Council Chambers, 4 Summer st, Room 202

In-Person/Remote Meeting

**Department to maintain the fourth firefighter on Engine Three at
the Water Street Station** **35-R**

Mayor Barrett and Fire Chief O'Brien addressed the council and thanked Sal Lupoli for his generous donation. Mary Lupoli stated the Lupoli Companies are grateful and happy to do this for the city. Councilor Michitson asked on behalf of Vice President Jordan what happens when the \$80,000 funding for the position runs out and whether it is in the budget. The Mayor and Chief responded that the city would find a way to continue to fund it and it is in the budget. Councilor Lewandowski stated this is supplemental money in order to maintain that staffing.

MOTION BY COUNCILOR MCGONAGLE, SECOND BY COUNCILOR LEWANDOWSKI

PASSED

YEAS 8, NAYS 0, ABSENT 3 (JORDAN, TOOHEY AND MCGONAGLE)

**15.1 President Sullivan and Councilor Lewandowski request an update
from the City Engineer regarding Amesbury Line Rd and
Merrimac Rd intersection improvements and request Sgt. Lynch
to present the most recent accident and speeding statistics and
offer his thoughts on the conceptual plan** **33-P**

Councilor Lewandowski stated this intersection has serious safety issues, including blind spots, speeding and cross traffic that doesn't stop. Crashes have occurred there before. She shared photos and a video to show the dangers and urges action to improve safety.

John Pettis, City Engineer, addressed the council. In 2024, safety concerns led to a traffic study, which found it doesn't meet the criteria for a four-way stop or signal. Low traffic volume and crash data don't justify changes,

Joe Johnson, McClure Engineering addressed the council. He stated the intersection doesn't meet state traffic volume thresholds for signals, so it's not eligible for state funding. Councilor Lewandowski asked if the city would consider putting a light there. The Mayor stated she cannot commit to that but could do intersection improvements such as shrinking the intersection down. Councilor Lewandowski suggested a couple of cones be put out to get people's attention. The Mayor agreed.

Sgt. Kevin Lynch, Police Department addressed the council. He noted from 2009, 26 crashes at the intersection were mostly due to driver error and distraction. Councilor Ferreira feels four way stop signs work to control traffic. She questioned if ordinance updates need to be done to place more stop signs. Sgt. Lynch noted the warrants for stop signs he also noted possibly a lighted stop sign on Merrimac Rd. He stated the protocol about notifying Whittier Vo-Tech students about speeding.

Amanda Coburn of Merrimac Rd addressed the council. She stated thank you for addressing the safety concerns at the intersection. As a resident I've witnessed numerous accidents and near-misses many of which go unreported. Despite recent signage and markings visibility, speeding and confusing traffic patterns remain serious problems. I would urge further action such as relocating poorly positioned signs, reducing speed limit to 25 MPH and considering additional traffic calming measures to improve safety.

MOTION BY COUNCILOR FERREIRA TO SEND THIS TO TRAFFIC AND SAFETY SUBCOMMITTEE ALSO LOOKING FOR INFORMATION AS WELL AT SUBCOMMITTEE ABOUT WHAT OUR LOCAL STRATEGIES ARE FOR TRAFFIC AND SAFETY AS WELL AS LOOKING INTO THESE INTERSECTIONS FOR PUBLIC SAFETY, SECOND BY COUNCILOR LEWANDOWSKI



**CITY OF HAVERHILL
CITY COUNCIL MINUTES**

Tuesday, August 19, 2025, at 7:00 PM

Theodore A. Pelosi, Jr. Council Chambers, 4 Summer st, Room 202

In-Person/Remote Meeting

PASSED

YEAS 8, NAYS 0, ABSENT 3 (JORDAN, TOOHEY AND MCGONAGLE)

5.3. Mayor Barrett submits an Order for the City Council to accept a gift of land as follows:

5.3.1. Order – that the City Council on behalf of the City votes to accept a gift of land known as *First Nations Park* (the “Park”) located at 15 Railroad Ave in the City of Haverhill (Map 711-4-1 and Map 711-4-2A) from the Haverhill Parks Foundation. Consistent with the purpose of the donation, the City of Haverhill accepts the Park with all improvements thereon for use as a public park

35-S

Mayor Barrett addressed the council. She noted that the city is taking formal ownership of the First Nations Park, originally tied to the Procopio buildings through a special permit. While the committee was created as placeholder due to Brownfields concerns, the city has always been responsible for maintenance. This step formalizes what’s already been the true.

MOTION BY COUNCILOR MICHITSON, SECOND BY COUNCILOR HOBBS EVERETT

PASSED

YEAS 8, NAYS 0, ABSENT 3 (JORDAN, TOOHEY AND MCGONAGLE)

5.4. Mayor Barrett submits an Order to accept MGL c.40, sec. 17 to allow the City to install and operate a school bus violation detection monitoring system

5.4.1. Order – that the City of Haverhill accepts the provisions of the G.L. c. 40, sec. 17 allow the City to install and operate a school bus violation detection monitoring system on a school bus to enforce violations pursuant to sec. 14 and 14C of c. 90, and to enter into an agreement with a private vendor or manufacturer to provide a school bus violation detection monitoring system, including the installation, operation, and maintenance of such systems, on each bus within its fleet whether the school bus is owned or leased

Related communication from City Solicitors, Lisa Mead and Michael Reilly

94-A

Mayor Barrett informed the council that the city is beginning the process of installing cameras on school buses to catch drivers who illegally pass when the stop arm is out. A vendor will review the footage, police will confirm violations, and tickets will be issued accordingly. The city will fund the installation through the general fund and expects ticket revenue to cover costs. The program will include all city school buses, including those operated by NRT. Councilor Ferreira asked if other communities would benefit from the use of this equipment if the buses go to other towns. Mayor indicated these buses are

171



CITY OF HAVERHILL
MASSACHUSETTS

10/2/2025 10:00 AM

MELINDA E. BARRETT
MAYOR

CITY HALL, ROOM 100
FOUR SUMMER STREET
HAVERHILL, MA 01830
PHONE 978-374-2300
FAX 978-373-7544
MAYOR@HAVERHILLMA.GOV
WWW.HAVERHILLMA.GOV

October 2, 2025

To: City Council President Thomas J. Sullivan and Members of the Haverhill City Council

From: Mayor Melinda E. Barrett

Re: White Cane Awareness Day

Dear City Council President and Members of the Haverhill City Council:

I, Mayor Barrett, request to present a proclamation recognizing October 15th, 2025 as White Cane Awareness Day in the City of Haverhill.

Sincerely,

Melinda E. Barrett
Mayor

MEB/em

CITY COUNCIL
Thomas J. Sullivan, President
Timothy J. Jordan, Vice President
John A. Michitson
Colin F. LePage
Melissa J. Lewandowski
Catherine P. Rogers
Shaun P. Toohey
Michael S. McGonagle
Astrina Hobbs Everett
Evan Ferreira
Alph T. Basiliere



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CITY OF HAVERHILL
HAVERHILL, MASSACHUSETTS 01830-5843

SEP 19 4:51:36
HAUG CITY CLERK

DOCUMENTS REFERRED TO COMMITTEE STUDY

103-HH	Motion by Councilor Michitson to send the <i>Home Rule Petition – An act establishing guidelines for the installation of and use of Electric vehicle charging stations in the City of Haverhill</i> , to committee in order to coordinate with condo associations.	A&F	12/23/23
40	Motion by Councilor Lewandowski to send updated Cannabis Social Equity Best Practices for the Cannabis Control Commission to A&F for further review.	A&F	4/2/24
12-P	Motion by Councilor Jordan to send possible conditions on new development and potential changes to our zoning ordinances.	Planning & Development	5/21/24
12-S	Motion by Councilor Ferreira to send the City’s Swimming Ordinance Chapter 193 Article III and related items at Lake Saltonstall, aka Plug Pond to NRPP for further discussion.	NRPP	6/18/24
33-F	Motion by Councilor Basiliere to send resident winter parking concerns and offer suggestions for improvements	Public Health Safety	3/11/25
60	Motion by Councilor Michitson to send the Haverhill Housing Production Plan to P&D for further discussion	Planning & Development	5/6/25
33-L	Motion by Councilor Lewandowski to send Bill 3360 (vacancy tax on residential properties) for review and also further review of MVSP (Massachusetts Vacant Storefront Program)	Planning & Development	6/24/25
33-M	Motion by Councilor Michitson to send for feedback on Cross-Cutting Career training event from various participants	Planning & Development	6/24/25
33-P	Motion by Councilor Ferreira to send for review as to what our local strategies are for traffic and safety as well as looking into these intersections for public safety (Amesbury Line Road/Merrimac Road)	Public Health Safety	9/16/25
94-B	Motion by Councilor Ferreira to look at updating the standards of Ch. 250 article VI of the Haverhill Zoning Code regarding water use restrictions established in 2016	Planning & Development	9/16/25